



Staff Report

Date: April 4, 2024
To: Mayor Brekhus and Council Members
From: Alex Lopez-Vega, Assistant Planner
Subject: Niehaus Residence, 200 Lagunitas Road

Recommendation

Town Council consideration for Design Review and a Demolition Permit for the project described below located at 200 Lagunitas Road. The Town Council may adopt Resolution No. 2410 (Attachment 1) approving the project, subject to conditions.

Property Address: 200 Lagunitas Road
A.P.N.: 073-131-23
Applicant: Brooks McDonald
Property Owner: Sarah and Scott Niehaus
Zoning: R-1:B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

	Code Standard	Existing	Proposed
Lot Area	1 Acre	44,431 SF	No change
Floor Area (FAR)	15%	6,380 SF (14.4%)	6,462 SF (14.5%)
Building Coverage	15%	3,717 SF (9%)	4,134 SF (10%)
Side Setback (East)	25'	30' 10"	No Change
Side Setback (West)	25'	29' 5"	No Change
Rear Setback	40'	63' 7"	No Change

	Code Standard	Existing	Proposed
Building Height	30'	House 26' 3"	No Change
Parking	4 (2 Covered)	4 (2 Covered)	No Change
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	12,186 SF	12,172 SF

Project Description:

The applicant is requesting approval for Design Review and a Demolition Permit. The project proposes to replace the existing siding with cedar shingles and add a stone base. The project includes an interior and exterior remodel of the single-family residence, to include new windows, two horizontal additions by pushing the massing out adding 186 square feet (SF) and two roof dormers to the front of the single-family residence. The project will add 131 SF to the garage for access to a Junior Accessory Dwelling Unit (JADU). A new 115 SF covered entry is also proposed. The project would reduce the overall impervious coverage on the property from 12,186 SF to 12,172 SF.

Impervious Surfaces:

The project proposes to minimize impervious surface by 15 square feet.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding 200 square feet of new floor area; increase to the existing roof height; and to allow for any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence.
- **Demolition Permit is required pursuant to RMC Section 18.50.020** to alter more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 44,431 square-foot lot on Lagunitas Road. The lot has a single-family residence which includes a shed. The property is home to an extensive collection of trees and mature vegetation.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On March 19, 2024, the Advisory Design Review group (ADR) unanimously recommended that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review.

Draft minutes of the March 19, 2024, ADR meeting are included as **Attachment 4**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The proposed project is not monumental or excessively large in size, is compatible with others in the neighborhood, and does not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

Demolition Permit

The "small town" quality and feel of the town are heavily shaped by the attributes, integrity, historical character, and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of a structure with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character. The Town Council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross.

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Staff recommends approval of the Demolition Permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level. The project is consistent with the purpose of Design Review as outlined in Section 18.41.0LO. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located. The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance. The project is required to comply with all applicable provisions, measures, and safeguards of the Town's building and safety codes, such that it would not cause detriment or injury to the health, safety, and general welfare of persons residing or working in the neighborhood.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Public Comment

Public notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date, and no comments have been received at the time of writing this report.

Attachments

1. Resolution No. 2410
2. Project Plans
3. Project Application and Materials
4. Draft ADR Meeting Minutes, March 19, 2024

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2410

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, AND A DEMOLITION PERMIT FOR A RESIDENTIAL REMODEL AND TO CHANGE THE EXISTING SIDING TO CEDAR SHINGLES WITH A STONE BASE FOR 200 LAGUNITAS ROAD, A.P.N. 073-131-23

WHEREAS, applicant Brooks McDonald, on behalf of property owners Sarah and Scott Niehaus has submitted an application requesting approval of Design Review, and a Demolition Permit to replace the existing siding with cedar shingles and add a stone base. The project includes an interior and exterior remodel of the single-family residence, to include new windows, two horizontal additions by pushing the massing out adding 186 square feet (SF) and two roof dormers to the front of the single-family residence. The project will add 131 SF to the garage for access to a Junior Accessory Dwelling Unit (JADU). A new 115 SF covered entry is also proposed at 200 Lagunitas Road APN 073-131-23 (herein referred to as “the Project”).

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on April 4, 2024, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review, and a Demolition Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 4th day of April 2024, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

Cyndie Martel, Town Clerk

Elizabeth Brekhus, Mayor

EXHIBIT "A"
FINDINGS
200 Lagunitas Road
A.P.N. 073-131-23

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of surrounding neighborhood. The proposed residential additions minimize building mass, bulk and height and to integrate the structure with the site. Materials and colors minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by removing existing impervious surfaces to more than offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Very Low-Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with RMC Section 18.50.050 (a), Demolition Permit is approved based on the following mandatory findings:

a) The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.

The existing single-family residence does not possess historical, architectural, cultural, or aesthetic values. Additionally, the existing single-family dwelling will not be removed from the site, only the siding will be replaced.

- b) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.**

As recommended by the ADR Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross.

- c) The project is consistent with the Ross general plan and zoning ordinance.**

The Project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

- d) The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood**

The Project will avoid detriment to public welfare and material injury to properties in the vicinity by complying with the Design Review criteria and standards (RMC Section 18.41.100) and with the Hillside Lot Regulations (RMC Section 18.39.090).

EXHIBIT "B"
CONDITIONS OF APPROVAL
200 Lagunitas Road
A.P.N. 073-131-23

1. The building permit shall substantially conform to the plans entitled, "Niehaus Residence" and dated 3/19/2024, and reviewed and approved by the Town Council on April 4, 2024
2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.

Standard Conditions of Approval

4. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
5. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
6. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
7. A Tree Permit shall not be issued until the project grading or building permit is issued.
8. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.

- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a “back-up” system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town’s stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.

- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.

- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
 - v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
 - w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
9. The project shall comply with all requirements, standards, and policies of the Ross Municipal Code, General Plan, County of Marin, State, and Federal laws.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

NIEHAUS RESIDENCE

200 LAGUNITAS ROAD, ROSS CA 94957 APN# 073-131-23

HORIZONTAL ADDITION AND INTERIOR REMODEL

DR SUBMITAL - 3/21/24

PROJECT DIRECTORY

OWNER:
KAREN & SCOTT NIEHAUS
200 LAGUNITAS RD
ROSS, CA 94960
415-373-9472

STRUCTURAL ENGINEER:
TURBIN STRUCTURAL ENGINEERS
655 REDWOOD HIGHWAY, SUITE 308
WILL VALLEY, CA 94694
415-373-9472

ARCHITECT:
BROOKS MCDONALD ARCHITECTURE
1615 BRIDGEWAY
SALINAS, CA 94745
415-330-8011
BROOKS@BROOKSMCDONALDARCHITECTURE.COM

SURVEYOR & CIVIL ENGINEER:
DARYL HUGHES
MUNSELL CIVIL ENGINEERING
707-775-8986
DARYL@MUNSELLCIVIL.COM

LANDSCAPE ARCHITECT:
DUSTIN MOORE
STRATA LANDSCAPE ARCHITECTURE
415-431-9200
DMOORE@STRATA-INC.COM

PROJECT DESCRIPTION

REMODEL WITH HORIZONTAL ADDITIONS TO THE FRONT AND REAR AT 2 FLOORS OF MAIN HOUSE. NEW DORMERS AT MAIN ROOF. REPLACE WINDOWS AND EXTERIOR SIDING MATERIALS. UPGRADE EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.

ALL PROPOSED WORK SHALL CONFORM TO THE ROSS MUNICIPAL CODES, LESS THAN 25% EXTERIOR WALLS OR WALL COVERINGS TO BE REMOVED/ALTERED FOR WINDOW REPLACEMENT.

HOUSE TO BE FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13D.

DEFERRED SUBMITTALS

LANDSCAPE SITE PLAN
LANDSCAPE PLANNING PLANS
VEGETATION MANAGEMENT PLAN
GRADING, DRAINAGE AND UTILITY PLANS
STORMWATER CONTROL PLAN
SPRINKLER PERMIT

PROJECT DATA

PARCEL INFORMATION:
PARCEL: 073-131-23
PROPERTY ADDRESS: 200 LAGUNITAS RD, ROSS, CA 94960
LOT AREA: 44,431 SF
EXISTING BLDG COVERAGE: 3717 SF @ 8%
PROPOSED BLDG COVERAGE: 4134 SF @ 9%
15% ALLOWED PER RMC 18.32.02.0

EXISTING F.A.R.: 6380 SF = 14.4%
PROPOSED F.A.R.: 6462 SF = 14.5%
ALLOWED PER RMC 18.32.02.0: 6665 SF = 15%

PROPOSED AREA OF ADDITIONAL DISTURBANCE: TBD

EXISTING PARKING: 4, 1 ENCLOSED, 4, 2 ENCLOSED
PROPOSED PARKING: 5, 1 ENCLOSED, 2, 2 ENCLOSED

ZONING INFORMATION:
ZONING DISTRICT: R1-18 SINGLE FAMILY RESIDENTIAL
PERCENT SLOPE: 31%
TRACT BLOCK: 118100
FLOOD ZONE: X
FRONT YARD (SETBACK): 25 MIN - PROVIDED
REAR YARD (SETBACK): 40 MIN - PROVIDED
SIDE YARD (SETBACKS): 25 MIN - 25 MIN PROPOSED (ALL ADDITIONS TO BE >25')
MAX BLDG HEIGHT: 30' MAX - 26'-3" PROPOSED

BUILDING INFORMATION:
OCCUPANCY: R-3 SINGLE FAMILY RESIDENTIAL
NO. UNITS: 1 EXISTING / 1 PROPOSED
NO. STORES MAIN HOUSE: 2 EXISTING / 2 PROPOSED
CONSTRUCTION TYPE: V-8
SPRINKLER PROTECTION: FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13D AND LOCAL STANDARDS

W/ILD AND URBAN INTERFACE: YES. ALL CONSTRUCTION SHALL COMPLY WITH BUILDING STANDARDS IN 2019 CBC CHAPTER 7A AND 2019 CBC SECTION 337. ALL VEGETATION AND CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION (DEFENSIBLE SPACE):

GRADING CALCS:
CUT: 22 CUBIC YARDS
FILL: 22 CUBIC YARDS
EXCESS/DRAFF: 0 CUBIC YARDS

SHEET INDEX

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1	SURVEY

ALL IN DESIGN AS STARTS TO BE 1-1/4" MIN THICK SOLID CONCRETE HEART REDWOOD (LISTING B1 10-2041-0002) OR 1X4 P.E BY REDWOOD EMPIRE (LISTING B1 10-2045-0001) PER SFM 12-7A-4 & 12-7A-5

ISSUED
DESIGN REVIEW
SUBMITAL
01/19/2024
TOWN COUNCIL
03/21/2024

BROOKS MCDONALD ARCHITECTURE
200 LAGUNITAS ROAD, ROSS, CA 94957
APN # 073-131-23



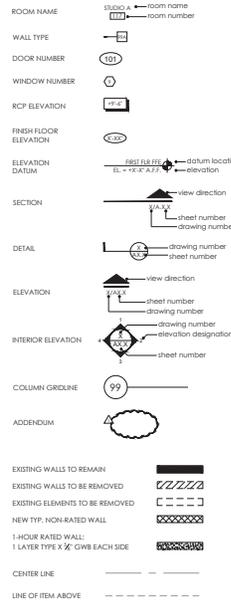
GENERAL NOTES

- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), AND THE CALIFORNIA ELECTRICAL CODE (CEC) AND ANY OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- (IF APPLICABLE) SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE (CPC 420). PLUMBING FITURES AND FITTINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF CALGREEN 4.303.1.1 THROUGH 4.303.1.4.4, AND BE INSTALLED IN ACCORDANCE WITH CPC AND SHALL MEET THE APPLICABLE REFERENCE STANDARDS.
- (IF APPLICABLE) GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR ENCLOSED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 5406 (D) 5)
- (IF APPLICABLE) SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST M-18 AND TITLE 24 ENERGY REPORT (ATTACHED ONLY IF APPLICABLE). INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.
- SEE SHEET CG FOR OTHER MANDATORY MEASURES APPLICABLE TO THIS PROJECT

