



Agenda Item No. 12.

Staff Report

Date: July 9, 2026

To: Mayor McMillan and Council Members

From: Alex Lopez-Vega, Planner

Subject: Sherman Residence, 186 Prospect Avenue (DRP26-05)

Recommendation

It is recommended that the Town Council consider Design Review, a Nonconformity Permit and a Variance for the project described below located at 186 Prospect Avenue. The Town Council may adopt Resolution No. 2638 approving the project, subject to conditions.

Project Information:

Property Owner: Stacey and Michael Sherman
Applicant: Imprints Landscape Architecture
Street Address: 186 Prospect Avenue
Parcel Number: 072-152-01
Zoning: R-1: B-10
General Plan: ML (Medium Low Density)
Flood Zone: X

Project Data

	Code Standard	Existing	Proposed
Lot Area	10,000 SF	14,400 SF	No change
Front Setback	25'	House N/A Deck 10' 1"	House No Change Deck 12'-8"
Side Setback (North)	15'	N/A	Pool 10'
Rear Setback	40'	N/A Deck 40'	Pool 10' Deck 38' 9"

	Code Standard	Existing	Proposed
			BBQ 10' Patio 10' Firepit 20'
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	4,488 SF	4,231 SF

Project Description:

The applicant requests approval from the Town Council for Design Review, a Nonconformity Permit, and a Variance. The project proposes rehabilitation of the rear yard, including construction of a new 16-foot by 40-foot swimming pool and spa. Additional site improvements include an outdoor kitchen, repairs to the existing front and rear deck, firepit, site walls, vegetable garden, and replacement of portions of the existing concrete terrace with crushed rock. Pool equipment is proposed beneath the deck adjacent to the residence.

The project also includes construction of new walkways with exterior lighting and replacement and widening of the existing concrete driveway with permeable pavers. A Nonconformity Permit is required to reconstruct an existing nonconforming deck located within the front yard setback. A Variance is required to allow the pool, spa, outdoor kitchen, firepit, patio improvements, and retaining walls to encroach into required setbacks, as well as to permit construction of a wall exceeding the maximum permitted height of six feet.

Impervious Surfaces

The project proposes reducing impervious surfaces by 257 square feet.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review is required pursuant to RMC Section 18.41.020** to allow a project resulting in more than 50 cubic yards of grading or filling; and redevelopment of existing landscape over 2,500 square feet.
- **Nonconformity Permit is required pursuant to RMC Section 18.52.040** to allow for the reconstruction of an existing nonconforming deck.
- **A Variance is required pursuant to RMC Chapter 18.48** to construct a pool, spa, outdoor kitchen, firepit, patio improvements, and retaining walls to encroach into required

setbacks, as well as to permit construction of a wall exceeding the maximum permitted height of six feet.

Background

The project site is a 14,400 square-foot (SF) lot on Prospect Avenue. The lot has a single-family residence and a detached garage.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance. The ADR Group discusses the merits of the project and provides a formal recommendation to the Town Council regarding the merits of the project consistent with the requisite findings associated with the land use permits being requested, in addition to consistency with the Design Review criteria and standards of the Ross Municipal Code. A majority vote of the Advisory Design Review Group is necessary to provide a recommendation to the Town Council. The vote count of the recommendation will also be forwarded to the Town Council.

On June 16, 2026, the Advisory Design Review (ADR) group voted 4-0-1 (for–against- absent) in support of the project as presented. The members supported the construction of the pool and associated landscape structures, including the location of the pool equipment, noting that it is appropriately sited and underneath an existing deck. The ADR recommended the applicant reduce the height of the proposed fireplace to 48 inches. In response, the applicant revised the plans and removed the fireplace. The ADR group recommends that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review.

Draft minutes of the June 16, 2026, ADR meeting are included as **Attachment 4**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code (RMC):

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))
- The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))
- The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit “A” of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical “small town,” low-density character and identity that is unique to the Town of Ross; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

Nonconformity Permit

Many residential structures in the town do not conform to the requirements of this Zoning Code because they were established before the adoption of zoning or before residential floor area limits were established in 1967. The purpose of this section is to allow for the continued existence, reconstruction and modification of nonconforming residential structures, subject to limitations set forth in this section. The intent of these regulations is to protect historic buildings and those that contribute to the Town’s small-town character; to permit floor area nonconformities to be retained on site redevelopment where the design is appropriate; and to allow other nonconformities to be maintained when reasonable and where they create the same or fewer impacts than strict conformance with town regulations.

Pursuant to Sections 18.32.050 and 18.32.060, which establish development standards in the R-1: B-10 district, the minimum side setback is 25 feet, rear side setback is 40 feet, and front setback is 25 feet. The existing nonconforming deck does not meet the current code for front and rear yard setbacks. Pursuant to Section 18.52.030, the project requires a Nonconformity Permit to enlarge, extend, reconstruct, and/or structurally alter the existing residential structures which are nonconforming with respect to the setbacks.

Town Council may consider a Nonconformity permit, as summarized below and as supported by the findings in Exhibit “A”.

- (a) The nonconforming structure was in existence at the time the ordinance that now

prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.

- (b) The Town Council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural, or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood, or the community.
- (c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.
- (d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.
- (e) Granting the permit will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
- (f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.
- (g) The Fire Chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the Fire Chief.
- (h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.
- (i) The site has adequate parking. For the purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement; the Town Council may require covered parking to be provided.

The nonconforming structure was in existence prior to adoption of the Zoning Ordinance that now requires the above-mentioned rear and front yard setbacks. The structure was constructed in 1946. The demolition will not remove housing units from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural, or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood, or the community. The project conforms to the design review standards, and the proposed single-family home does not expand the nonconformity. The project will comply with all Fire, Building and Flood regulations.

Variance

Pursuant to RMC Section 18.48.010, where practical difficulties, unnecessary hardships and results inconsistent with the general purpose of the zoning ordinance may result from the strict application of certain provisions thereof, variances, exceptions and adjustments may be granted, by the Town Council in appropriate cases, after public notice and hearing as provided in the zoning ordinance.

In accordance with RMC Section 18.48.010 (c), a Variance is recommended for approval to construct a pool, patio, outdoor kitchen, firepit within the recommended setbacks and to construct a wall exceeding the maximum permitted height of six feet based on the following mandatory findings:

1) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.

The special circumstances and conditions applicable to the land include a nonconforming lot and structure, which limits the buildable envelope for the lot and the ability to construct new improvements such as a pool, patio, and firepit within the required rear and side yard setbacks. Additionally, the existing development pattern and established setbacks further constrain the site. These unique physical conditions make it challenging to design landscape improvements that fully comply with the setback requirements.

2) That the granting of the application is necessary for the preservation and enjoyment of Substantial property rights.

Pool and associated landscape improvements are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting the variance request, in a neighborhood where existing nonconforming setbacks are common, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting the variance would not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

3) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The proposed landscape structures would not adversely affect the health and safety of nearby residents. It would not be detrimental to the public welfare, nor injurious to other properties in the neighborhood. The project would also be constructed in compliance with the building code and fire codes and all conditions of approval. The parking pad will improve vehicular access and safety.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and impact fees if applicable, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impact associated with the project.

Alternative actions

1. Continue the item to revise the project, gather information, conduct further analysis; or
2. Deny the application and direct staff to bring a resolution to the next meeting.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA), Section 15301 (Existing Facilities) and Section 15304 (Minor Alterations to Land), consisting of the construction of a swimming pool in an existing single family residential property involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Public Comment

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date. At the time of writing this report, no written public comments have been made.

Attachments

1. Resolution No. 2638
2. Project Plans
3. Project Application and Neighborhood Outreach
4. Draft ADR Meeting Minutes for June 16, 2026

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2638

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, NONCONFORMITY PERMIT, AND A VARIANCE TO CONSTRUCT A POOL AND NEW LANDSCAPING STRUCTURES AT 186 PROSPECT AVENUE, A.P.N. 072-152-01

WHEREAS, the applicant, Imprints Landscape Architecture, on behalf of the property owner, Stacey and Michael Sherman, submitted an application requesting approval of Design Review, Nonconformity Permit, and a Variance to construct a new pool, spa, outdoor kitchen, firepit, patio in the rear yard and to repairs to the existing front and rear decks at 186 Prospect Avenue APN 072-152-01 (herein referred to as “the Project”); and

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities) and Section 15304 (Minor Alterations to Land), consisting of the construction of a swimming pool in an existing single family residential property involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on July 9, 2026, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A” and approves Design Review, Nonconformity Permit, and a Variance to approve the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 9th day of July 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Zach Koblick De León, Town Clerk

Julie McMillan, Mayor

EXHIBIT "A"
FINDINGS
186 Prospect Avenue
A.P.N. 072-152-01

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It upgrades the appearance, quality and condition with new development of the site; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by majority of the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The new improvements are compatible with the neighborhood, minimizing visual impact and bulk and utilizing high-quality materials. The site proposes landscaping be integrated into the architectural scheme to accent and enhance the appearance of the development; include plantings to soften and screen the appearance of structures.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single-Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with Ross Municipal Code (RMC) Section 18.52.030 (c), Nonconformity Permit is approved based on the following mandatory findings:

(a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.

The existing nonconforming single-family home was originally constructed in approximately 1913 per the County records.

- (b) The town council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The requirement for a demolition permit does not apply to decks pursuant to RMC Chapter 18.50.020(b).

- (c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.**

As described in the Design Review findings in Section I above, the project is consistent with the Design Review criteria and standards per RMC Section 18.41.100.

- (d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.**

The proposed project will not result in any increase to the existing nonconforming floor area.

- (e) Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.**

The project will promote public health, safety and welfare, and avoid material injury to properties and improvements in the vicinity. The new landscape structures will be constructed in compliance with building and fire codes.

- (f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.**

The project is not in the flood plain.

- (g) The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.**

The project has been reviewed by Ross Valley Fire Department and adequate access and water supply exist for firefighting purposes.

- (h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.**

Condition of Approval No. 10 requires indemnification pursuant to RMC Section 18.40.180.

- (i) The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement, the Town Council may require covered parking to be provided.**

The project site is located within the R-1:B-10 zoning district, which requires a minimum of three parking spaces, one of which must be covered. The project includes the required number of parking spaces, including two covered parking spaces, and therefore complies with the minimum parking requirements for this zoning district.

III. In accordance with RMC Section 18.48.010(c), a Variance is approved based on the following mandatory findings:

- a) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.**

The special circumstances and conditions applicable to the land include a nonconforming lot and structure, which limits the buildable envelope for the lot and the ability to construct new improvements such as a pool, patio, and firepit within the required rear and side yard setbacks. Additionally, the existing development pattern and established setbacks further constrain the site. These unique physical conditions make it challenging to design landscape improvements that fully comply with the setback requirements.

- b) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.**

Pool and associated landscape improvements are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting the variance request, in a neighborhood where existing nonconforming setbacks are common, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting the variance would not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

- c) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The proposed landscape structures would not adversely affect the health and safety of nearby residents. It would not be detrimental to the public welfare, nor injurious to other properties in the neighborhood. The project would also be constructed in compliance with the building code and fire codes and all conditions of approval. The parking pad will improve vehicular access and safety.

EXHIBIT "B"
CONDITIONS OF APPROVAL
186 Prospect Avenue
A.P.N. 072-152-01

1. The building permit shall substantially conform to the plans entitled, "Sherman Residence" submitted on 6-16-26 and reviewed and approved by the Town Council on 7-9-26.
2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period. The Planning and Building Director may administratively approve an amendment to town council approved plans that are determined to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulation.

