



## Agenda Item No. 15

### Staff Report

**Date:** March 9, 2023

**To:** Mayor Kuhl and Council Members

**From:** Alex Lopez-Vega, Assistant Planner

**Subject:** Whittington Residence, 41 Poplar Avenue

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#### Recommendation

It is recommended that the Town Council adopt Resolution No. 2293 (see **Attachment 1**) approving Design Review, and a Variance for the subject project as described below.

**Property Address:** 41 Poplar Avenue  
**A.P.N.:** 073-273-04  
**Applicant:** Eric M. Spletzer  
**Property Owner:** Michael and Mindy Whittington  
**Zoning:** R-1:B-7\_5  
**General Plan:** ML (Medium Low Density)  
**Flood Zone:** AE (Floodway)

#### Project Description:

The applicant is requesting approval for Design Review and a Variance. The project proposes to lift the existing two-story single-family residence 4'3" above its existing elevation in its current location in order to raise the habitable space out of the floodplain. The maximum building height would increase from 18'-6" to a proposed 22'9" which would comply with the maximum allowed 30 – foot building height limit. The project includes expanding the second-story deck and removing the existing stairs. A new rear porch is proposed below the new second-story deck which will encroach into the side yard setback. The project will include interior work which will exchange some existing floor area for new floor area, replace and install new windows, and update the front entry stairs with a new handrail.

**Project Data**

	<b>Code Standard</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area</b>	7,500SF	8,962 SF	No change
<b>Floor Area (FAR)</b>	20%	2,709 SF (30.23%)	No Change
<b>Building Coverage</b>	20%	1,626 SF (18.15%)	1,670 SF (18.64%)
<b>Front Setback</b>	25'	26'	No Change
<b>Side Setback (West)</b>	15'	21'	No Change
<b>Side Setback (East)</b>	15'	9'-3"	No Change
<b>Rear Setback</b>	40'	100'	No Change
<b>Building Height</b>	30'	18' 6"	22'9"
<b>Parking</b>	2 (1 Covered)	2 (1 Covered)	2 (1 Covered)
<b>Impervious Surface Coverage</b>	Minimize and/or mitigate for any increase.	1,438 SF	1,217 SF

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for construction of a new building exceeding 200 square feet of a new floor area; fences and gates greater than 48" in height adjacent to the street right-of-way; a project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.

- **Variance Permit is required pursuant to RMC Section 18.48.010** to allow for the construction of a new porch which is nonconforming with respect to the side yard setback.

### **Background**

The project site is an 8,962 square-foot rectangular lot on the west side of Poplar Avenue. The property is located within the Federal Emergency Management Agency (FEMA) Special Flood Hazard Area Zone AE, which is defined as an area subject to inundation by the 1- percent-annual-chance flood event (also referred to as the base flood or 100-year flood).

### **Advisory Design Review**

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On February 15, 2023, the ADR Group unanimously recommended that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, supported approval of Design Review. Four of the ADR members supported the project but could not support the expansion of the second story deck. One of the ADR members supported the second story deck because there is an existing deck there and the expansion would not change the use. The ADR members discussed privacy concerns for the second story deck. The applicant is proposing additional privacy screening to the south with a planted trellis wall, and the applicant is also working with the neighbors on a landscape plan to include more privacy screening at ground level. The revised plans included as Attachment 2 reflect the ADR suggestions.

A few of the ADR members had some architectural advice for the applicant, they suggested lifting the house as much as possible to avoid the house from flooding as well as making the front/ west elevation downstairs windows bigger in proportion to the new height. As a result, the applicant will lift the entire mass another 7" which will increase the home up to 22' 9", as for the front window, the applicant will increase the height of the window accordingly to the new height. The project architect has also included a narrative of the changes to **(Attachment 2)** based on the ADR comments.

Draft minutes of the February 15, 2023, ADR meeting are included as **Attachment 4**.

### **Discussion**

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

### **Design Review**

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes

include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town’s neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit “A” of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical “small town,” low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The proposed project is not monumental or excessively large size and is compatible with others in the neighborhood and do not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

### ***Variance***

Pursuant to RMC Section 18.48.010, where practical difficulties, unnecessary hardships and results inconsistent with the general purpose of the zoning ordinance may result from the strict



application of certain provisions thereof, variances, exceptions and adjustments may be granted, by the Town Council in appropriate cases, after public notice and hearing as provided in the zoning ordinance. Variances shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

In accordance with RMC Section 18.48.010 (c), a Variance is recommended for approval to allow the construction of a new porch within the minimum required side yard setback based on the following mandatory findings:

**1) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.**

Analysis: The special circumstances and conditions applicable to the land include the narrow shape of the subject lot. The existing nonconforming building occupies the majority of the non-setback area of the lot. Consequently, the strict application of the minimum required side yard setback on the property would deprive the subject property of privileges enjoyed by other properties of similar size in the vicinity and under identical zoning classifications, such as the ability to construct a new porch.

**2) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.**

Analysis: Rear yards and patios are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting of the variance request, in a neighborhood where existing nonconforming setbacks are not uncommon, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting of the variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

**3) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

Analysis: The proposed new porch will not adversely affect the health or safety of the persons residing or working in the neighborhood as the porch will have a physical wall with a window matching the existing house providing privacy to the adjacent property. The existing mature landscaping and shrubs would also provide visual screening from adjacent properties. The applicant also consulted with the homeowners most affected at 43 Poplar Avenue, who currently reside along the southern edge of the Whittington property line and approve of the project.

### **Fiscal, Resource and Timeline Impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

### **Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

### **Environmental Review**

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

### **Public Comment**

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date and no comments have been received at the time of writing this report.

### **Attachments**

1. Resolution No. 2293
2. Project Plans
3. Project Application Materials
4. ADR Meeting Minutes, February 15, 2023

# ATTACHMENT 1

## **TOWN OF ROSS**

### **RESOLUTION NO. 2293**

#### **RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, AND A VARIANCE PERMIT TO ELEVATE THE EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE 4’3” FEET AND CONSTRUCT A NEW PORCH LOCATED AT 41 POPLAR AVENUE, A.P.N. 073-273-04**

**WHEREAS**, applicant Eric M. Spletzer, on behalf of property owners Michael and Mindy Whittington has submitted an application requesting approval of Design Review, and a Variance Permit to lift the existing two-story single-family residence 4’3” above its existing elevation in its current location in order to raise the habitable space out of the floodplain and construct a new porch within the side yard setback at 41 Poplar Avenue APN 073-273-04 (herein referred to as “the Project”).

**WHEREAS**, the Project is determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) Guidelines 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

**WHEREAS**, on March 9, 2023, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review, a Variance Permit subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 9<sup>th</sup> day of March 2023, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

**ATTEST:**

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P. Beach Kuhl, Mayor

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Cyndie Martel, Town Clerk

**EXHIBIT "A"**  
**FINDINGS**  
**41 Poplar Avenue**  
**A.P.N. 073-273-04**

**A. Findings**

**I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:**

**a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.**

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

**b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.**

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. New buildings constructed on sloping land are designed to relate to the natural landforms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site. Buildings would use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Good access, circulation would be provided consistent with the natural features of the site. Open fencing would be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by providing bioretention facilities to offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.

**c) The project is consistent with the Ross General Plan and zoning ordinance.**

The Project is consistent with the allowed uses and general development standards associated with the Medium Low-Density land use designation of the General Plan, the Single-Family Residence and

Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

**II. In accordance with Ross Municipal Code (RMC) Section 18.48.010(c), Variance is approved based on the following mandatory findings:**

**a) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.**

The special circumstances and conditions applicable to the land include the narrow shape of the subject lot. The existing nonconforming building which occupies the majority of the side setback area of the lot. Consequently, the strict application of the minimum required side yard setback on the property would deprive the subject property of privileges enjoyed by other properties of similar size in the vicinity and under identical zoning classifications, such as the ability to construct a new porch.

**b) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.**

Rear yards and patios are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting of the variance request, in a neighborhood where existing nonconforming setbacks are not uncommon, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting of the variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

**c) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The proposed new porch will not adversely affect the health or safety of the persons residing or working in the neighborhood as the porch will have a physical wall with a window matching the existing house providing privacy to the adjacent property. The existing mature landscaping and shrubs would also provide visual screening from adjacent properties. The applicant also consulted with the homeowners at 43 Poplar Avenue, who currently reside along the southern edge of the Whittington property line and approve of the project.

**EXHIBIT "B"**  
**CONDITIONS OF APPROVAL**  
**41 POPLAR AVENUE**  
**A.P.N. 073-273-04**

1. This approval authorizes Design Review and a Variance to lift the existing two-story single-family residence 4'3" above its existing elevation in its current location and construct a new porch within the side yard setback located at 41 Poplar Avenue, APN 073-273-04 (herein referred to as "the Project").
2. The building permit shall substantially conform to the plans entitled, "41 Poplar" and dated 2/15/2023, and reviewed and approved by the Town Council on March 9, 2023
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:

- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.



- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must

be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
  - r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
  - s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
  - t. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
  - u. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
  - v. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
    - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
    - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
    - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any

claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

# ATTACHMENT 2



GENERAL NOTES:

- 1.1 CONTRACTOR/SUBCONTRACTOR SHALL VERIFY ALL PERTINENT DIMENSIONS AND GRADE ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
- 1.2 CONFLICTS AND DISCREPANCIES IN INFORMATION AND OMISSIONS IN DRAWINGS OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER.
- 1.3 CHANGES FROM THE CONTRACT DRAWINGS SHALL BE MADE ONLY WITH THE APPROVAL OF ARCHITECT.
- 1.4 ALL SUBSTITUTIONS TO BE APPROVED BY ARCHITECT.
- 1.5 IT IS THE INDIVIDUAL RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTION INDIVIDUAL OR AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION.
- 1.6 STRUCTURAL OBSERVATIONS IS REQUIRED PER CBC CHAPTER 17.
- 1.7 INSTALL ALL MATERIALS, EQUIPMENT AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND THE REQUIREMENTS OF THE APPLICABLE CODES.
- 1.8 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS.
- 1.9 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING ON-SITE UTILITIES DURING CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND CONTRACT DOCUMENTS.
- 1.10 CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, EQUIPMENT, ETC. WHERE EXISTING FINISHES ARE DAMAGED BY NEW WORK, THE CONTRACTOR SHALL REPAIR SAID FINISHES AS NECESSARY TO MATCH EXISTING ADJACENT FINISHES. WHERE EQUIPMENT IS DAMAGED, CONTRACTOR SHALL REPAIR OR REPLACE WITH EQUAL OR BETTER QUALITY AT HIS OWN EXPENSE.
- 1.11 THE CONTRACTOR SHALL MAINTAIN THE PREMISES AND AREA OF WORK IN A NEAT AND ORDERLY CONDITION BY REMOVING RUBBISH AND DEBRIS DAILY. RUBBISH AND DEBRIS SHALL BE DISPOSED OF IN A CLEAN AND LEGAL MANNER AND IN COMPLIANCE WITH LOCAL ORDINANCES.
- 1.12 DEMOLITION MAY NOT START UNTIL THE CONTRACTOR HAS OBTAINED A PERMIT FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT. THE PERMIT NUMBER (J#) MUST BE PROVIDED TO THE INSPECTOR AND NOTED ON THE JOBSITE INSPECTION CARD. IF THE BAAQMD HAS DETERMINED THE PROJECT IS EXEMPT, A LETTER FROM THE AGENCY MUST BE PROVIDED.

NEW/REPLACED PLUMBING FIXTURES - WATER USE  
ALL EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES. CALGREEN SEC. 301.1.1

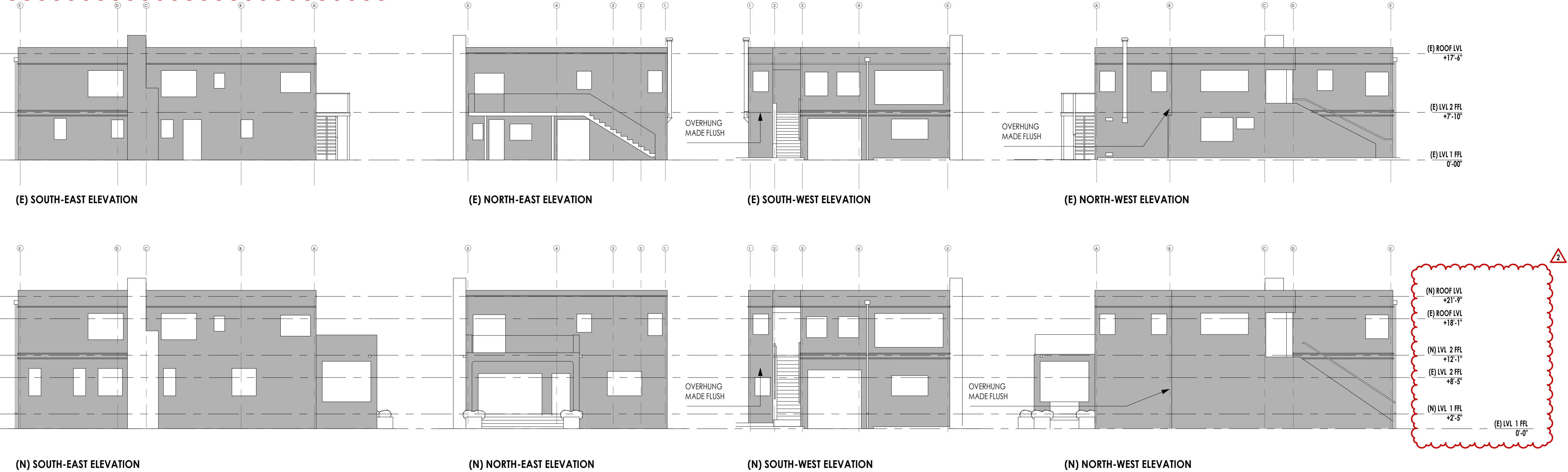
LOCATION	FIXTURE	MAX. FLOW/FLUSH RATE
KITCHEN	FAUCET	1.8 GPM @ 60 PSI
BATH	TOILET	1.28 GPF
BATH	VANITY FAUCET	1.5 GPM @ 60 PSI
BATH	BATHTUB FAUCET	2 GPM @ 80 PSI
BATH	SHOWER HEAD	2 GPM @ 80 PSI

NOTES ABOUT THE LIFT:

ACTUAL LEVEL AT GARAGE ENTRY [(E) LVL 1]= **17.8'**  
BFE (BASE FLOOD ELEVATION) AT 100 Years = **18'**  
LVL 1 LIFT = +2'-5" = **+2.4'**, => [(N) LVL1 = 20.2']  
[(N) LVL 1 IS 20.2'-17.8' = **2.4' ABOVE BFE**

LVL 2 LIFT = 2'-5"+1'-10" = **4'-3"**  
LVL 2 WILL BE LIFTED 2'-5" TO REFLECT LVL 1 LIFT, PLUS ADDITIONAL 1'-10" TO GIVE MORE HEIGHT TO THE LIVING AREAS AT LVL 1.

TOTAL HOUSE LIFT = **4'-3"**



ELEVATION SCHEMES SHOWING EXISTING VS NEW LEVELS  
1" = 10'-0"

GREEN BUILDING CODE REQUIREMENTS:

- 2.1 LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. CGC 4.304.1.
- 2.2 A MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1.
- 2.3 THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT. PER CGC 4.408.2.
- 2.4 OPERATION AND MAINTENANCE MANUAL. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.1.
- 2.5 POLLUTANT CONTROL. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1.
- 2.6 POLLUTANT CONTROL. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2.
- 2.7 INTERIOR MOISTURE CONTROL. CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. CGC 4.505.2.1.
- 2.8 INTERIOR MOISTURE CONTROL. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3.
- 2.9 INDOOR AIR QUALITY. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE, AND CONTROLLED BY A HUMIDISTAT. CGC 4.506.1.
- 2.10 PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3.
- 2.11 DESIGN ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.

ABBREVIATIONS

@	AT	FTG.	FOOTING	RM.	ROOM
A.F.F.	ABOVE FINISH FLOOR	GA.	GAUGE	R.W.L.	RAIN WATER LEADER
APPROX.	APPROXIMATELY	GALV.	GALVANIZED	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ATR	ALL THREADED ROD	GYP. BD.	GYPSUM BOARD	SHT.	SHEET
BM.	BEAM	H.D.G.	HOT DIPPED GALVANIZED	SIM.	SIMILAR
BLKG.	BLOCKING	HGR.	HANGER	S.S.	STAINLESS STEEL
BOT.	BOTTOM	HOR.	HORIZONTAL	S.S.D.	SEE STRUCTURAL DRAWINGS
BTWN.	BETWEEN	INT.	INTERIOR	STD.	STANDARD
CLO.	CLOSET	JST.	JOIST	SQ.	SQUARE
CLG.	CEILING	MAX.	MAXIMUM	STL.	STEEL
CLR.	CLEAR	MECH.	MECHANICAL	STOR.	STORAGE
CONC.	CONCRETE	MIN.	MINIMUM	SYM.	SYMMETRICAL
CONT.	CONTINUOUS	(N)	NEW	T	TREAD
DBL.	DOUBLE	NO.	NUMBER	T&B	TOP AND BOTTOM
DED.	DEDICATED	N.T.S.	NOT TO SCALE	T.B.D.	TO BE DETERMINED
DIA.	DIAMETER	O/	OVER	TEL.	TELEPHONE
DN	DOWN	O.A.	OVERALL	TYP.	TYPICAL
(E)	EXISTING	O.C.	ON CENTER	U.O.N	UNLESS OTHERWISE NOTED
EA.	EACH	PLWD.	PLYWOOD	V.I.F.	VERIFY IN FIELD
EN.	EDGE NAIL	P.T.	PRESSURE TREATED	W/	WITH
EXT.	EXTERIOR	QTY	QUANTITY	WD.	WOOD
F.F.	FINISH FLOOR	REF.	REFRIGERATOR	W/D	WASHER DRYER
FL.	FLOOR	R	RISER	W.H.	WATER HEATER
				W/O	WITHOUT

LOT INFORMATION

ZONING	R-1_B-7_5
GROSS LOT AREA	8,962.5 SF
NET LOT AREA	8,962.5 SF

LOT COVERAGE

	EXISTING	+NEW	=PROPOSED
MAIN LEVEL RESIDENCE FOOTPRINT	1,393.86 SF	0.00 SF	1,393.86 SF
DECK	109.65 SF	+75.46 SF	185.11 SF
DECK STAIR	38.61 SF	-38.61 SF	0.0 SF
EXISTING STAIR TO LVL 2	84.23 SF	7.62 SF	91.85 SF
<b>TOTAL FOOTPRINT</b>	<b>1626.35 SF</b>	<b>44.47 SF</b>	<b>1,670.82 SF</b>

<b>EXISTING LOT COVERAGE</b>	1,626.35 SF / 8,962.50 SF	<b>=18.15%</b>
<b>PROPOSED LOT COVERAGE</b>	1,670.82 SF / 8,962.50 SF	<b>=18.64%</b>
<b>ALLOWABLE MAX. LOT COVERAGE</b>		<b>=20.00%</b>

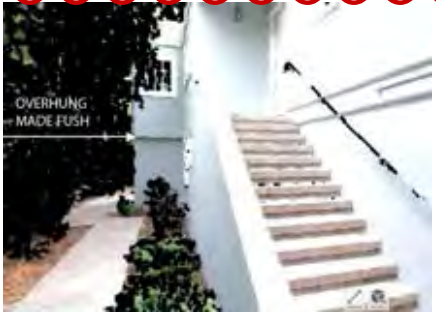
SQUARE FOOTAGE

	EXISTING	+NEW	=PROPOSED
LVL 2 RESIDENCE	1,382.64 SF	0.00 SF	1,382.64 SF
LVL 1 RESIDENCE	635.84 SF	393.97 SF	1,028.58 SF
LVL 1 STORAGE AREA	453.04 SF	-453.04 SF	0.00 SF
GARAGE	238.18 SF	58.51 SF	297.92 SF
<b>TOTAL GROSS FLOOR AREA</b>	<b>2,709.70 SF</b>	<b>+0.56 SF</b>	<b>2,709.14 SF</b>

<b>EXISTING FAR</b>	2,709.70 SF / 8,962.50 SF	<b>=30.23%</b>
<b>PROPOSED FAR</b>	2,709.14 SF / 8,962.50 SF	<b>=30.22%</b>
<b>ALLOWABLE MAX. FLOOR AREA</b>		<b>=20.00%</b>

NOTE:

THE SMALL INCREASE IN GROSS FLOOR AREAS IS DUE TO THE LVL 2 SOUTH ELEVATION OVERHANG BEING MADE FLUSH. (SEE SIDE IMAGE)



SETBACKS

	PROPOSED	ALLOWABLE
FRONT	UNCHANGED	25'-0"
SIDE	UNCHANGED	15'-0"
REAR	UNCHANGED	40'-0"

OTHER

	CODE STANDARD	EXISTING	PROPOSED
BUILDING HEIGHT	30'	18'-6"	22'-2"
PARKING	2 (1 COVERED)	2 (1 COVERED)	2 (1 COVERED)
IMPERVIOUS SURFACE COVERAGE	Minimize and/or mitigate for any increase.	1,438 SF	1,217 SF

SYMBOLS:

	SECTION: Detail Number Sheet Number	Name	ELEVATION HEIGHT
	EXTERIOR/INTERIOR ELEVATION		DOOR TAG
	Sheet number Detail Number		WINDOW TAG

PROJECT INFORMATION

**ADDRESS:**  
41 POPLAR AVE, ROSS, CA 94957

**ASSESSOR'S PARCEL NO.**  
073-273-04

**ZONING DISTRICT:**  
R-1\_B-7\_5

**USE DESCRIPTION:**  
11 - Single-Resid. - Improved

**OCCUPANCY TYPE:**  
R-3 (ONE OR TWO UNIT RESIDENTIAL)

**CONSTRUCTION TYPE:**  
V-B

**STORIES:**  
2

PROJECT DESCRIPTION

REMODEL OF FIRST FLOOR AREA AFTER LIFTING FINISH FLOOR ABOVE BASE FLOOD ELEVATION.

PROJECT TEAM

**CLIENT:**  
MICHAEL AND MINDY WHITTINGTON  
41 POPLAR AVE.  
ROSS, CA 94957  
Tel: 415.430.7177  
E-mail: mtwhittington@gmail.com

**ENGINEER & GENERAL CONTRACTOR:**  
Crafted Earth, Inc.  
166 Alpine St  
San Rafael, CA 94901  
Contacts: Eric Spletzer, PE  
Tel: 415.699.9662  
E-mail: eric@craftedearth.com

APPLICABLE CODES

2019 California Building Code  
2019 California Energy Code  
2019 California Plumbing Code  
2019 California Mechanical Code  
2019 California Electrical Code  
2019 California Green Building Code

With Town of Ross Amendments

SHEET LIST

A-040	PROJECT DETAILS
A-101	SITE PLANS AND AREA CALCS
A-102	(E) LEVEL 1 AND LEVEL 2 FLOOR PLANS
A-103	(E) ROOF PLAN AND AXO VIEW
A-142	(N) LEVEL 1 AND LEVEL 2 FLOOR PLANS
A-143	(N) ROOF PLAN AND AXO VIEW
A-201	(E) ELEVATIONS
A-241	(N) ELEVATIONS
A-301	(E) SECTIONS
A-302	(E) LONGITUDINAL SECTIONS
A-341	(N) CROSS SECTIONS
A-342	(N) LONGITUDINAL SECTIONS
A-541	(N) INTERIOR STAIR DETAILS
A-542	(N) EXTERIOR STAIR DETAILS
A-543	ARCHITECTURAL DETAILS
A-641	WALL ASSEMBLIES
A-642	WALL ASSEMBLIES
A-643	WALL ASSEMBLIES
A-644	WINDOW & DOOR SCHEDULES
E-141	ELECTRICAL & POWER
M-142	(N) MEP - HVAC PLANS
M-144	(N) MEP - PLUMBING PLANS
M-145	MEP - PLUMBING AXONOMETRY VIEWS
S-040	STRUCTURAL NOTES
S-141	FOUNDATION PLAN
S-142	FRAMING PLANS
S-241	SHEAR WALL ELEVATIONS
S-341	STRUCTURAL SECTIONS
S-541	TYPICAL FRAMING DETAILS
S-542	TYPICAL FRAMING DETAILS
S-543	FLOOR FRAMING DETAILS
S-544	FLOOR FRAMING DETAILS
S-545	STRUCTURAL DETAILS
T-101	TITLE24-1
T-102	TITLE24-2

CRAFTED EARTH, INC.