ABBREVIATIONS

A.D.	AREA DRAIN	GALV	GALVANIZED	REF	REFERENCE
A.S.F.	ABOVE SUB FLOOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	REFR	REFRIGERATOR
ADJ	ADJUSTABLE	GR	GLASS	REG	REGISTER
A.F.F.	ABOVE FINISH FLOOR	GRD	GROUND	RENF	REINFORCED
ALUM	ALUMINUM	GWB	GYPNUM WALLBOARD (SHEEROCK)	REQ'D	REQUIRED
ANCH	ARCHITECTURAL	H.B.	HOSE BIB	RET	RETURN
ATN	ATTENTION	HDW	HARDWARE	REV	REVISED
BKCS	BLOCKING	HDR	HEADER	RK	ROOM
BLDG	BUILDING	HHP	HIGH POINT	R.O.W.	RIGHT OF WAY
BD	BOARD	HORZ	HORIZONTAL	RWL	RAIN WATER LEADER
BTWN	BETWEEN	ID	IDEGT	S.A.D.	SEE ARCHITECTURE DRAWINGS
E.O.	BY OWNER	INS	INSIDE DIMENSION	SCHD	SCHEDULE
CAB	CABINERY	IN	INCH	SHTG	SHEDDING
CL	CENTERLINE	INB	INSULATION	SM	SIMILAR
CLC	CLOSET	INT	INTERIOR	SPEC	SPECIFICATION
CLG	CeILING	JB	JUNCTION BOX	SQ	SQUARE
CMH	CONCRETE MASONRY UNIT	JT	JOINT	SF	SQUARE FEET
COL	COLUMN	LAM	LAMINATED	S.M.D.	SEE MECHANICAL DRAWINGS
L.C.N.C.	LOW POINT	LAV	LAVATORY	S.S.D.	SEE STRUCTURAL DRAWINGS
CONT	CONTINUOUS	LP	LOW POINT	SS	STAINLESS STEEL
CP	CENTER POINT	LT	LIGHT	STD	STANDARD
C.T.	CERAMIC TILE	MCH	MECHANICAL	STL	STEEL
DIA	DIAMETER	MN	MINIMUM	STRUCT	STRUCTURAL
DN	DOWN	MUR	MUSTRURE RESISTANT	SUSP	SUSPENDED
DET	DETAIL	MIL	METAL	TREAD	TREAD
DEPT	DEPARTMENT	MIS	NOT IN CONTRACT	TBD	TO BE DETERMINED
DN	DOWN	NOM	NOMINAL	TEMP	TEMPERED
DWG	DRAWINGS	NIS	NOT TO SCALE	TR	TRIM
DWR	DRAWER	OC	ON CENTER	T.P.	TOP OF PLATE
EA	EACH	OD	OUTSIDE DIMENSION	T.P.C.	TOP OF CONCRETE
EJ	EXPANSION JOINT	OP	OVERHEAD	T.W.	TOP OF WALL
ELC	ELECTRICAL	OPP	OPPOSITE	THK	THICK
ELEV	ELEVATION	OPNG	OPENING	TYP	TYPICAL
EQ	EQUIPMENT	OPP	OPPOSITE	UN	UNLESS OTHERWISE NOTED
(E)	EXISTING	PLS	PLASTER	VAR	VARIABLE
F.O.F.	FACE OF FINISH	EXT	EXTERIOR	VTW	PLYWOOD
F.O.S.	FACE OF STRUCTURE	PT	POINT	VEST	VESTIBULE
CAU	FORCED AIR UNIT	PID	PAINTED	VF	VERIFY IN FIELD
FIN	FINISH	QTY	QUANTITY	WC	WATER CLOSET
FIR	FLOOR	RISR	RISER	WD	WOOD
F.R.	FIRE RATED	RAD	RADIUS	WR	WATER RESISTANT
GA	GAUZE	RCP	REFLECTED CEILING PLAN	WT	WEIGHT
		ROD	ROD DRAIN		

SYMBOL LEGEND



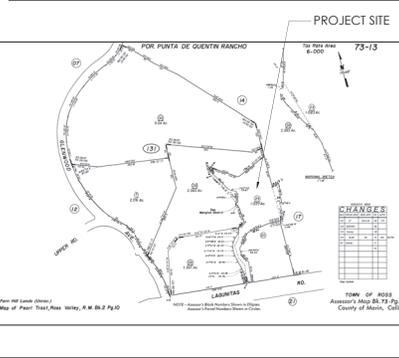
PROPOSED RENDERING



VICINITY MAP



ASSESSOR'S PARCEL MAP



AREA CALCS (SQUARE FEET)

FLOOR	EXISTING	PROPOSED	DELTA
GARAGE	544	475	-131
FIRST FLOOR	2831	3001	+170
SECOND FLOOR	3005	2784	-219
2ND FLOOR JADU	0	500	+500
TOTAL GROSS	6380	6462	+82
TOTAL FAR SF (JADU)	4380	4462	+82
TOTAL FAR %	14.4%	14.5%	+0.1%
LOT AREA:	44,431 SF (MARBIN ASSESSOR)		
ALLOWED PER RMC 18.32.02.0:	6665 SF = 15%		

*INCLUDES 1835 SF OF AREA @ 2ND FLOOR OF JADU FOR EGRESS

TOTAL EXISTING IMPERVIOUS AREAS: 12,186 SF
TOTAL EXISTING PERVIOUS AREAS: 32,245 SF

TOTAL PROPOSED IMPERVIOUS AREAS: 12,172 SF (-115 SF NET)
TOTAL PROPOSED PERVIOUS AREAS: 32,259 SF

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA RESIDENTIAL CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA ENERGY CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA GREEN BUILDING CODE WITH LOCAL AMENDMENTS
- 2022 TOWN OF ROSS MUNICIPAL CODE

THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY IS EXTENDED OVER AND EXTERIOR WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING:

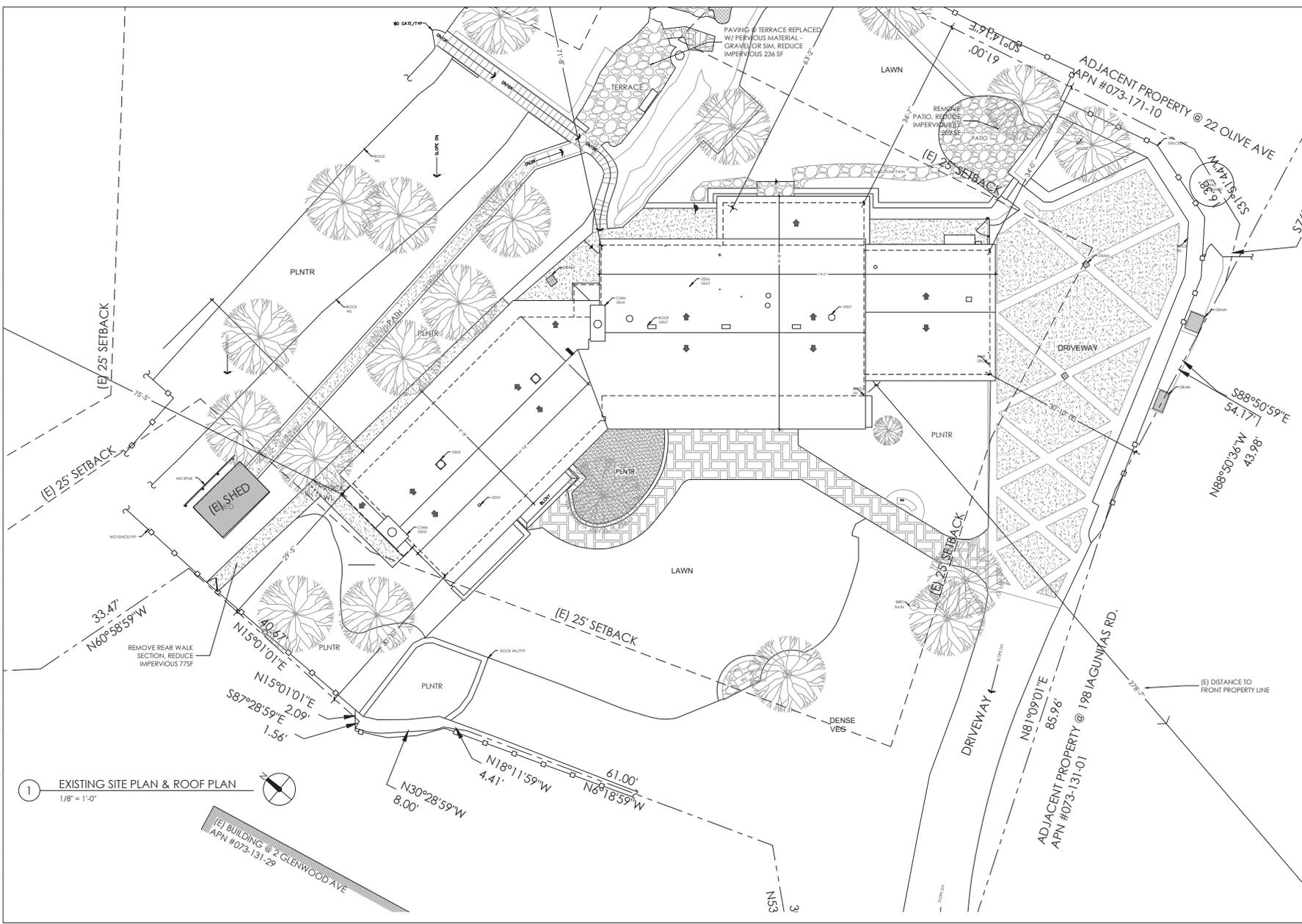
- NONCOMBUSTIBLE MATERIAL
- IGNITION RESISTANT MATERIAL
- ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
- THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE FLOOR PROJECTION INCLUDING ASSEMBLIES USING THE GYPSUM PANELS AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
- THE UNDERSIDE OF A FLOOR PROJECTION ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURE SET FORTH IN SFM STANDARD 12-7A-3

(LISTING B1 10-2041-0002) OR 1X4 P.E BY REDWOOD EMPIRE (LISTING B1 10-2045-0001) PER SFM 12-7A-4 & 12-7A-5

Use: All drawings and specifications shall be modified to conform to the conditions shown on this submittal form. All modifications shall be made in accordance with the applicable provisions of the applicable building codes.