Standard Conditions of Approval

4. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
5. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
6. A Tree Alteration or Removal Permit is required to alter or remove a tree. Tree Permit approval shall not be issued prior to payment of building permit fees.
7. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.

- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed

within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).

- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-

toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying

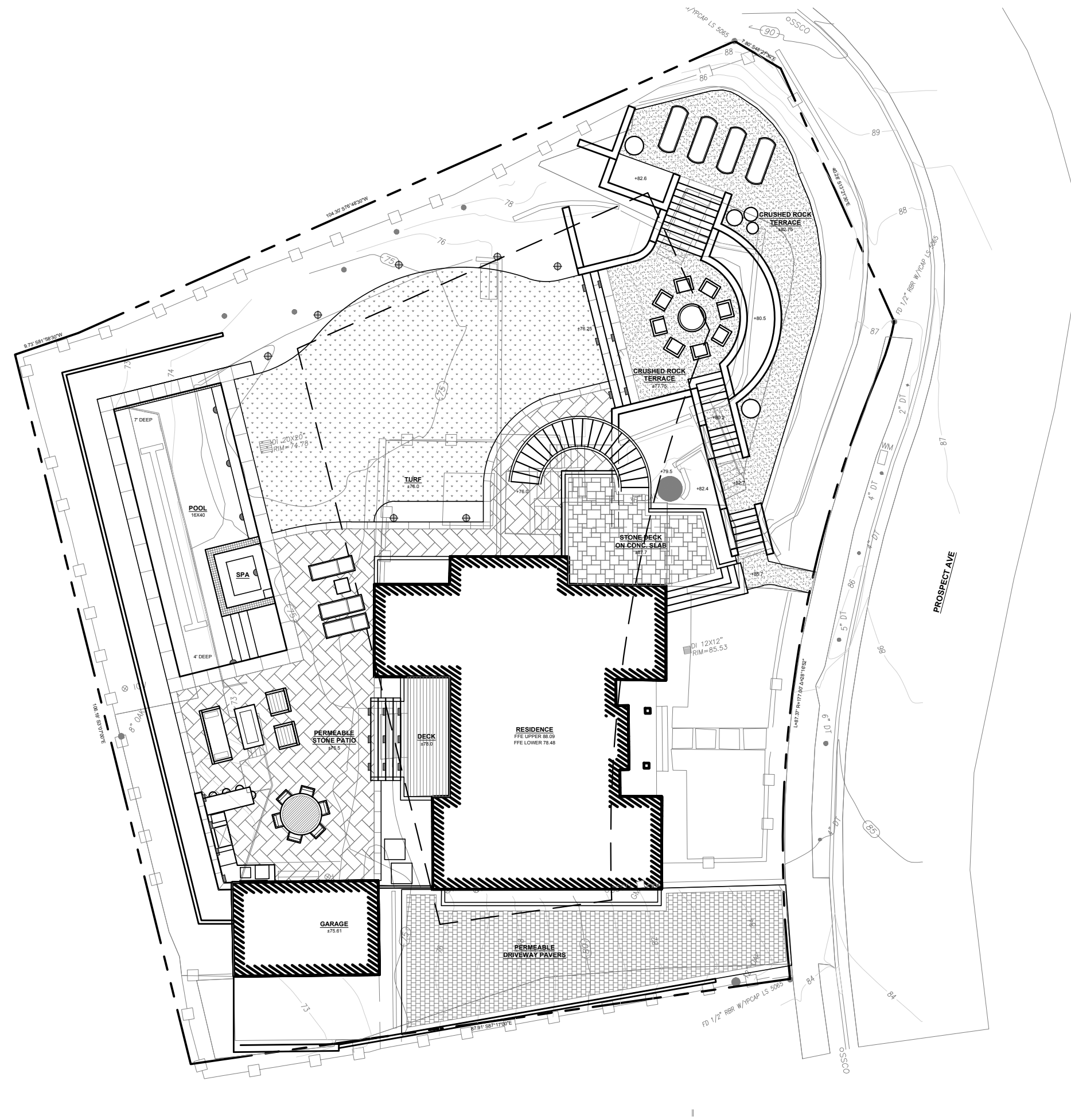
that all construction was in accordance with the as-built plans and his/her recommendations.

8. The project shall comply with all requirements, standards, and policies of the Ross Municipal Code, General Plan, County of Marin, State, and Federal laws.
9. The project shall comply with all standards and policies set forth in Chapter 10.32 Truck Routes. The operator of any vehicle carrying a load in excess of two tons to drive or operate it during the months of November, December, January, February, March and April, over or along any of the following streets in the town: Walnut Avenue, Oliver Avenue-, Pearl Avenue, North Road, West Road, East Road, Hill Road, Upper. Road, Canyon Road, that portion of Wellington Road lying easterly of the intersection of Garden Road therewith, Prospect Avenue, Fallen Leaf Avenue, Baywood Avenue, Madera Avenue, Redwood Avenue, Loma Linda Avenue and Crest Avenue, without written permit from the chief of police. The chief of police is hereby authorized to establish over an appropriate street or streets and to designate by appropriate signs, through-traffic routes for the movement of vehicles of two or more tons capacity designed for carrying merchandise, freight or material.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2



MARIN MAPS



SITE PLAN

SCALE: 1/16" = 1'

BUILDING & PLANNING CODE

ALL CONSTRUCTION, REGARDLESS OF DETAILS SHOWN ON THE PLANS, SHALL COMPLY WITH THE FOLLOWING APPLICABLE BUILDING CODES:

2025 California Building Code (CBC)
2025 California Electrical Code (CEC)
2025 California Mechanical Code (CMC)
2025 California Plumbing Code(CPC)
2025 California Fire Code (CFC)
2025 Green Building Standards
2025 California Energy Code
2025 California Residential Code (CRC)
County of Marin Local Codes

"ALTHOUGH OUR PLAN REVIEW IS COMPREHENSIVE AND INTENDED TO BE COMPLETE, NON-COMPLIANT ELEMENTS AND CONDITIONS MAY OCCASIONALLY BE OVERLOOKED, OR SOME ELEMENTS MAY LACK CLARITY, OR AN ELEMENTS MAY BE MISREPRESENTED ON THE SUBMITTED PLANS. PLEASE BE AWARE NON-COMPLIANT ELEMENTS AND CONDITIONS NOT ADDRESSED IN PLAN REVIEW ARE SUBJECT TO FIELD REVIEW, AND COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS WILL BE REQUIRED."

PROJECT DESCRIPTION

The entire back garden will be updated. A new pool will be added at the bottom of the lot. The patio off the garage and house will be permeable stone with a new custom outdoor kitchen counter. The ex deck off the upper level of the house will be raised to be one level and a new curving stair case will be added. New site walls will be added to the upper side of the lot to support the hill. A vegetable garden will be added on a redefined terrace that was concrete will now be crushed rock. The lower level will have a fire pit. The existing lawn will be redefined to fit the project's program. The steep driveway will be redefined to provide more space to maneuver. Existing trees will remain or be relocated and additional planting will fill in all other places.

DATA TABLE

PROPOSED AREA OF DISTURBANCE:	~8745 SQFT
EX IMPERVIOUS SURFACE:	4488 SQFT
EX PERVIOUS SURFACE:	8574 SQFT
NEW IMPERVIOUS SURFACE:	872 SQFT
NEW PERVIOUS SURFACE:	1129 SQFT
CUT:	95 CBYD
FILL:	83 CBYD
OFF HAUL:	8 CBYD

EXISTING IMPERVIOUS:

HOUSE:	1531 SQFT
GARAGE:	290 SQFT
DRIVEWAY:	930 SQFT
PATIO/PATHS:	1737 SQFT
TOTAL:	4488 SQFT

PROPOSED IMPERVIOUS:

HOUSE:	1531 SQFT
GARAGE:	290 SQFT
DRIVEWAY:	285 SQFT
PATIO/PATHS:	1253 SQFT
POOL:	872 SQFT
TOTAL:	4231 SQFT

DIFFERENCE: -257 SQFT

PROJECT TEAM

IMPRINTS LANDSCAPE ARCHITECTURE - CONTACT: BRAD
EIGSTI - 202 Rosemont Ave, Mill Valley, CA 94941 - (415) 380-0755
- brad@imprintsgardens.com

SHEET INDEX

L0.0 - COVER SHEET

L0.1 - SITE SURVEY

L1.1 - DEMOLITION PLAN/EXISTING CONDITIONS

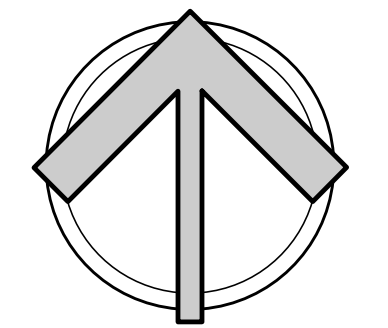
L1.2 - CONSTRUCTION/STORMWATER MANAGEMENT PLAN

L2.1 - CONSTRUCTION PLAN

L4.1 - IRRIGATION PLANS

L5.1 - VMP/PLANTING PLAN

L6.1 - SITE DETAILS

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PLOT DATE	06/19/26
DRAWN	JS
TITLE	SHERMAN
SCALE	

COVER
SHEET

ET

-0.0



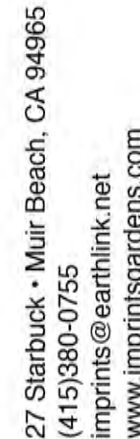
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imprints@earthlink.net
www.imprintsgardens.com

**SHERMAN
RESIDENCE**

PROSPECT AVE.
ROSS, CA 94957

AP #: 072-152-01

C:\Fathers LS FILES\JOBS\25-130 - 186 Prospect Ave, Ross - Boundary and Topo\DWG\BASES\25-130 - MASTER.dwg### --10/20/2025 4:18 PM