ENGINEERING & DESIGN

166 Alpine Street  
San Rafael, CA 94901  
Tel: 415.699.9662  
info@craftedearth.com



**Michael and Mindy Whittington**

41 Poplar Ave  
Ross, CA 94957

APN:073-273-04

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2 TOWN COUNCIL 03/02/23

1 CITY COMMENTS REV 1 01/11/23

Rev Description Date

41 Poplar Kitchen Remodel

Date: 02/03/23

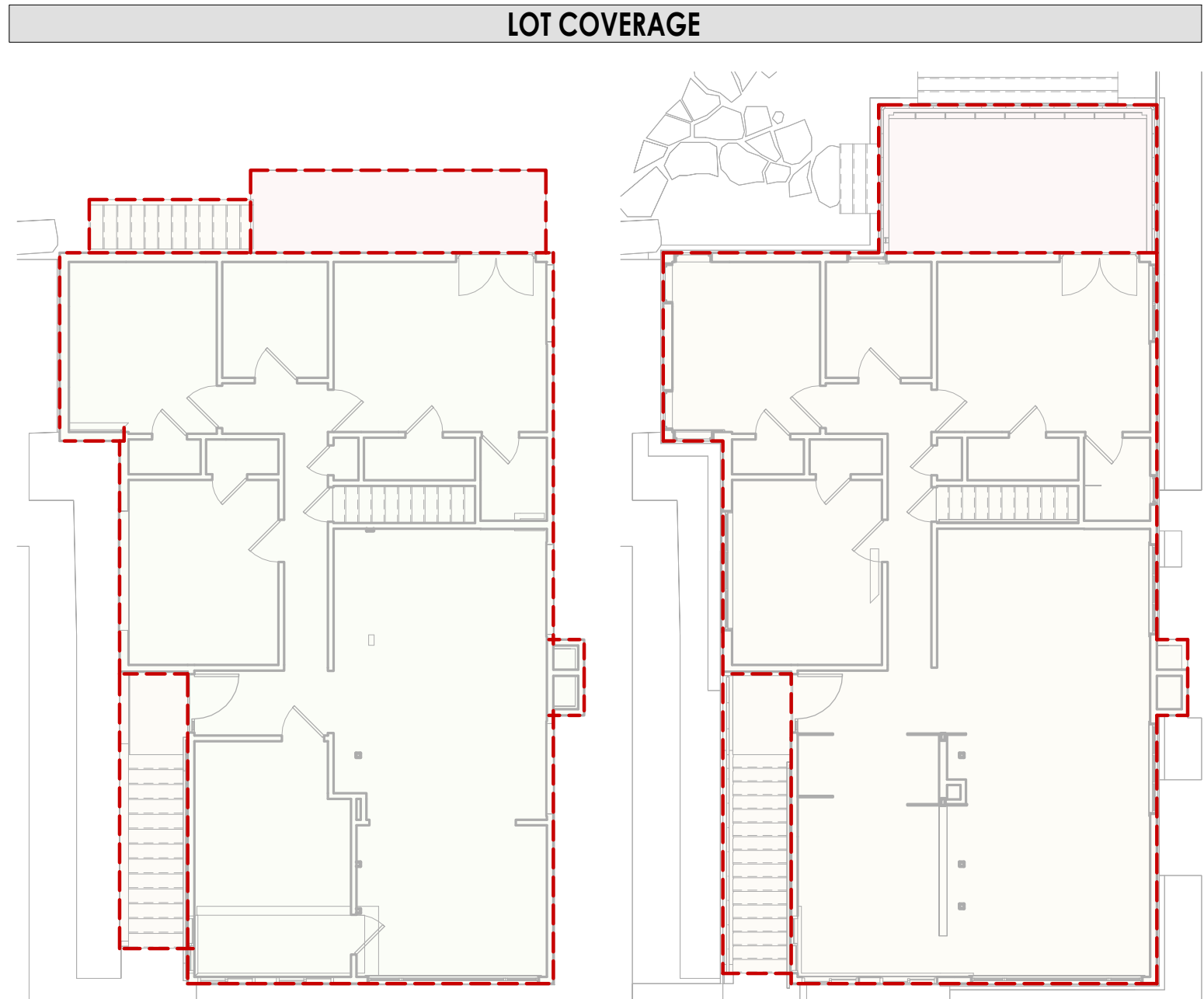
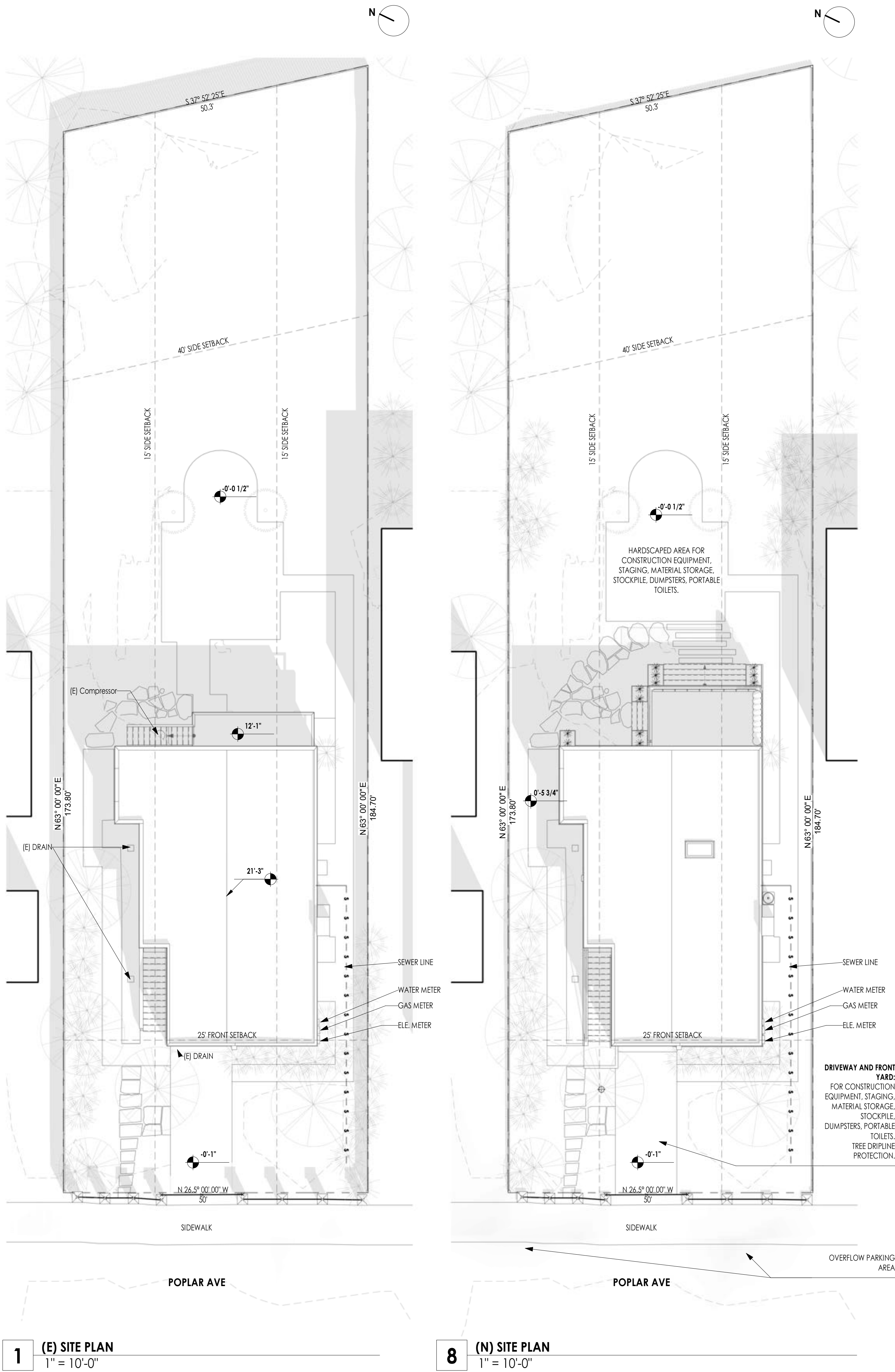
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Sheet Title

PROJECT DETAILS

A-040





6 EXISTING LOT COVERAGE  
1" = 10'-0"

- (E) DECK
- (E) DECK STAIR
- (E) EXTERIOR STAIR TO LVL 1
- (E) RESIDENCE FOOTPRINT

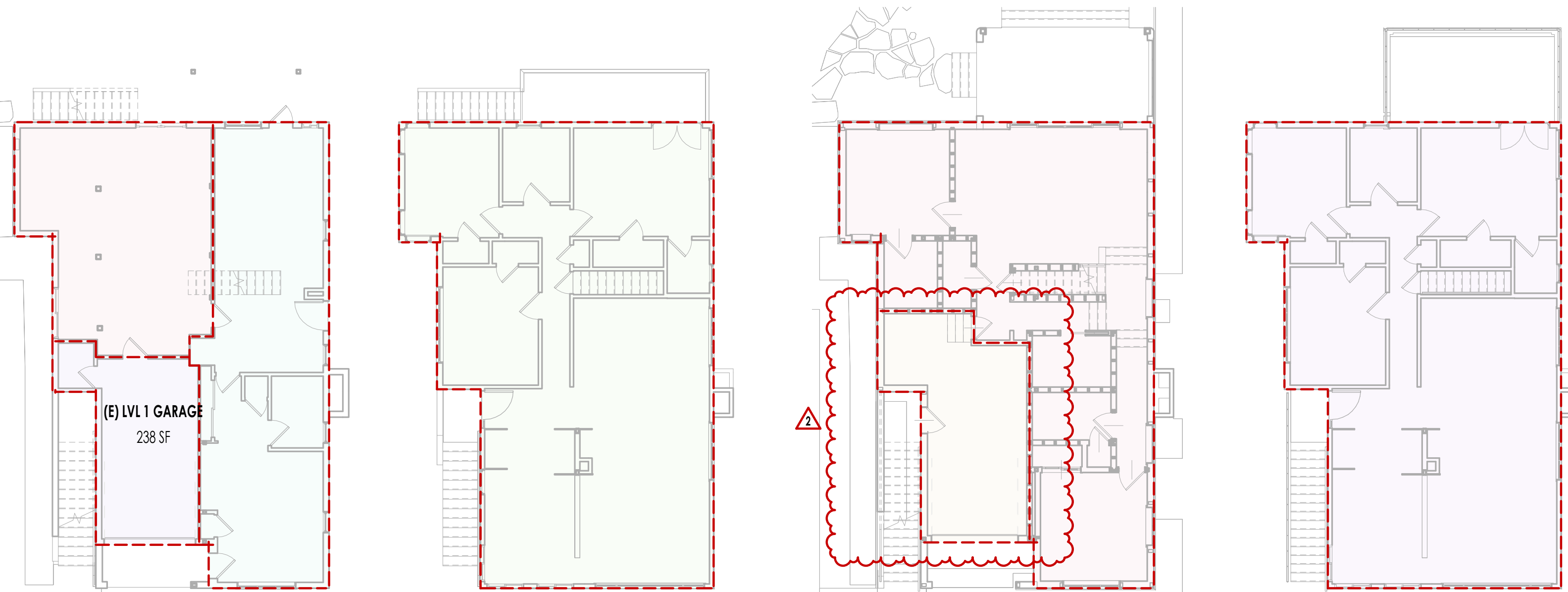
EXISTING LOT COVERAGE	
Name	Area
(E) DECK	109.65 SF
(E) DECK STAIR	38.61 SF
(E) EXTERIOR STAIR TO LVL 1	84.23 SF
(E) RESIDENCE FOOTPRINT	1393.86 SF

7 PER - PROPOSED LOT COVERAGE  
1" = 10'-0"

- (N) DECK
- (N) EXTERIOR STAIR TO LVL 1
- (N) RESIDENCE FOOTPRINT

PROPOSED LOT COVERAGE	
Name	Area
(N) RESIDENCE FOOTPRINT	1393.86 SF
(N) DECK	185.11 SF
(N) EXTERIOR STAIR TO LVL 1	91.85 SF

FLOOR AREA RATIO



2 (E) LVL 1 GROSS BUILDING AREA  
1" = 10'-0"

- (E) LVL 1 GARAGE
- (E) LVL 1 LIVING AREA
- (E) LVL 1 STORAGE

3 (E) LVL 2 GROSS BUILDING AREA  
1" = 10'-0"

- (E) LVL 2 LIVING AREA

4 (N) LEVEL 1 PLAN VIEW  
1" = 10'-0"

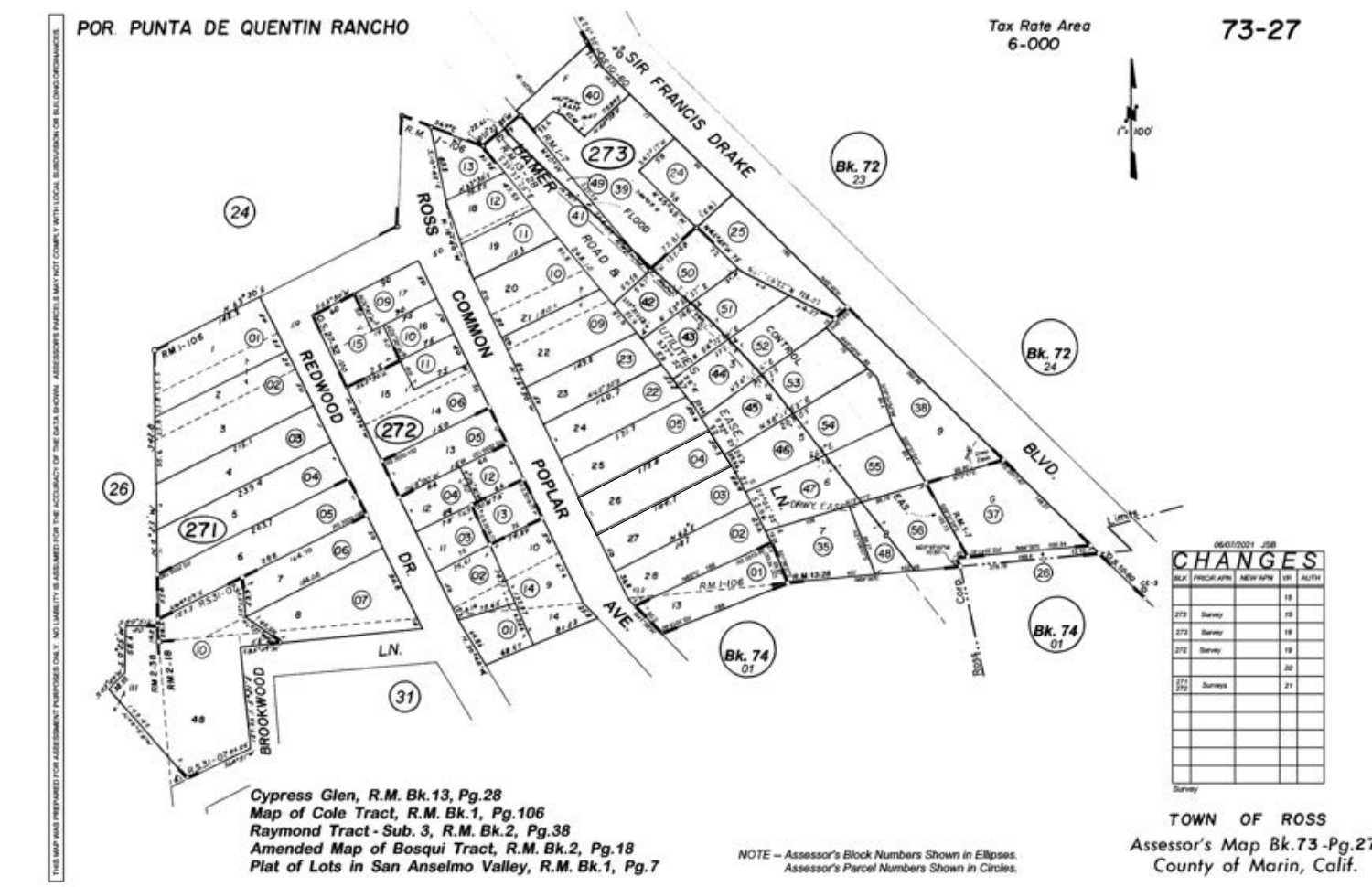
- (N) LVL1 LIVING AREA
- (N) LVL 1 GARAGE + MEC ROOM

5 (N) LEVEL 2 PLAN VIEW  
1" = 10'-0"

- (N) LVL 2 LIVING AREA

EXISTING GROSS BUILDING AREA	
Name	Area
(E) LVL 1 GARAGE	238.18 SF
(E) LVL 1 LIVING AREA	635.84 SF
(E) LVL 1 STORAGE	453.04 SF
(E) LVL 2 LIVING AREA	1382.64 SF

PROPOSED GROSS BUILDING AREA	
Name	Area
(N) LVL1 LIVING AREA	1028.58 SF
(N) LVL 1 GARAGE + MEC ROOM	297.92 SF
(N) LVL 2 LIVING AREA	1382.64 SF



ACCESSOR'S MAP  
1/8" = 1'-0"



VICINITY MAP  
1" = 40'-0"



Michael and Mindy  
Whittington

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1	CITY COMMENTS REV 1	01/11/23

Rev	Description	Date
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41 Poplar Kitchen  
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Sheet Title

SITE PLANS AND AREA  
CALCS

A-101





Michael and Mindy  
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Rev Description Date

41 Poplar Kitchen  
Remodel

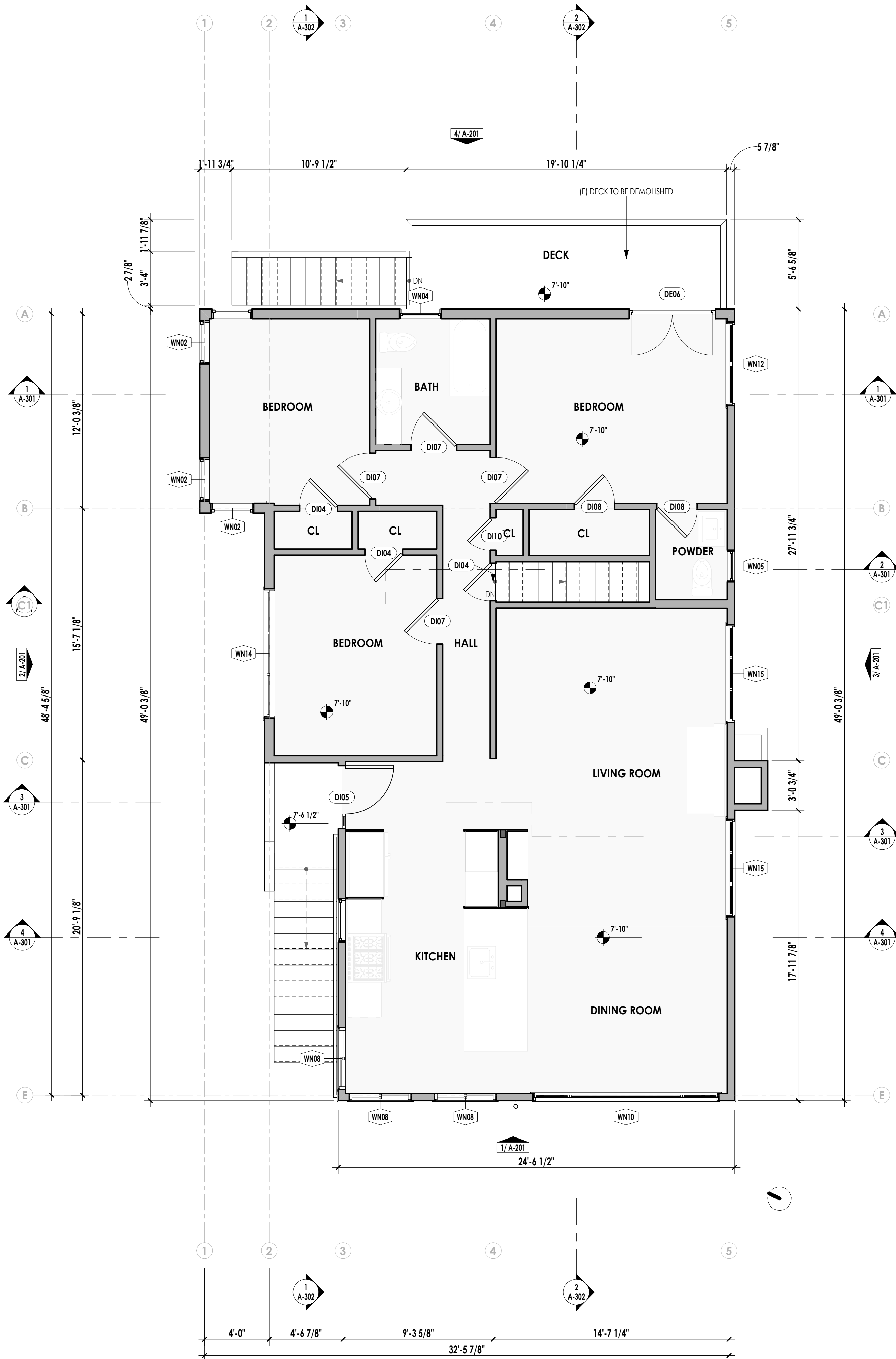
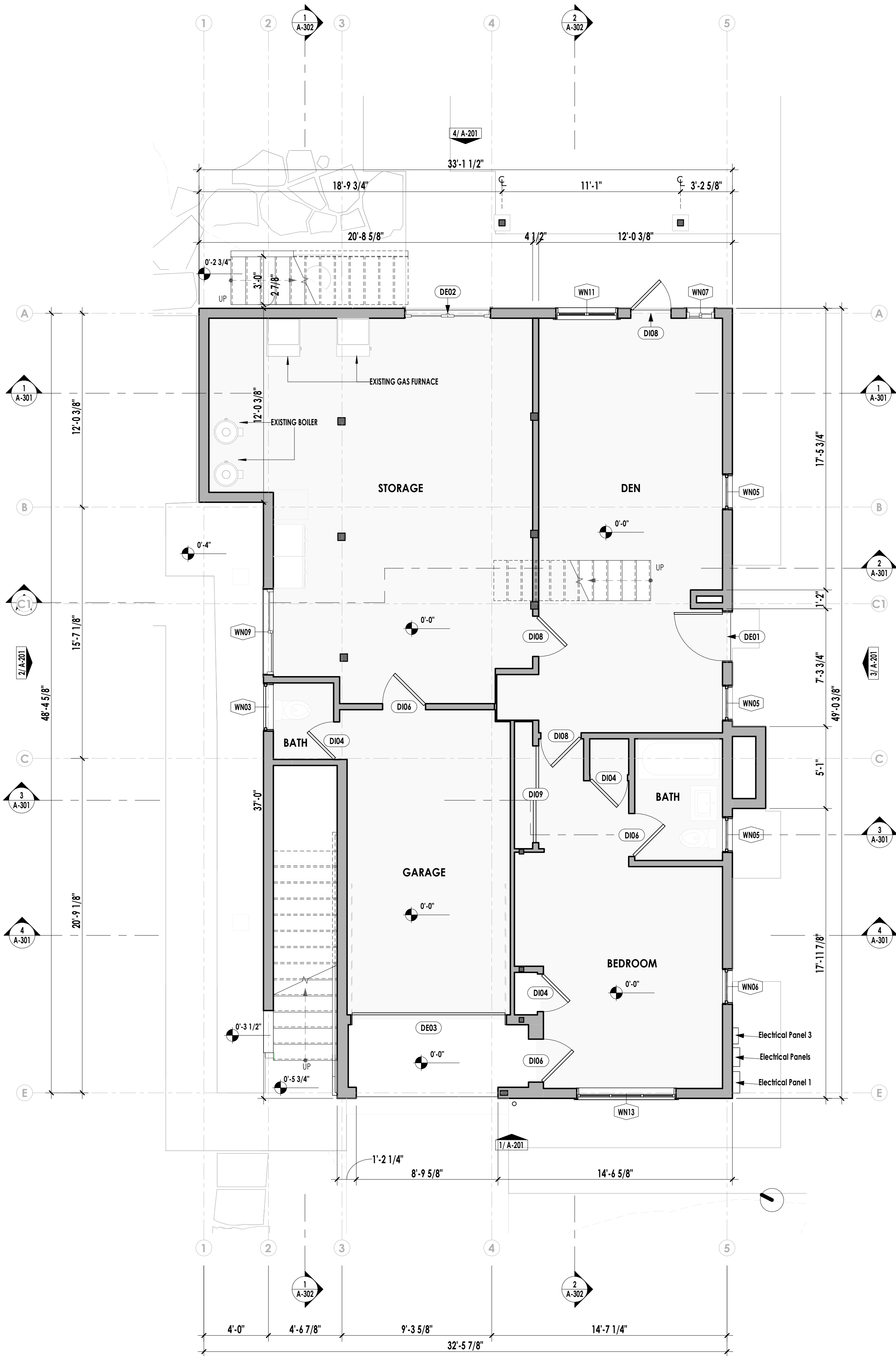
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Sheet Title

(E) LEVEL 1 AND LEVEL 2  
FLOOR PLANS

A-102



1 (E) LEVEL 1 FLOOR PLAN  
1/4" = 1'-0"

2 (E) LEVEL 2 FLOOR PLAN  
1/4" = 1'-0"





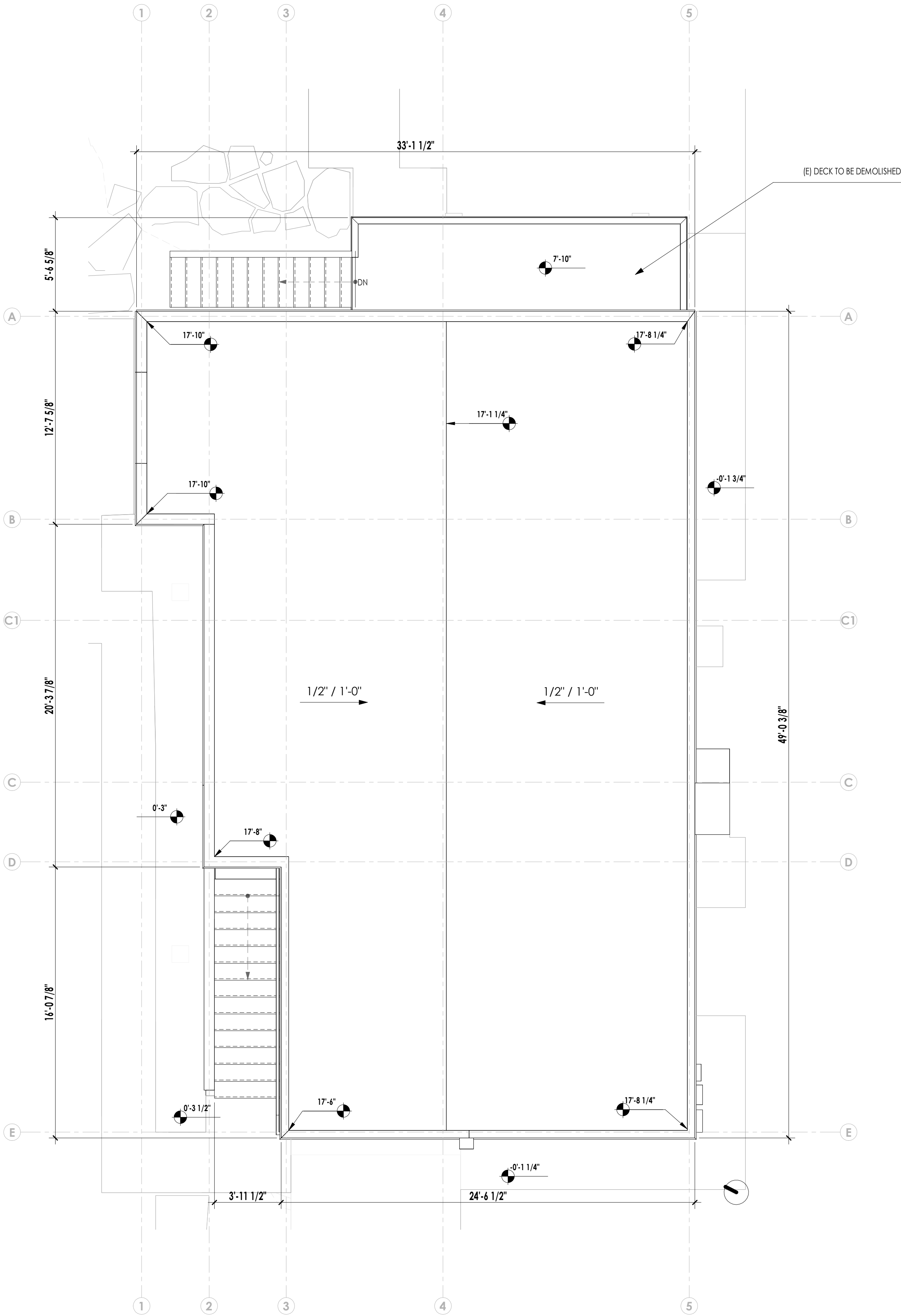
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Whittington