A0.1

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1 EXISTING SITE PLAN & ROOF PLAN
 1/8" = 1'-0"

(E) BUILDING @ 2 GLENWOOD AVE
 APN #073-131-29

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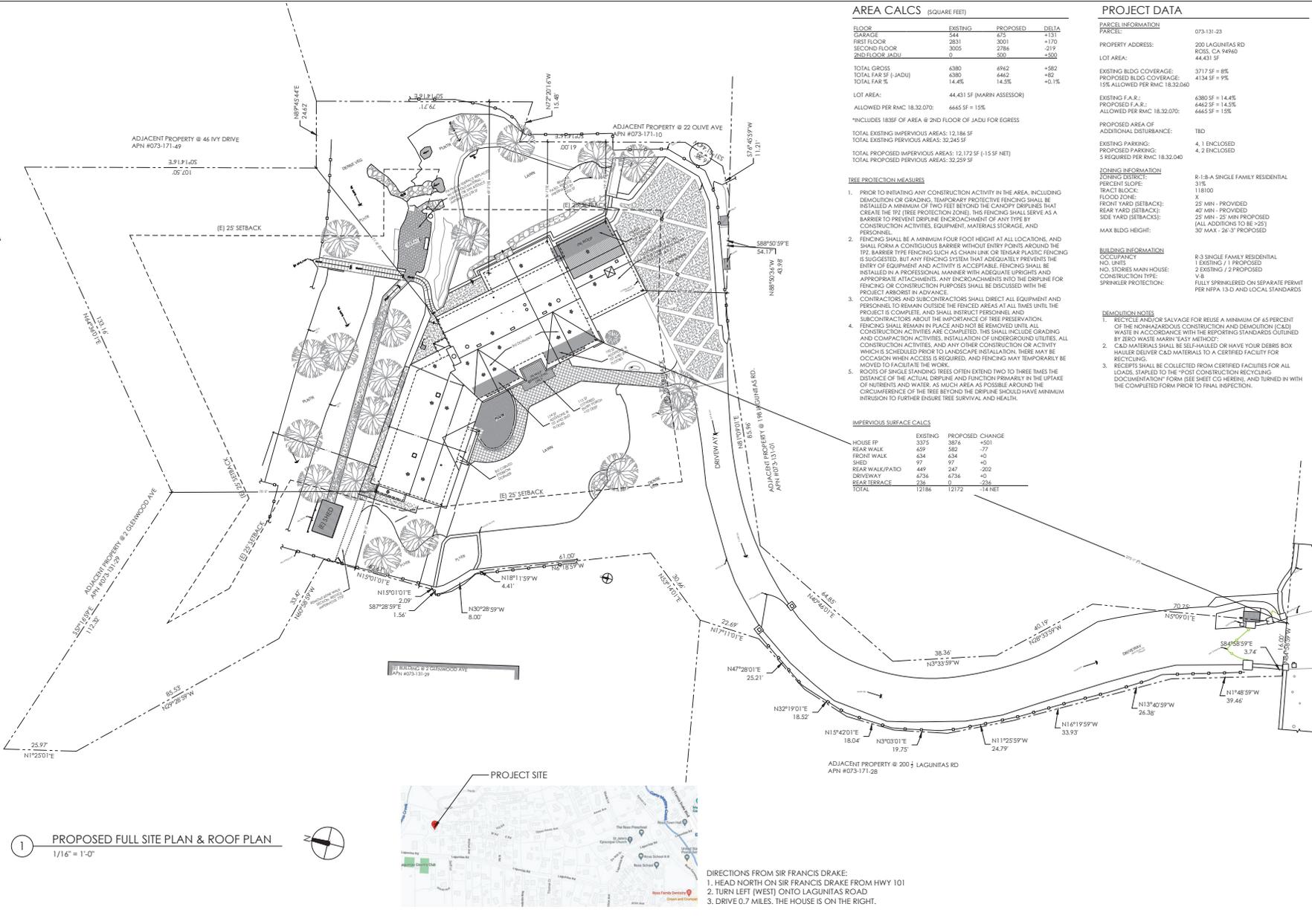
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EXISTING SITE PLAN

1/8" = 1'-0"

A1.0

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AREA CALCS (SQUARE FEET)

FLOOR	EXISTING	PROPOSED	DELTA
GARAGE	430	430	+131
FIRST FLOOR	2831	3001	+170
SECOND FLOOR	3005	2786	-219
2ND FLOOR (JADU)	0	500	+500
TOTAL GROSS	6306	6617	+311
TOTAL FAR SF (JADU)	6306	6462	+156
TOTAL FAR SF	14,480	14,536	+56
ALLOWED PER RMC 18.32.070:	6665 SF = 15%		

*INCLUDES 183SF OF AREA @ 2ND FLOOR OF JADU FOR EGRESS

TOTAL EXISTING IMPERVIOUS AREAS: 32,245 SF
 TOTAL EXISTING PERVIOUS AREAS: 32,245 SF
 TOTAL PROPOSED IMPERVIOUS AREAS: 12,172 SF (-15 SF NET)
 TOTAL PROPOSED PERVIOUS AREAS: 32,229 SF

TREE PROTECTION MEASURES

- PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING DEMOLITION OR GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED A MINIMUM OF TWO FEET BEYOND THE CANOPY DRIPLINES THAT CREATE THE IPZ (TREE PROTECTION ZONE). THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIFLINE ENCROACHMENT OF ANY TYPE BY CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, AND PERSONNEL.
- FENCING SHALL BE A MINIMUM FOUR FOOT HEIGHT AT ALL LOCATIONS, AND SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND THE IPZ. BARRIER TYPE FENCING SUCH AS CHAIN LINK OR TENEAR PLASTIC FENCING IS SUGGESTED. IF ANY FENCING SYSTEM THAT ADEQUATELY PREVENTS THE ENTRY OF EQUIPMENT AND ACTIVITY IS ACCEPTABLE, FENCING SHALL BE INSTALLED IN A PROFESSIONAL MANNER WITH ADEQUATE UPRIGHTS AND APPROPRIATE ATTACHMENTS. ANY ENCROACHMENTS INTO THE DRIFLINE FOR FENCING OR CONSTRUCTION PURPOSES SHALL BE DISCUSSED WITH THE PROJECT ARCHITECT IN ADVANCE.
- CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREAS AT ALL TIMES UNTIL THE PROJECT IS COMPLETE, AND SHALL INSTRUCT PERSONNEL AND SUBCONTRACTORS ABOUT THE IMPORTANCE OF TREE PRESERVATION.
- FENCING SHALL REMAIN IN PLACE AND NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. THIS SHALL INCLUDE GRADING AND COMPACTOR ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES, AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED PRIOR TO LANDSCAPE INSTALLATION. THERE MAY BE OCCASION WHEN ACCESS IS REQUIRED, AND FENCING MAY TEMPORARILY BE MOVED TO FACILITATE THE WORK.
- ROOTS OF SINGLE STANDING TREES OFTEN EXTEND TWO TO THREE TIMES THE DISTANCE OF THE ACTUAL DRIFLINE AND FUNCTION PRIMARILY IN THE UPTAKE OF NUTRIENTS AND WATER, AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE BEYOND THE DRIFLINE SHOULD HAVE MINIMUM INFILTRATION TO FURTHER ENSURE TREE SURVIVAL AND HEALTH.

IMPERVIOUS SURFACE CALCS

HOUSE FP	EXISTING	PROPOSED CHANGE
HOUSE FP	3375	3874 +501
REAR WALK	659	582 -77
FRONT WALK	634	634 +0
SHED	97	97 +0
REAR WALK/PATIO	449	247 -202
DRIVEWAY	6736	6736 +0
REAR TERRACE	236	0 -236
TOTAL	12186	12172 -14 NET

PROJECT DATA

PARCEL INFORMATION
 PARCEL: 073-131-23
 PROPERTY ADDRESS: 200 LAGUNITAS RD
 ROSS, CA 94960
 44,431 SF
 LOT AREA: 44,431 SF
 EXISTING BLDG COVERAGE: 3717 SF = 8%
 PROPOSED BLDG COVERAGE: 4134 SF = 9%
 15% ALLOWED PER RMC 18.32.040
 EXISTING F.A.R.: 6380 SF = 14.4%
 PROPOSED F.A.R.: 6462 SF = 14.5%
 ALLOWED PER RMC 18.32.070: 6665 SF = 15%

PROPOSED AREA OF ADDITIONAL DISTURBANCE: TBD
EXISTING PARKING: 4, 1 ENCLOSED
PROPOSED PARKING: 4, 2 ENCLOSED
5 REQUIRED PER RMC 18.32.040

ZONING INFORMATION
 ZONING DISTRICT: R-118-A SINGLE FAMILY RESIDENTIAL
 PERCENT SLOPE: 31%
 TRACT BLOCK: 118100
 FLOOD ZONE: X
 FRONT YARD SETBACK: 25' MIN - PROVIDED
 REAR YARD SETBACK: 45' MIN - PROVIDED
 SIDE YARD SETBACKS: 25' MIN - 25' MIN PROPOSED (ALL ADDITIONS TO BE 25')
 MAX BLDG HEIGHT: 30' MAX - 26'-3" PROPOSED

BUILDING INFORMATION
 OCCUPANCY: R-3 SINGLE FAMILY RESIDENTIAL
 NO. UNITS: 1 EXISTING / 1 PROPOSED
 NO. STORIES MAIN HOUSE: 2 EXISTING / 2 PROPOSED
 CONSTRUCTION TYPE: V.B
 FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13 D AND LOCAL STANDARDS

DEMOLITION NOTES

- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 45 PERCENT OF THE NONHABITABLE CONSTRUCTION AND DEMOLITION (CAD) WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARYLAND EAST MICHIGAN.
- CAD MATERIALS SHALL BE SELF-HAULED OR HAVE YOUR OWNERS BOX HAULER DELIVER CAD MATERIALS TO A CERTIFIED FACILITY FOR RECYCLING.
- RECIPTS SHALL BE COLLECTED FROM CERTIFIED FACILITIES FOR ALL LOADS, STAPLED TO THE "POST CONSTRUCTION RECYCLING DOCUMENTATION" FORM (SEE SHEET CG HEREIN), AND TURNED IN WITH THE COMPLETED FORM PRIOR TO FINAL INSPECTION.

BROOKS MCDONALD ARCHITECTURE
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 SUITE 100
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 415.774.1339
 www.brooksmcdonald.com

NIEHAUS RESIDENCE
 200 LAGUNITAS ROAD, ROSS, CA 94957
 APN #073-131-23



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PROPOSED SITE PLAN

1/16" = 1'-0"