188 PROSPECT AVE.
ROSS, CA 94957
AP #: 072-152-01



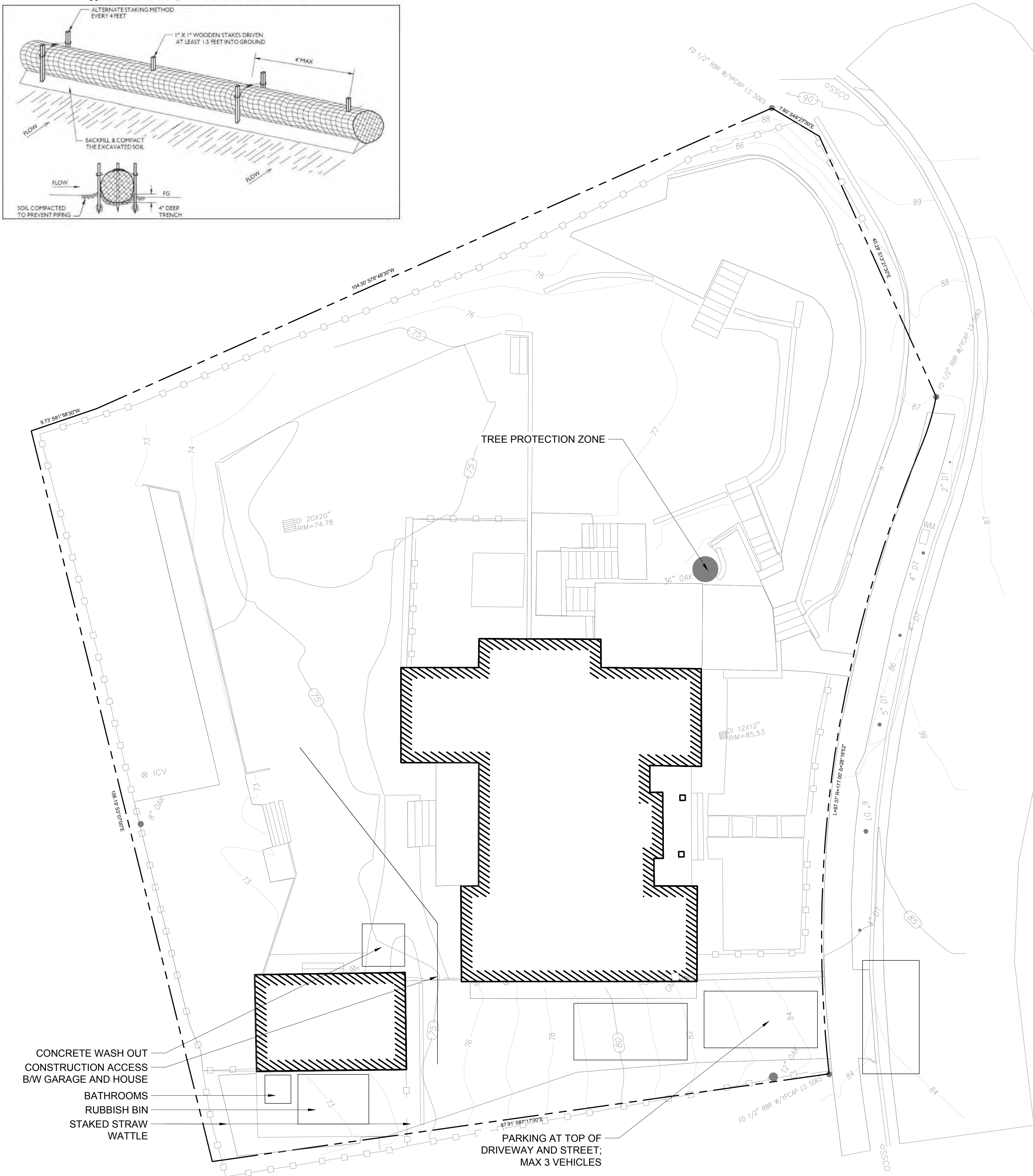
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PLOT DATE	06/19/26
DRAWN	JS
TITLE	SHERMAN
SCALE	1/8" = 1'

SHFF

L1.1





Erosion Controls		Sediment Controls	Good Housekeeping
NS Scheduling	6. Tracking Controls	10. Concrete Washout	
1. Preserve Vegetation & Creek Set Backs	7. Fiber Rolls	11. Stockpile Management	
2. Soil Cover	8. Silt Fence	12. Hazardous Material Management	
3. Soil Preparation/ Roughening	9. Drain Inlet Protection	13. Sanitary Waste Management	
4. Erosion Control Blankets	NS Trench Dewatering	14. Equipment and Vehicle Maintenance	
5. Revegetation		15. Litter and Waste Management	

Note: Select an effective combination of control measures from each category. Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. **Inspect and maintain the control measures before and after rain events.**

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factheets are available by subscription in the California Best Management Practices Handbook Portal; Construction at <http://www.casqa.org>. Caltrans factheets are available on the Caltrans website under the "Construction" link at <http://www.caltrans.ca.gov>.

Visit www.mostools.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above.

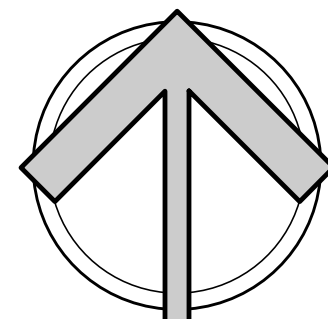
1. ALL CONSTRUCTION VEHICLES MUST BE PARKED ON SITE. NO STREET PARKING WITHOUT NOTIFYING THE TOWN OF ROSS AND NEIGHBORS
2. IF STREET CLOSURES ARE NECESSARY, NOTIFY THE TOWN. STREET CAN NOT BE BLOCKED OFF UNTIL APPROVED TO DO SO.
3. DELIVERIES CAN ONLY TAKE PLACE DURING WORKING HOURS. ANY MATERIALS DELEIVERED MUST BE STORED ON SITE.

1. INDIVIDUAL TREES AND SHRUBS WHICH ARE TO REMAIN ARE TO BE PROTECTED WITH THE PLACEMENT OF PROTECTIVE PLASTIC MESH FENCE MATERIAL AT LEAST 36" IN HEIGHT.
2. PROTECTIVE FENCING TO FOLLOW THE DRIP LINE OF THE TREE AND BE FIRMLY ANCHORED TO THE GROUND AT ADEQUATE DISTANCE TO PROTECT THE TREE.
3. NO MATERIAL SHALL BE STOCKPILED: NO EQUIPMENT PARKED, REPAIRED, OR REFUELED; AND NO OIL, GASOLINE, PAINT, OR OTHER CONTAMINANTS DUMPED OR STORED WITHIN 25 FEET OF THE DRIP-LINE OF TREES AND SHRUBS THAT ARE REMAIN.
4. SEE FULL ARBORIST REPORT. USE L4.1 FOR CROSS REFERENCE OF TREES TO BE REMOVED.



27 Starbuck • Muir Beach, CA 94965
(415)380-0755
imprints@earthlink.net
www.imprintsgardens.com

**SHERMAN
RESIDENCE**
186 PROSPECT AVE.
ROSS, CA 94957
AP #: 072-152-01

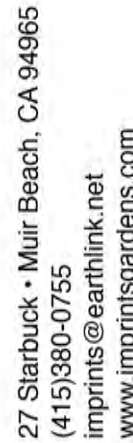
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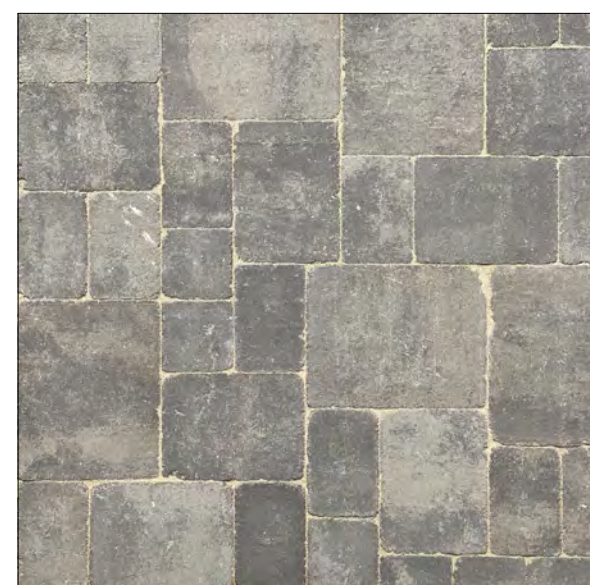
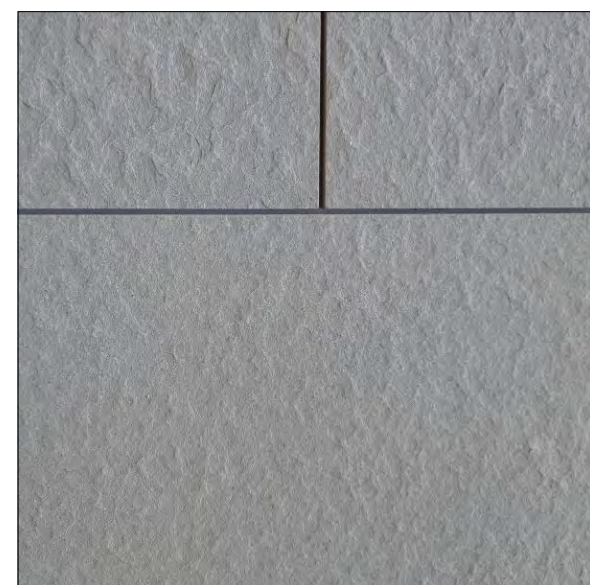
CONSTRUCTION MANAGEMENT PLAN

SHEE

L1.2

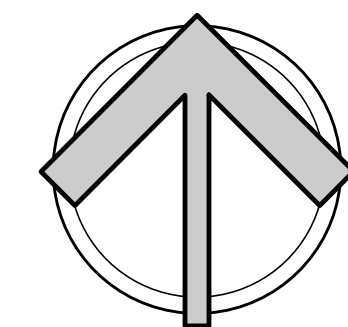
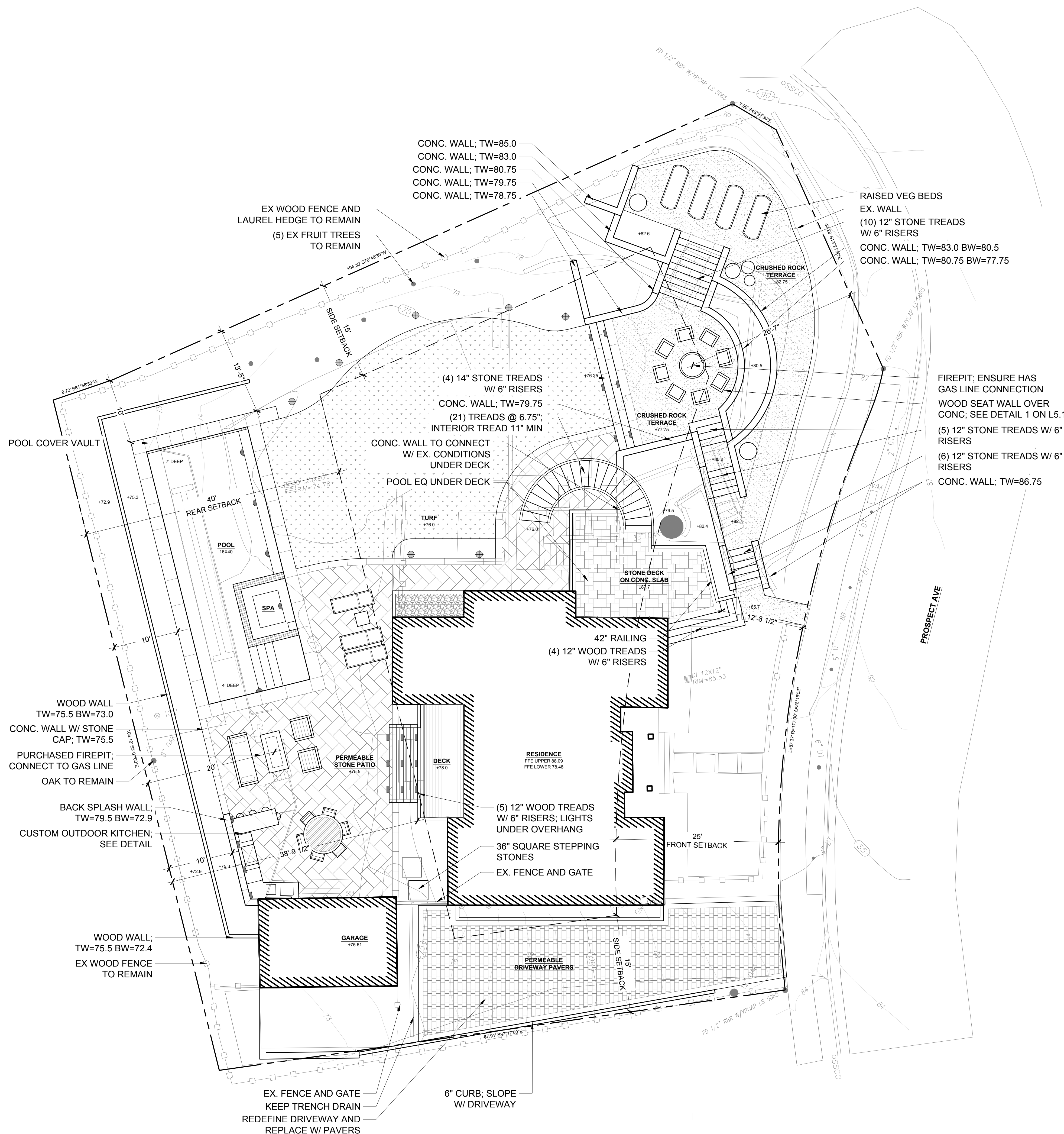
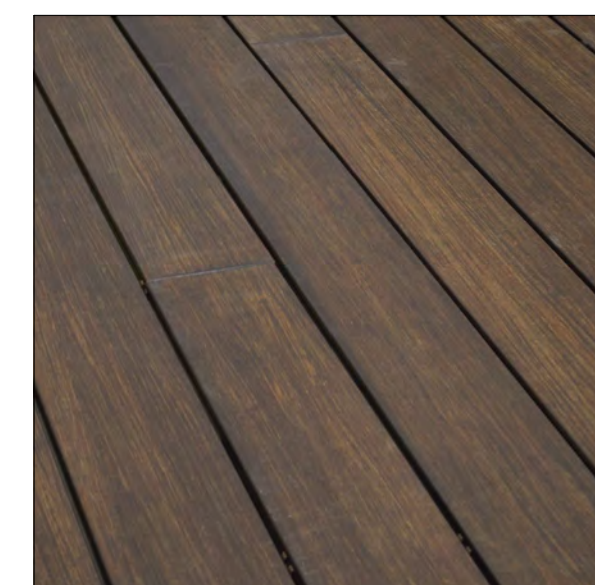