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3 PERSPECTIVE VIEW



1 PERSPECTIVE VIEW

2 (E) ROOF PLAN  
1/4" = 1'-0"

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1 CITY COMMENTS REV 1 01/11/23

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41 Poplar Kitchen  
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(E) ROOF PLAN AND AXO  
VIEW





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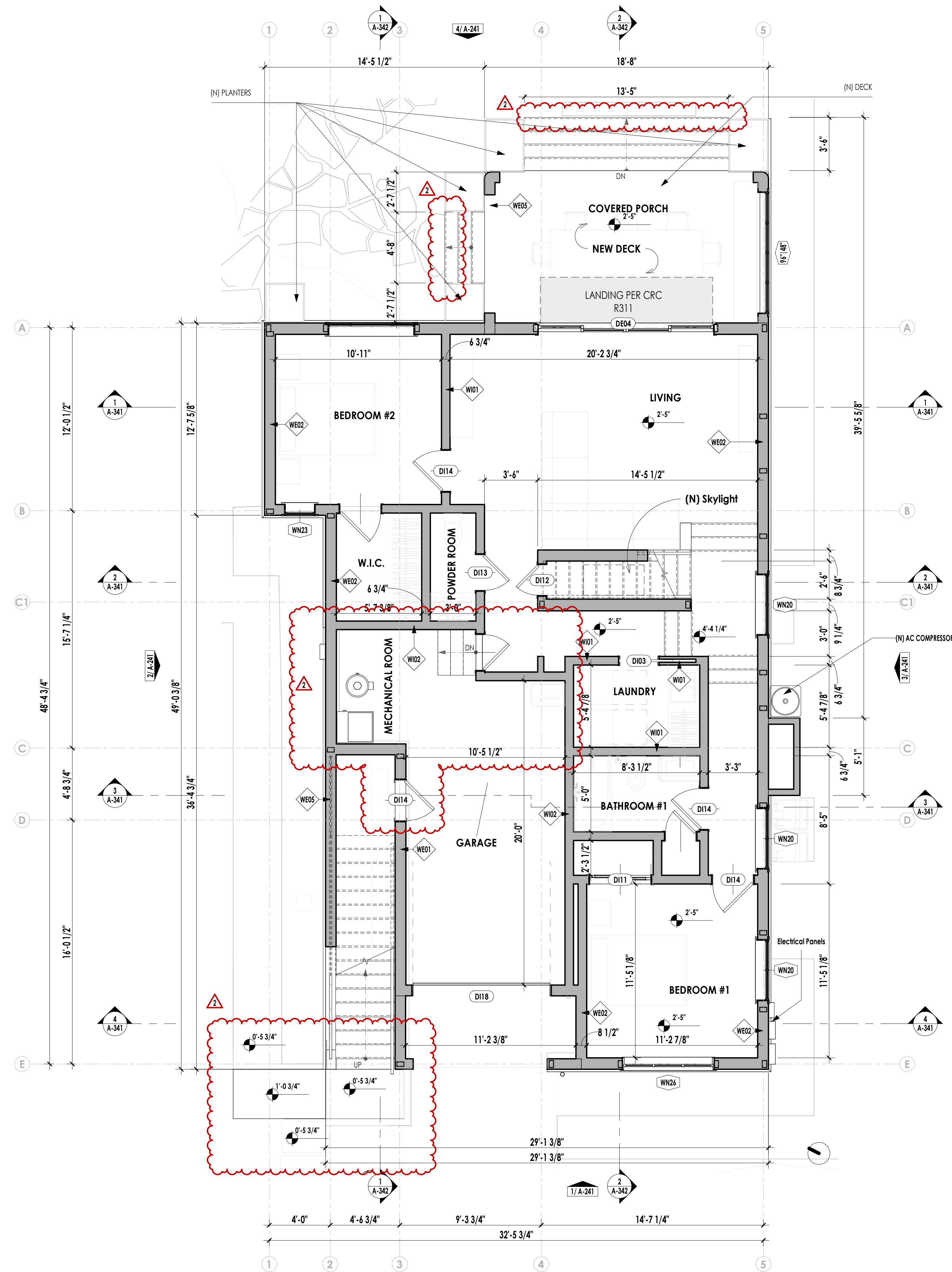
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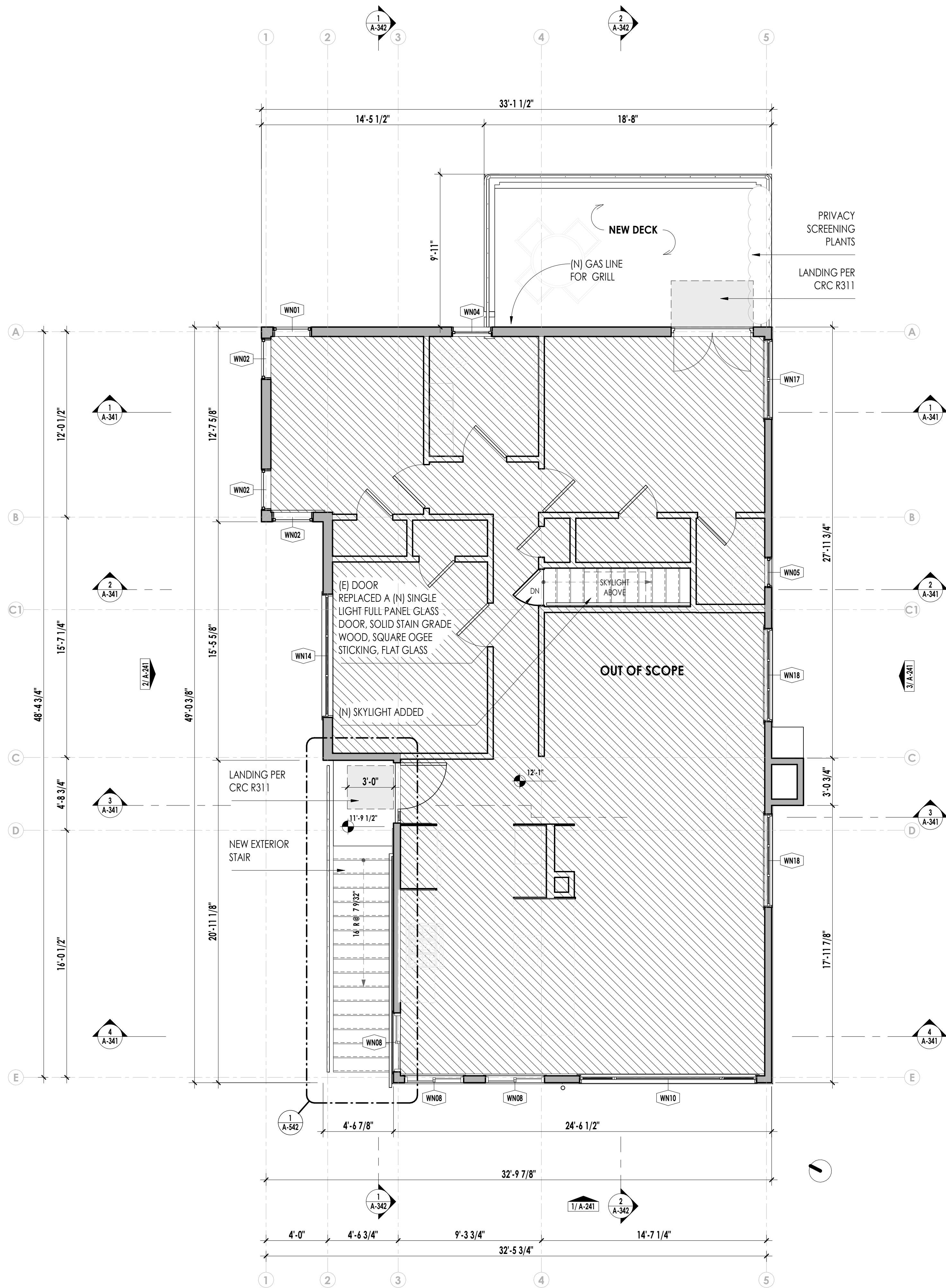
Sheet Title

(N) LEVEL 1 AND LEVEL 2  
FLOOR PLANS

A-142



1 (N) LEVEL 1 FLOOR PLAN  
1/4" = 1'-0"



2 (N) LEVEL 2 FLOOR PLAN  
1/4" = 1'-0"





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Sheet Title

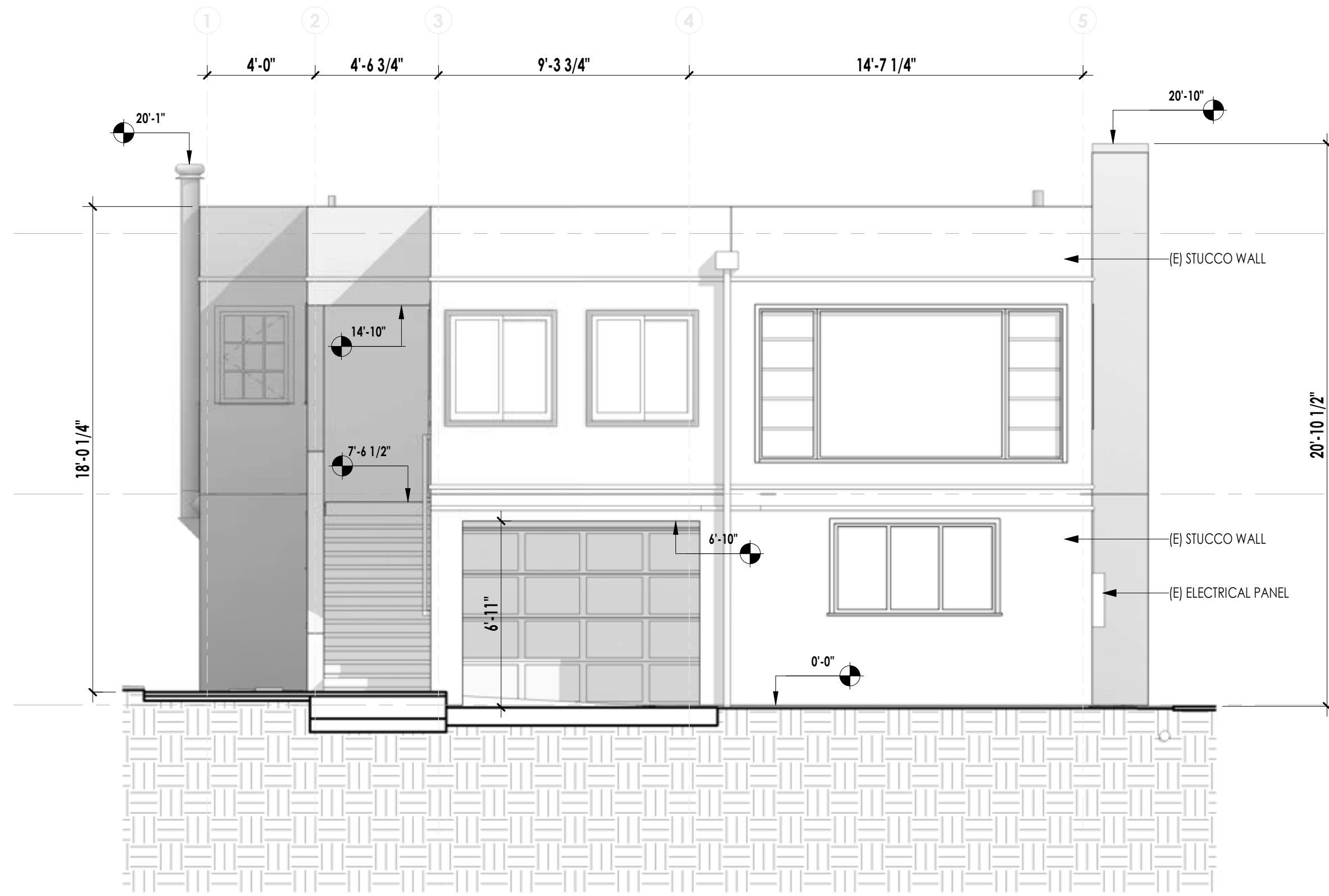
**(N) ROOF PLAN AND AXO VIEW**

**A-143**

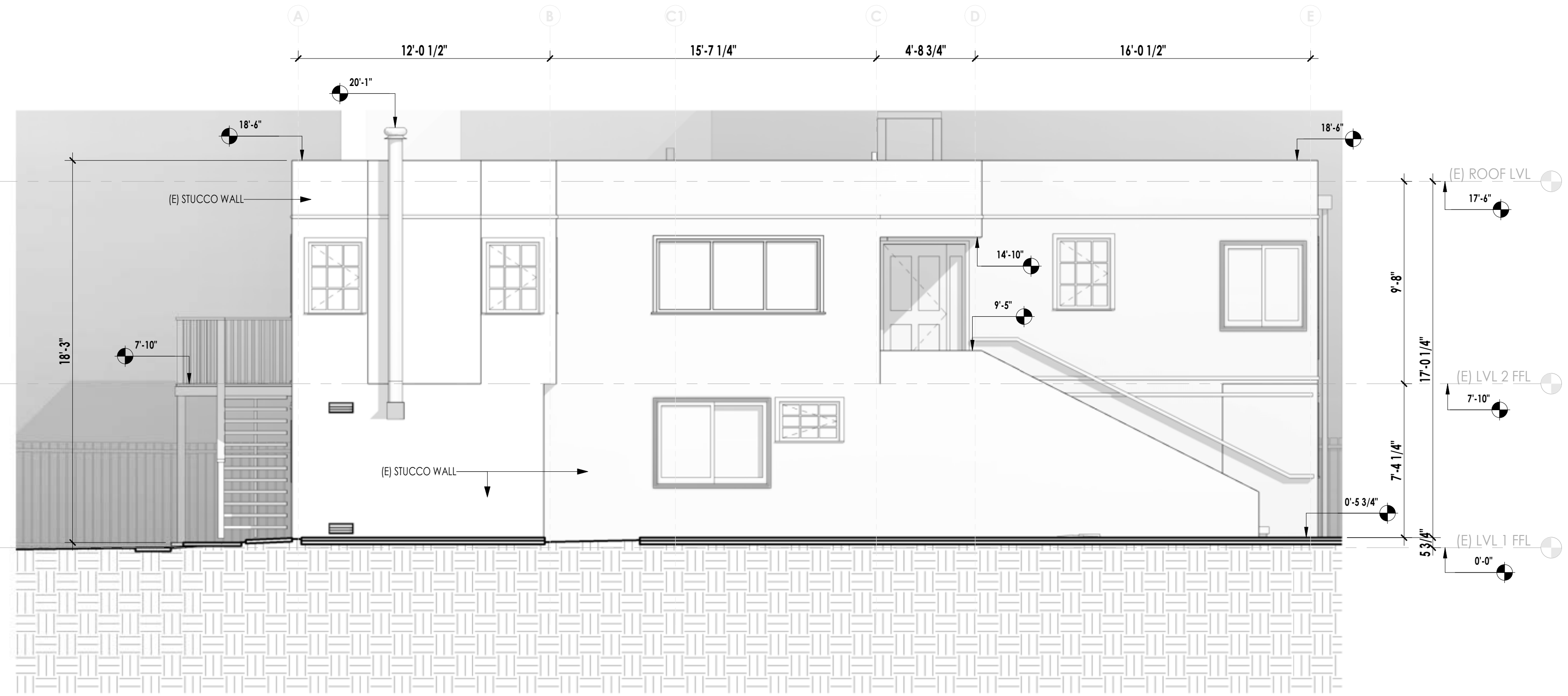


<b>4</b>	<b>PER - (PH2) - Roof Plan</b>
	1/4" = 1'-0"

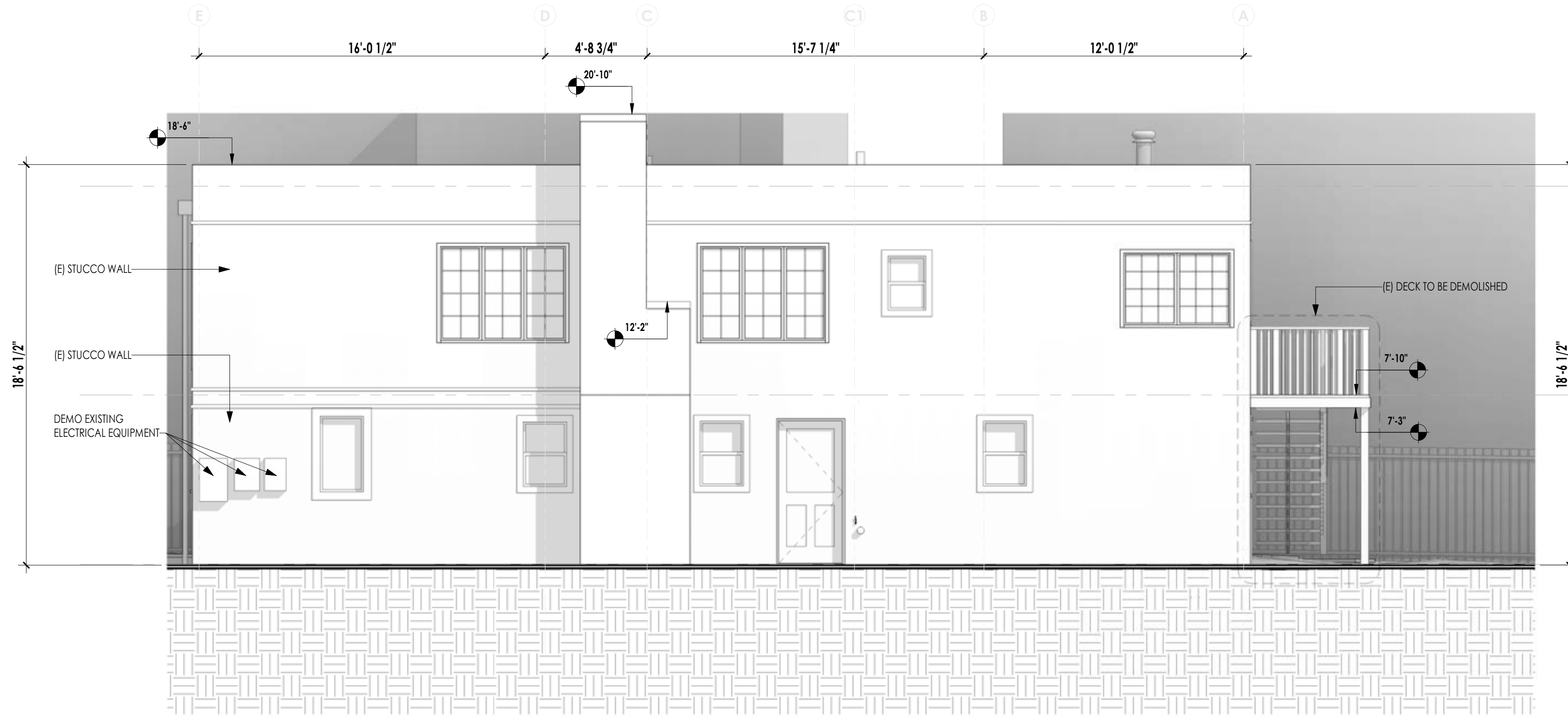




1 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



2 EXISTING WEST ELEVATION  
1/4" = 1'-0"



3 EXISTING EAST ELEVATION  
1/4" = 1'-0"



4 EXISTING REAR ELEVATION  
1/4" = 1'-0"



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Rev Description Date

41 Poplar Kitchen  
Remodel

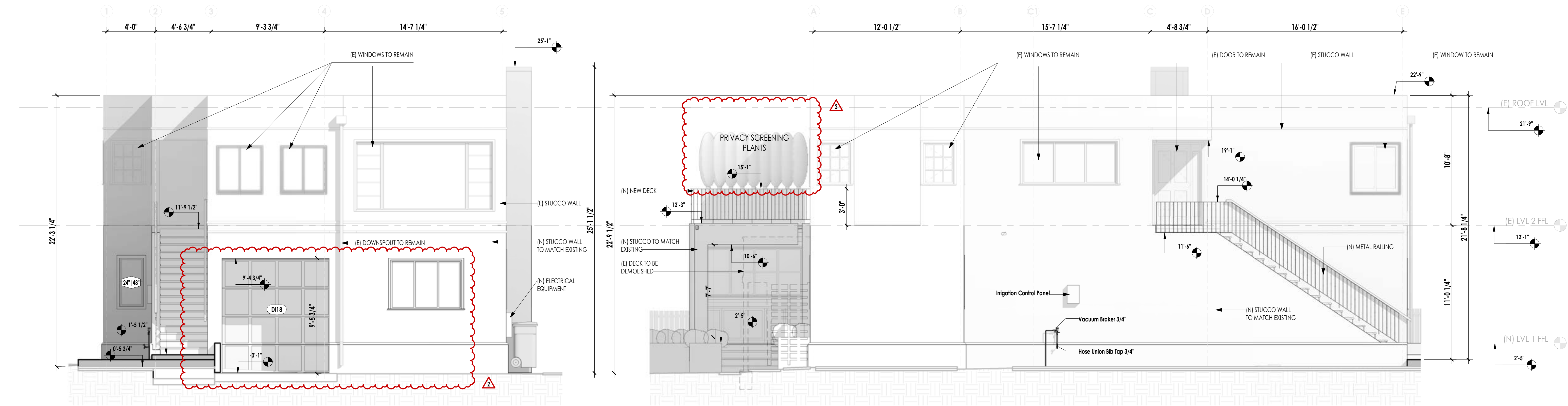
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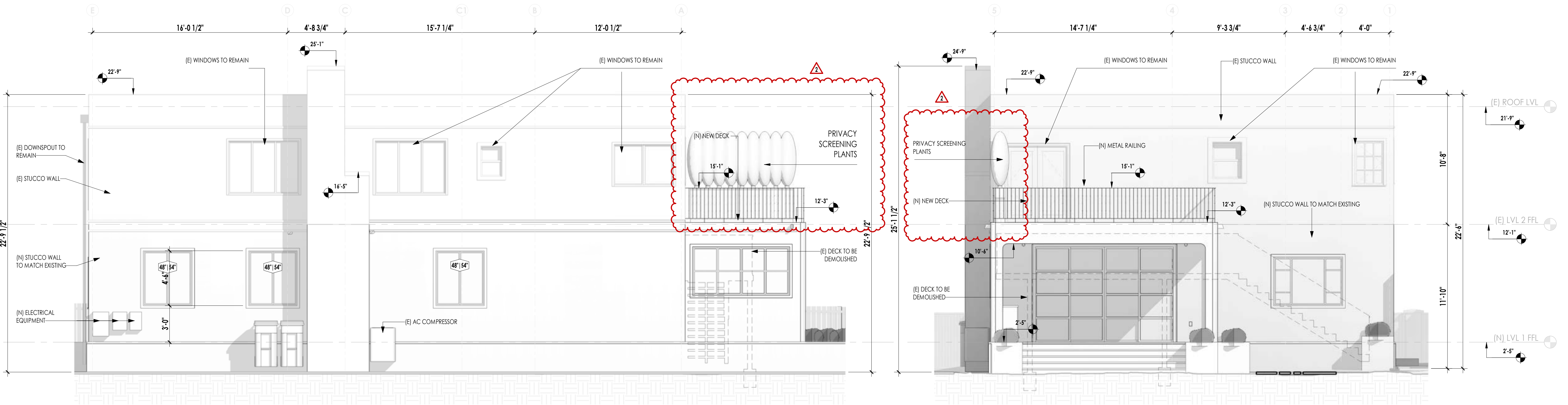
(E) ELEVATIONS





**1** PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

**2** PROPOSED WEST ELEVATION  
1/4" = 1'-0"



**3** PROPOSED EAST ELEVATION  
1/4" = 1'-0"

**4** PROPOSED REAR ELEVATION  
1/4" = 1'-0"



**Michael and Mindy Whittington**

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1	CITY COMMENTS REV 1	01/11/23
Rev	Description	Date

41 Poplar Kitchen Remodel

Date: 02/03/23

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Sheet Title

(N) ELEVATIONS



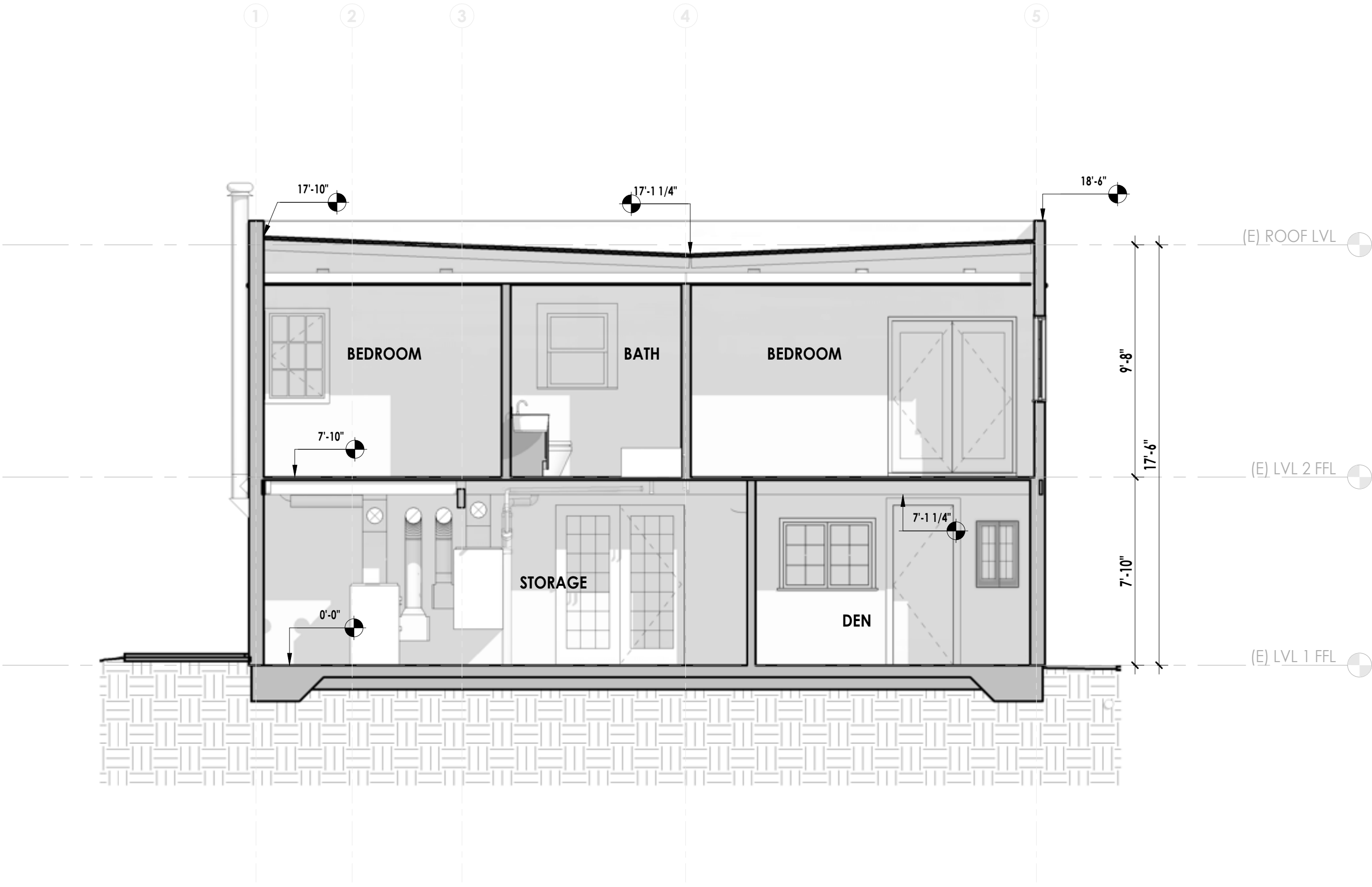
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Whittington