A1.2

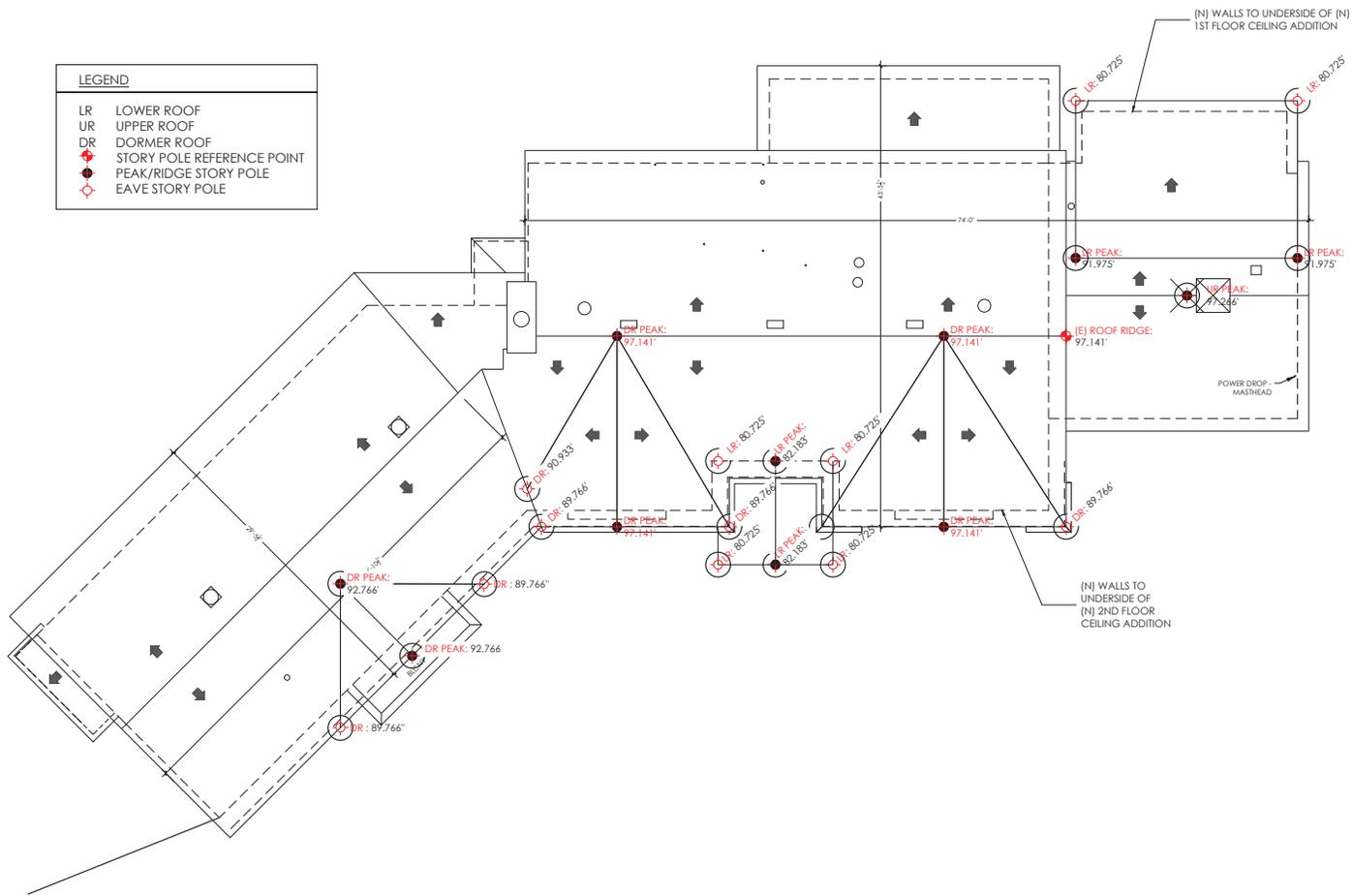
1 PROPOSED FULL SITE PLAN & ROOF PLAN
 1/16" = 1'-0"



- DIRECTIONS FROM SIR FRANCIS DRAKE:**
- HEAD NORTH ON SIR FRANCIS DRAKE FROM HWY 101
 - TURN LEFT (WEST) ONTO LAGUNITAS ROAD
 - DRIVE 0.7 MILES. THE HOUSE IS ON THE RIGHT.

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LEGEND	
LR	LOWER ROOF
UR	UPPER ROOF
DR	DORMER ROOF
●	STORY POLE REFERENCE POINT
◆	PEAK/RIDGE STORY POLE
◇	EAVE STORY POLE



1 STORY POLE PLAN
3/16" = 1'-0"

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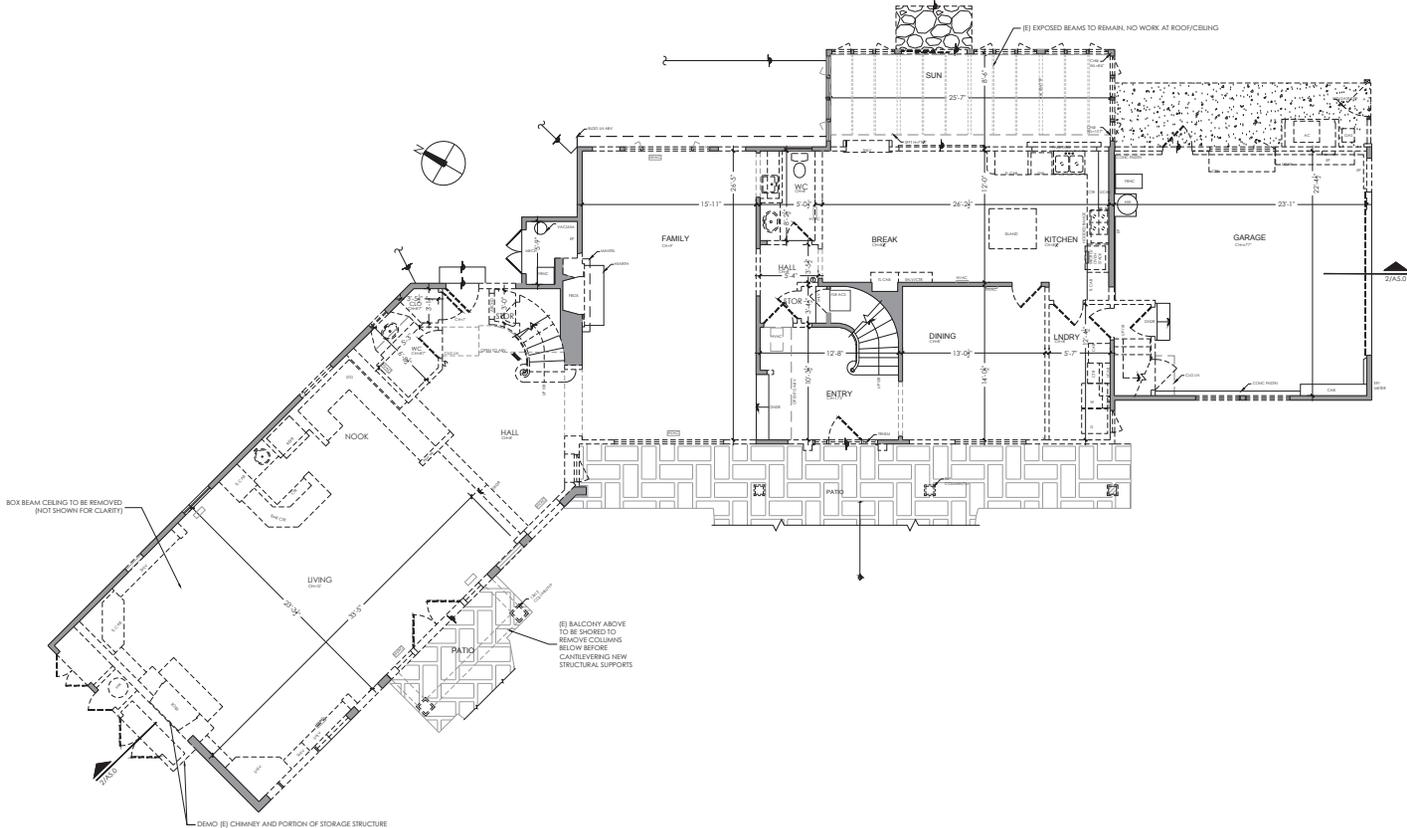
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STORY POLE PLAN

3/16" = 1'-0"

A1.3

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1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"

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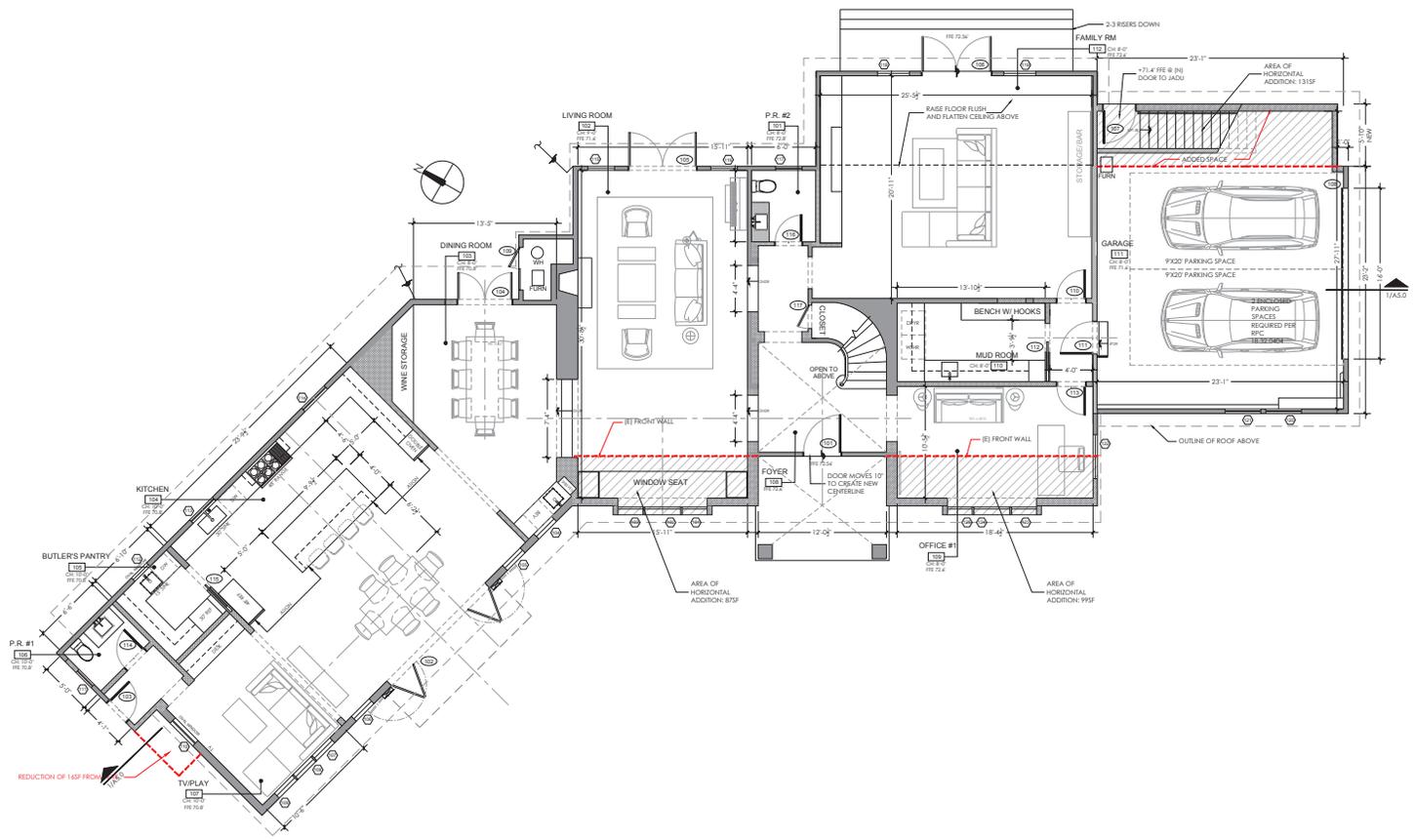
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EXISTING FIRST FLOOR
PLAN

1/4" = 1'-0"

A2.0

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1 FIRST FLOOR PROPOSED PLAN
1/4" = 1'-0"