ROSS, CA 94957
AP #: 072-152-01



MATERIAL SAMPLE BOARD

3/8" SIERRA TAN CRUSHED ROCK
 FIELDTURF ULTIMATE NATURAL TURF
 ITALIAN BLUESTONE LIGHT THERMAL
 TRADITIONAL RANGE GRAY SLATE LEDGE STONE
 HORIZONTAL BOARD FORM CONCRETE
 MCNEAR SLATE BACKSIDE PAVERS
 MOSO THERMAL DECKING (BAMBOO)

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PLOT DATE	06/19/26
DRAWN	JS
TITLE	SHERMAN
SCALE	1/8" = 1'

LANDSCAPE
CONSTRUCTION
PLANS

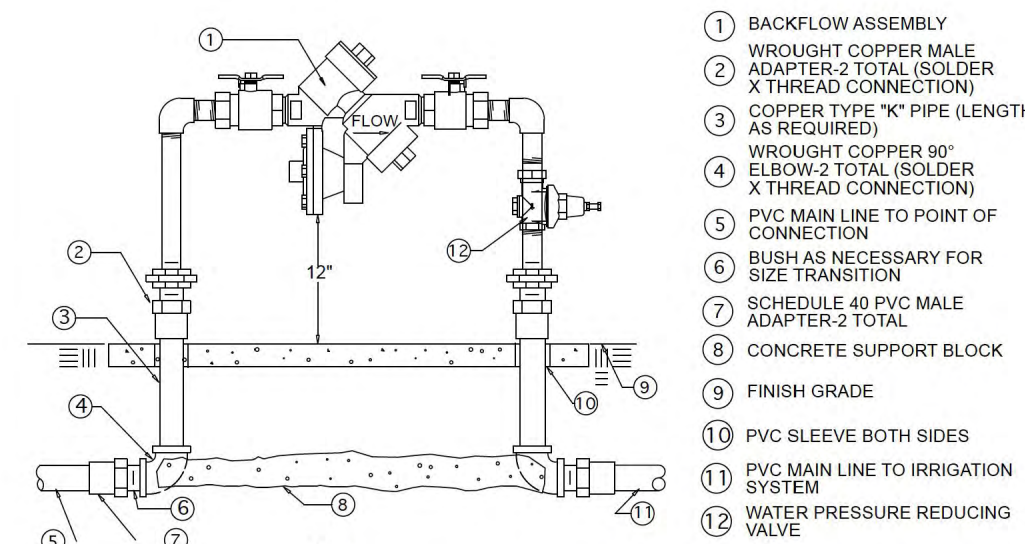
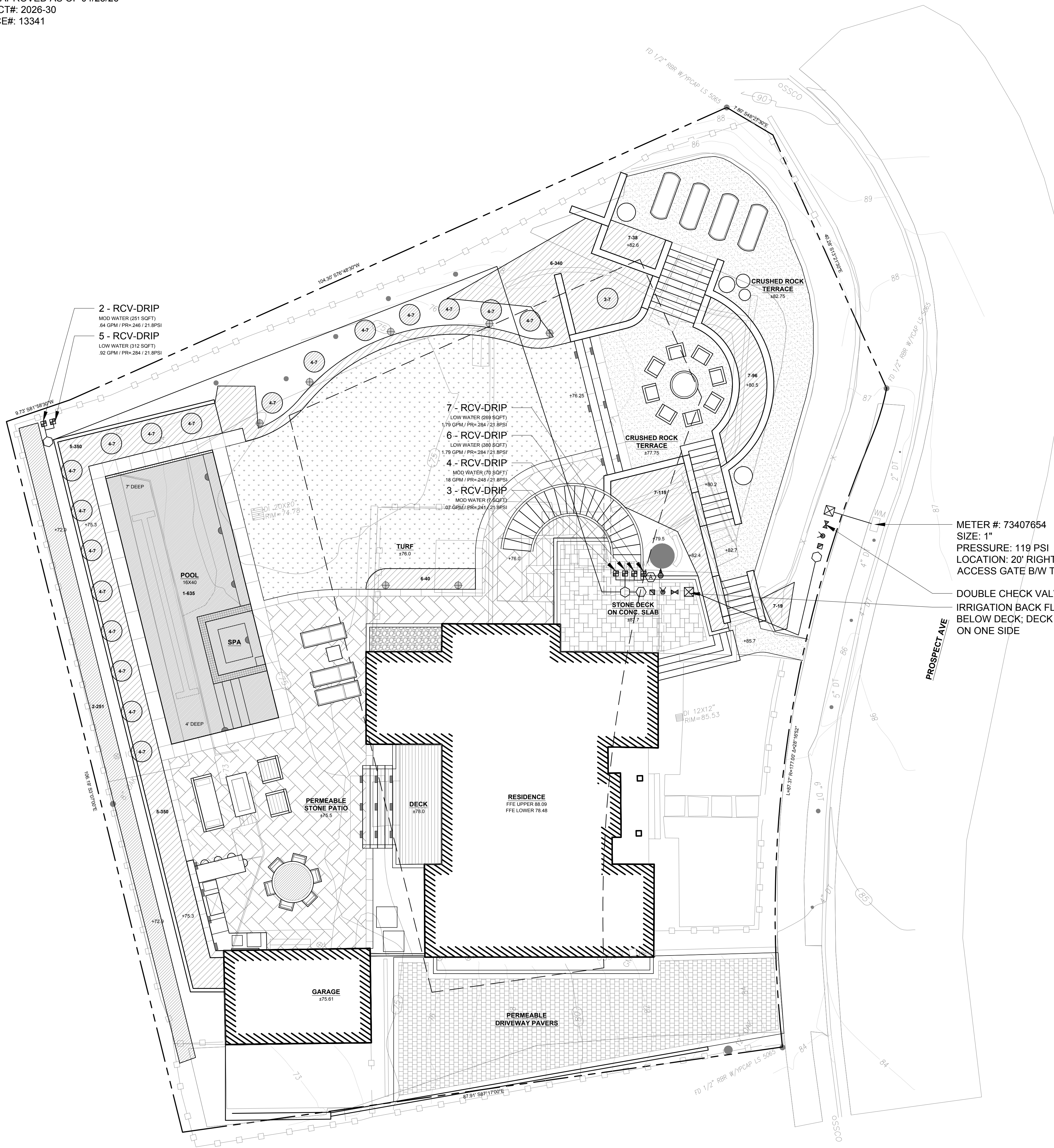
SHEET

L2.1

LIGHTING LEGEND

SYMB	MANUF.	DESCRIPTION (MODEL#)	Q
	FX LUMINAIRE	PATH LIGHT / CALEDTA - FB + G - 1LED - 12RA - FB	7
	FX LUMINAIRE	STEP LIGHT / LF - 1LED - W - FB	19

NOTE:
MMWD APPROVED AS OF 04/23/26
PROJECT#: 2026-30
SERVICE#: 13341

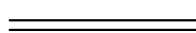
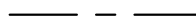


BACKFLOW PREVENTION ASSEMBLY

NOT TO SCALE

MARIN WATER WATER BUDGET & WATER USE CALCULATOR							
Zip Code:	94957						
Date:	3/2/26						
Project Name:	Sherman						
Project Address:	186 Prospect Ave						
Project Contact:	Joshua Schottstaedt						
Project Contact Email:	josh@imprntingardens.com						
Maximum Applied Water Allowance (MAWA)	Project Type	Eto	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (CCF/yr)	
	Residential	40.03	0.55	-	2.018	37	
Estimated Total Water Use (ETWU)			ETo	(SF * PF) / IE	SLA	ETWU (CCF/yr)	
			40.6	1.115	-	37	
Difference between MAWA and ETWU -							
ETWU Calculation (Regular landscape areas)	Zone #	Description	Irrigation Type	Hydrozone Area (SF)	Plant Water Use Classification	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Pool	Water Feature or Pool	635	High	1.00	508
	2	Hedge	Drip	251	Moderate	0.81	155
	3	Trees	Drip	7	Moderate	0.81	4
	4	Roses	Drip	126	Moderate	0.81	78
	5	Pool Border	Drip	350	Low	0.81	130
	6	Lawn Border	Drip	380	Low	0.81	141
	7	Hillside Terraces	Drip	269	Low	0.81	100
Landscape area (not including SLA)				2,018			1,115
ETWU Calculation Special Landscape Areas (SLA)	Description		Hydrozone Area (SF)	Plant Factor / Irrigation Efficiency (PF/IE)		(SF * PF) / IE	
	Edible planting area			1.0		-	
	Multi-use and sports field turf area			1.0		-	
	Area irrigated with recycled water			1.0		-	
	Total SLA		0			0	
Total Landscape Area (including SLA) from ETWU Calculation				2,018			
Water Use Table	ETWU	Gallons:	27,678	Units:	37	AF:	0.08
Billing Period	Jan/Feb	Mar/Apr	May/Jun	Jul/Aug	Sep/Oct	Nov/Dec	
Baseline (CCF)	2	4	9	12	6	4	
1 CCF (hundred cubic feet) = 748.05 gallons; 1 AF (acre foot) = 435.6 CCF							

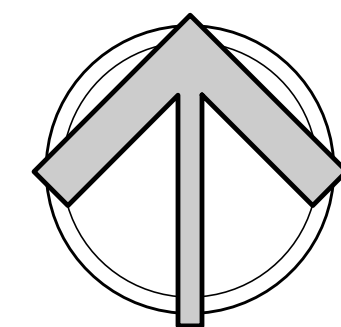
IRRIGATION LEGEND

<u>SYMBOL</u>	<u>IRRIGATION COMPONENT</u>
	POINT OF CONNECTION
	DATA INDUSTRIAL FLOW METER AND BASELINE FLOW SENSOR
	BACK FLOW PREVENTION - SEE DETAIL - "SHEET L3.1" (1-1/2" WILKINS MODEL 975XL2 REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER) - INSTALL WEATHERGUARD BACKFLOW PILLOW ENCLOSURE AND (OPTIONAL) BACKFLOW PROTECTION ENCLOSURE UTC-1 (LIFT-OFF)
	1" WILKINS MODEL 500XL WATER PRESSURE REDUCING VALVE W/INTEGRAL BY-PASS CHECK VALVE
	1" ISOLATION VALVE (WATTS 1" BRASS)
	REMOTE CONTROL VALVE HUNTER ICV W/WATTS 1" ISOLATION VALVE
	RAIN CHECK / SHUTOFF DEVICE (IF NEEDED) (HUNTER RAINCLICK - INSTALL @ EDGE OF ROOF)
	HUNTER X2 14 STATION CONTROLLER
	4" SCHEDULE 40 PVC SLEEVE
	2" SCH 40 PVC MAINLINE - 18" MIN. COVER

SOILS AND MULCH:
A MINIMUM OF 8 INCHES OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8 INCHES AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.
A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, AND DIRECT SEEDING APPLICATIONS.