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Ross, CA 94957

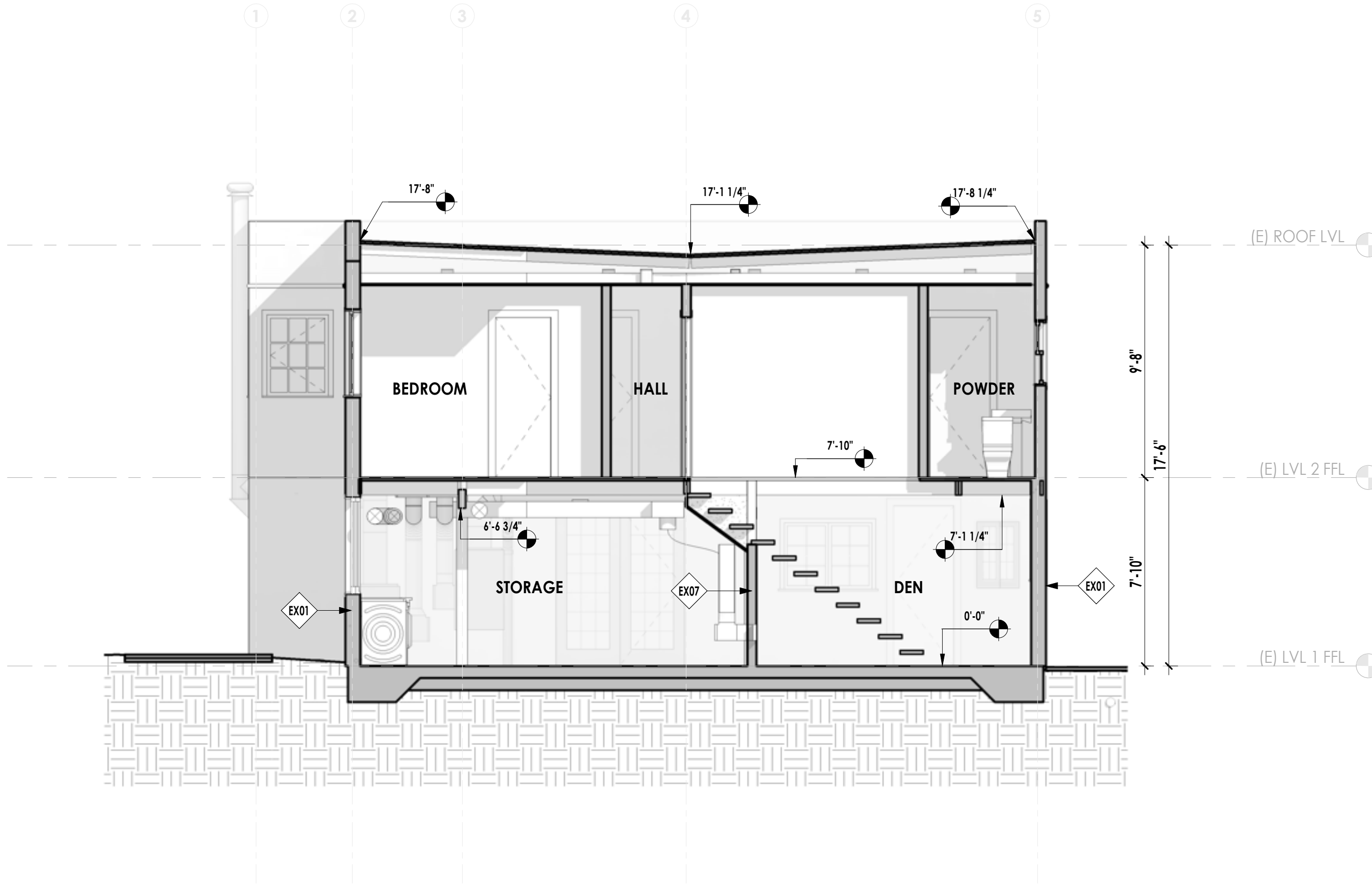
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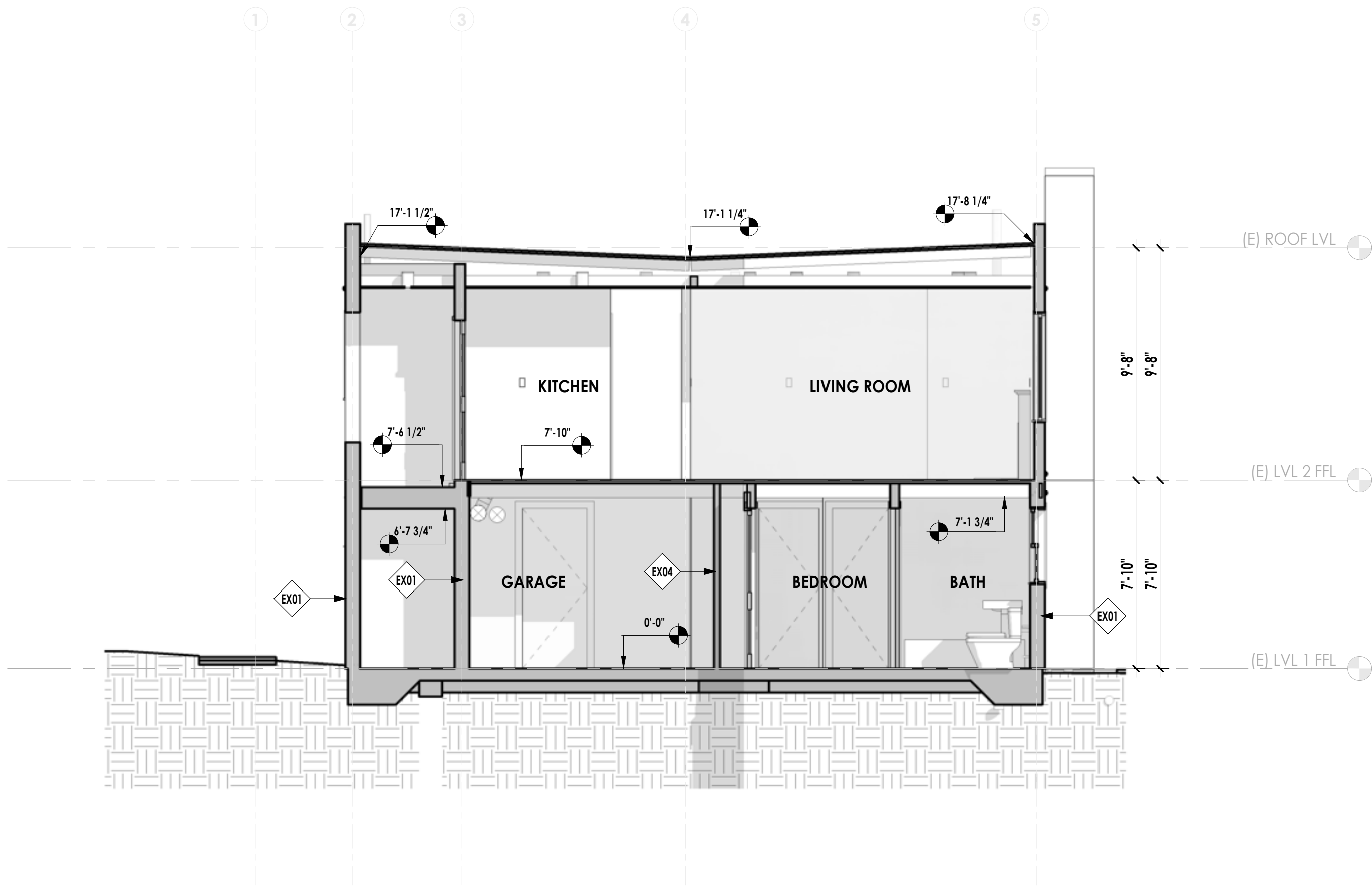
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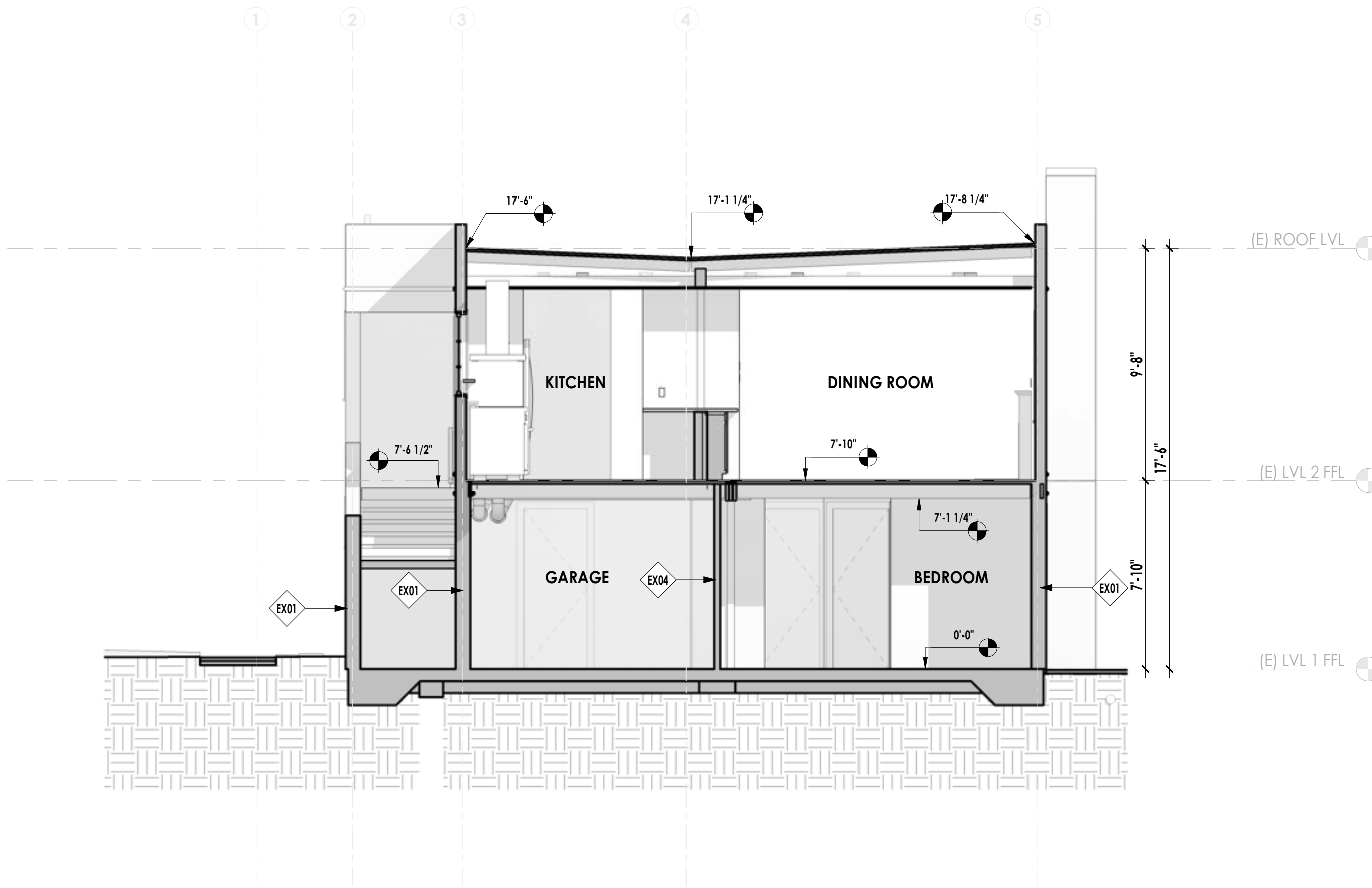
1 (E) SECTION C1  
1/4" = 1'-0"



2 (E) SECTION C2  
1/4" = 1'-0"



3 (E) SECTION C3  
1/4" = 1'-0"



4 (E) SECTION C4  
1/4" = 1'-0"

2 TOWN COUNCIL 03/02/23

1 CITY COMMENTS REV 1 01/11/23

Rev Description Date

41 Poplar Kitchen  
Remodel

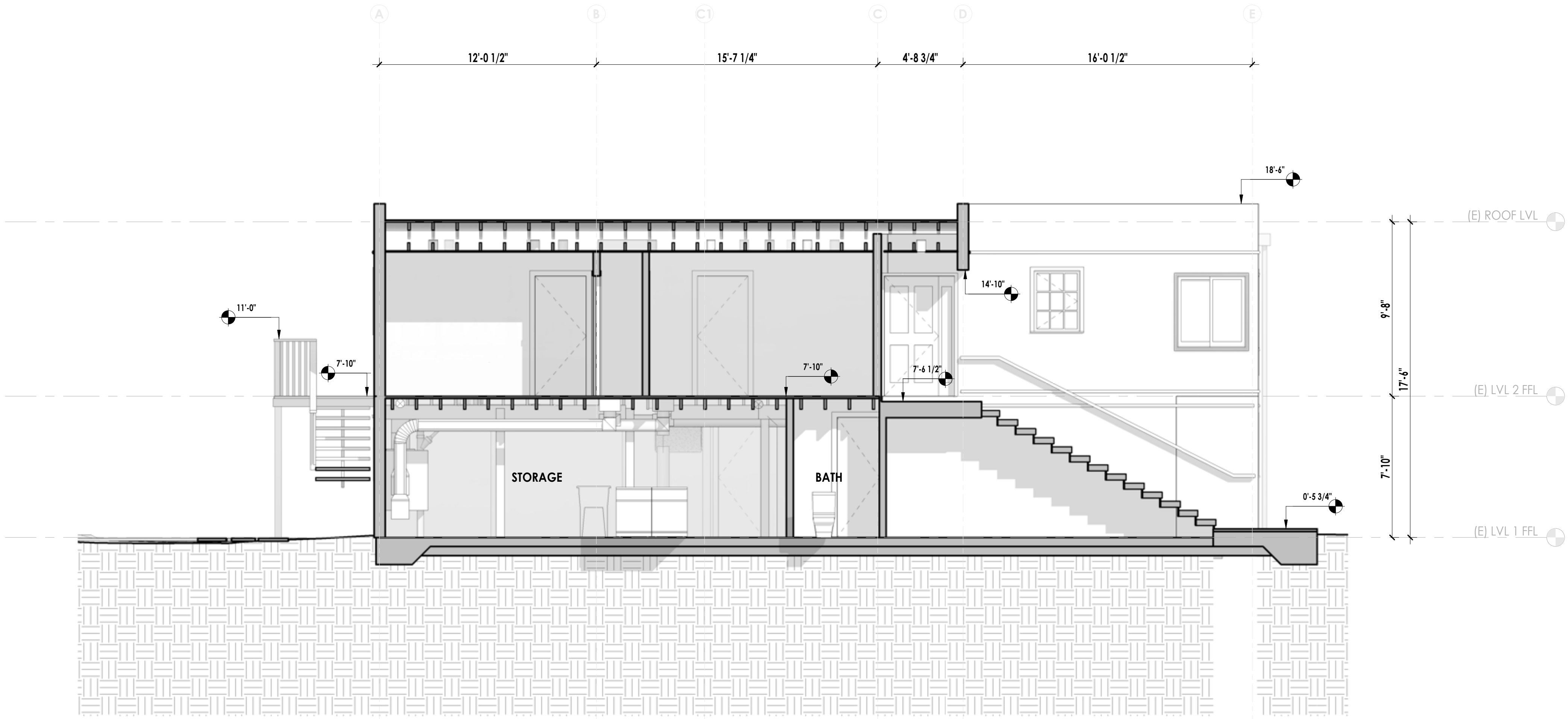
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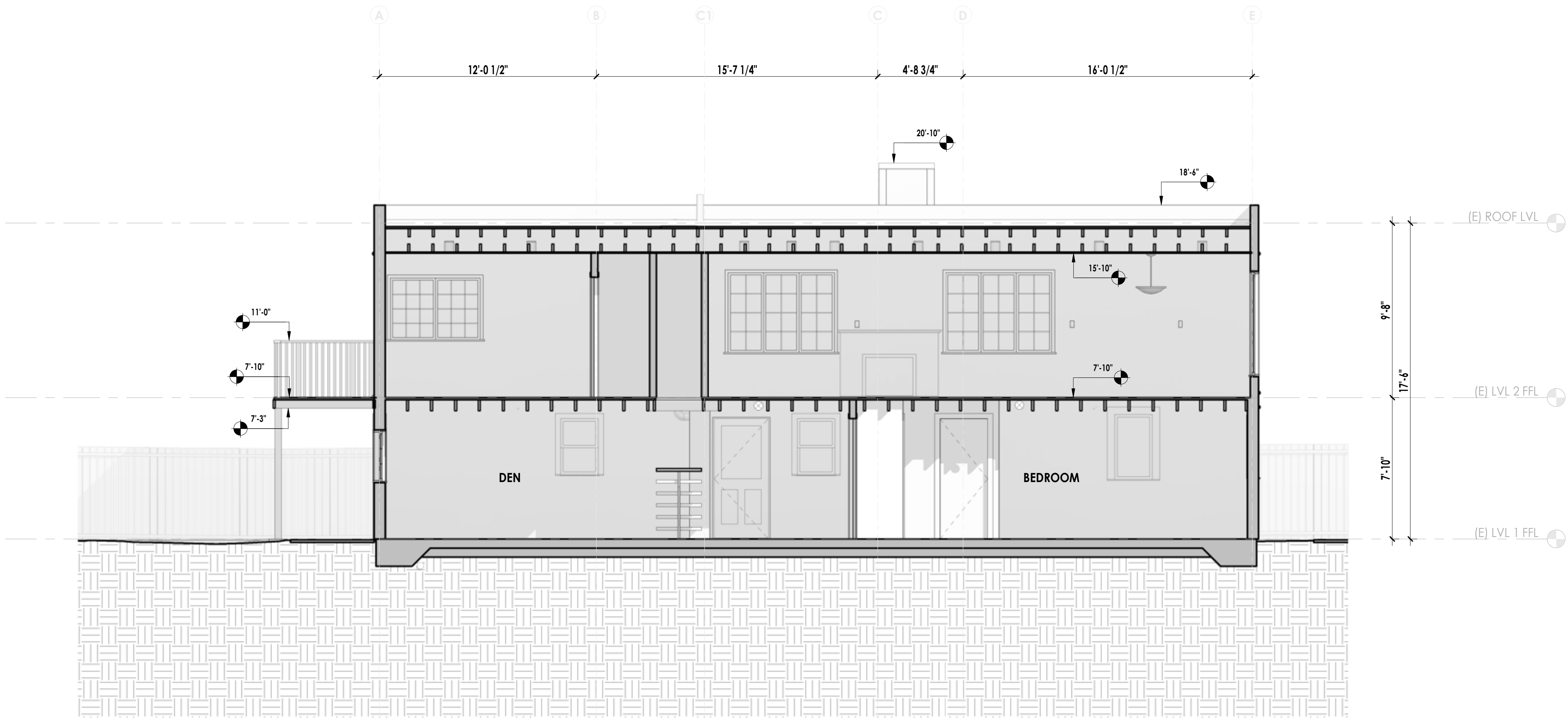
Sheet Title

(E) SECTIONS





1 (E) SECTION C5  
1/4" = 1'-0"



2 (E) SECTION C6  
1/4" = 1'-0"



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41 Poplar Ave  
Ross, CA 94957