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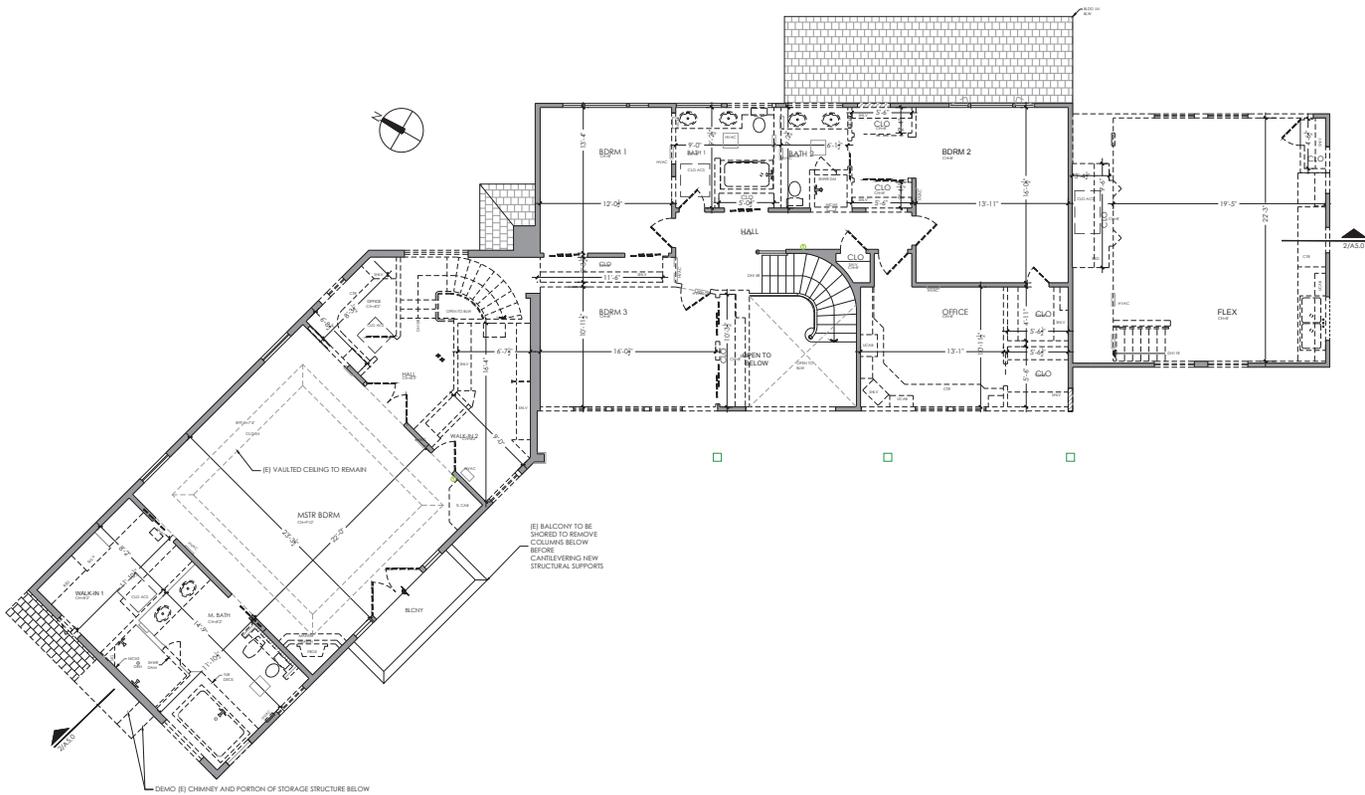
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FIRST FLOOR PROPOSED
PLANS

1/4" = 1'-0"

A2.1

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1 SECOND FLOOR DEMO PLAN
1/4" = 1'-0"

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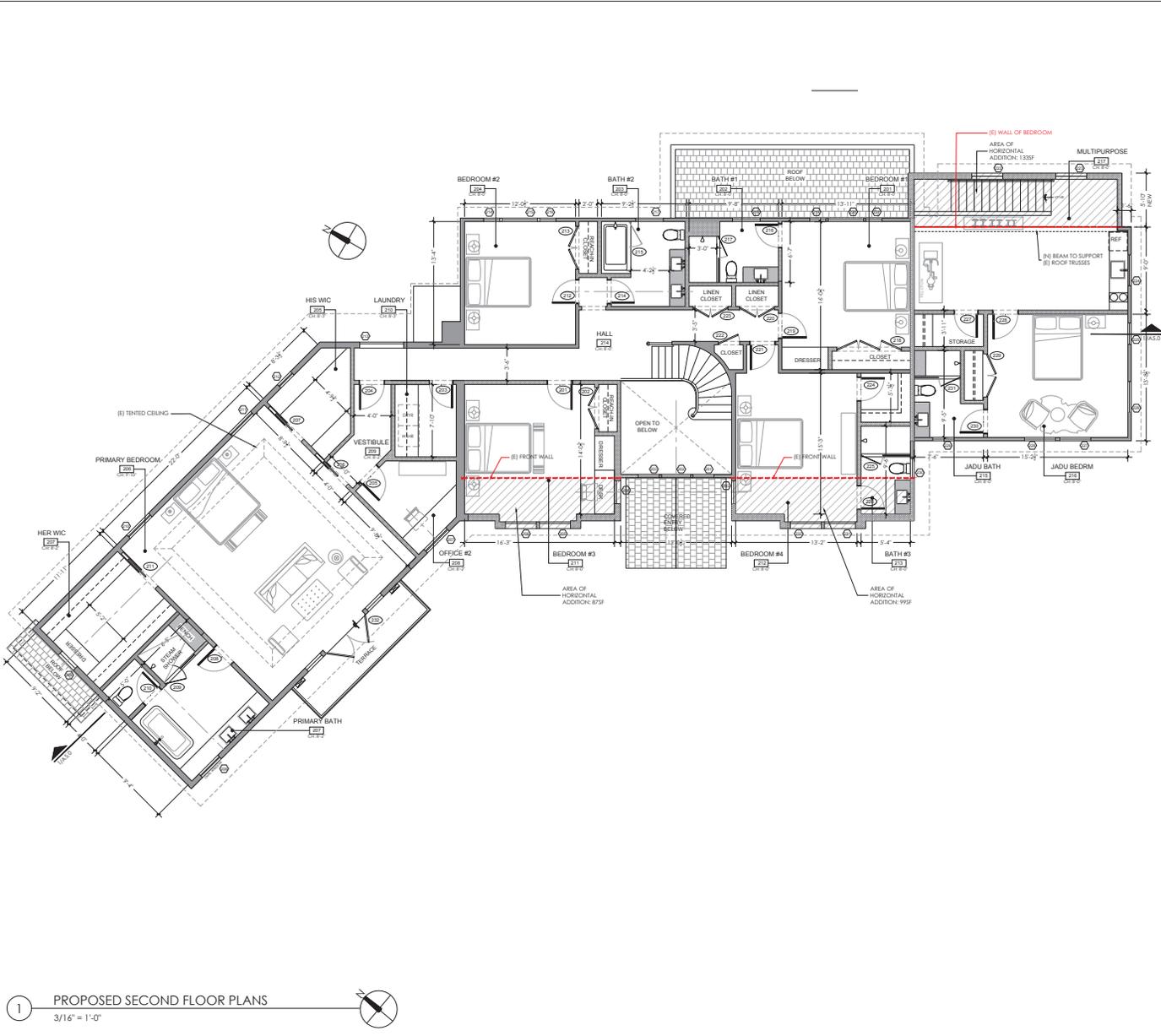
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SECOND FLOOR
EXISTING/DEMO PLANS

1/4" = 1'-0"

A2.2

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1 PROPOSED SECOND FLOOR PLANS
 3/16" = 1'-0"

- FLOOR PLAN NOTES:**
- ADD BATT OR SPRAY INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS. ALL CEILINGS TO BE INSULATED TO R-30 OR BETTER WITH SPRAY FOAM INSULATION AND FLOORS TO BE INSULATED TO R-13 OR BETTER. INSULATION FOR UN-VENTED CEILING/ROOF AREAS TO BE SPRAY APPLIED THERMAL INSULATION, NON-VENTED ROOF TO MEET ASTM E84, NFPA 286, ICC AC3077, CRC R904.5.
 - BATT INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
 - NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - ALL NEW WINDOWS AND GLASS DOORS TO COMPLY WITH TITLE 24 ENERGY REPORT.
 - DEMOLITION ON EXISTING PLANS SHOWN BY DASHED LINE.
 - ALL NEW FIXTURES SHALL HAVE MAX FLOW RATES AS FOLLOWS: SHOWERHEADS 1.8 GPM, LAVATORY FAUCETS 1.2 GPM, KITCHEN FAUCETS 1.8 GPM, TOILETS 1.28 GPM.
 - EXTERIOR WALLS & PROJECTIONS TO BE ONE-HOUR FIRE RATED WITH RESTRICTED OPENINGS IF CLOSER THAN 5'-0" TO PROPERTY LINE, CRC TABLE R302.1 (1)
 - FIRE SEPARATION @ GARAGE/CARPOR & DWELLING, CRC R302.5 & R302.6
 - 4% NATURAL VENTILATION, 8% NATURAL LIGHT, OF FLOOR AREA, OR ARTIFICIAL LIGHT AND VENTILATION, CRC R303.
 - BATHROOM EXHAUST FANS REQUIRED IN ALL BATHROOMS, CRC R308.4
 - SAFETY GLAZING REQUIRED IN HAZARDOUS LOCATIONS, CRC R308.4
 - EMERGENCY ESCAPE & RESCUE OPENINGS @ BASEMENTS, HABITABLE ATTICS & EVERY SLEEPING ROOM, 5.7/5.0 SF, CRC R310.
 - 7 3/4" MAX STAIRWAY RISER, 10" MIN. TREAD, CRC R311.7.5
 - HANDRAILS 34"-38" ABOVE NOSE OF TREAD, CRC R311.7.8
 - 42" GUARDS & 24" WINDOW SILL HEIGHT FOR FALL PROTECTION, CRC R312
 - SMOKE ALARMS @ SLEEPING ROOMS, HALLWAYS AND @ EACH STORY, CRC R314.
 - CARBON MONOXIDE ALARMS PER CRC R315.
 - SEISMIC STRAPPING @ WATER HEATER, CPC 507.2
 - GAS SHUTOFF VALVES REQUIRED @ GAS METER AND/OR APPLIANCES, CITY/COUNTY ORDINANCE
 - OUTSIDE COMBUSTION AIR @ WATER HEATER & FURNACE, CPC 506.4 & CMC 701.6
 - DRYER VENT 14" MAX LENGTH, CMC 504.4
 - METAL OR GLASS DOOR @ FIREPLACE OPENING, CENC 150.0e

WALL LEGEND:

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW TYP. NON-RATED WALL
	1-HOUR RATED WALL: 1 LAYER TYPE X 5/8" GWB EACH SIDE

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 03.21.2024
 3/16" = 1'-0"
A2.3



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- NOTES:**
1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (E) FOR "EXISTING TO REMAIN."
 2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD WITH MINIMUM 1 PANE (EXTERIOR) TEMPERED PER WUI COMPLIANCE, WITH WHITE SASHES.
 3. ALL NEW WINDOWS & EXTERIOR DOOR HEADS TO ALIGN, TYPICAL.
 4. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE PROVIDED AT ALL SLEEPING ROOMS WHERE DESIGNATED BY A ϕ ON THE ELEVATIONS WHERE SHOWN, THESE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7SF, NEW CLEAR OPENING HEIGHT OF 24" AND MIN NET CLEAR OPENING WIDTH OF 20". THE BOTTOM OF THE CLEAR OPENING SHALL BE NO GREATER THAN 44" AFF.
 5. TYPICAL SIDING TO BE FIRE-TREATED STAINED CEDAR SHINGLES
 6. TYPICAL ROOFING TO BE CHARCOAL GREY CLASS-A RATED ASPHALT SHINGLES TO COPPER GUTTERS & DOWNSPOUTS.