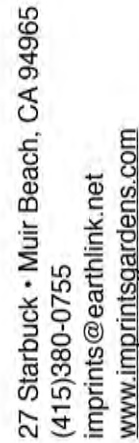
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RESIDENCE**
186 PROSPECT AVE.
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AP #: 072-152-01

[illegible]

IRRIGATION PLAN

SHEE

L4.1



ROSS, CA 94957
AP #: 072-152-01

TREES		COMMON NAME	SIZE	Q	HT. / WIDTH	NOTE
ABBR	BOTANIC NAME					
LN	LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPE MYRTLE	2 1/2'	1	20' X 20'	D
SHRUB / PERENNIALS / GRASSES / FERNS		COMMON NAME	SIZE	Q	HT. / WIDTH	NOTE
ABBR	BOTANIC NAME					
L--	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 G	.	3' X 3'	E W F
MC	MYRTUS COMMUNIS COMPACTA	DWARF MYRTLE	1 G	50	3' X 3'	E W F
OL	OLEA 'LITTLE OLEA'	DWARF OLIVE	5 G		5' X 5'	E W F
PM	PITTOSPORUM 'MARJORIE CHANNON'	VARIEGATED PITTOSPORUM	15 G	7	10' X 6'	E W F
PL	PRUNUS LAUROCERASUS	ENGLISH LAUREL	15 G	10	8' X 4'	E F
RS	ROSA 'ICEBERG' STANDARD	WHITE ROSE	5 G	18	3' X 3'	E F
SA	SESULARIA AUTUMNALIS	AUTUMN MOOR GRASS	1 G	14	2' X 2'	E N W

E = EVERGREEN
D = DECIDUOUS
N = CALIFORNIA NATIVE

ALL PLANTS ARE TO BE WATERED USING DRIP IRRIGATION METHODS

REQUIREMENTS AND PRESCRIPTIONS PER ZONE

The following information will help identify prescriptive measures in each of the Home Ignition Zones. The VMP shall identify compliance with the requirements for each zone. Check with your local fire department or district for any additional defensible space or weed abatement requirements. FIRESafe MARIN and the NFPA Firewise USA Program are great resources for additional design information.

The Immediate Zone extends 0-5' from your house. ZONE 0 is the area closest to your house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable, and should be most aggressively maintained for fire resistance.

- Remove any combustible outdoor furniture.
 - Replace jute or fiber door mats with fire resistant materials.
 - Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
 - Clean all fallen leaves and needles regularly. Repeat often during fire season.
 - No vegetation is recommended within 5' of structures.
 - Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5' of structures.
 - Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30' away from structures.
 - Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.
- Intermediate Zone (ZONE 1): 5'-30'**
- The Intermediate Zone from 5' to 30' out from buildings, structures, decks, etc. Keep ZONE 1 "Lean, Clean, and Green" and employ careful landscaping to create breaks that can help influence and decrease fire behavior.
- Remove all dead plants, grass, and weeds (vegetation).
 - Trim trees regularly to keep leaves and pine needles from your yard, roof and rain gutters.
 - Trim trees regularly to keep branches a minimum of 10 feet from other trees.
 - Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
 - Remove vegetation and items that could catch fire from around and under decks.
 - Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly.
 - Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder".
 - Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

The extended zone from 30' to 100' (or more, if required due to steep slopes, nearby vegetation conditions, and/or your local fire department). The goal here is not to eliminate fire but to interrupt fire's path and keep flames smaller and on the ground. This zone should include at a minimum:

- Cut or mow annual grass down to a maximum height of 4 inches.
 - Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees.
 - Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches if erosion control is an issue.
- Access Zone (ZONE 3): 0'-10'
- Extends 10 feet horizontally from the edge on either side of the road or driveway.
- All plants in this zone shall be fire resistant and shall not extend within 14 foot vertical.
 - Clearance above the surface of the roadway or driveway, as required for emergency access.
 - All landscape shall meet the requirements for separation as stated in the Zone 2 above.

- All fire prone fuels and dead material will be removed within 100' of the home.
- Remove branches beneath large trees for a 6-foot minimum clearance.
- Needles and leaves and other combustible debris and litter shall be removed from roofs and gutter at minimum twice yearly.

- All weeds and grasses shall be cut regularly to a height of 4" or less.
- Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed as not to overhang roadways and provide 15' of clearance vertically.
- All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
- Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
- No native grasses shall be planted within Home ignition zones 1 and 2.
- All planted areas inside Home ignition zones 1 and 2 shall be irrigated.
- All plantings shall be selected in coordination with the FIREsafe MARIN planting list located at <https://firesafemarin.org/create-a-fire-smart-yard/plants/>. Other fire-resistant plants can be utilized with prior approval of the Fire Code Official.
- Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy. Fire Safe MARIN Spacing Guidelines.
- Defensible space shall be maintained for the life of the property in accordance with the approved Vegetation Management Plan and shall be amended as changes occur based on local findings and/or state requirements. Any changes, additions, and/or modifications to the existing approved Vegetation Management Plan shall require resubmission and approval by the AHJ.



DATE	Δ	DESCRIPTION	BY
05.06.26	Δ	PLANNING SUB.	JS
06.19.26	Δ_1	PLANNING SUB.	JS

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PLOT DATE	06/19/26
DRAWN	JS
TITLE	SHERMAN
SCALE	1/8" = 1'

VMP/
PLANTING PLAN

SHEE

L5.1



April 23, 2026

Michael & Stacey Sherman c/o Joshua Schottstaedt
186 Prospect Ave
San Anselmo, CA, 94957

Re: Sherman, San Anselmo

Project #: 2026-30; APN: 072-152-01; Service #: 13341

WATER CONSERVATION ORDINANCE 430

Landscape Plan Compliance Letter

The landscape plans submitted to Marin Water for Ordinance 430 review have passed. It is the landscape architect's or the owner's agent's responsibility to ensure that the installing contractor is supplied with a copy of Marin Water's stamped and approved landscape plans prior to installation.

Upon completion of the project the landscape architect or agent must submit the required Certificate of Completion form and irrigation audit results to the Water Conservation Department. A final inspection will then be scheduled to verify field compliance with the ordinance. A copy of the stamped landscape plans must be onsite during construction.

Any changes to the stamped approved landscape plans must be approved by Marin Water prior to installation.

If you have questions, please call (415) 945-1497.

A handwritten signature in blue ink, appearing to read "S. Hoy", is positioned above the printed name of the signatory.

Shayn Hoy
Water Efficiency Specialist II
T: (415) 945-1138

cc: Joseph Eischens, Marin Water
Nole Studley, Marin Water

Water use for SV-13341: 0.08 AF

Maximum flow rate: 50 GPM

Project Datasheet

District use only

Project Number: _____

Water Entitlement: _____

Please provide the following information:

Project Name: _____

Assessor Parcel Number(s): _____

Site Address: _____

Meter Numbers (if existing, as found on the meter cap):

Owner Information

Name: _____

Business Name: _____

Mailing Address: _____

Email: _____

Phone Number: _____

Landscape Architect or Agent

Name: _____

Business Name: _____

Mailing Address: _____

Email: _____

Phone Number: _____

Project Description

Maximum operational flow requirement (gallons per minute): _____

Will there be any plantings in previously unplanted areas? ☐ YES ☐ NO

Pre-installation Landscape Checklist

All items on this checklist are required in order to be in compliance with the Water Conservation Code. Please complete the checklist and return it with your landscape plans.

Engineering

- ☐ A meter can provide water only to the specific parcel with which it is associated. One meter cannot irrigate multiple parcels.
- ☐ All irrigation plans must identify property to be served by parcel number and address.
- ☐ Irrigation plan must include the location of all irrigation equipment for the purpose of identifying possible conflicts with district water lines and facilities.
- ☐ All irrigation plans must show parcel lines and street names.
- ☐ Call out on the irrigation plan the existing water meter location and meter number that will serve the area, or indicate “new meter” if appropriate.
- ☐ Please complete the following Meter Location Table:

Meters (enter “NEW” or enter the existing meter number, if existing)	Location (ex. Along Main Street, 5 feet right of mailbox)	Sheet No. (ex. L.1.2)

- ☐ For new meters, select the appropriate size of the meter in accordance with the district’s specifications (meter size based on maximum flow of the irrigation system):

Meter Size (inches)	Maximum Flow Allowed (GPM)
$\frac{5}{8} \times \frac{3}{4}$	20
$\frac{3}{4}$	30
1	50
1 $\frac{1}{2}$	100
2	160

For questions concerning these requirements, please call 415-945-1531.

Backflow Prevention

All irrigation systems shall have backflow protection installed as follows:

- ☐ An irrigation system having a dedicated water service shall have a reduced pressure principle assembly equal in size to the meter, installed at the water meter per [MMWD backflow installation standards](#).
- ☐ Irrigation systems whose point-of-connection is from a consumer's domestic water service line, shall properly install atmospheric vacuum breaker(s), a pressure vacuum breaker or a reduced pressure principal backflow prevention device or assembly. This backflow protection must be installed at the point of connection to the domestic service line. All backflow preventers must be installed as required by the California Plumbing Code. Testable backflow preventers must be tested after installation and the report submitted to the Cross-Connection Control (Backflow and Reclamation) Group within seven days of testing.
- ☐ There shall be no valves, meters, connections or other items except a pressure reducing valve installed between the point of connection and the backflow preventer.
- ☐ The backflow preventer shall be no more than three (3) feet from the irrigation point of connection.
- ☐ Installation of backflow protection shall conform to the district's standard installation criteria.
- ☐ Irrigation plan must list the type, manufacturer, model and size of backflow to be used, the location where the backflow is to be installed, and an installation detail.
- ☐ Freeze and/or vandalism protection shall be by means of a manufactured enclosure or blanket.

For questions regarding Backflow Prevention, please call 415-945-1559.

Recycled Water

- ☐ The district will determine if recycled water is required. Any project fronting a recycled water main shall be designed to accommodate recycled water. Currently recycled water mains are located in the greater Terra Linda and Marinwood areas of northern San Rafael.
- ☐ Projects located in other areas of the district will be evaluated on a case-by-case basis for the future availability of recycled water.
- ☐ Refer to the recycled water information sheet and the recycled water irrigation notes.

For questions regarding recycled water availability and/or design requirements, please call 415-945-1558.

Water Features

- ☐ Recirculating water systems shall be used for water features.
- ☐ Recycled water shall be used when available and approved for use onsite.
- ☐ Surface area of a water feature shall be included in a high water use hydrozone area of the water budget calculation.

Water Conservation

- ☐ Fill out the project datasheet.
- ☐ Complete Maximum Applied Water Allowance (MAWA) & Estimated Total Water Use (ETWU) [worksheet](#) for each MMWD meter. The ETWU shall not exceed the MAWA.

Submit a [grading plan](#). The grading design will minimize soil erosion, runoff, and water waste. The grading plan must clearly and accurately identify:

- ☐ Height of finished graded slopes, drainage patterns, pad elevations, and finished grade.