APN:073-273-04

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2 TOWN COUNCIL 03/02/23

1 CITY COMMENTS REV 1 01/11/23

Rev Description Date

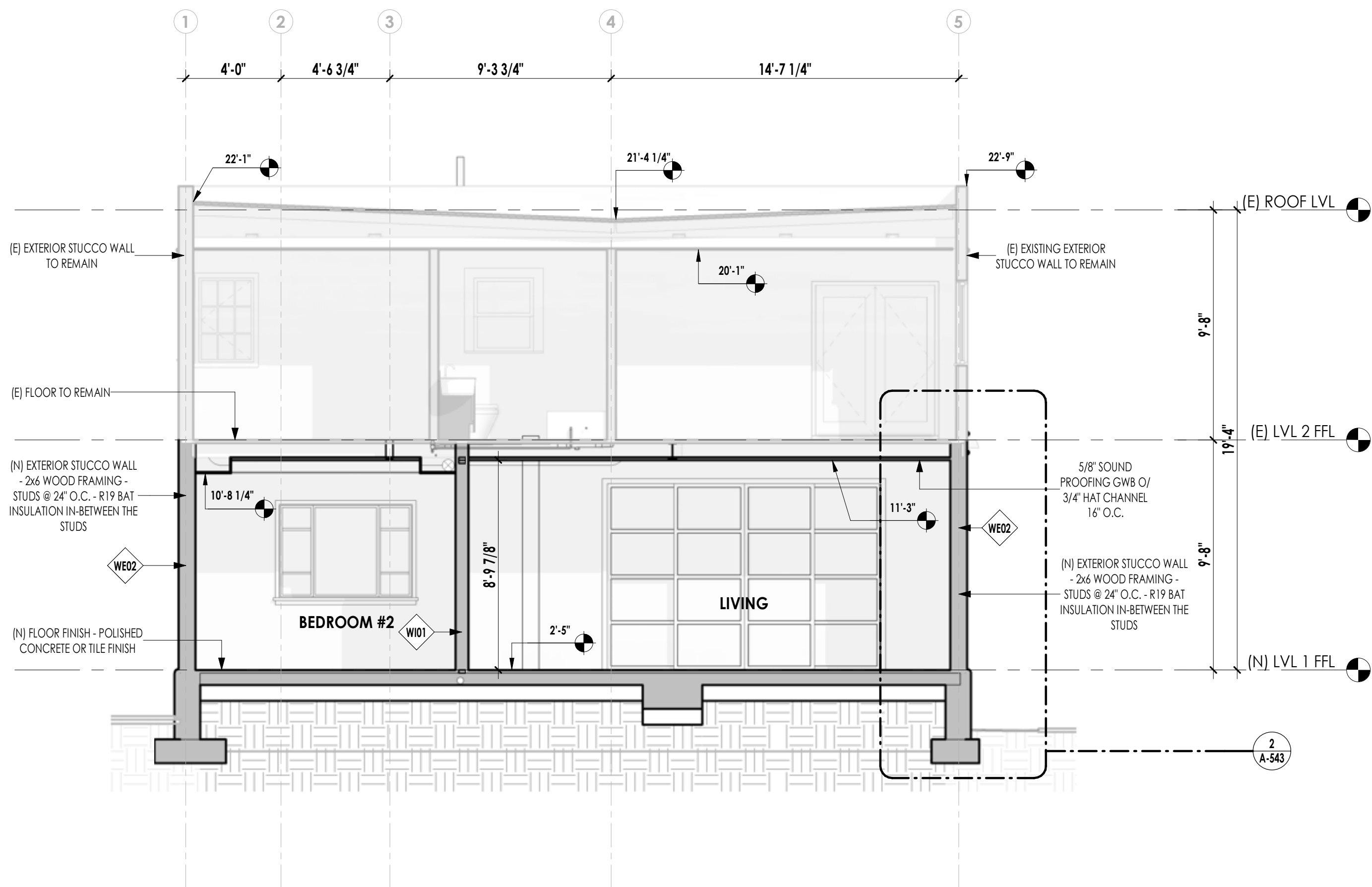
41 Poplar Kitchen  
Remodel

Date: 02/03/23

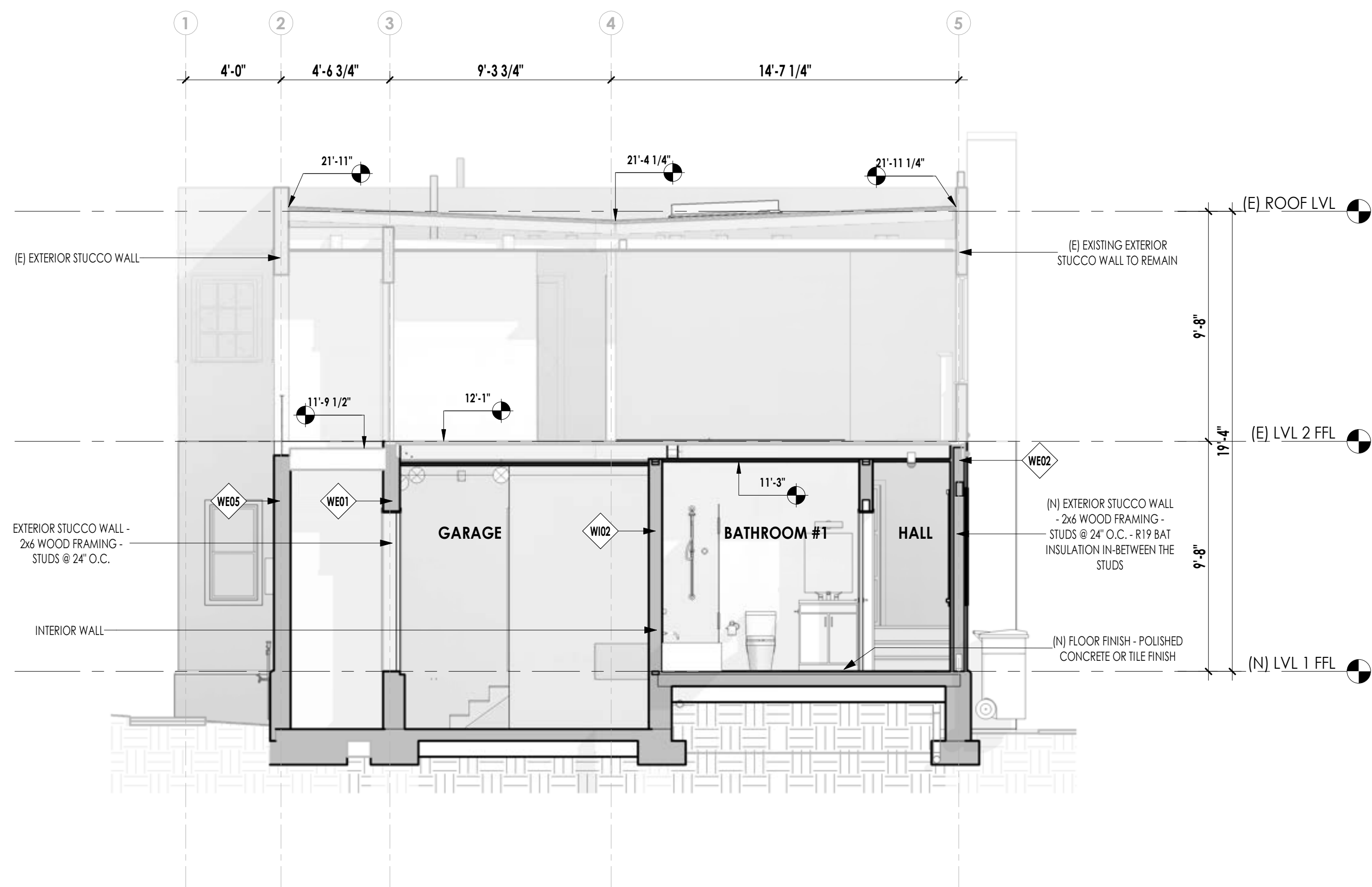
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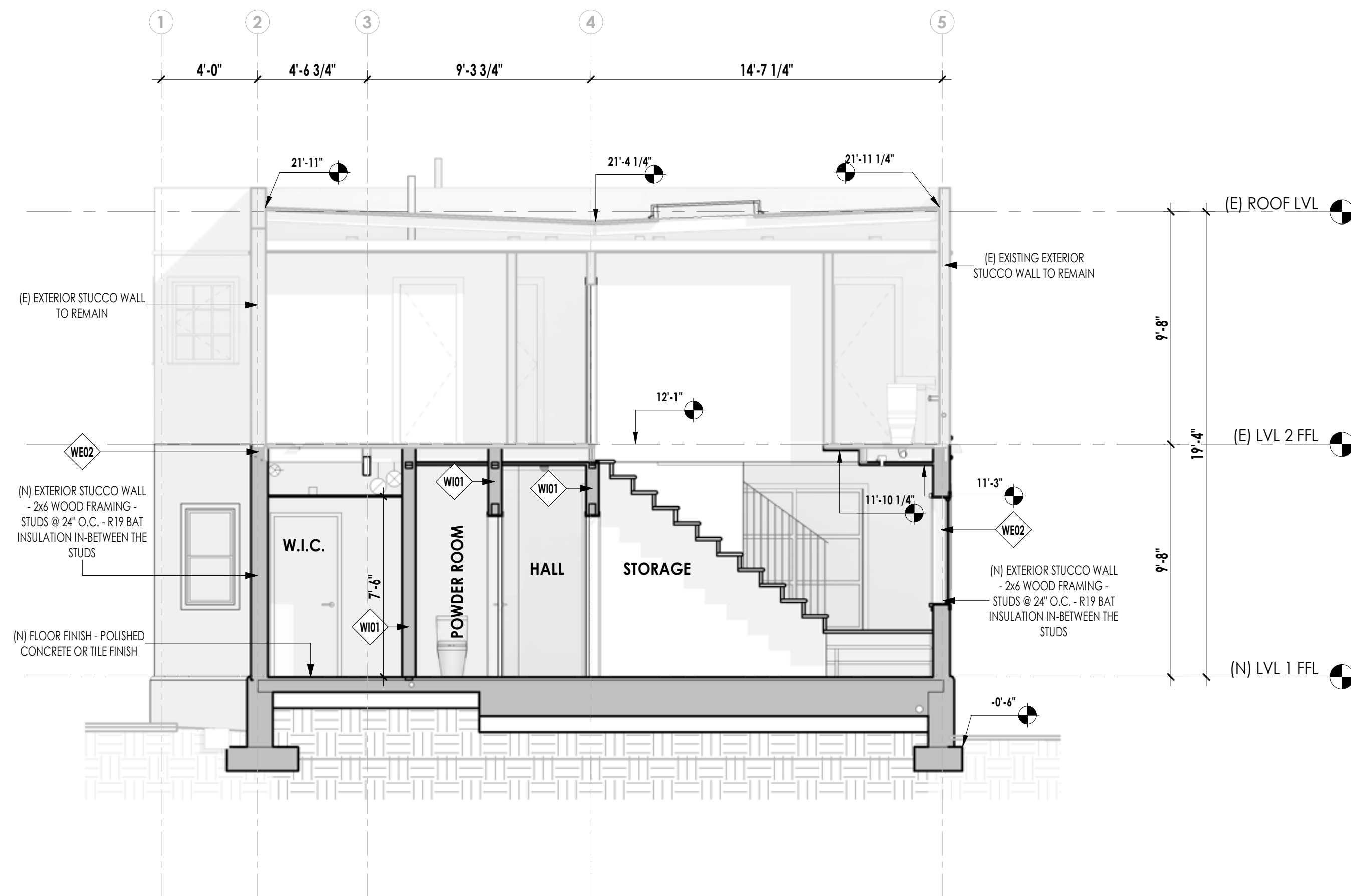
(E) LONGITUDINAL  
SECTIONS



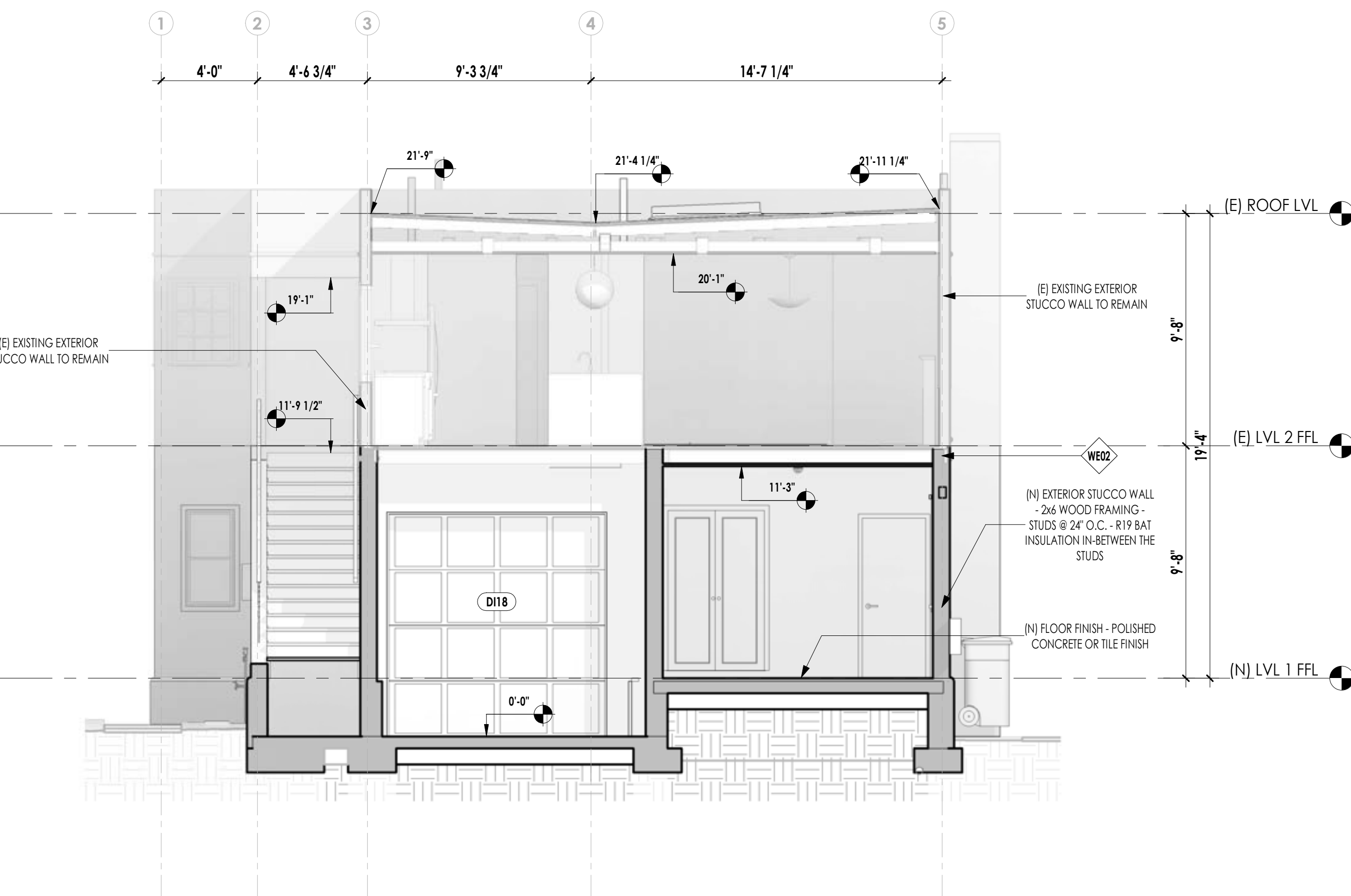
**1 (N) CROSS SECTION 1**  
1/4" = 1'-0"



**3 (N) CROSS SECTION 3**  
1/4" = 1'-0"



**2 (N) CROSS SECTION 2**  
1/4" = 1'-0"



**4 (N) CROSS SECTION 4**  
1/4" = 1'-0"



**Michael and Mindy Whittington**

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Sheet Title

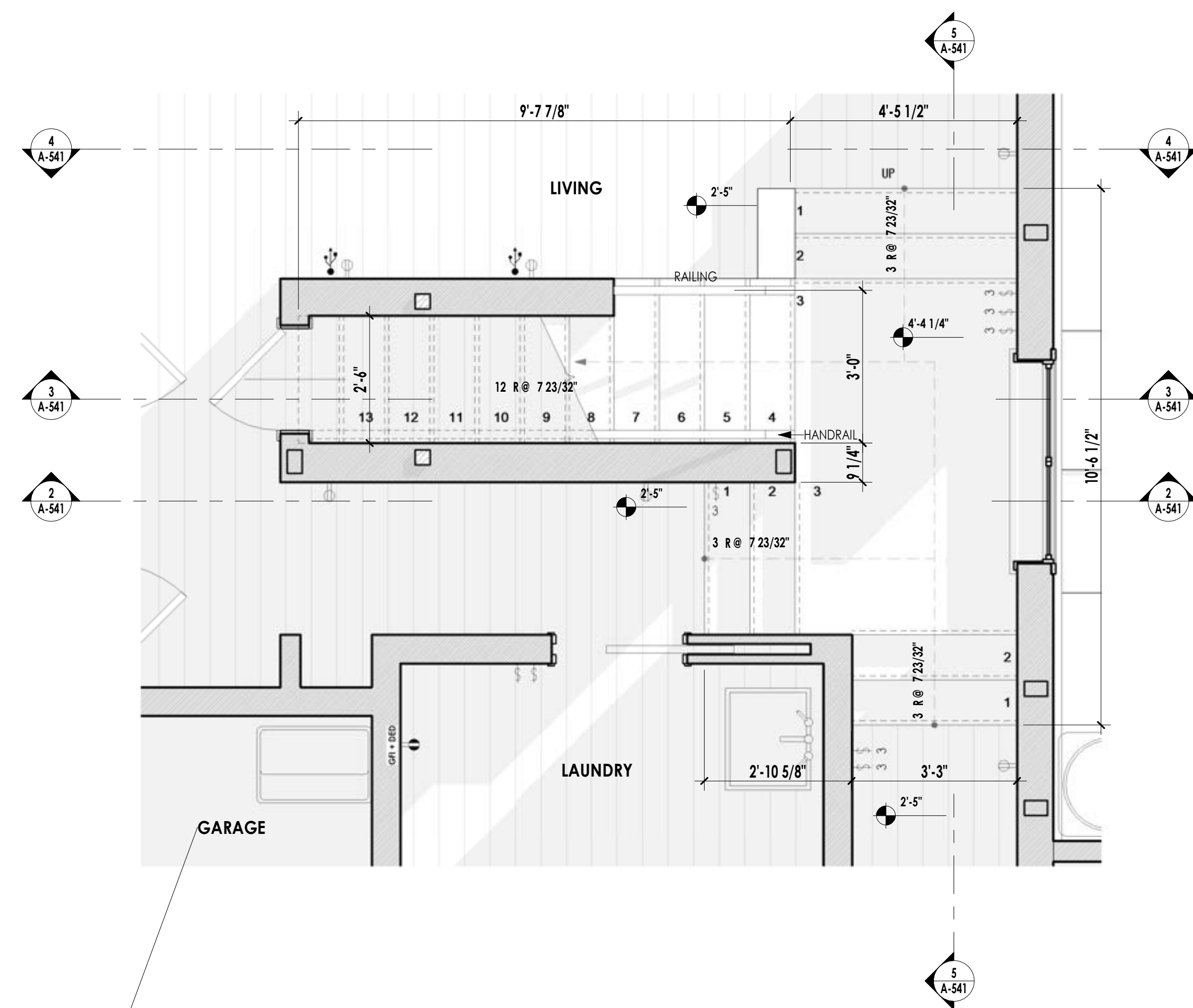
(N) CROSS SECTIONS

**A-341**

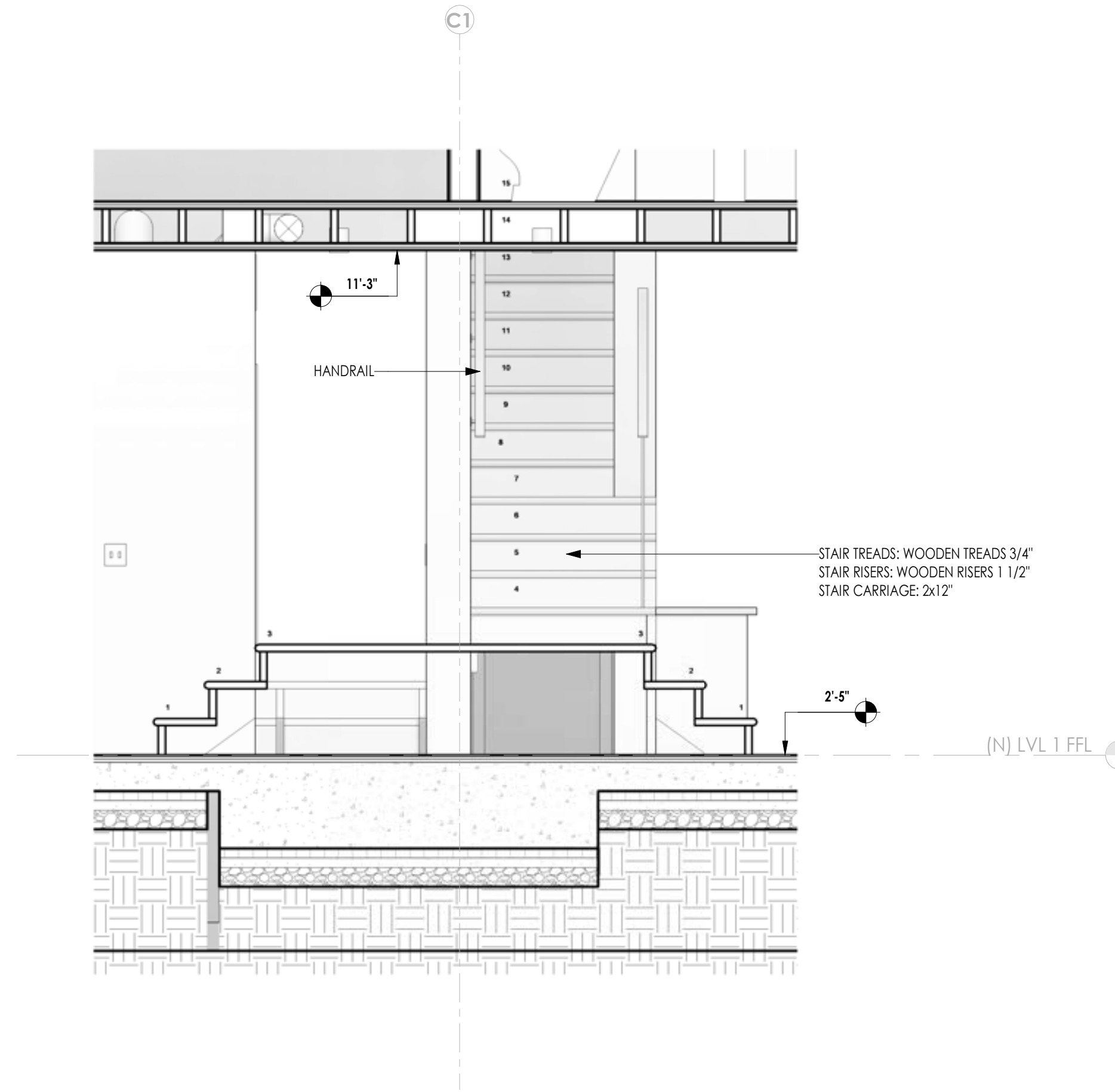




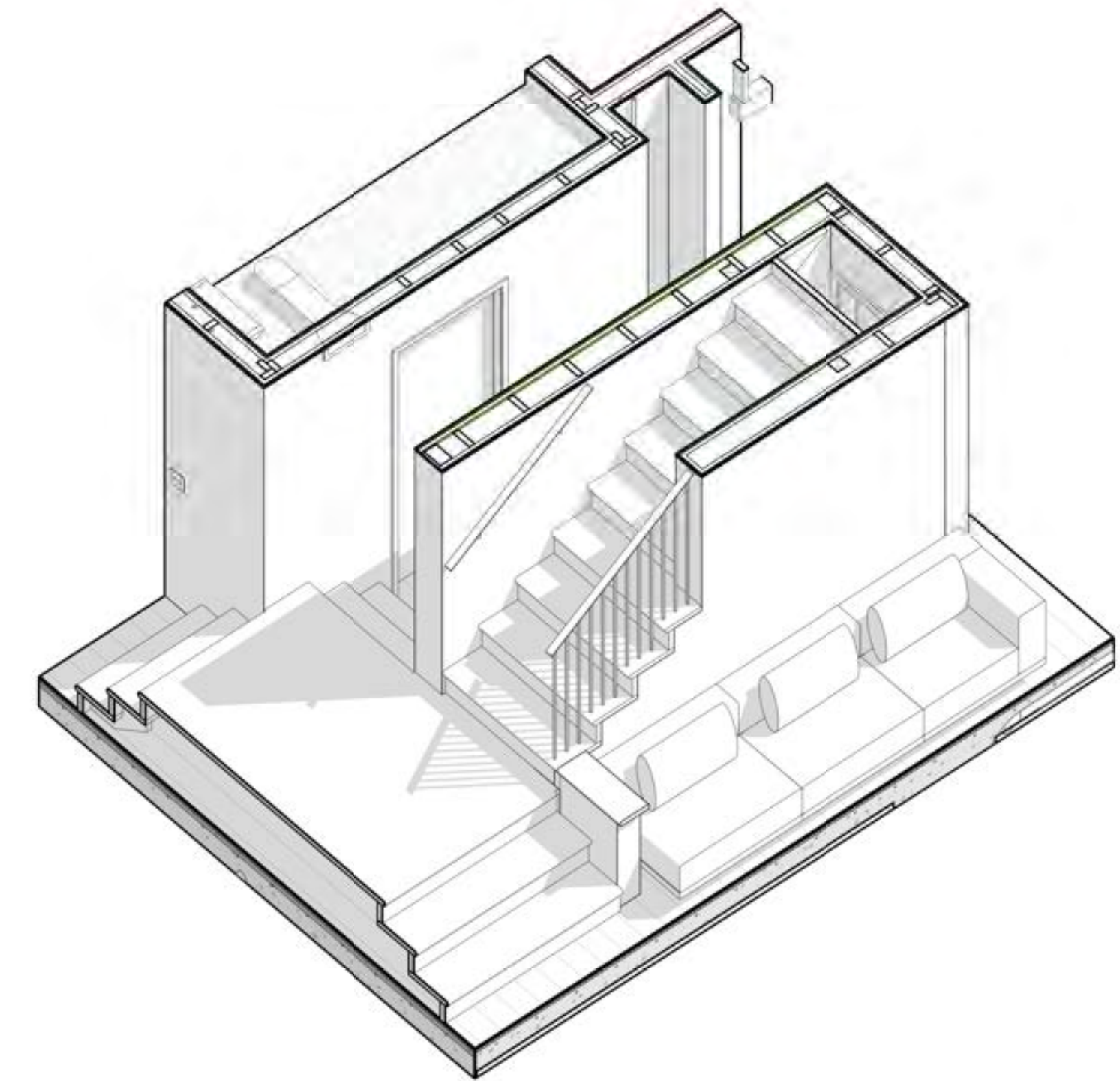




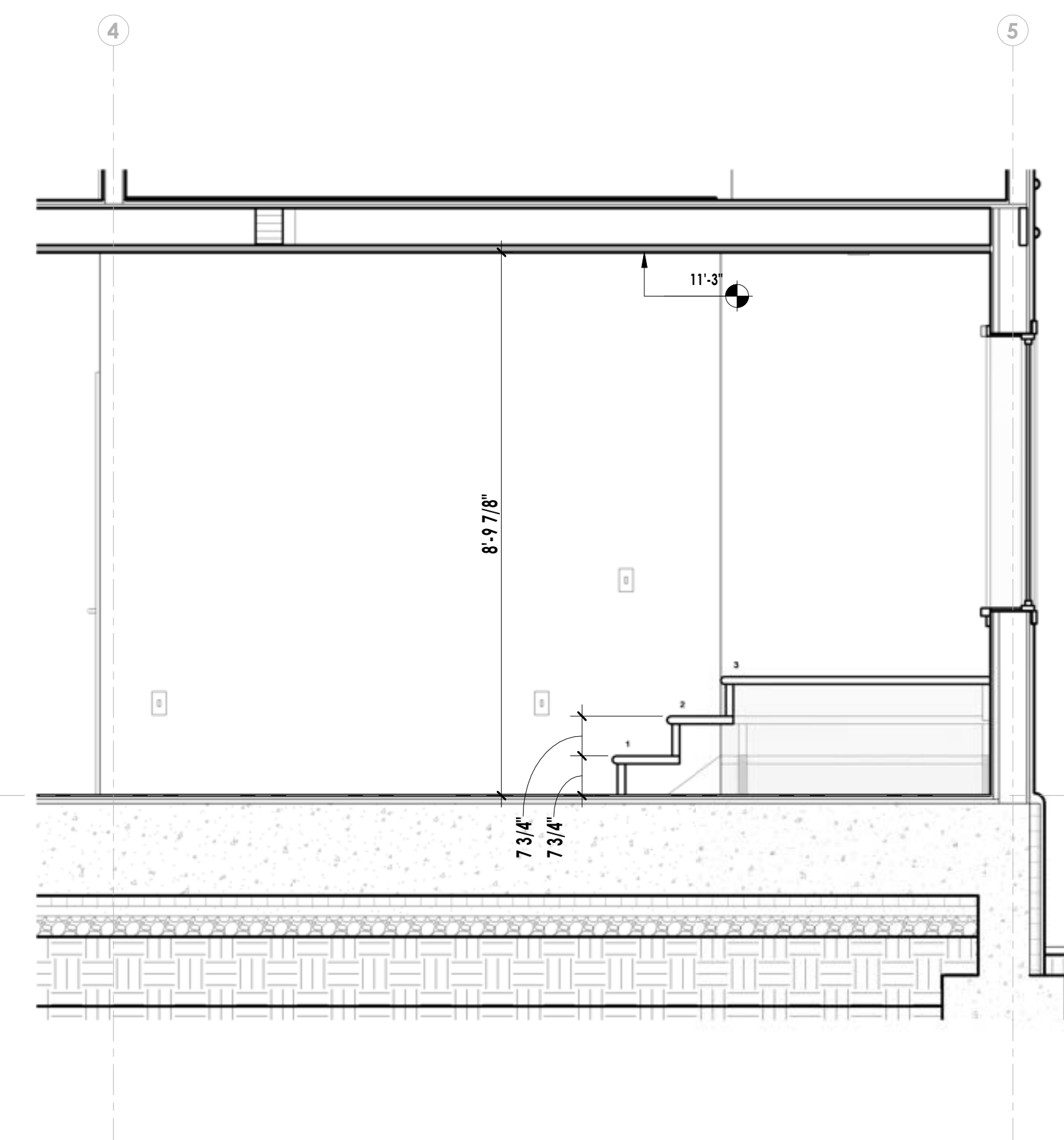
**1** INTERIOR STAIR DETAIL - PLAN VIEW  
1/2" = 1'-0"