ALUMINUM CLAD WOOD WINDOWS & DOORS WITH WHITE SASHES AND WHITE PAINTED WOOD TRIM

ALL SIDING TO BE REPLACED WITH STAINED, FIRE-TREATED CEDAR SHINGLES

2 PROPOSED NORTH (REAR) ELEVATION
1/4" = 1'-0"



1 EXISTING NORTH (REAR) ELEVATION
1/4" = 1'-0"

BROOKS MCDONALD ARCHITECTURE
 200 LAGUNITAS ROAD, ROSS, CA 94957
 APN #073-131-23
 www.brooksmcdonaldarchitecture.com
 info@brooksmcdonaldarchitecture.com
 CA Lic #133389

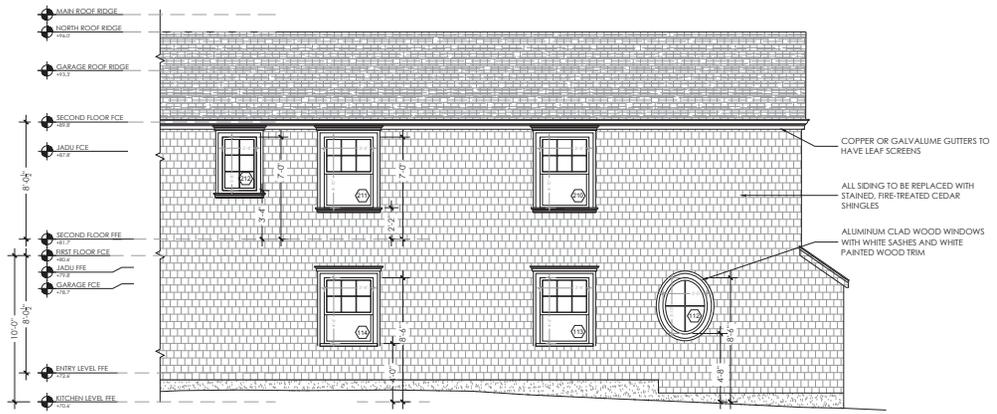


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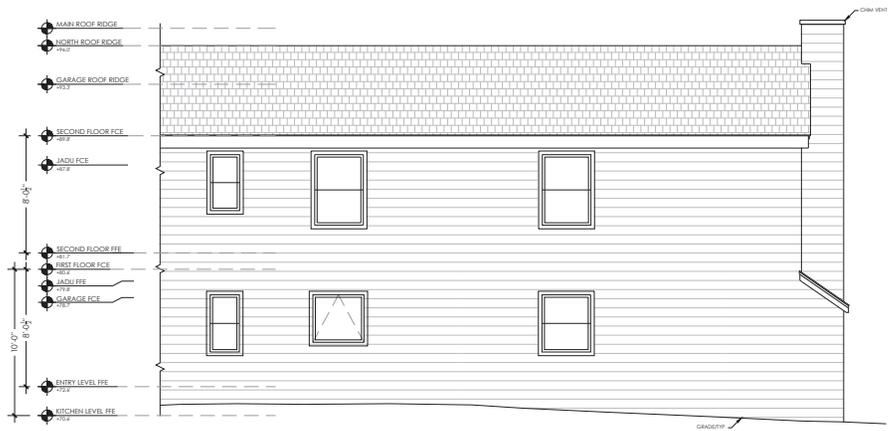
EXTERIOR ELEVATIONS

1/4" = 1'-0"
A4.0

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2 PROPOSED NORTH (REAR) ELEVATION
1/4" = 1'-0"



1 EXISTING NORTH (REAR) ELEVATION
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 5. TYPICAL SIDING TO BE FIRE-TREATED STAINED CEDAR SHINGLES
 6. TYPICAL ROOFING TO BE CHARCOAL GREY CLASS-A RATED ASPHALT SHINGLES TO COPPER GUTTERS & DOWNSPOUTS.

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ARCHITECTURE
info@brooksandmcdonald.com
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COSTA MESA, CA 92626
www.brooksandmcdonald.com

NIEHAUS RESIDENCE
200 LAGUNITAS ROAD, ROSS, CA 94957
APN #073-131-23



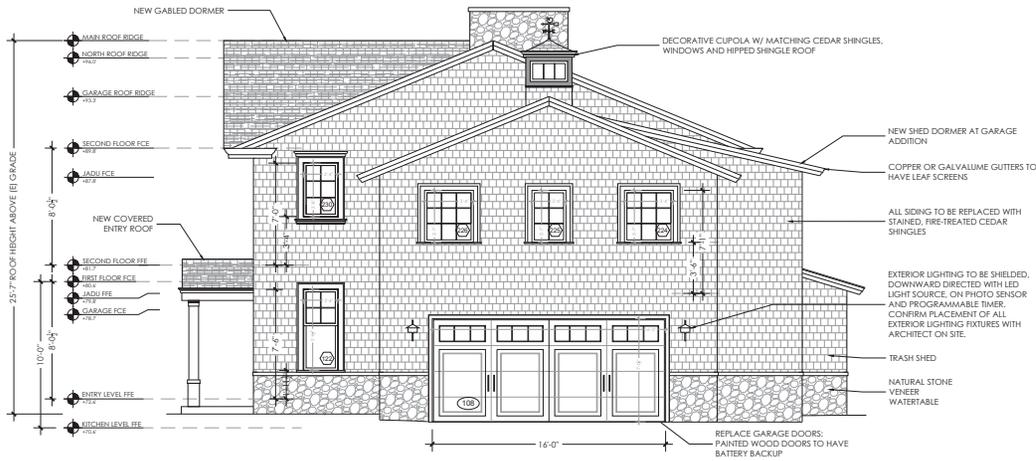
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EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.1

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2 PROPOSED EAST (SIDE) ELEVATION
1/4" = 1'-0"



1 EXISTING EAST (SIDE) ELEVATION
1/4" = 1'-0"

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 www.brooksandmcdonald.com
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 APN #073-131-23



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EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.2

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2 PROPOSED SOUTH (FRONT) ELEVATION
1/4" = 1'-0"



1 EXISTING SOUTH (FRONT) ELEVATION
1/4" = 1'-0"

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 ARCHITECTURE
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EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.3

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NEW ARCHED DORMER AT PRIMARY BEDROOM - CALIFORNIA FRAMED OVER EXISTING ROOF
 BALCONY TO REMAIN - NO CHANGE IN SIZE. REMOVE SUPPORTING COLUMNS BELOW AND SUPPORT WITH NEW CANTILEVERED FRAMING. REPLACE PAINTED W/D GUARDRAILS
 COPPER OR GALVALUME GUTTERS TO HAVE LEAF SCREENS
 ALUMINUM CLAD WOOD WINDOWS & DOORS WITH WHITE SASHES AND WHITE PAINTED WOOD TRIM
 ALL SIDING TO BE REPLACED WITH STAINED, FIRE-TREATED CEDAR SHINGLES
 NATURAL STONE VENEER WATERTABLE

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2 PROPOSED SOUTH (FRONT) ELEVATION
 1/4" = 1'-0"



1 EXISTING SOUTH (FRONT) ELEVATION
 1/4" = 1'-0"

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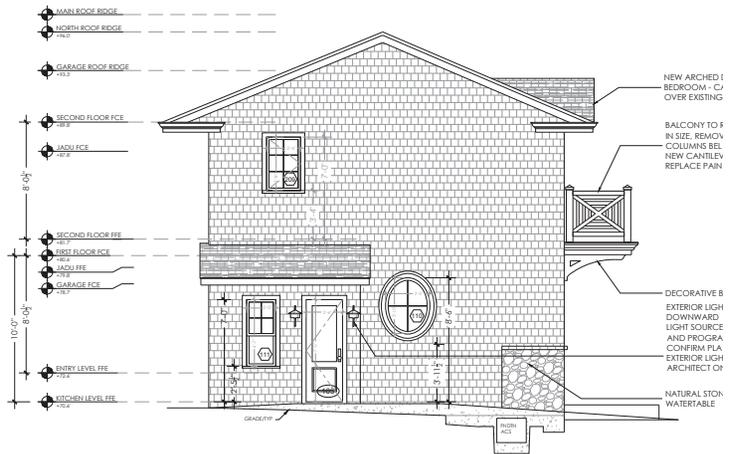


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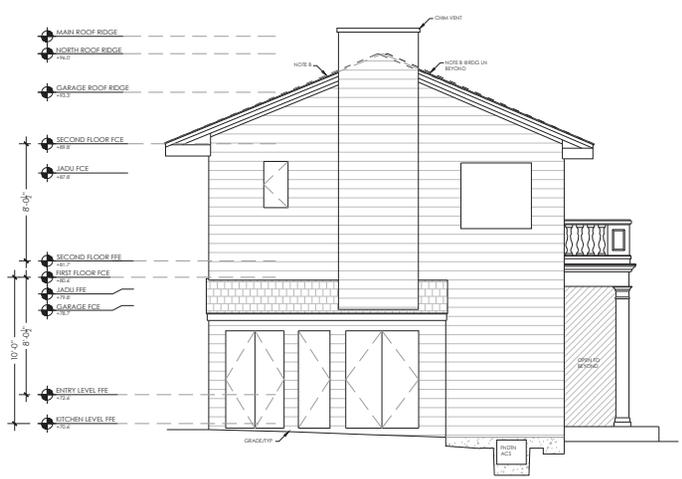
EXTERIOR ELEVATIONS

1/4" = 1'-0"
A4.4

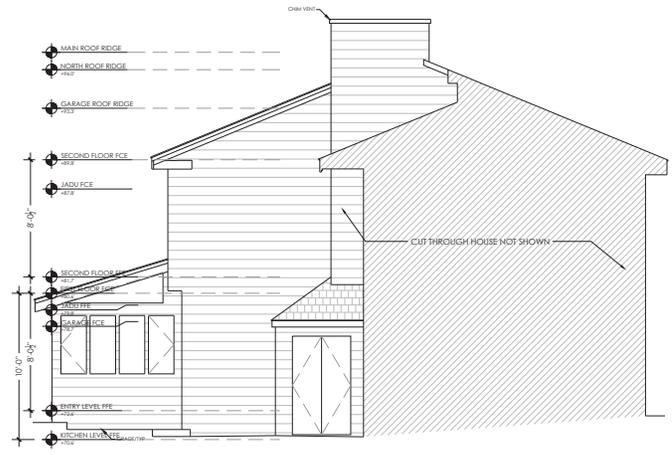
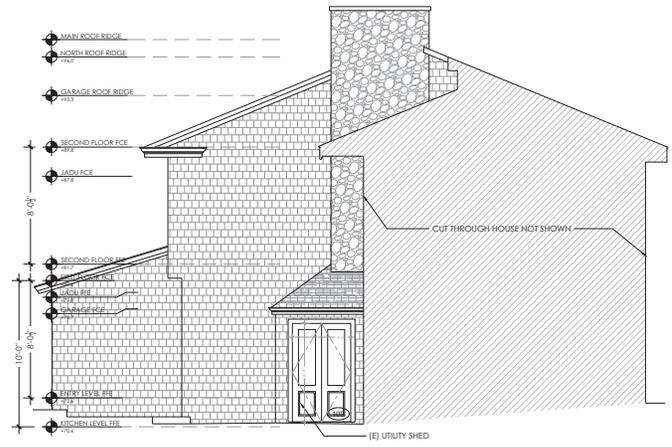
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2 PROPOSED WEST (SIDE) ELEVATION
1/4" = 1'-0"