It is highly recommended that, when site conditions allow, project applicants consider grading so that all irrigation and normal rainfall remains within the property lines and does not drain on to non-permeable hardscape.

Submit a [landscape planting plan](#) that complies with the following:

General:

- ☐ Identify and depict: new and existing trees, shrubs, groundcovers, turf and any other planting areas; property lines, new and existing building footprints, streets, driveways, sidewalks and other hardscape features; pools, fountains, and other water features.

Plant Selection and Hydrozoning:

- ☐ Provide a list of plants by botanical name and common name, plant quantities and mature plant sizes.
- ☐ Provide hydrozone and summary tables identifying project landscape areas (page 9).
- ☐ Plants with similar water use needs (see [WUCOLS](#)) shall be grouped together in distinct hydrozones and the distinct hydrozones shall be irrigated with separate valves.
- ☐ Low and moderate water use plants can be mixed, but the entire hydrozone will be classified as moderate water use for MAWA calculations.
- ☐ High water use plants shall not be mixed with low or moderate water use plants.
- ☐ All non-turf plants shall be selected, spaced, and planted appropriately based upon their adaptability to the climatic, geologic, and topographical conditions of the project site.
- ☐ Invasive plants as listed by the [MMWD invasive plant list](#) are prohibited.

Turf:

- ☐ Turf shall not be planted on sloped areas which exceed a slope of one (1) foot vertical elevation change for every ten (10) feet of horizontal length.
- ☐ Turf is prohibited in areas less than ten (10) feet wide, unless adjacent to a parking strip and used to enter and exit vehicles.
- ☐ Turf and other high water use plants shall not be allowed in the following conditions: street medians, traffic islands, planter strips, and bulbouts of any size.

Soils and Mulch:

- ☐ A minimum of 8 inches of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
- ☐ Incorporate compost or natural fertilizer into the soil to a minimum depth of 8 inches at a minimum rate of 6 cubic yards per 1000 square feet or per specific amendment recommendations from a soils laboratory report.
- ☐ A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, and direct seeding applications.

Other:

- ☐ Fire Safe Landscape Practices. The requirements in this chapter are intended to support and be in compliance with all local and state requirements related to Fire Safe Landscaping practices, including, but not limited to, requirements for [Wildlife Urban Interface](#) zones as specified by local authority (see [map](#)).
- ☐ Identify location and installation details of any applicable stormwater best management practices that encourage on-site retention and infiltration of stormwater. Appropriate stormwater best management practices are encouraged in the landscape design.

Submit an *irrigation design plan* that complies with the following:

General:

- ☐ Identify and depict property lines, new and existing building footprints, streets, driveways, sidewalks and other hardscape features.
- ☐ Clearly identify and depict the location of all irrigation equipment for the purpose of identifying possible conflicts with district water lines and facilities including pipes, irrigation valves and backflow prevention devices.
- ☐ Provide a water use table on the irrigation plan (see the MAWA/ETWU [worksheet](#)).

Point of Connection and Valves:

- ☐ Identify and depict the water meter serving the irrigation system and label as “New” or with the existing meter number and identify and depict the irrigation point of connection.
- ☐ High-flow sensor(s) that can detect high-flow conditions and have the capability to shut off the irrigation system are required for all landscapes of 5000 square feet or larger.
- ☐ Isolation valves shall be installed at the point-of-connection and before each valve or valve manifold.
- ☐ Designate the area irrigated by each valve and provide the station number, flow rate, precipitation rate, and design operating pressure for each station.

Hydrozoning:

- ☐ Each valve shall irrigate a hydrozone with similar site, slope, sun exposure and soil condition.
- ☐ A single valve shall not irrigate hydrozones that mix high water use plants with moderate or low water use plants.
- ☐ Trees shall be placed on separate irrigation valves except when planted in turf areas.

Water Use Efficiency and System Performance:

- ☐ High-efficiency controllers, weather-based or other sensor-based self-adjusting irrigation controllers shall be required.
- ☐ Rain sensors shall be installed for each irrigation controller.
- ☐ Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produce no runoff or overspray.
- ☐ Point source irrigation is required in mulched planting areas or where plant height at maturity will affect the uniformity of an overhead system.
- ☐ Sprinkler heads, rotors and other emission devices on a valve shall have matched precipitation rates.
- ☐ Head-to-head coverage is required unless otherwise directed by the manufacturer's specifications.
- ☐ Wherever overhead irrigation is located directly adjacent to hardscape areas, where runoff water flows into the curb and gutter, all spray heads shall be setback a minimum of 24" from hardscape edges.
- ☐ Slopes greater than 15% shall not be irrigated with an irrigation system with a precipitation rate exceeding 0.75 inches per hour (or lower if appropriate for site conditions as determined by the district).
- ☐ Check valves shall be installed to prevent low-head drainage.
- ☐ Swing joints or other pipe protection components are required on above-ground irrigation piping.
- ☐ Pressure regulation and/or booster pumps shall be installed so that all components of the irrigation system operate at the manufacturer's recommended optimal pressure.
- ☐ Irrigation system shall be designed to prevent runoff or overspray onto non-targeted areas.

Dedicated Irrigation Meter and Sub-meter:

The following projects shall have either a district landscape water service meter or a private sub-meter. Check only one that applies, if applicable:

- ☐ A district landscape water service meter is required for all new landscapes, other than single –family and two-unit residential landscapes, for which the irrigated area is equal to or greater than 1,000 square feet.
- ☐ A private sub-meter shall be required for all rehabilitated landscapes equal to or greater than 2,500 square feet.

Other:

- ☐ Identify any applicable rain harvesting, graywater, or catchment technologies (e.g. rain gardens, cisterns, etc.). Applicants are encouraged to employ alternative irrigation techniques as appropriate and where permitted by law.

Certificate of Completion

This certificate is filled out by the project applicant, landscape architect and landscape contractor upon completion of the landscape project.

Part 1. Project Information Sheet

Date:	MMWD Project Number:	
Project Name:	Project Address:	
Name of Project Applicant:	Telephone No.:	
	Fax No.:	
Title:	Email Address:	
Company:	Street Address:	
City:	State:	ZIP Code:

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature

Date

Part 2. Landscape Architect and Landscape Contractor/Installer

Landscape Architect Name:	Telephone No.:	
	Fax No:	
Title:	Email Address:	
License No. or Certification No.:	Street Address:	
Company:	City:	
	State:	ZIP Code:

Landscape Contractor Name:	Telephone No.:	
	Fax No:	
Title:	Email Address:	
License No. or Certification No.:	Street Address:	
Company:	City:	
	State:	ZIP Code:

"I/we certify that the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform to the criteria and specifications of the approved Landscape Documentation Package. Additionally, a landscape audit and irrigation maintenance schedule have been completed and are attached to this certificate showing that the system meets the efficiency requirements used in the Maximum Applied Water Allowance calculation".

Landscape Architect Signature

Date

Landscape Contractor Signature

Date

Irrigation Audit Report

This audit is required by Title 13 of the district code and shall be turned in with the *Certificate of Completion* form. The irrigation audit must document the following:

- 1) Operating pressure of the irrigation system.
- 2) Distribution uniformity of overhead irrigation stations.
- 3) Precipitation rate of overhead irrigation stations.
- 4) Report of any overspray or broken irrigation equipment.
- 5) Irrigation schedule including:
 - A) Plant establishment irrigation schedule.
 - B) Regular irrigation schedule by month including: plant type, root depth, soil type, slope factor, shade factor, irrigation interval (days per week), irrigation runtimes, number of start times per irrigation day, gallons per minute for each valve, precipitation rate, distribution uniformity and monthly estimated water use calculations.
 - C) An irrigation maintenance schedule that includes: Routine inspections, adjustment and repairs to the irrigation system, aerating and dethatching turf areas, replenishing mulch, fertilizing, pruning and weeding.



SCALE: 1/16" = 1'

ALL CONSTRUCTION, REGARDLESS OF DETAILS SHOWN ON THE PLANS, SHALL COMPLY WITH THE FOLLOWING:

APPLICABLE BUILDING CODES:
 2025 California Building Code (CBC)
 2025 California Electrical Code (CEC)
 2025 California Mechanical Code (CMC)
 2025 California Plumbing code(CPC)
 2025 California Fire Code (CFC)
 2025 Green Building Standards
 2025 California Energy Code
 2025 California residential Code (CRC)
 County of Marin Local Codes

"ALTHOUGH OUR PLAN REVIEW IS COMPREHENSIVE AND INTENDED TO BE COMPLETE, NON-COMPLIANT ELEMENTS AND CONDITIONS MAY OCCASIONALLY BE OVERLOOKED, OR SOME ELEMENTS MAY LACK CLARITY, OR AN ELEMENTS MAY BE MISREPRESENTED ON THE SUBMITTED PLANS. PLEASE BE AWARE NON-COMPLIANT ELEMENTS AND CONDITIONS NOT ADDRESSED IN PLAN REVIEW ARE SUBJECT TO FIELD REVIEW, AND COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS WILL BE REQUIRED."

The entire back garden will be updated. A new pool will be added at the bottom of the lot. The patio off the garage and house will be permeable stone with a new custom fireplace/outdoor kitchen counter. The ex deck off the upper level of the house will be raised to be one level and a new spiral stair case will be added. New site walls will be added to the upper side of the lot to support the hill. A vegetable garden will be added on a redefined terrace that was concrete will now be crushed rock. The lower level will have a fire pit. The existing lawn will be redefined to fit the project's program. The steep driveway will be redefined to provide more space to maneuver. Existing trees will remain or be relocated and additional planting will fill in all other places.

PROPOSED AREA OF DISTURBANCE:	~8745 SQFT
EX IMPERVIOUS SURFACE:	4488 SQFT
EX PERVIOUS SURFACE:	8574 SQFT
NEW IMPERVIOUS SURFACE:	872 SQFT
NEW PERVIOUS SURFACE:	1129 SQFT
CUT:	95 CBYD
FILL:	83 CBYD
OFF HAUL:	8 CBYD

IMPRINTS LANDSCAPE ARCHITECTURE - CONTACT: BRAD
EIGSTI - 202 Rosemont Ave, Mill Valley, CA 94941 - (415) 380-0755
- brad@imprintsgardens.com

- L0.0 - COVER SHEET
- L0.1 - SITE SURVEY
- L1.1 - DEMOLITION PLAN/EXISTING CONDITIONS
- L1.2 - CONSTRUCTION MANAGEMENT PLAN
- L2.1 - CONSTRUCTION PLAN
- L4.1 - IRRIGATION PLANS
- L5.1 - VMP/PLANTING PLAN
- L6.1 - SITE DETAILS

COVER SHEETSHEE²

L0.0



S:\Fathers LS FILES\JOBS\2025\25-130 - 186 Prospect Ave, Ross - Boundary and Topo\DWG\BASES\25-130 - MASTER.dwg### --10/20/2025 4:18 PM

DATE OF FIELD SURVEY:

OCTOBER 8, 2025

ABBREVIATIONS:

AC	ASPHALTIC CONCRETE
APN	TAX ASSESSOR'S PARCEL
BSW	BACK OF SIDEWALK
CIP	CAST IRON PIPE
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DK	DECK
ECON	EDGE OF CONCRETE
FD	FOUND BOUNDARY MONUMENT
FF	FINISHED FLOOR
FL	FLOW LINE
FNC	FENCE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GM	GAS METER
GNRTR	GENERATOR
GS	GROUND SHOT ELEVATION
HB	HOSE BIB
HDPE	HIGH-DENSITY POLYETHYLENE
LL	LOWER LEVEL
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
RWAL	RETAINING WALL
SSCO	SANITARY SEWER CLEANOUT
TB	TOP OF BANK
TC	TOP OF CURB
TD	TRENCH DRAIN
TOE	TOE OF BANK
TW	TOP OF WALL
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE

TREE LEGEND

APPROXIMATE EXISTING TREE
DIAMETER AND SPECIES LOCATED
CHEST HEIGHT.