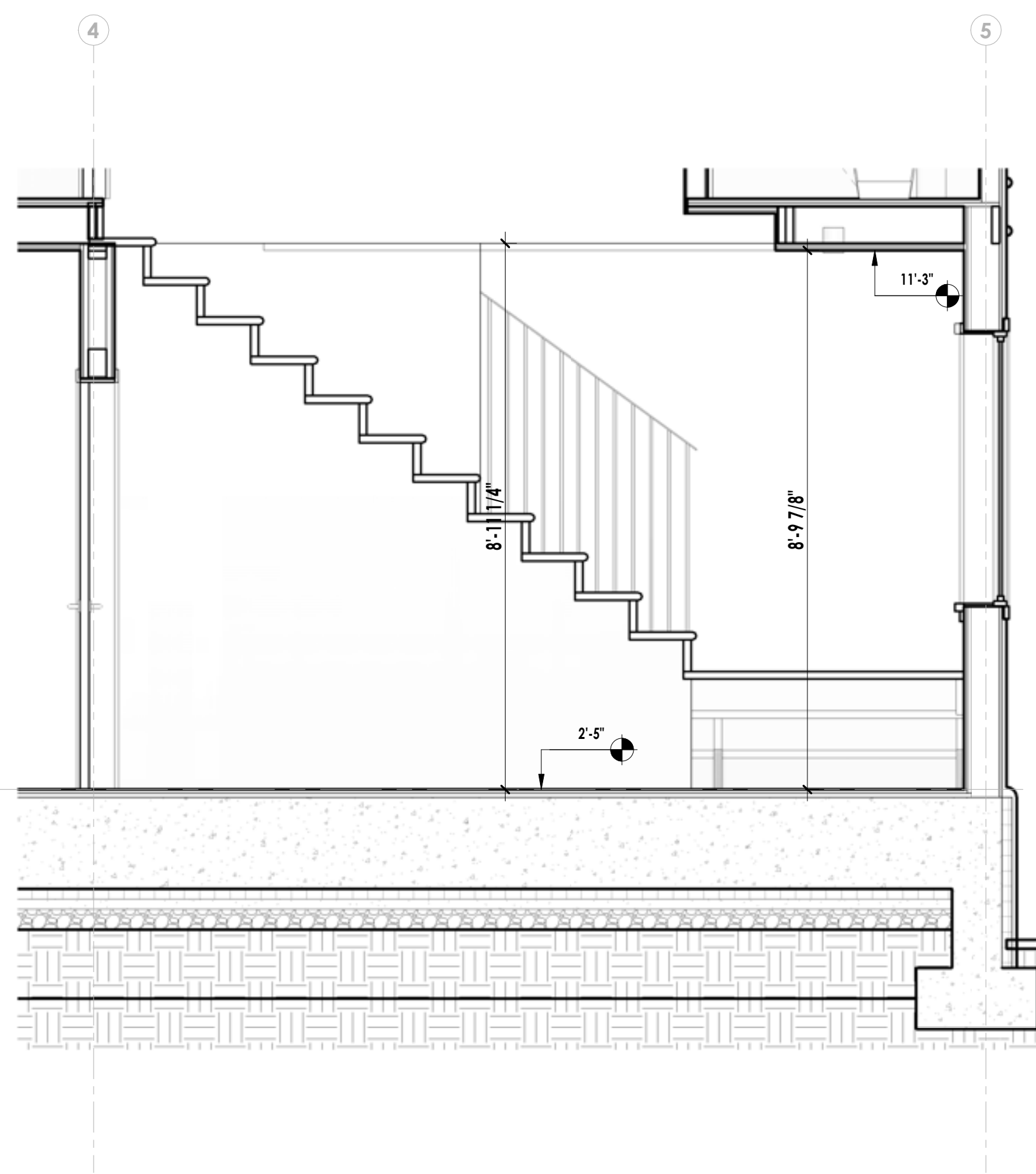
**5** INTERIOR STAIR DETAIL - SECTION 4  
1/2" = 1'-0"



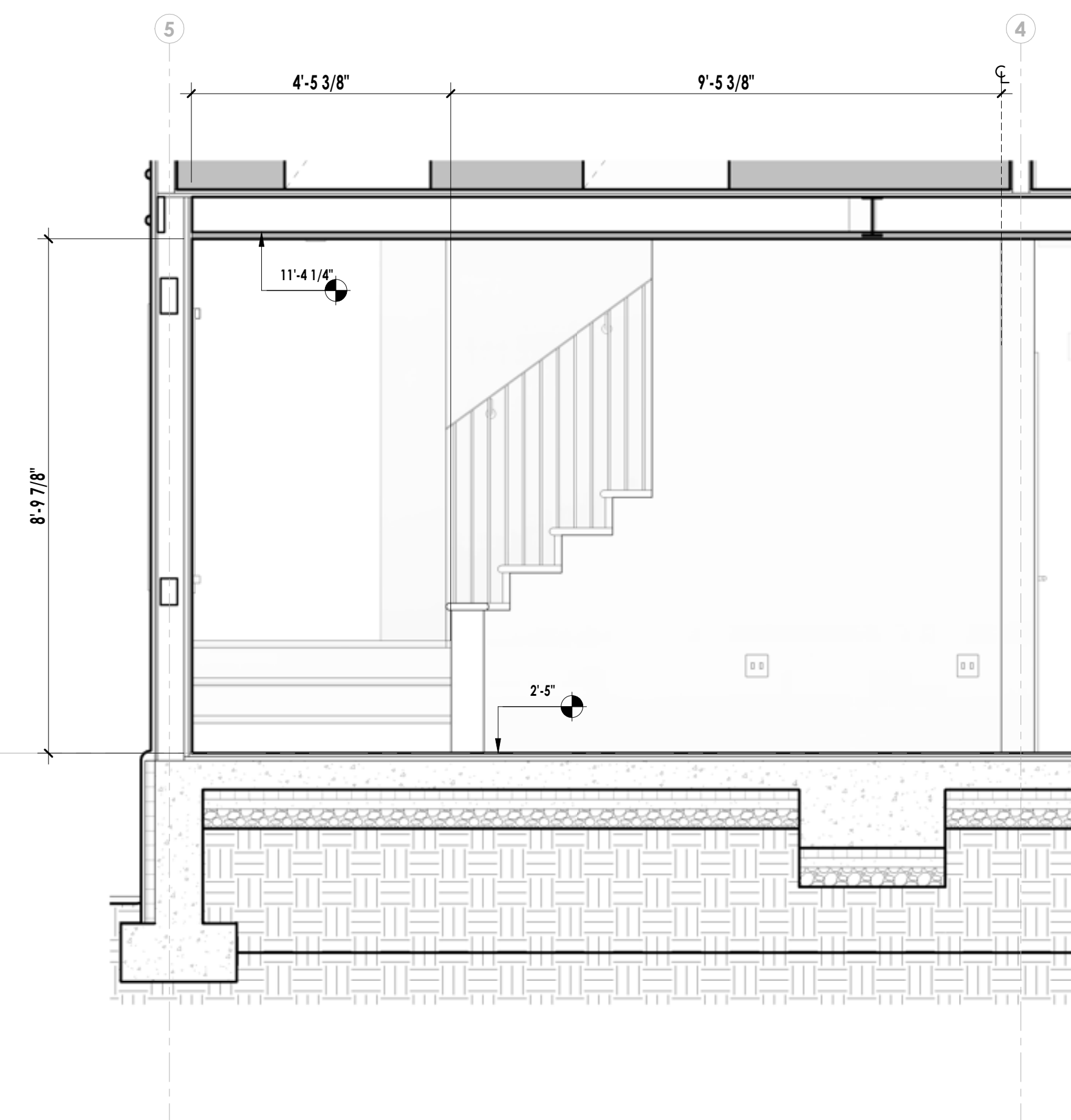
**6** INTERIOR STAIR 3D VIEW



**2** INTERIOR STAIR DETAIL - SECTION 1  
1/2" = 1'-0"



**3** INTERIOR STAIR DETAIL - SECTION 2  
1/2" = 1'-0"



**4** INTERIOR STAIR DETAIL - SECTION 3  
1/2" = 1'-0"



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1	CITY COMMENTS REV 1	01/11/23
Rev	Description	Date

41 Poplar Kitchen  
Remodel

Date: 02/03/23

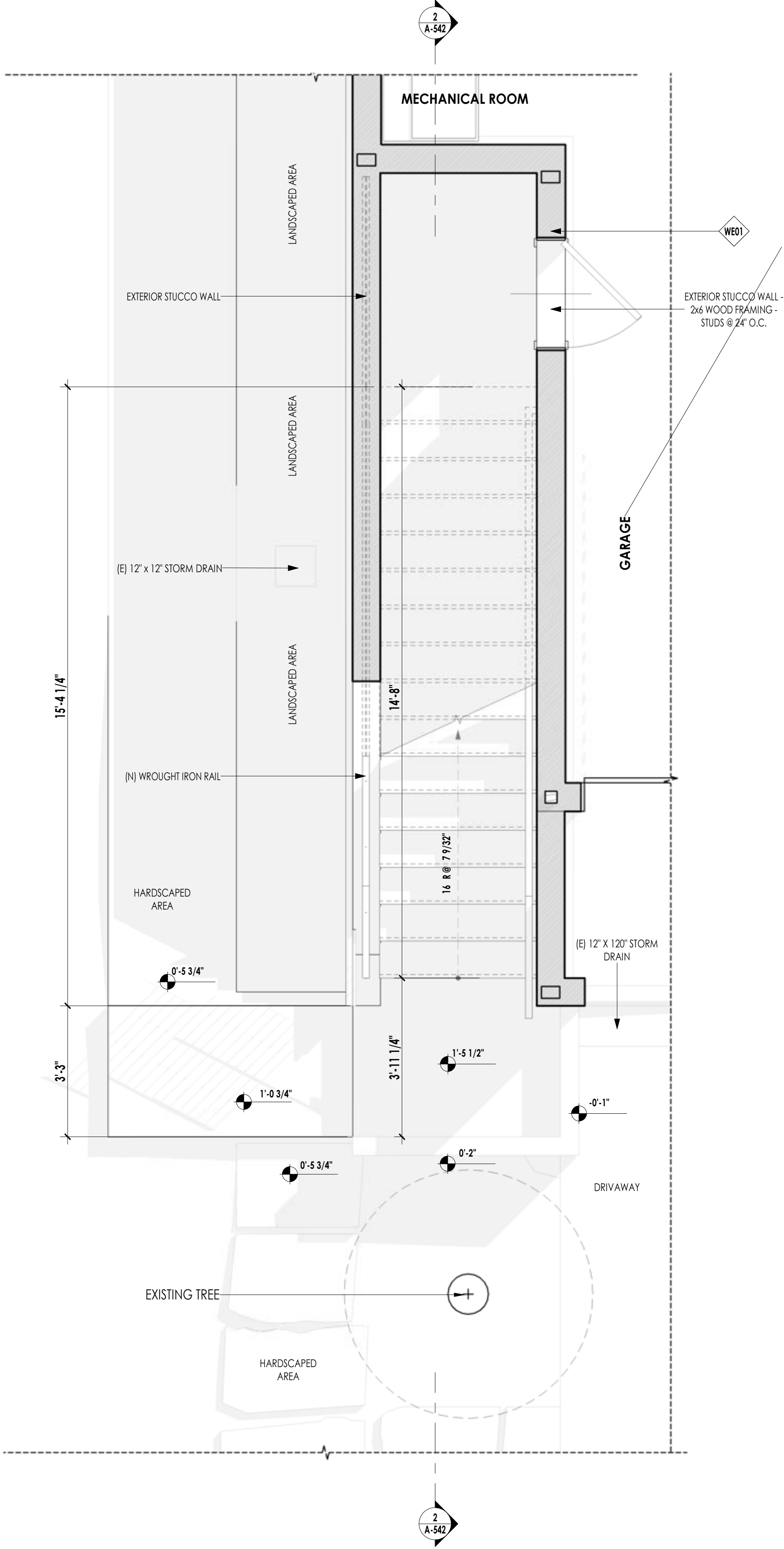
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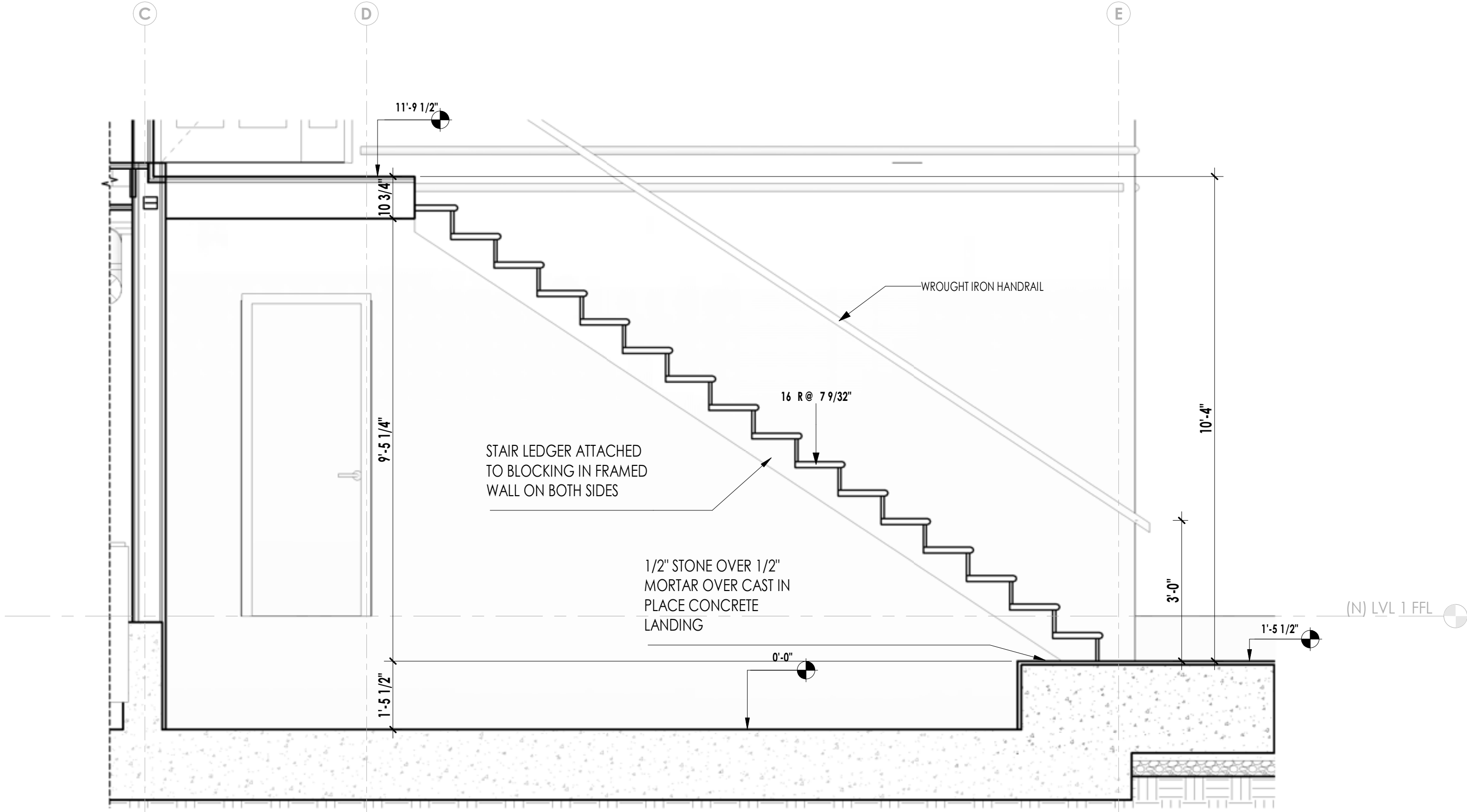
**(N) INTERIOR STAIR DETAILS**

**A-541**

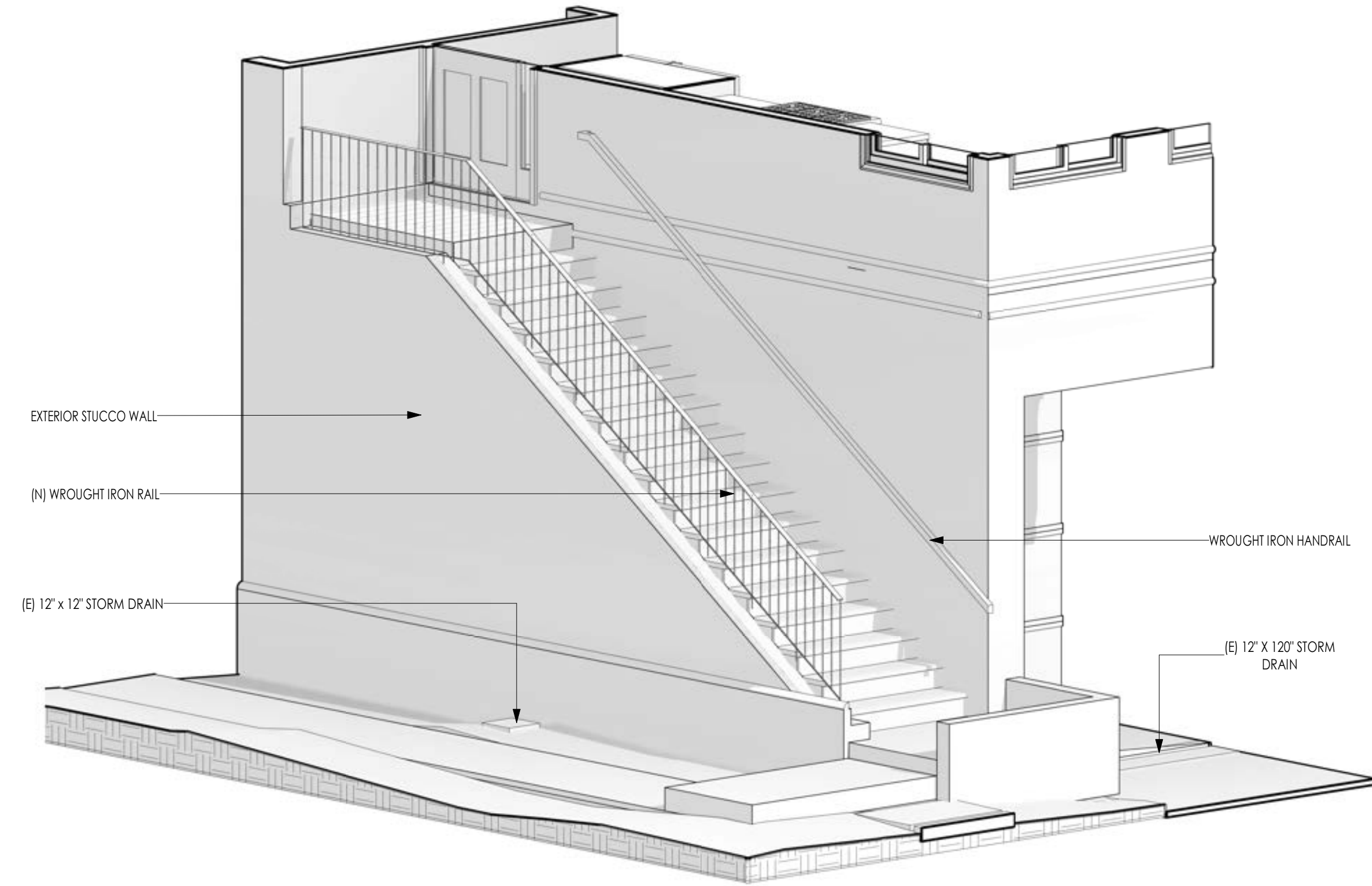




1 EXTERIOR STAIR DETAIL - PLAN VIEW  
1/2" = 1'-0"



2 EXTERIOR STAIR DETAIL - SECTION 1  
1/2" = 1'-0"



3 EXTERIOR STAIR 3D VIEW



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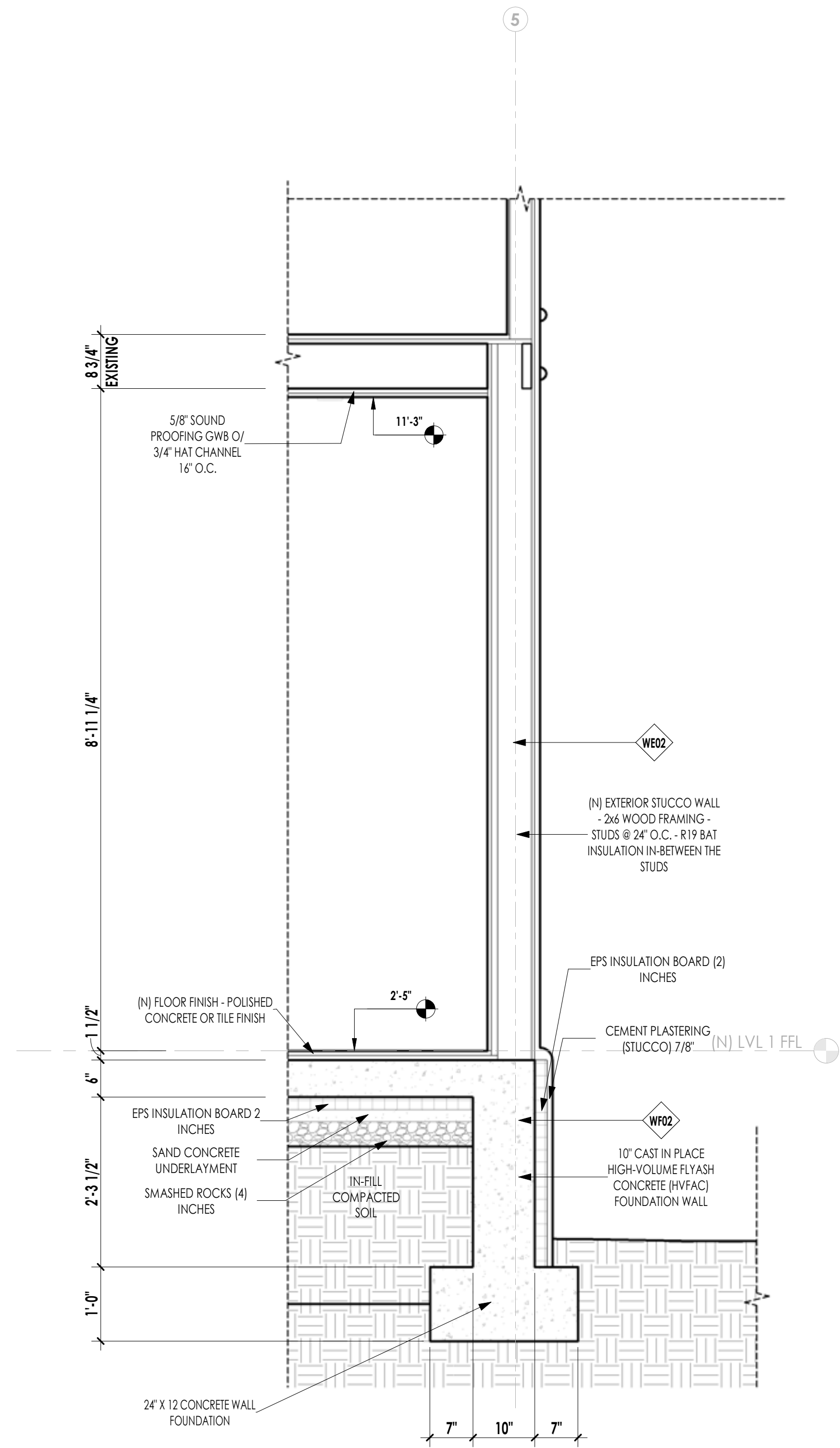
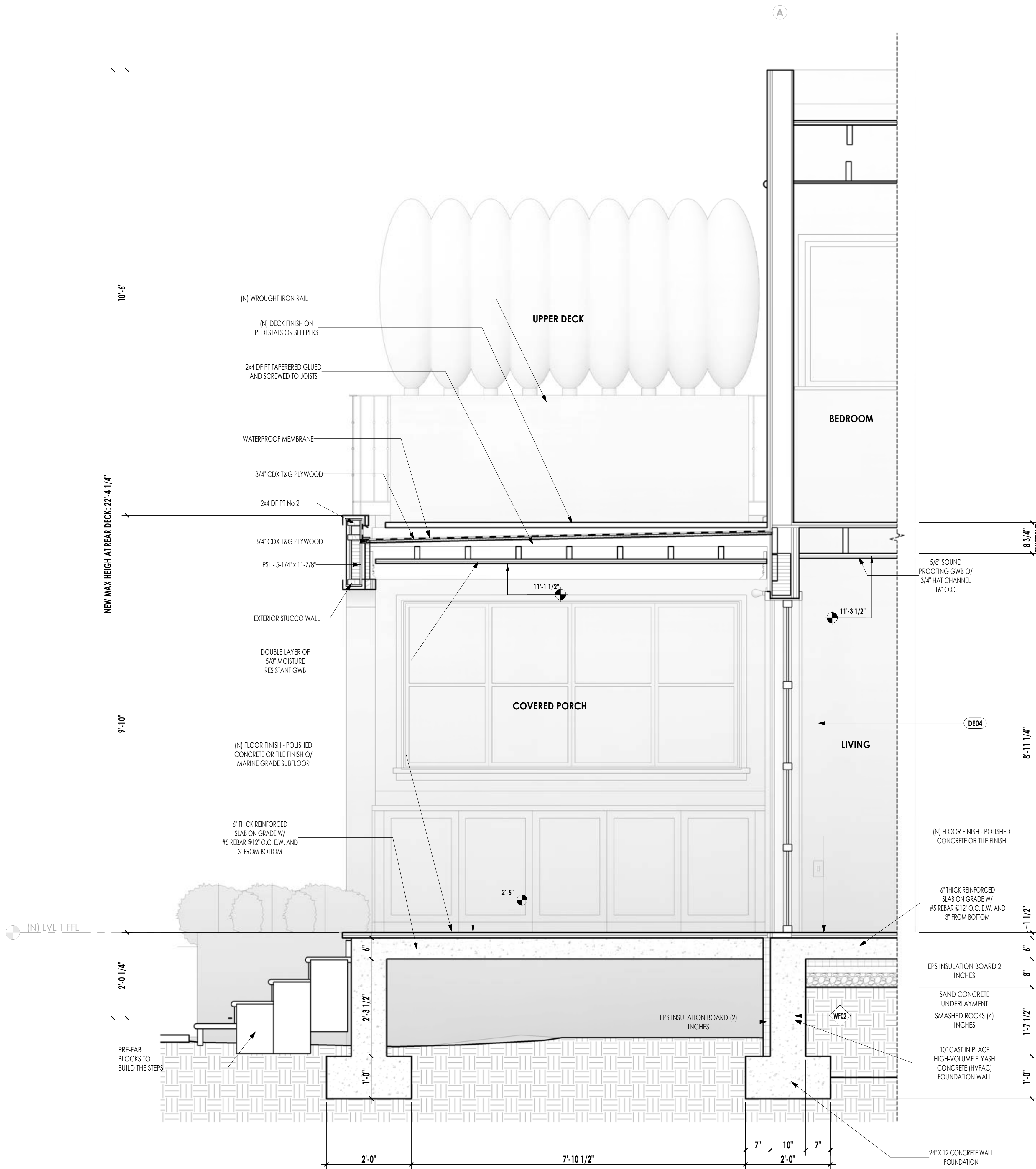
Scale: As Noted

Sheet Title

(N) EXTERIOR STAIR  
DETAILS

A-542





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Rev	Description	Date

41 Poplar Kitchen  
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Scale: As Noted

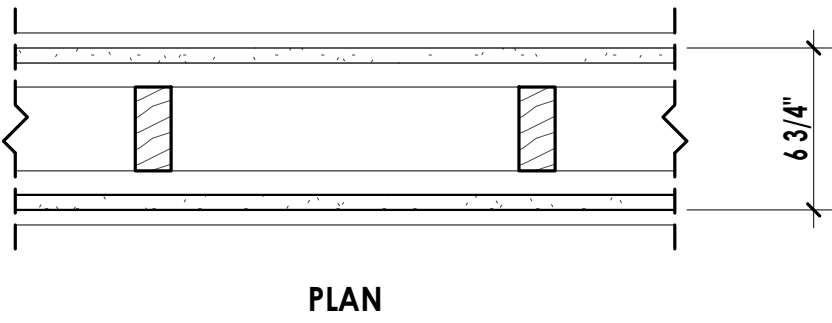
Sheet Title

ARCHITECTURAL DETAILS

(WI04)