1 EXISTING WEST (SIDE) ELEVATION
1/4" = 1'-0"



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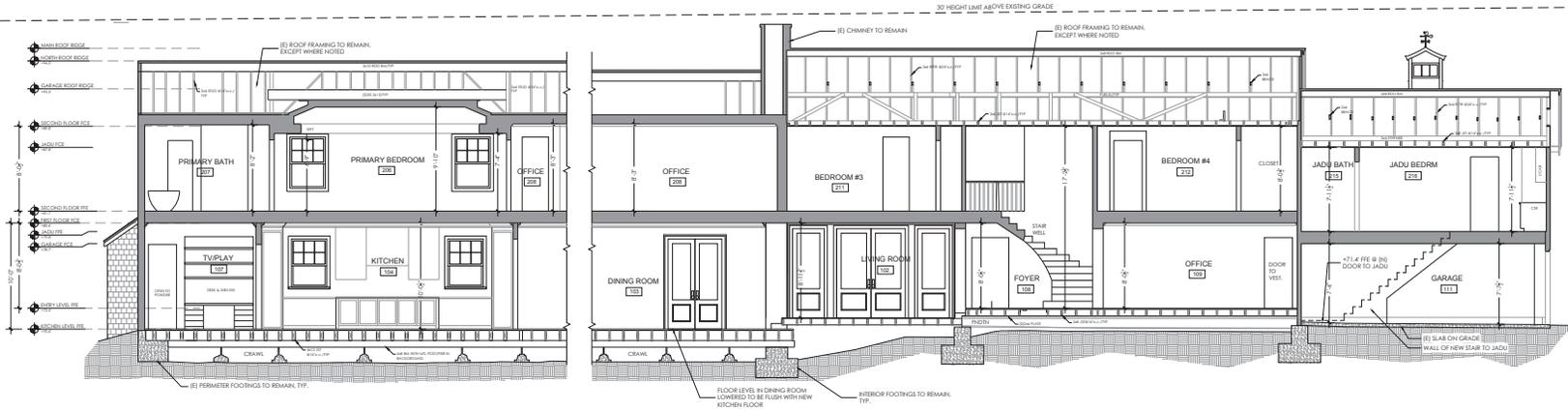
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EXTERIOR ELEVATIONS

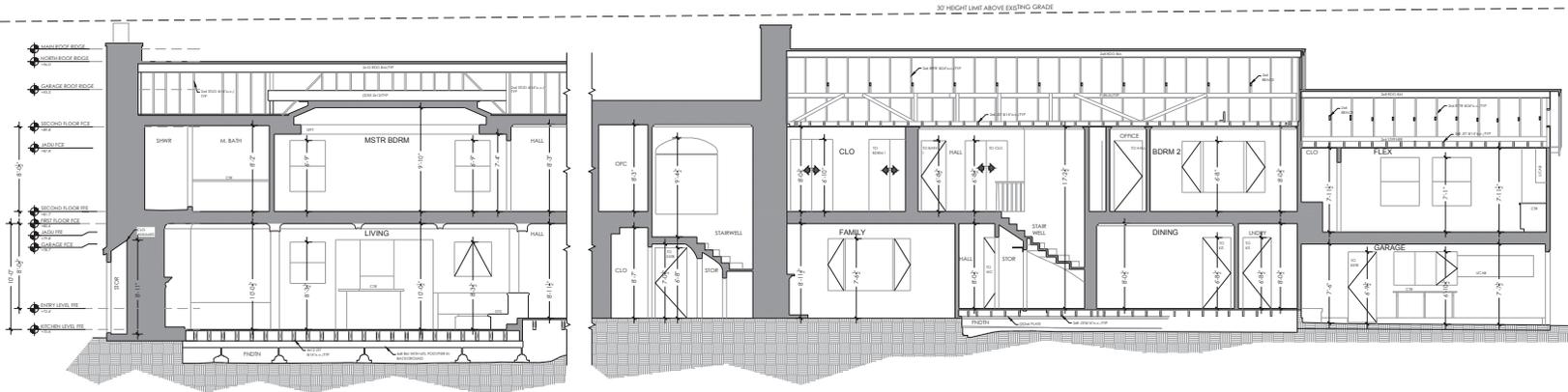
1/4" = 1'-0"

A4.5

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1 PROPOSED LONGITUDINAL SECTION
 3/16" = 1'-0"



2 EXISTING LONGITUDINAL SECTION
 3/16" = 1'-0"

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BUILDING SECTIONS

3/16" = 1'-0"

A5.0

GENERAL NOTES

BOUNDARY LINES SHOWN HEREON WERE DETERMINED BY MUNSELLE CIVIL ENGINEERING AND WILL BE SHOWN ON A RECORD OF SURVEY TO BE FILED WITH THE MARIN COUNTY SURVEYOR.

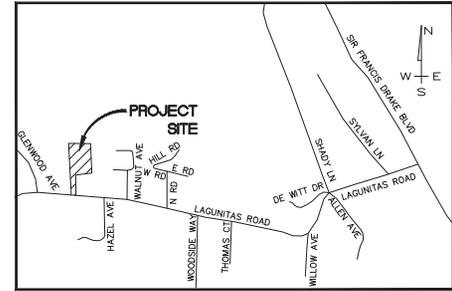
UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

BASIS OF BEARINGS-GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).

ELEVATIONS SHOWN HEREON ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #105 SET MINI PK NAIL CONTROL POINT. ELEVATION = 70.82' NAVD 88

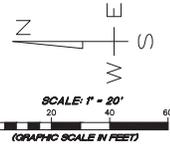
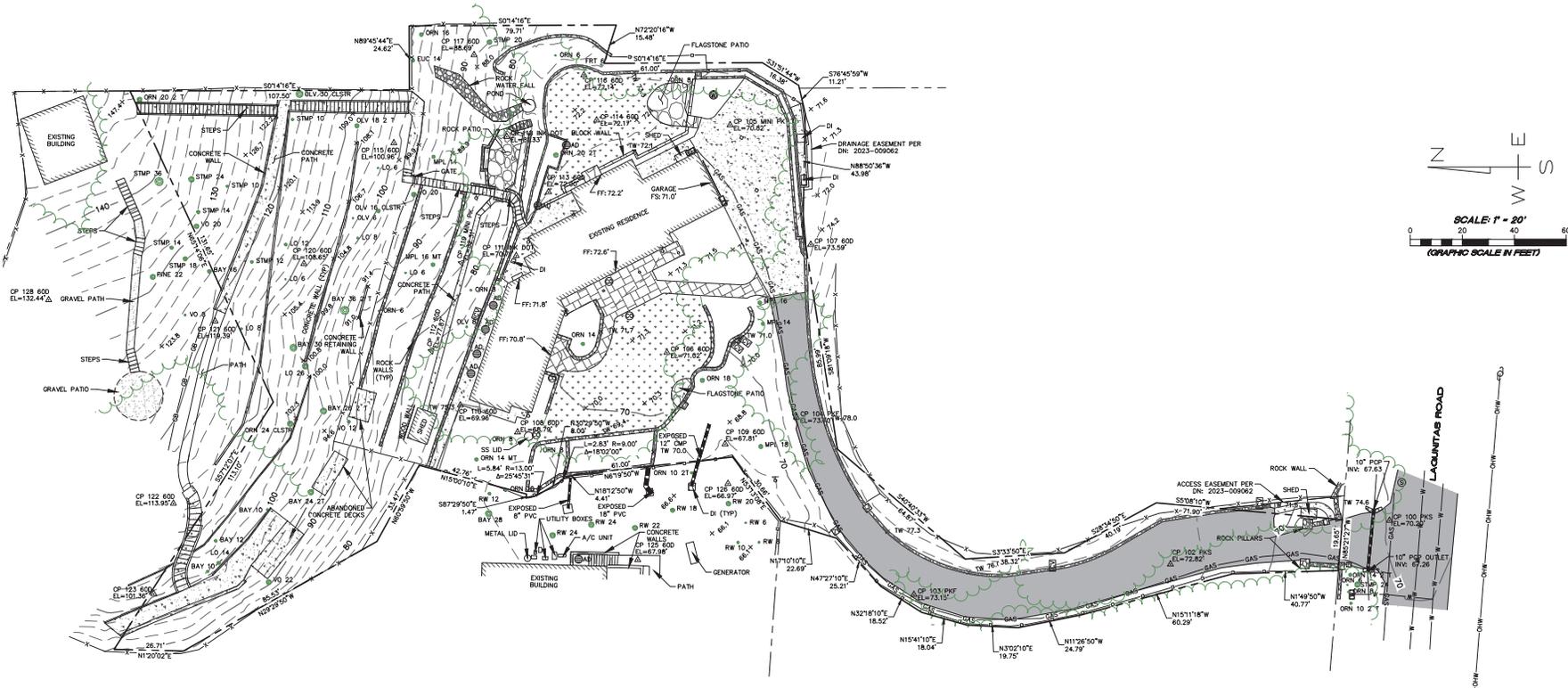
LEGEND

---	BOUNDARY LINE	●AD	AREA DRAIN
- - -	ADJOINING BOUNDARY LINE	△ CP 3	SURVEY CONTROL POINT
---	EASEMENT LINE	△ H&L 24-100	SPOT ELEVATION
---	FLOWLINE	xTW 150.5	TOP OF WALL ELEVATION
---	EDGE OF CONCRETE	●@0 24"	TREE-TYPE & DIAMETER
---	GRADE BREAK	OLV	OLIVE TREE
---	WOOD FENCE	VO	VALLEY OAK TREE
---	WIRE FENCE	LO	LIVE OAK TREE
---	OVERHEAD WIRE	PINE	PINE TREE
---	WATER LINE	BAY	BAY TREE
---	GAS LINE	MPL	MAPLE TREE
---	TREE DRIPLINE	FRT	FRUIT TREE
---	ASPHALT CONCRETE SURFACE	ORN	ORNAMENTAL TREE
---	GRAVEL SURFACE	PCP	CORRUGATED PLASTIC PIPE
---	CONCRETE SURFACE	CMP	CORRUGATED METAL PIPE
---	LAWN	INV	INVERT
---	IRRIGATION VALVE	FF	FINISHED FLOOR
---	HOSE BIB	FS	FINISHED SLAB
---	POWER/JOINT POLE	DI	DROP INLET
---	WATER METER	AD	AREA DRAIN
---	ELECTRIC METER	SS	SANITARY SEWER
---	GAS METER	CO	CLEAN OUT
---	SEWER MANHOLE	TW	TOP OF WALL
---	SEWER CLEAN OUT	BW	BOTTOM OF WALL



LOCATION MAP

NO SCALE



PERSON	DESCRIPTION	DATE

MUNSELLE CIVIL ENGINEERING
 CIVIL ENGINEERING & LAND SURVEYING
 885 CENTER STREET
 SAN FRANCISCO, CA 94148
 (415) 777-3883



DATE: _____
 DRAWN BY: Steven A. Klemm
 CHECKED BY: _____

200 LAGUNITAS ROAD
 TOPOGRAPHIC MAP
 APRN 078-19-38
 800 LAGUNITAS ROAD
 ROSELIE, CA 94867

NOVEMBER 2023
 JOB NO. 158-23

SHEET NO. **1**
 OF 1 SHEETS

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|---|
| <input checked="" type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input checked="" type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-131-23

Project Address: 200 Lagunitas Road

Property Owner: Sarah and Scott Niehaus

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: Ross, CA 94957 Owner's Phone: 203-216-1687

Owner's Email: sarah.rocio.niehaus@gmail.com, scott.niehaus@gmail.com

Applicant: Brooks McDonald

Applicant Mailing Address: 1615 Bridgeway

City/State/Zip: Sausalito CA 94965 Applicant's Phone: 415-350-8011

Applicant's Email: brooks@brooksmcdarchitecture.com

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____	Planning 5300 _____
Application No.: _____	Tree Permit 5305 _____
Zoning: _____	Fee Program Administration 5315-05 _____
	Record Management 5316-05 _____
	Record Retention 5112-05 _____
	Technology Surcharge 5313-05 _____
Date paid: _____	TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: N/A

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

N/A

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE

PARCEL 2

Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

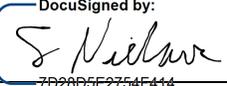
CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature:  Date: 1/22/2024

DocuSigned by: 7D28D5E2754F414...