ACC	ACACIA
ALD	ALDER
BAY	BAY
CLSTR	CLUSTER
CF	CONIFEROUS TREE
CH	CHERRY
CHRY	CHERRY
DF	DOUGLAS FIR
DT	DECIDUOUS TREE
EUC	EUCALYPTUS
JM	JAPANESE MAPLE
MD	MADRONE
MPL	MAPLE
MZ	MANZANITA
MAG	MAGNOLIA
OAK	OAK
PN	PINE
PM	PALM
RW	REDWOOD
SG	SWEET GUM
STMP	STUMP
WN	WALNUT
WL	WILLOW
X#	TIMES TWO



LEGEND

55	EXISTING CONTOURS (5' INTERVAL)	AD 3"	AREA DRAIN
48	EXISTING CONTOURS (1' INTERVAL)	FF=217.44	FINISH FLOOR ELEVATION
---	PROPERTY LINE	FF @ TH=217.44	FINISH FLOOR ELEVATION
---	BUILDING LINE	THRESHOLD	THRESHOLD
---	WOOD FENCE	ICV	IRRIGATION CONTROL VALVE
X	WIRE FENCE	---	EXISTING DECK/WOOD
---	LANDSCAPE EDGE	---	EXISTING STEPS
x55.97	SPOT ELEVATION	---	---
WV	WATER VALVE	---	---
OEM	ELECTRIC METER	---	---
GM	GAS METER	---	---
WM	WATER METER	---	---
GV	GAS VALVE	---	---
HB	HOSE BIB	---	---
DI	DRAIN INLET	---	---
*	LIGHT POLE	---	---
SSCO	SANITARY SEWER CLEANOUT	---	---

BENCHMARK NOTE:

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
VIA NATIONAL GEODETIC SURVEY'S (NGS) 'GEOID18' GEOID
MODEL

BOUNDARY NOTE:

THE BOUNDARY LINES SHOWN HEREIN ARE BASED ON
A RECORD OF SURVEY FILED IN THE COUNTY OF MARIN
2010 MAPS 54. SUFFICIENT MONUMENTATION WAS
RECOVERED TO PROPERLY RETRACT THE BOUNDARY
LINES SHOWN HEREIN.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR
UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF MS.
STACEY SHERMAN IN SEPTEMBER 2025



AIDEN J. SANCHEZ

October 20, 2025

BOUNDARY & TOPOGRAPHIC SURVEY
186 PROSPECT AVE

Date:	Scale: 1"=8'
10/20/2025	Drawn by: AS
25-130	Field Crew: AS,ST
Checked by: AS	

TOWN OF ROSS

A.P.N. (072-152-01)

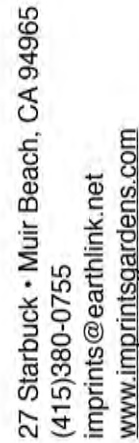
COUNTY OF MARIN

SHEET
1
OF 1

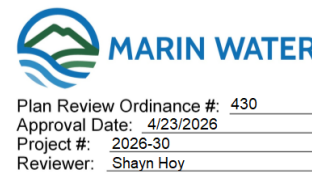
Father's Land Surveying



804 BENNETT VALLEY RD SANTA ROSA, CA 95404
PHONE: (707) 623 -2228
FATHERSLANDSURVEYING.COM



**SHERMAN
RESIDENCE**
186 PROSPECT AVE.
ROSS, CA 94957
AP #: 072-152-01



IRRIGATION LEGEND

The diagram illustrates the assembly of a PVC main line to an irrigation system. It shows a cross-section of the ground with a concrete support block (8) and a finish grade line (7). A PVC main line (6) runs horizontally, with a PVC sleeve (10) on both sides. A PVC main line to irrigation system (11) is connected to the main line, featuring a pressure-reducing valve (12) and a 90-degree elbow (13). The assembly includes a wrought copper male adapter (2) with a threaded connection (3) and a wrought copper 90-degree elbow (13) with a threaded connection (4). A PVC main line to point of connection (5) is also shown. The diagram is labeled with numbers 1 through 13, corresponding to the list of components on the right.

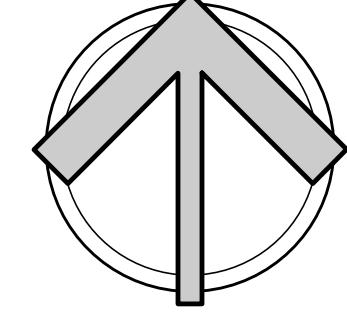
1. WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER & THREAD CONNECTION)
2. COPPER TYPE "K" PIPE (LENGTH AS REQUIRED)
3. WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER & THREAD CONNECTION)
4. PVC MAIN LINE TO POINT OF CONNECTION
5. BUSH AS NECESSARY FOR SIZE TRANSITION
6. SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL
7. CONCRETE SUPPORT BLOCK
8. FINISH GRADE
9. PVC SLEEVE BOTH SIDES
10. PVC MAIN LINE TO IRRIGATION SYSTEM
11. PRESSURE REDUCING VALVE
12. 90° ELBOW
13. 90° ELBOW

SOILS AND MULCH:

A MINIMUM OF 8 INCHES OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.

INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8 INCHES AT A MINIMUM RATE OF 1 CUBIC YARDS PER 1000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.

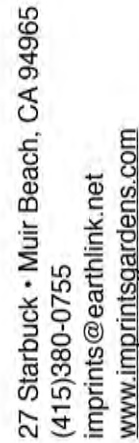
A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, AND DIRECT SEEDING APPLICATIONS.

[illegible]

IRRIGATION PLAN

SHEET

L4.1



ROSS, CA 94957
AP #: 072-152-01

TREES ABBR	BOTANIC NAME	COMMON NAME	SIZE	Q	HT. / WIDTH	NOTE
LN	LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPE MYRTLE	2 d—	1	20' X 20'	D
ML	MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	2 d—	3	40' X 20'	E W
SHRUB / PERENNIALS / GRASSES / FERNS ABBR	BOTANIC NAME	COMMON NAME	SIZE	Q	HT. / WIDTH	NOTE
L—	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 G	16	3' X 3'	E W F
MC	MYRTUS COMMUNIS COMPACTA	DWARF MYRTLE	1 G	24	3' X 3'	E W F
OL	OLEA 'LITTLE OLEA'	DWARF OLIVE	5 G	.	5' X 5'	E W F
PM	PITTOSPORUM 'MARJORIE CHANNON'	VARIEGATED PITTOSPORUM	15 G	4	10' X 6'	E W F
PL	PRUNUS LAUROCERASUS	ENGLISH LAUREL	15 G	10	8' X 4'	E F
RS	ROSA SSP.	ROSE TBD.	5 G	10	3' X 3'	E F
WS	WESTRINGIA 'SMOKEY'	SMOKEY COAST ROSEMARY	5 G	3	3' X 3'	E W F

E = EVERGREEN
D = DECIDUOUS
N = CALIFORNIA NATIVE

ALL PLANTS ARE TO BE WATERED USING DRIP IRRIGATION METHODS

REQUIREMENTS AND PRESCRIPTIONS PER ZONE

The following information will help identify prescriptive measures in each of the Home Ignition Zones. The VMP shall identify compliance with the requirements for each zone. Check with your local fire department or district for any additional defensible space or weed abatement requirements. FIRESafe MARIN and the NFPA Firewise USA Program are great resources for additional design information.

The Immediate Zone extends 0-5' from your house. ZONE 0 is the area closest to your house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable, and should be most aggressively maintained for fire resistance.

- Remove any combustible outdoor furniture.
 - Replace jute or fiber door mats with fire resistant materials.
 - Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
 - Clean all fallen leaves and needles regularly. Repeat often during fire season.
 - No vegetation is recommended within 5' of structures.
 - Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5' of structures.
 - Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30' away from structures.
 - Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.
- Intermediate Zone (ZONE 1): 5'-30'**
- The Intermediate Zone from 5' to 30' out from buildings, structures, decks, etc. Keep ZONE 1 "Lean, Clean, and Green" and employ careful landscaping to create breaks that can help influence and decrease fire behavior.
- Remove all dead plants, grass, and weeds (vegetation).
 - Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
 - Trim trees regularly to a minimum of 10 feet from other trees.
 - Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
 - Remove vegetation and items that could catch fire from around and under decks.
 - Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly.
 - Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder".
 - Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

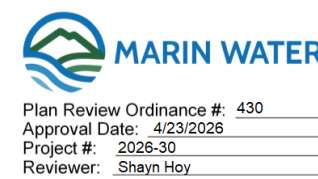
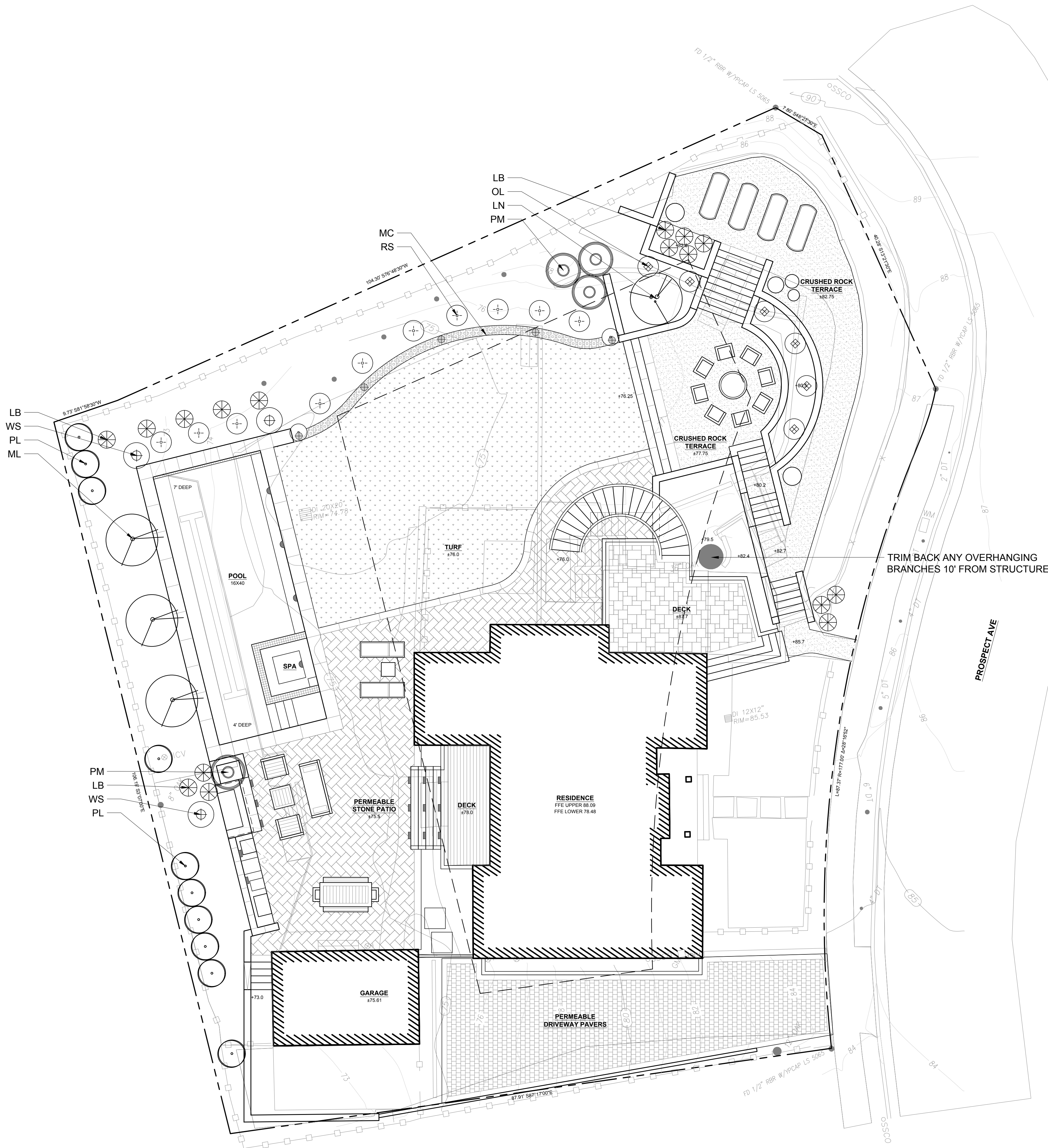
The extended zone from 30' to 100' (or more, if required due to steep slopes, nearby vegetation conditions, and/or your local fire department). The goal here is not to eliminate fire but to interrupt fire's path and keep flames smaller and on the ground. This zone should include at a minimum:

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches if erosion control is an issue.