- EXTERIOR
- 5/8" TYPE-X GWB
  - 1X Wood Framing
  - 2"X4" Wood Framing
  - 1x Wood Framing
  - 5/8" Non-Paper Faced Moisture Resistant GWB
- INTERIOR

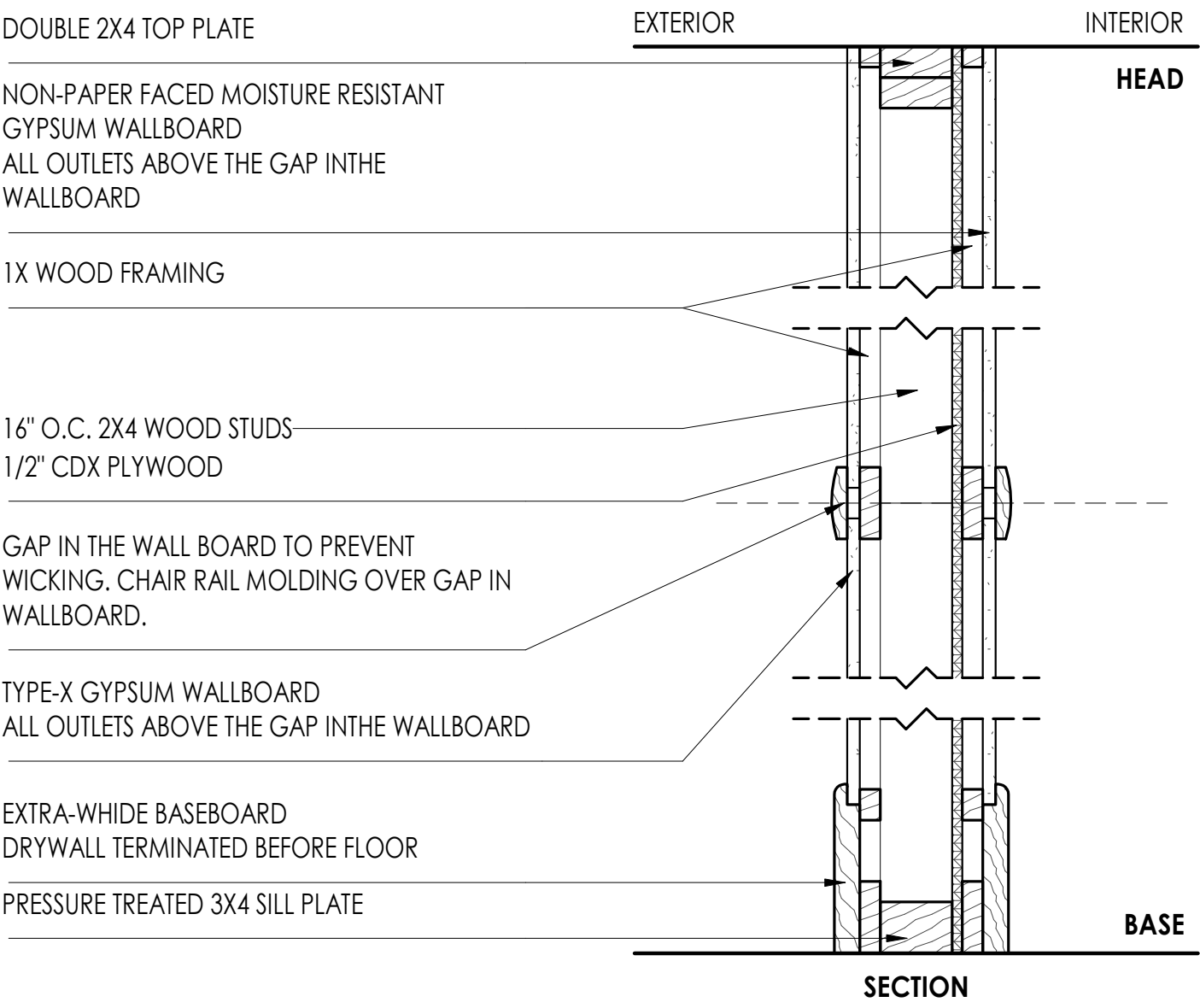
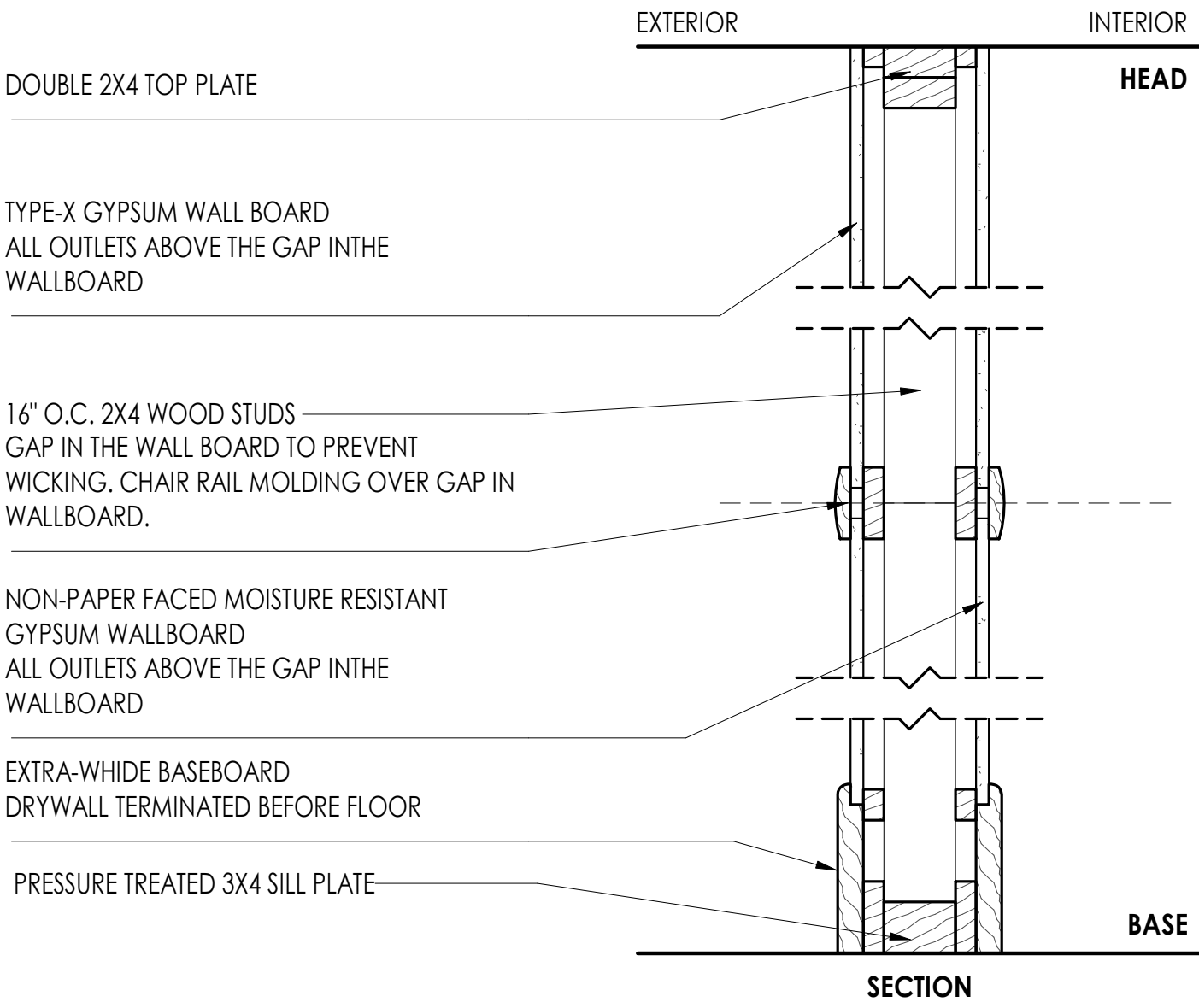
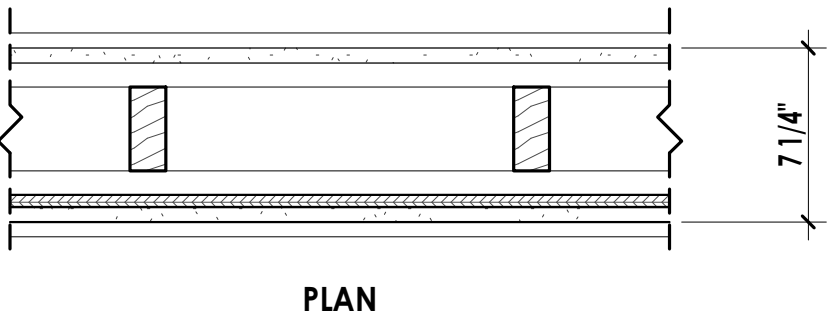
FIRE RATING:



(WI05)

- EXTERIOR
- 5/8" TYPE-X GWB
  - 1X Wood Framing
  - 2"X4" Wood Framing
  - 1/2" CDX Plywood
  - 1x Wood Framing
  - 5/8" Non-Paper Faced Moisture Resistant GWB
- INTERIOR

FIRE RATING:



CRAFTED EARTH, INC.  
ENGINEERING & DESIGN

166 Alpine Street  
San Rafael, CA 94901  
Tel. 415.699.9662  
info@craftedearth.com



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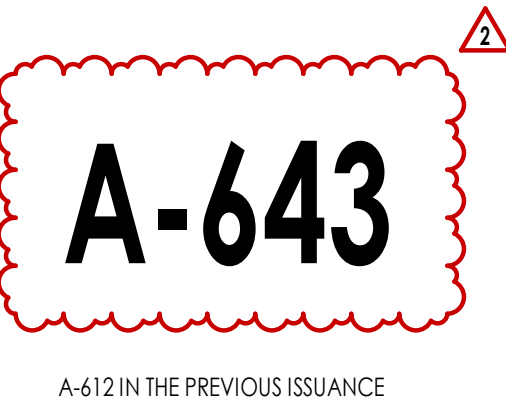
41 Poplar Kitchen  
Remodel

Date: 02/03/23

Scale: As Noted

Sheet Title

WALL ASSEMBLIES

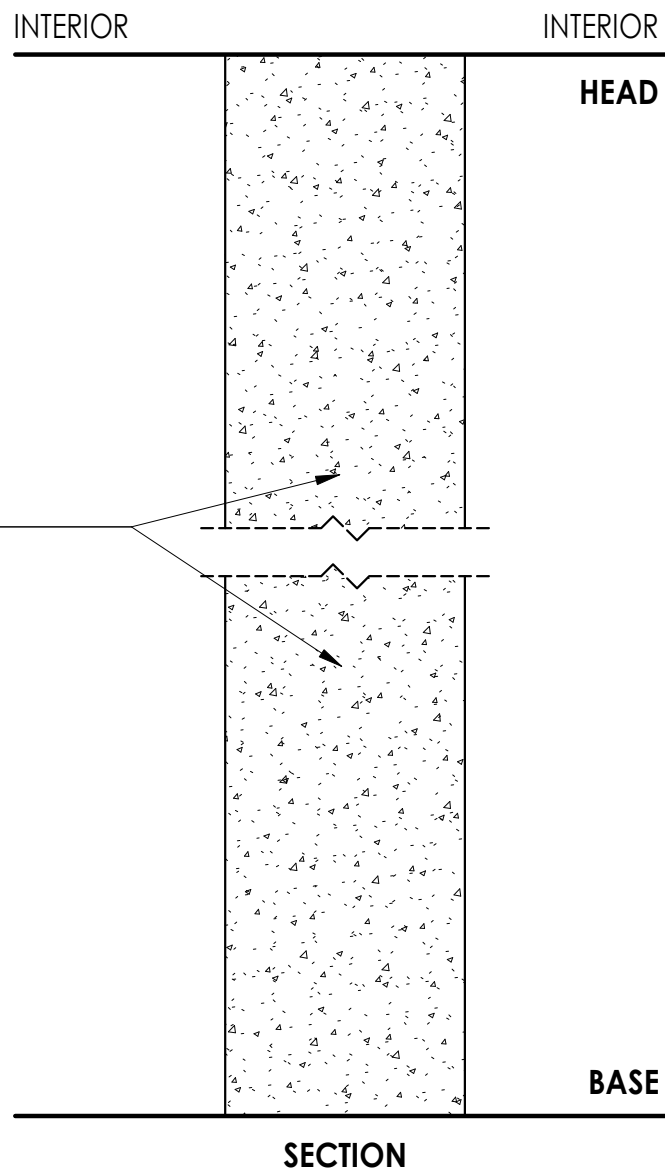
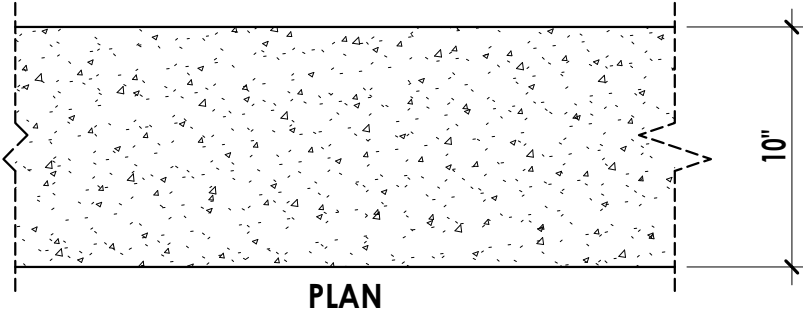


A-612 IN THE PREVIOUS ISSUANCE



WF02

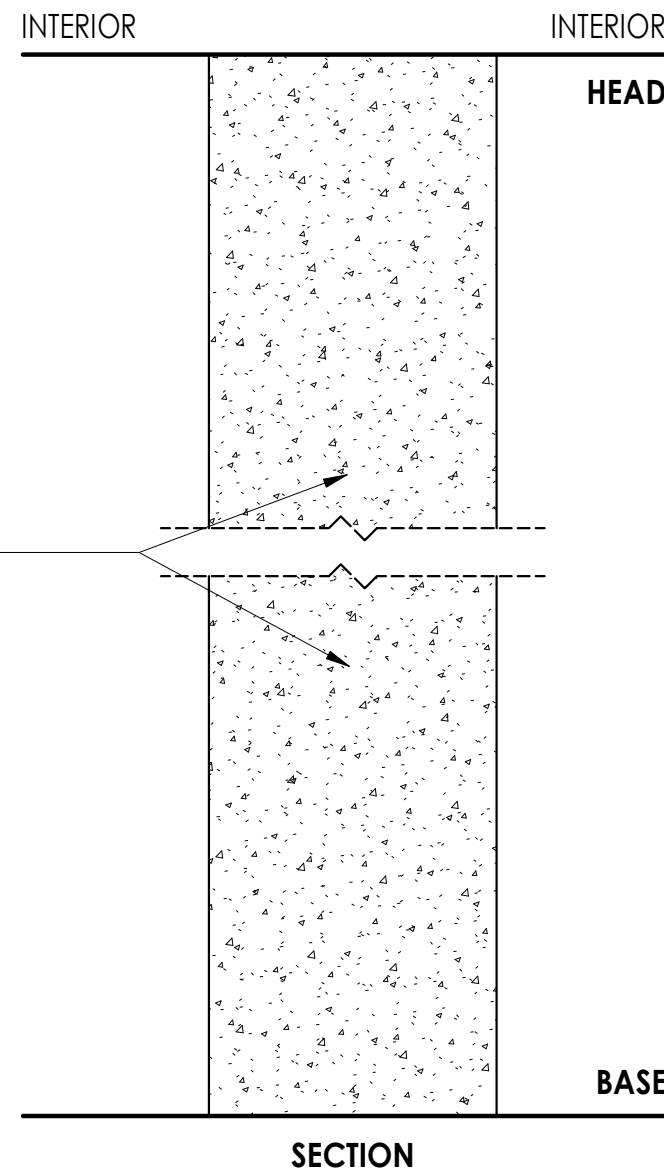
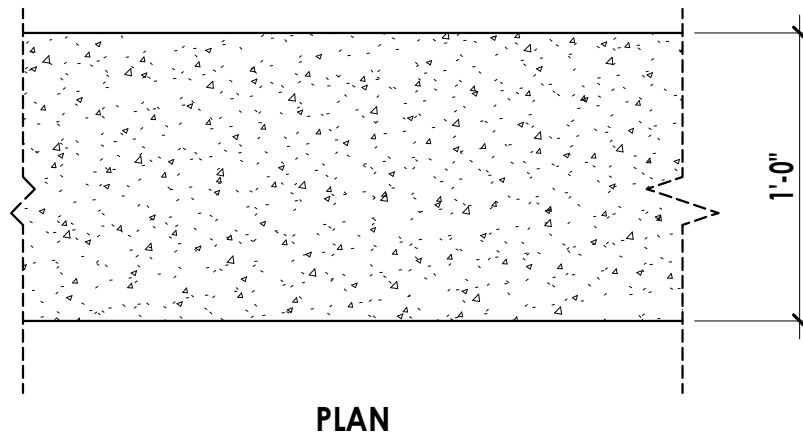
- EXTERIOR
- 20" CAST IN PLACE HIGH-VOLUME FLYASH CONCRETE (HVFAC)
- INTERIOR



CAST IN PLACE HIGH-VOLUME FLYASH CONCRETE (HVFAC)

WF03

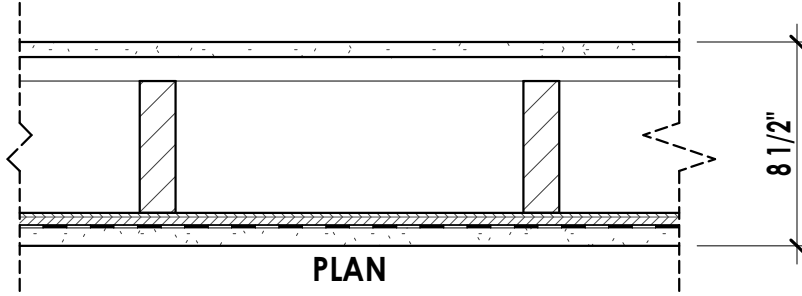
- EXTERIOR
- 12" CAST IN PLACE HIGH-VOLUME FLYASH CONCRETE (HVFAC)
- INTERIOR



CAST IN PLACE HIGH-VOLUME FLYASH CONCRETE (HVFAC)

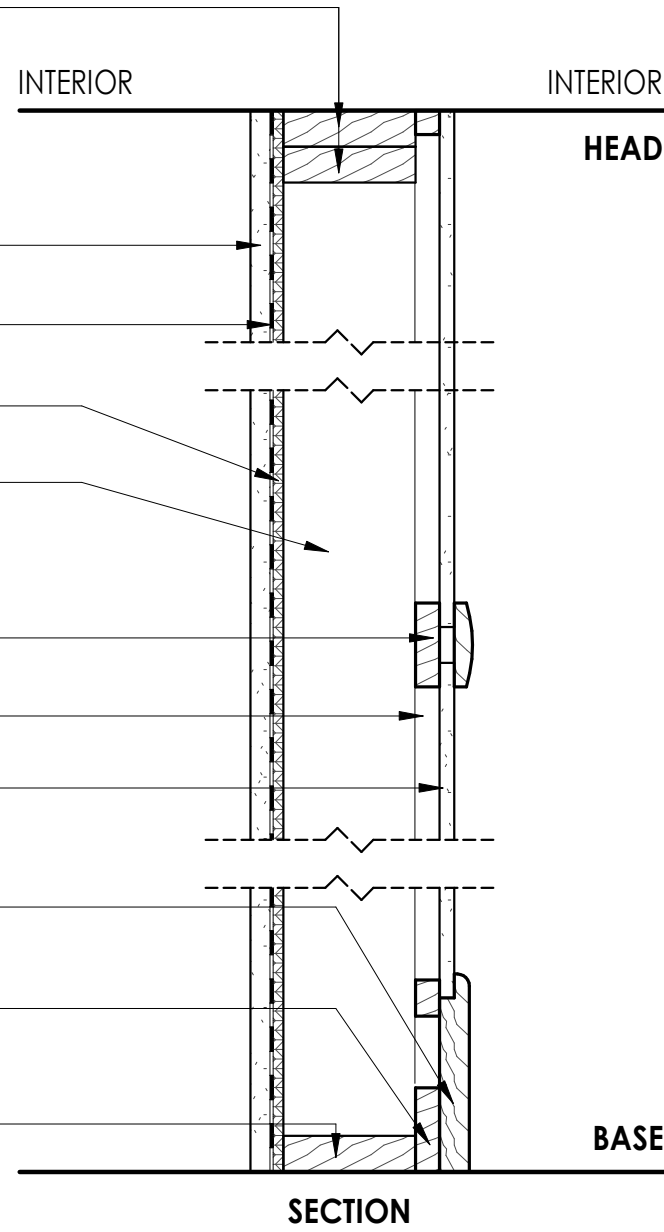
WE01

- EXTERIOR
- 7/8" Hard Coat Stucco
  - 1/2" CDX Plywood
  - 2"x6" Wall Framing
  - 1"x Wall Framing
  - 5/8" Paperless Moisture Resistant GWB
- INTERIOR



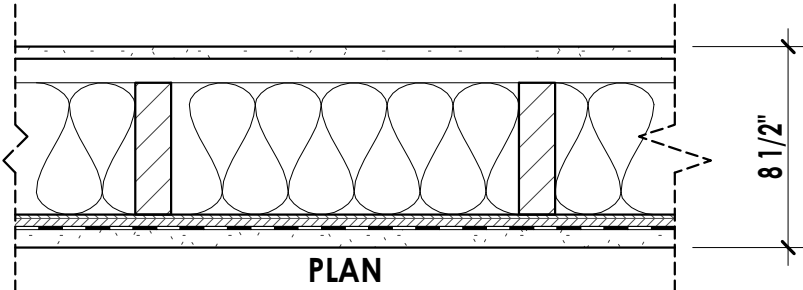
2X6 DOUBLE TOP PLATE

- HARD COAT STUCCO:
- Scratch coat 3/8 inch
  - Brown coat 3/8 inch
  - Finish coat 1/8 inch
  - Total thickness is 7/8 of an inch
- METAL LATH O/ BUILDING PAPER
- 1/2" CDX PLYWOOD
- 24" O.C 2X6 WOOD STUDS
- GAP IN THE WALL BOARD TO PREVENT WICKING. CHAIR RAIL MOLDING OVER GAP IN WALLBOARD
- 1X WOOD FRAMING
- 5/8" PAPERLESS MOISTURE RESISTANT GWB
- EXTRA-WHIDE BASEBOARD DRYWALL TERMINATED BEFORE FLOOR
- PRESSURE TREATED 1X WOOD FRAMING
- PRESSURE TREATED 2X6 SILL PLATE



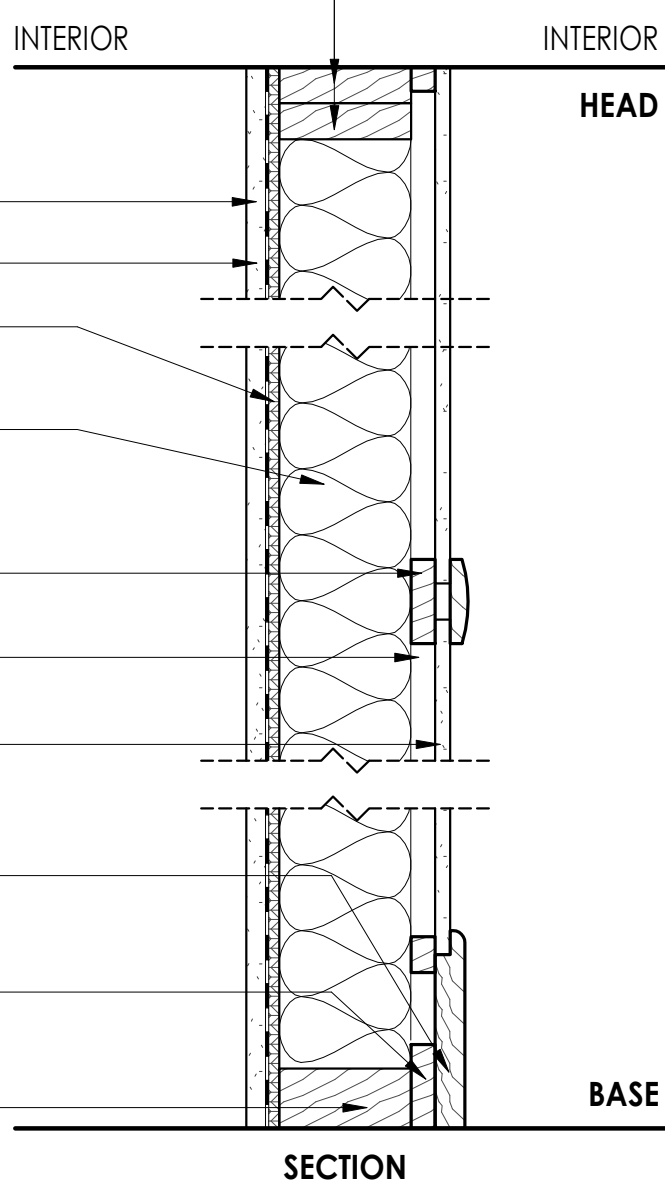
WE02

- EXTERIOR
- 7/8" Hard Coat Stucco
  - 1/2" CDX Plywood
  - 2"x6" Wall Framing With Bat R19 Insulation
  - 1"x Wall Framing
  - 5/8" Paperless Moisture Resistant GWB
- INTERIOR



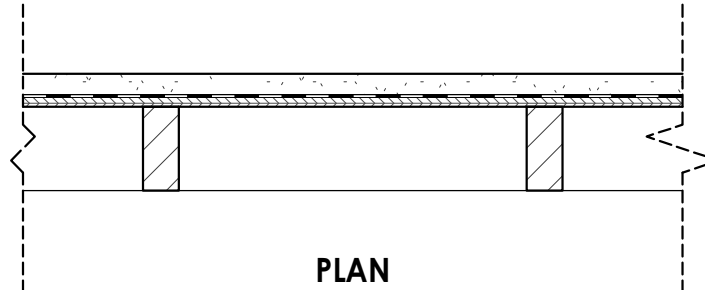
2X6 DOUBLE TOP PLATE

- HARD COAT STUCCO:
- Scratch coat 3/8 inch
  - Brown coat 3/8 inch
  - Finish coat 1/8 inch
  - Total thickness is 7/8 of an inch
- METAL LATH O/ BUILDING PAPER
- 1/2" CDX PLYWOOD
- 24" O.C. 2X6 WOOD STUDS W/ R19 BAT INSULATION
- GAP IN THE WALL BOARD TO PREVENT WICKING. CHAIR RAIL MOLDING OVER GAP IN WALLBOARD
- 1X WOOD FRAMING
- 5/8" PAPERLESS MOISTURE RESISTANT GWB
- EXTRA-WHIDE BASEBOARD DRYWALL TERMINATED BEFORE FLOOR
- PRESSURE TREATED 1X WOOD FRAMING
- PRESSURE TREATED 3X6 SILL PLATE