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature:  Date: 1/22/2024

DocuSigned by: 7D28D5E2754F414...

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

County of Marin, California on **1/22/2024**


Signature of Property Owner(s) and Applicant(s) 
Signature of Plan Preparer 1/22/2024

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm STRATA LANDSCAPE ARCHITECTURE
Project Landscape Architect DUSTIN MOORE
Mailing Address _____
City _____ State _____ ZIP _____
Phone 415-431-9200 Fax _____
Email DMOORE@STRATA-INC.COM
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm MUNSELLE CIVIL ENGINEERING
Project Engineer DAN HUGHES
Mailing Address _____
City _____ State _____ ZIP _____
Phone 707-775-8986 Fax _____
Email DAN@MUNSELLECIVIL.COM
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

200 Lagunitas Neighbor Communication

Neighbors that we have directly reached out to and shared plans regarding our renovation:

- Schliesman (24 Olive St)
- O'Hara/Weldon (198 Lagunitas)
- Owen (200.5 Lagunitas)
- McDermott (2 Glenwood)

We have shared the plans reviewed at the 12/12/23 Conceptual ADR with each of the neighbors listed above. We have spent additional time with the McDermott's at 2 Glenwood where we are exploring the lot line adjustment. None of these neighbors have raised objections to the project.

Schliesman

12/8 email:

200 Lagunitas Renovation Update

Sarah Niehaus <sarah.rocio.niehaus@gmail.com>
to Rtschliesmann

Fri, Dec 8, 2023, 10:42 AM

Hi Dick!

We have really enjoyed settling into our new home at 200 Lagunitas. We feel incredibly lucky to be here, and to be surrounded by such wonderful neighbors! As we've mentioned we are planning a renovation for 200 Lagunitas to bring it into the modern era, while maintaining the traditional charm. We are planning to attend the ADR this upcoming Tuesday 12/12 for a 'Conceptual Review'.

Our goals for the project are 1) to update the interior of the house and make it more functional for family living, 2) improve the exterior aesthetic of the house, 3) update landscaping to increase utility for our family, including maximizing the amount of flat lawn in the front of the house while also adding a pool. Our goal would be to have no changes that are non-conforming to any Ross planning or zoning codes. Ideally we would get through approvals to start construction early summer 2024.

Key changes on the interior:

- Tunneling a hallway to connect the entire upstairs (currently the primary bedroom is accessed via a separate stairwell)
- Flipping the floorplan of where the kitchen is located to optimize functionality and improve access to the flat front yard (where our family spends most of our time)
- See floor plan attached

Key changes on the exterior:

- Creating 3 small bump outs - 2 in the front of the house to address the aesthetic issue of the front pillars, and one at the garage to make it such that we can fit 2 cars in it. The net sum of additional square footage would be: +792 sqft
- We will be adding gables to the front of the house and updating siding (see image attached)

We want to call out that these are still in conceptual stages. We want to be as open as possible with you as neighbors and with the town to make this project as successful as possible. Attached I have included the package we are planning to submit to ADR. We are happy to spend time reviewing in more detail or walking you through the current house/property. The boys and I have been making a special holiday treat that we would love to come share with you this weekend and we can discuss more.

Best,
Scott and Sarah

One attachment • Scanned by Gmail

PDF 200 Lagunitas 20...

Dick Schliesmann <rtschliesmann@yahoo.com>
to me, susan, me

Sat, Dec 9, 2023, 1:55 PM

Hello Sarah,

Wow, what a fabulous transformation!!! Those gables/windows. and the shingles/rock, just make your house a totally different, warm, and welcoming home. This is a beautiful concept. And, the lot swaps were a real genius move. Happy that you were able to make that move and get a more reasonable lot shape. I see that you are using Dustin Moore for the landscaping. He is a wonderful person.

No need to rush to review these plans at this stage. We can get together after the holidays to review any details. I did notice that your some of your elevations are mislabelled as to direction, (east/south) but no big deal.

All the best,
dick and susan.

...

O'Hara/Weldon

12/8/23 email:

200 Lagunitas Renovation Update

Sarah Niehaus <sarah.rocio.niehaus@gmail.com>
to Cynthia, Jamie, Scott

Hi Cynthia and Jamie,

We have really enjoyed settling into our new home at 200 Lagunitas. We feel incredibly lucky to be here, and to be surrounded by such wonderful neighbors. As we've mentioned we are planning a renovation for 200 Lagunitas to bring it into the modern era, while maintaining the traditional charm. We are planning to attend the ADR this upcoming Tuesday 12/12 for a 'Conceptual Review'.

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Best,
Scott and Sarah

One attachment • Scanned by Gmail

PDF
200 Lagunitas 20...

Owen

12/9/23 email:



Sarah Niehaus <sarah.rocio.niehaus@gmail.com>
to Toriowen, jowen63714, Scott

Dec 9, 2023, 10:02AM

Hi Tori and Jim,

Just following up on our text thread with more details on our plans. Feel free to review at your leisure.

We have really enjoyed settling into our new home at 200 Lagunitas. We feel incredibly lucky to be here, and to be surrounded by such wonderful neighbors. As we've mentioned we are planning a renovation for 200 Lagunitas to bring it into the modern era, while maintaining the traditional charm. We are planning to attend the ADR this upcoming Tuesday 12/12 for a 'Conceptual Review'.

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Best,
Scott and Sarah

One attachment • Scanned by Gmail



Jim Owen <jowen63714@gmail.com>
to Toriowen, me, Scott

Dec 9, 2023, 10:19AM

Looks nice!

The lot line adjustment really fixes some historical idiosyncrasies.

One more request: would you make sure to enclose/sound insulate your pool equipment room/area please. Thank you.

Happy Holidays,
Jim

Sent with Spark

McDermott

- 6/24/23 - Scott and Ed walked 200 Lagunitas together and discussed initial ideas on renovation and LLA
- 11/10/23 - Walked Ed and Betsy McDermott through detailed plans at our house; discussed LLA in more detail
- 12/14/23 email:

200 Lagunitas - latest plans Inbox x



Scott Niehaus
to mcdermottbetsy@yahoo.com, ehmcdermott@gmail.com, me

Thu, Dec 14, 2023, 11:36AM ☆ ☺ ↶ ⋮

Betsy / Ed - per our text exchange see attached for the plans we walked through at ADR this week. As always we'd love to hear any feedback you have. Look forward to walking through the potential LLA in a few weeks.

Enjoy NZ!

Best
Scott & Sarah

One attachment • Scanned by Gmail



Scott Niehaus
to mcdermottbetsy@yahoo.com, ehmcdermott@gmail.com, me

Sun, Jan 7, 12:45PM (11 days ago) ☆ ☺ ↶ ⋮

Ed and Betsy,

Nice to walk the property together today. The attached has the shaded LLA picture on page 15. We are going to check on the town rules re: generator and will keep you updated on the drainage plans. If you have any comments on the proposed lines at any time, just let us know. We should have a bit of time to work through this. Thanks again.

Scott

One attachment • Scanned by Gmail



- 1/14/24: Walked staking of potential LLA with Ed/Betsy

ATTACHMENT 4

MINUTES

Meeting of the Ross
Advisory Design Review Group
March 19, 2024, 6:00pm

Video and audio recording of the meeting is available online at the Town's website at:
townofross.org/meetings.

1. 6:00 p.m. Commencement

Chair Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Joey Buckingham, Laura Dewar, and Mark Fritts; Roberta Feliciano (Planning and Building Director), Alex Lopez-Vega (Assistant Planner)

Absent: Stephen Sutro

2. Approval of Minutes.

The ADR Group approved the minutes from the January 16, 2024, meeting.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications/Projects

- a.
- | | |
|--------------------------|-----------------------------|
| Property Address: | 12 Garden Road |
| Property Owner: | Michael and Margot Edde |
| Applicant: | Polsky Perlstein Architects |
| Parcel Number: | 072-153-05 |
| Zoning: | R-1: B-10 |
| General Plan: | ML (Medium Low Density) |
| Flood Zone: | X (Moderate Risk) |

Project Summary: The applicant requests a recommendation to Town Council for Design Review, an Accessory Dwelling Unit (ADU) Exception and Nonconformity permit. The project includes remodeling and renovating of the existing single-family home, including a 703 square-foot (SF) second story addition, attached 1,200 SF rent restricted ADU integrated within the existing structure, and new landscaping.

Mark Fritts

- Agrees with ADR members.
- Massing is a nice improvement.
- Lacks some details, needs a little more character on the front façade.
- Felt a little plain
- Suggested the darker shade of linen for exterior stucco.

Joey Buckingham

- Agrees with Mark K. that the proposal is a huge improvement.
- Shares Laura's concern about the exterior color of the house being too white, it can be toned down.
- Expressed concern about side windows in terms of privacy, but maybe it's okay since the neighbors supported the project.
- Overall looks like a great project

Mark Kruttschnitt

- Project looks great, huge improvement.

Laura Dewar

- Great project
- Recommends painting the stucco a more natural color and not white.

b.

Property Address: 200 Lagunitas Road
Property Owner: Sarah and Scott Niehaus
Applicant: Brooks McDonald
Parcel Number: 073-131-23
Zoning: R-1:B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review and a Demolition Permit. The project proposes to replace the existing siding with cedar shingles and a stone base. The project includes a remodel of the single-family residence, including two horizontal additions adding up to 186 square feet (SF) to the front of the single-family residence, and 131 SF addition to the garage for access to a Junior Accessory Dwelling Unit (JADU). A new covered porch is also proposed.

Mark Kruttschnitt

- Project looks fine
- Likes that the extra two columns are being removed front door

Laura Dewar

- Supports the project

Mark Fritts

- Recommends that the fascia be thicker
- Great project huge improvement

c. **Property Address:** 2 Bellagio Road

Property Owner: Bellagio Ross, LP
Applicant: Imprints Landscape Architecture
Parcel Number: 072-031-04
Zoning: R-1:B5A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review and a hillside Lot Permit. The project proposes to construct a new 30' x 60' sports court with an 8-ft high stainless-steel rope net. New stone steps with handrails will be provided to have access to the new sport court. The new sport court will be adjacent to the ADU, and stone patio located on the eastern part of the lot.

Joey Buckingham

- Supports the project as drawn
- The proposed court is out of the setback and far away from other houses
- They are mitigating many concerns such as plantings, pervious surface
- Many neighbors in that area have tennis courts and this is a huge lot

Mark Kruttschnitt

- Supports the project
- Since the project is not going over FAR or building in the setback
- Recommends approval

Laura Dewar

- The design is okay, with the lighting remaining low.
- Feels for the neighbors concerns

Mark Fritts

- The house has a lot of disturbance, the house already has a bocce court, pool, and lawn.
- Design guidelines states that projects should minimize disturbance in natural topography.
- Does not see a problem
- Supports the project, however would ask that the applicant look into sound mitigation as feasible.

5. Conceptual Advisory Design Review

No items

6. Information and Discussion.

- a. Update on ADR Group Appointments

- Staff conveyed the positive statements and re-appointment of all 5 ADR group member.
- b. Design Review for exterior wall coverings
 - The ADR group provided staff with comments on forming a committee of 2 members who would review replacements of wall covering over 25%.
- c. Selection of the ADR Chair for 2024
 - Chair Mark Kruttschnitt was re-selected to serve as the ADR Chair for 2024.

7. New Agenda Items.

Adjournment, 7:25 PM.

Next scheduled regular meeting date and time: April 16, 2024, at 6:00 PM.

DRAFT