- Extends 10 feet horizontally from the edge on either side of the road or driveway.
- Within this zone, plantings shall be fire resistant and shall not extend within the 14 foot vertical clearance.
- Clearance above the surface of the roadway or driveway, as required for emergency access.
- All landscape shall meet the requirements for separation as stated in the Zone 2 above.

- All fire prone fuels and dead material will be removed within 100' of the home.
- Remove branches beneath large trees for a 6-foot minimum clearance.
- Needles and leaves and other combustible debris and litter shall be removed from roofs and gutter at minimum twice yearly.

- All weeds and grasses shall be cut regularly to a height of 4" or less.
- Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed as not to overhang roadways and provide 15' of clearance vertically.
- All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
- Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
- No native grasses shall be planted within Home ignition zones 1 and 2.
- All planted areas inside Home ignition zones 1 and 2 shall be irrigated.
- All plantings shall be selected in coordination with the FIREsafe MARIN planting list located at <https://firesafemarin.org/create-a-fire-smart-yard/plants/>. Other fireresistant plants can be utilized with prior approval of the Fire Code Official.
- Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy. Fire Safe Marin Spacing Guidelines:
- Defensible space shall be maintained for the life of the property in accordance with the approved Vegetation Management Plan and shall be amended as changes occur based on local findings and/or state requirements. Any changes, additions, and/or modifications to the existing approved Vegetation Management Plan shall require resubmission and approval by the AHJ.

[illegible]

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE THE ORIGINAL AND
UNPUBLISHED WORK OF IMPRINTS LANDSCAPE
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PLOT DATE	04/22/26
DRAWN	JS
TITLE	SHERMAN
SCALE	1/8" = 1'

VMP/
PLANTING PLAN

SHEE

L5.1

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121

Fax (415) 453-1950 www.townofross.org

PLANNING APPLICATION FORM

Type of Application

(check all that apply):

- | | |
|--|---|
| ☐ Accessory Dwelling Unit | ☐ Minor Exception Permit |
| ☐ Accessory Dwelling Unit Exception | ☐ Minor Nonconformity Permit |
| ☐ Appeals | ☐ Nonconformity Permit |
| ☐ Certificate of Compliance | ☐ Tentative Map |
| ☐ Demolition Permit | ☐ Tentative Map Amendment |
| ☒ Design Review | ☐ Time Extension |
| ☐ Design Review- Amendment | ☐ Use Permit |
| ☐ Exceptions for Attics | ☐ Variance |
| ☐ Final or Parcel Map | ☐ Zoning Ordinance Amendment |
| ☐ General Plan Amendment | |
| ☐ Hillside Lot Permit | ☐ Other: _____ |
| ☐ Junior Accessory Dwelling Unit | |
| ☐ Lot Line Adjustment | |

To Be Completed by Applicant:

Assessor's Parcel No(s): _____

Project Address: _____

Property Owner: _____

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: _____ Owner's Phone: _____

Owner's Email: _____

Applicant: _____

Applicant Mailing Address: _____

City/State/Zip: _____ Applicant's Phone: _____

Applicant's Email: _____

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☐ Architect

To Be Completed by Town Staff:

Date Received: _____

Application No.: _____

Zoning: _____

Date paid: _____

TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLYDescribe the Proposed Lot Line Adjustment: _____
_____Existing Parcel Size(s) *Parcel 1:* *Parcel 2:*Adjusted Parcel Size(s) *Parcel 1:* *Parcel 2:***PARCEL ONE****PARCEL 2**

Owners Signature: _____

Owner's Signature: _____

Date: _____

Date: _____

Owner's Name (Please Print): _____

Owner's Name (Please Print): _____

Assessor's Parcel Number: _____

Assessor's Parcel Number: _____

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18. The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLYPlease describe the proposed amendment: _____
_____**CERTIFICATION AND SIGNATURES**

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: _____

Date: _____

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge.

Owner's Signature: _____

Date: _____

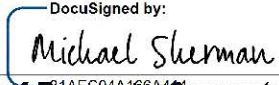
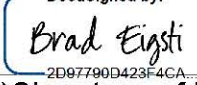
SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

Mill Valley _____, California on 3/9/2026	,	3/9/2026
DocuSigned by:  91AEC0A166A474	and	DocuSigned by:  2D97790D423F4CA
Signature of Property Owner(s)		Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
Project Landscape Architect _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
Project Engineer _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

ARCHITECT INFORMATION, CONSENT, AND SIGNATURE

I CONSENT or I DO NOT CONSENT to allow the Town of Ross to post online, in whole or in part, the architectural drawings and plans submitted for this project, including information protected by copyright laws, on the official Town of Ross website <https://www.townofrossca.gov/> as an indefinite online record for the project, including public hearings and meetings. If I do not consent, then only those architectural sheets and materials permitted under Senate Bill 1214 (e.g., site plan and massing diagram) will be posted on the Town website. I am the design professional or copyright owner authorized to provide this consent.

Select one: ☐ I CONSENT or ☐ I DO NOT CONSENT

Architect/ Copyright Owner Name:_____ **Phone No:** _____

Company (if applicable): _____ Email: _____

Signature of Architect/ Copyright Owner

Date _____

Written Project Description – *may be attached.*

A complete description of the proposed project, including all requested types of application, such as variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, **be thorough in the description**. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

[illegible]

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

Neighborhood Outreach – *Shall be conducted for all discretionary planning projects.*

A neighborhood outreach description shall be prepared by the applicant. The description shall include how neighborhood outreach was conducted, dates neighbors were contacted, any meetings held, the specific concerns of neighbors and how those concerns were mediated (through changes to the proposal, site visits, etc.).

Neighborhood Outreach for (insert project address)				
NAME	ADDRESS	DATE CONTACTED	CONCERNS (IF ANY)	RESOLUTION

***Landscape Plan-**

All landscape plans must conform to the requirements of the Marin Municipal Water District (MMWD) Ordinance 414. Contact [MMWD](#) prior to submitting. Indicate whether project includes 500 square feet or more of landscape area per Model Water Efficiency Landscape Ordinance (MWELO) requirements.

***Vegetation Management Plan-**

Required for all projects located within the Wildlife Urban Interface (WUI) zone. Please submit VMP as a sheet in the required plan sets. For more information contact RVFD at 415.258.4673

ATTACHMENT 4

MINUTES

Meeting of the Ross
Advisory Design Review Group
June 16, 2026, 6:00pm

Video and audio recording of the meeting is available online at the Town's website at:
townofrossca.gov/meetings.

1. 6:00 p.m. Commencement

Chair Mark Kruttschnitt called the meeting to order.

Present: Laura Dewar, Mark Fritts, Joey Buckingham, Roberta Feliciano (Planning and Building Director) and Alex Lopez-Vega (Planner)

Absent: Stephen Sutro

2. Approval of Minutes.

The ADR Group approved the minutes from May 19, 2026.

3. Open Time for Public Comments

4. Planning Project/ Applications

- | | |
|-----------------------------|---------------------------------|
| a. Property Address: | 186 Prospect Drive |
| A.P.N: | 072-152-01 |
| Applicant: | Imprints Landscape Architecture |
| Property Owner: | Stacey and Michael Sherman |
| Zoning: | R-1:B-10 |
| General Plan: | ML (Medium Low Density) |
| Flood Zone: | X |

Project Summary: The applicant requests a recommendation to the Town Council for Design Review, Nonconformity Permit, and a Variance. The project proposes rehabilitation of the rear yard, including construction of a new in-ground swimming pool and spa. Additional site improvements include an outdoor kitchen, repairs to the existing front and rear decks, fireplace, fire pit, site walls, and vegetable garden. The project also includes construction of new walkways with exterior lighting and replacement and widening of the existing concrete driveway with permeable pavers.

Meeting Summary: The ADR group discussed the project rehabilitating the rear landscape. The ADR members reviewed plans for a fireplace, pool, and driveway improvements, with the planning department clarifying that the fireplace would need to be lowered to 48 inches. The ADR members unanimously supported the overall project and pool variance but rejected the fireplace variance due to excessive height.

Property Address: 18 Sir Francis Drake Blvd.

A.P.N: 072-241-27
Applicant: Richard Mack
Property Owner: Ross McKenna
Zoning: R-1:B-A (Multi-Family Dwelling)
General Plan: VL (Very Low Density)
Flood Zone: X

Project Summary: The applicant requests a recommendation to the Town Council for Design Review, Demolition Permit, Nonconformity Permit, Accessory Dwelling Unit (ADU) Exception Permit, and a Variance. The project proposes renovations to the existing residence, including replacement of the existing siding to horizontal red cedar siding. The project also proposes conversion of the existing 600-square-foot (SF) attached garage into an ADU and the transfer of 600 SF of floor area to an existing lower-level storage area to maintain an existing second unit. Additional site improvements include reconfiguration and reduction of the existing swimming pool, relocation of the pool equipment, construction of a new patio, and reconfiguration of the existing driveway.

Meeting Summary: The ADR group discussed the project at 18 Sir Francis Drake Blvd for new siding, ADU, and to rehabilitate the front yard. Members focused on reviewing design elements and setback requirements. The ADR group discussed relocating the pool equipment and patio further from the property line, with majority support of the pool equipment in the front setback since Sir Francis Drake is busy street. Multiple participants expressed concerns about the excessive use of bright white materials and suggested using darker base materials and more natural colors for better visual balance. Darker shade roof suggested. The group also discussed ensuring the flat roof area would not be used as a deck in the future as a condition of approval, with suggestions to include planters and hedging as visual screening. Pull patio 5-ft from property line and add planting. The ADR clarified that while they could recommend approval or denial of the project, the number of units was determined by state ADU laws and was not within their authority to change.

5. Information, Discussion and New Agenda Items

a. Discuss zoning text amendments for pools and landscape structures

Meeting Summary: The group focused on finalizing regulations for pool and landscape features in a 10-foot setback zone. The group agreed to limit retaining walls associated with pools to 18 inches maximum height, with deck heights of 48 inches above grade or 36 inches above an 18-inch raised patio. They clarified that pool equipment would not be allowed in the special setback zone, though it could be placed in rear or side yards with a Minor Exception Permit approval. All four participants agreed to recommend the updated regulations to the Town Council.

Adjournment at 7:40 P.M.

The next scheduled regular meeting date and time will be July 21, 2026, at 6:00 PM.