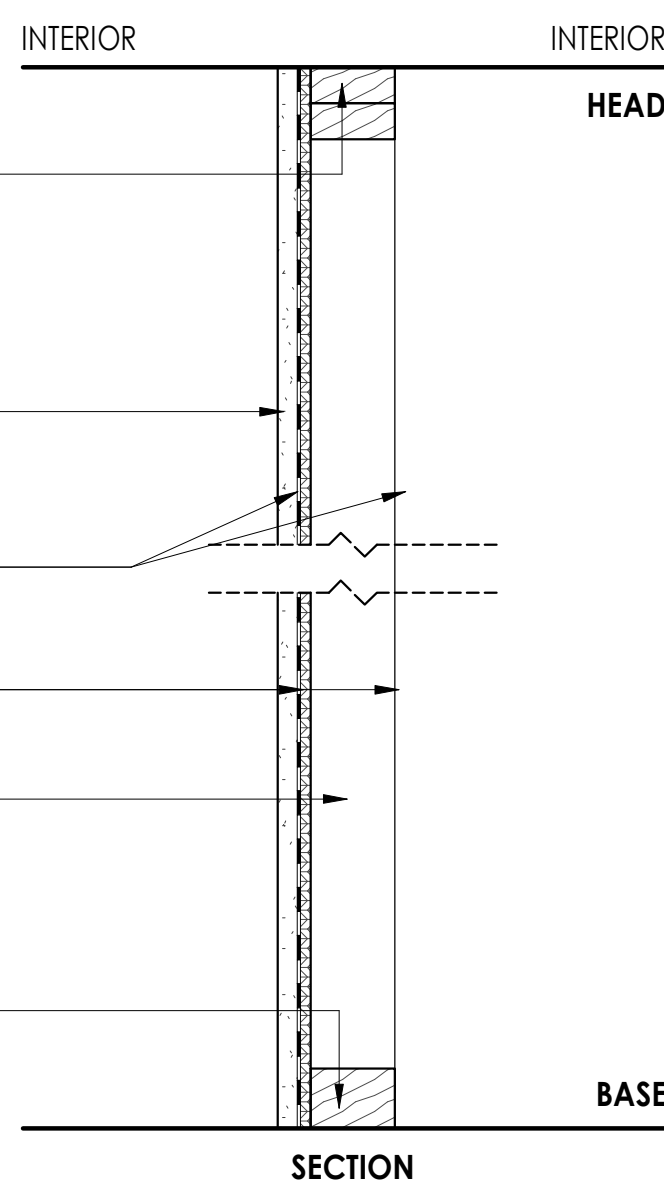
WE03

- EXTERIOR
- 7/8" Hard Coat Stucco
  - 1/2" CDX Plywood
  - 2"x4" Wall Framing
  - 1/2" CDX Plywood
  - 7/8" Hard Coat Stucco
- INTERIOR



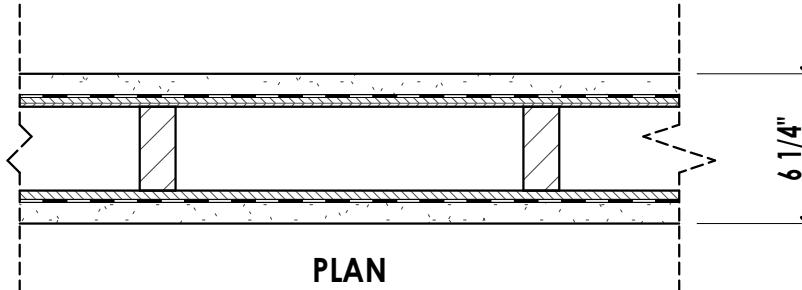
2X4 DOUBLE TOP PLATE

- HARD COAT STUCCO:
- Scratch coat 3/8 inch
  - Brown coat 3/8 inch
  - Finish coat 1/8 inch
  - Total thickness is 7/8 of an inch
- METAL LATH O/ BUILDING PAPER
- 1/2" CDX PLYWOOD
- 16" O.C. 2X4 WOOD STUDS
- PRESSURE TREATED 3X4 WOOD FRAMING



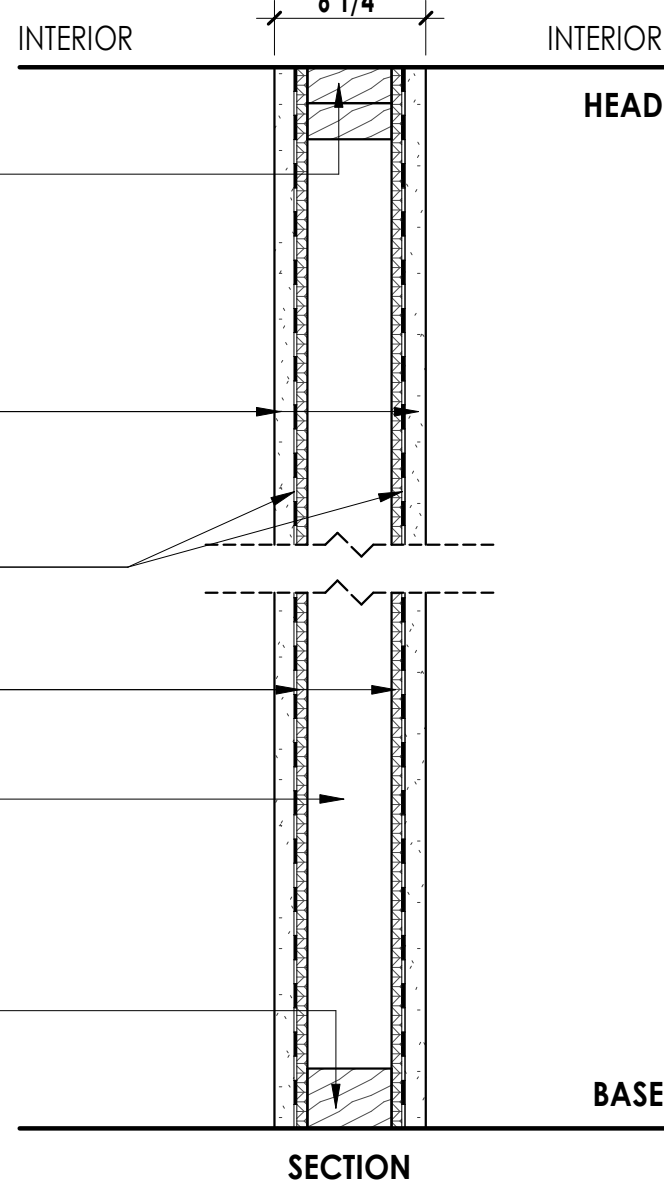
WE04

- EXTERIOR
- 7/8" Hard Coat Stucco
  - 1/2" CDX Plywood
  - 2"x4" Wall Framing
  - 1/2" CDX Plywood
  - 7/8" Hard Coat Stucco
- INTERIOR



2X4 DOUBLE TOP PLATE

- HARD COAT STUCCO:
- Scratch coat 3/8 inch
  - Brown coat 3/8 inch
  - Finish coat 1/8 inch
  - Total thickness is 7/8 of an inch
- METAL LATH O/ BUILDING PAPER
- 1/2" CDX PLYWOOD
- 16" O.C. 2X4 WOOD STUDS
- PRESSURE TREATED 3X4 WOOD FRAMING



Michael and Mindy  
Whittington

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Remodel

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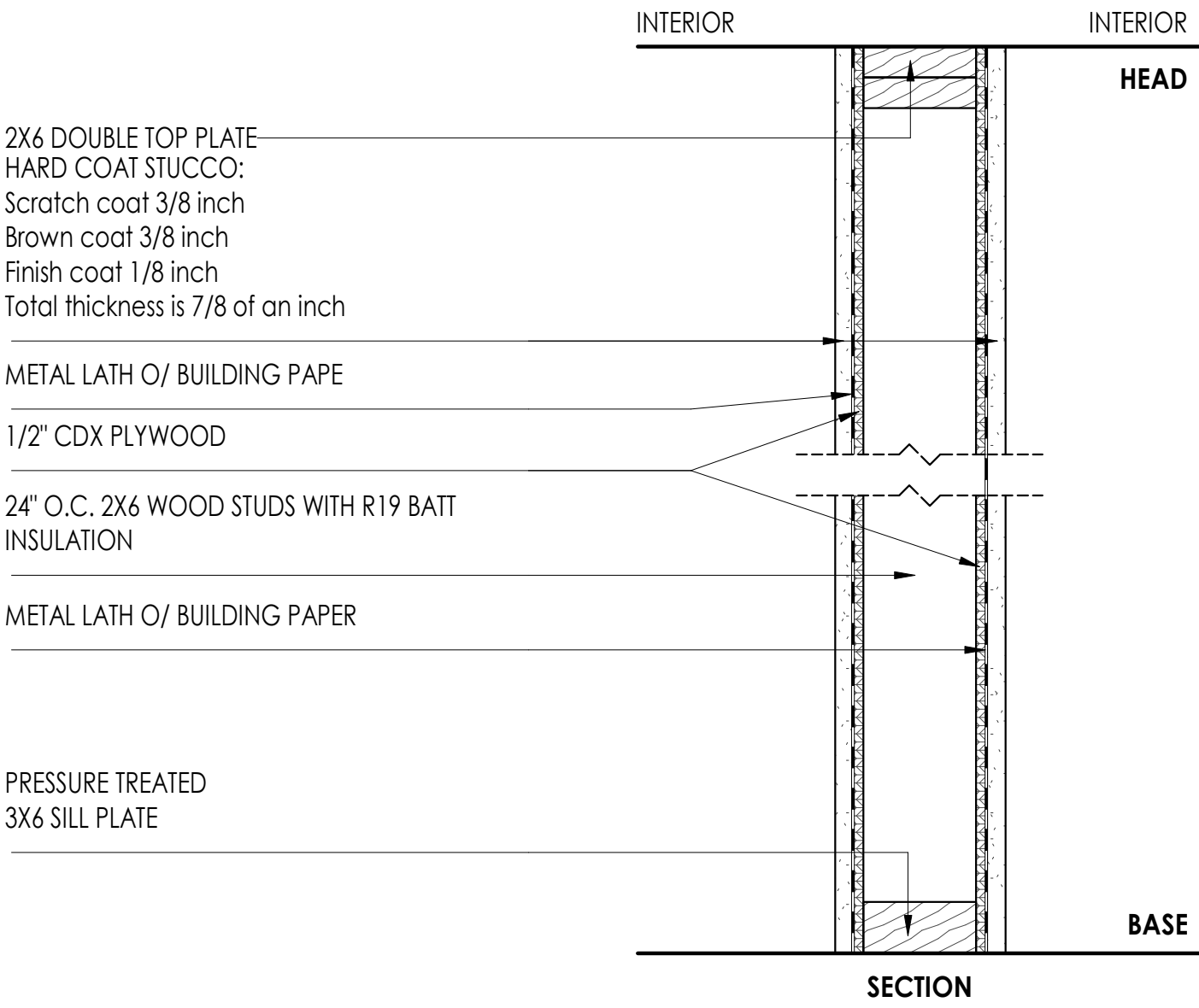
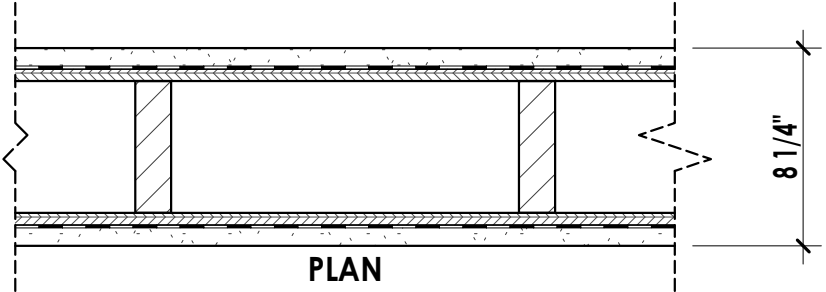
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Sheet Title

WALL ASSEMBLIES

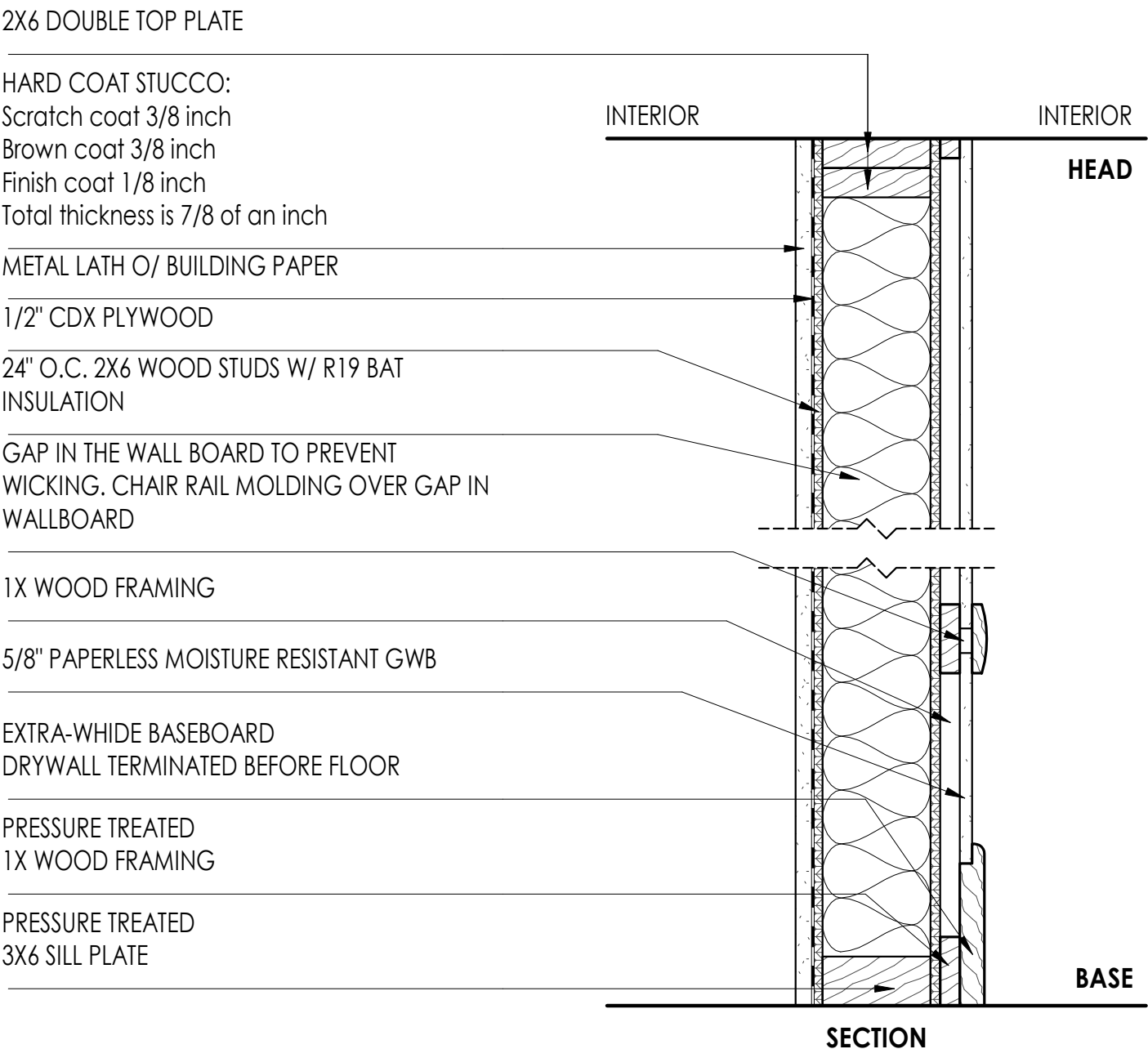
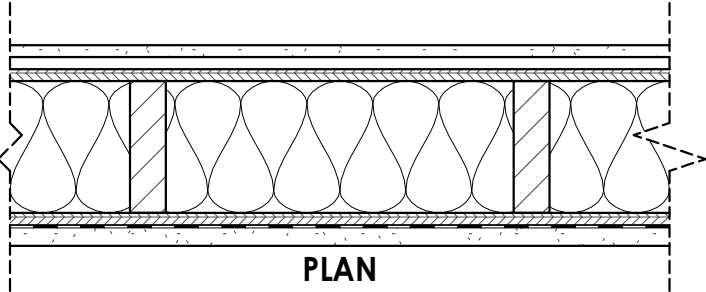
WE05

- EXTERIOR
- 7/8" Hard Coat Stucco
  - 1/2" CDX Plywood
  - 2"X6" Wall Framing
  - 1/2" CDX Plywood
  - 7/8" Hard Coat Stucco
- INTERIOR



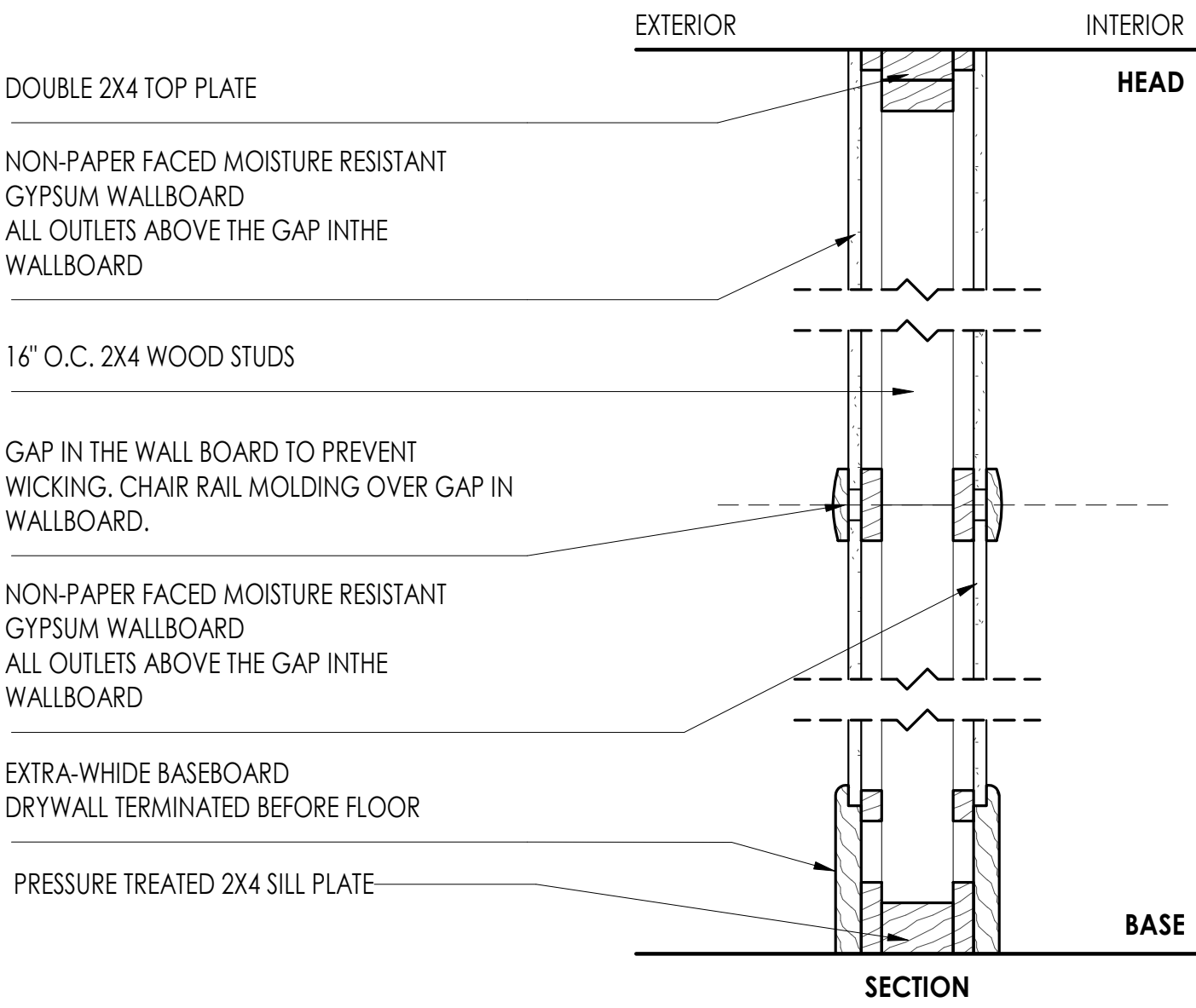
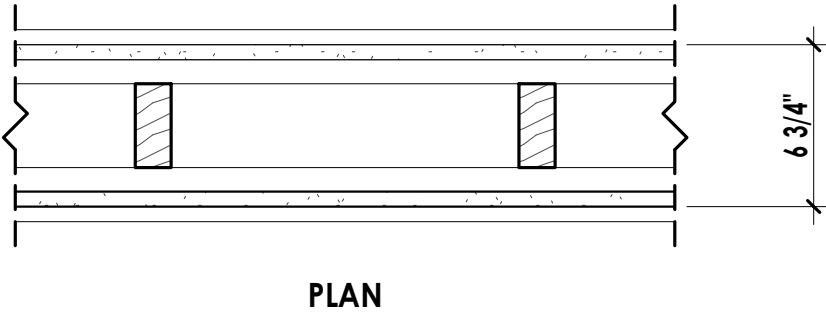
WE06

- EXTERIOR
- 7/8" Hard Coat Stucco
  - 1/2" CDX Plywood
  - 2"X6" Wall Framing With R19 Bat Insulation
  - 1/2" CDX Plywood
  - 7/8" Hard Coat Stucco
- INTERIOR



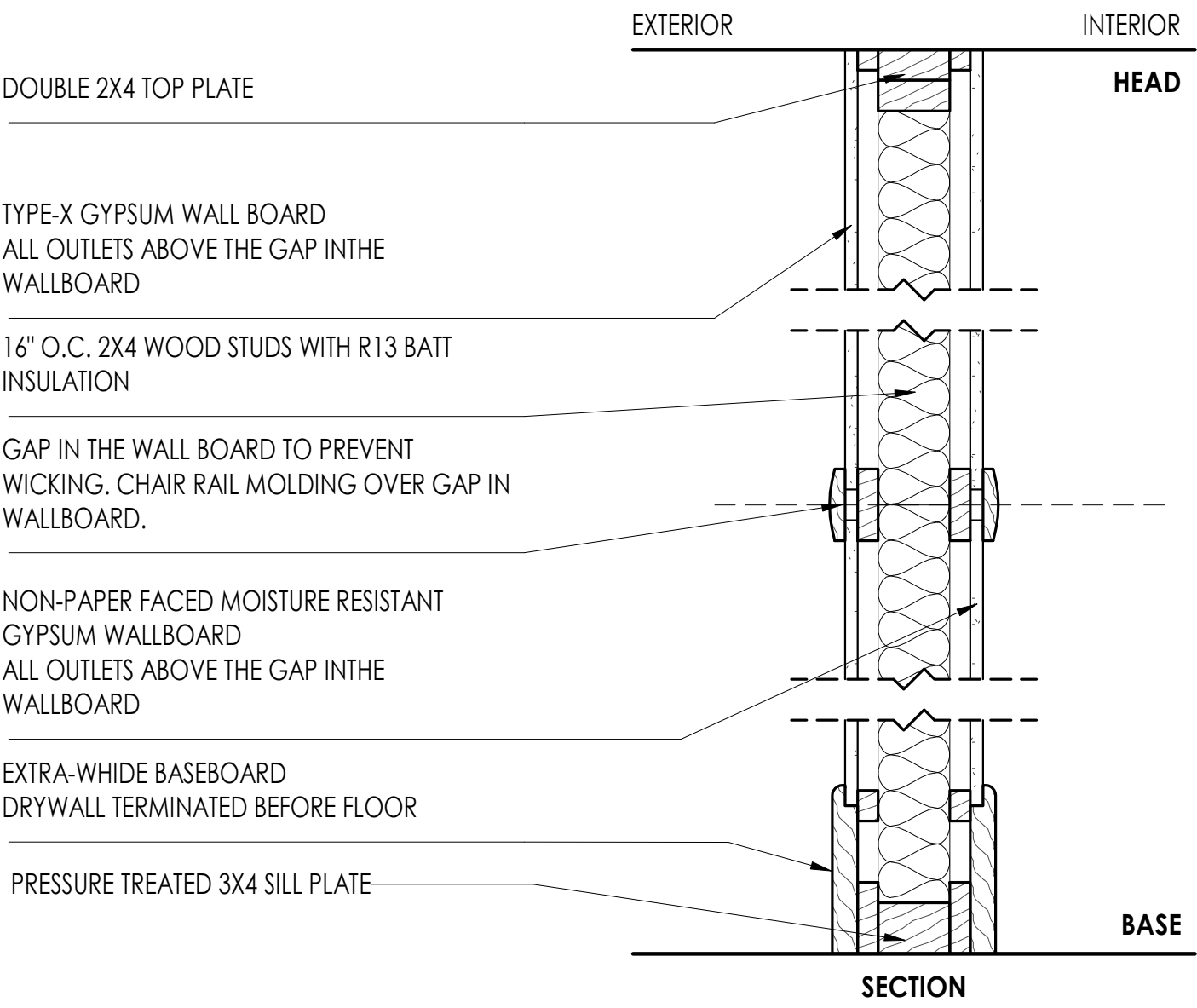
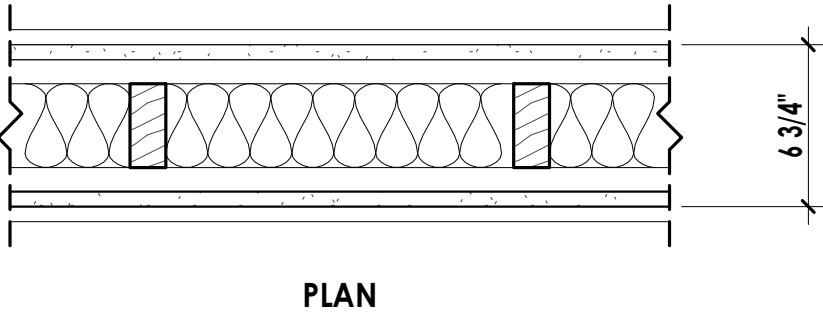
WI01

- EXTERIOR
- 5/8" Non-Paper Faced Moisture Resistant GWB
  - 1X Wood Framing
  - 2"X4" Wood Framing
  - 1x Wood Framing
  - 5/8" PNon-Paper Faced Moisture Resistant GWB
- INTERIOR



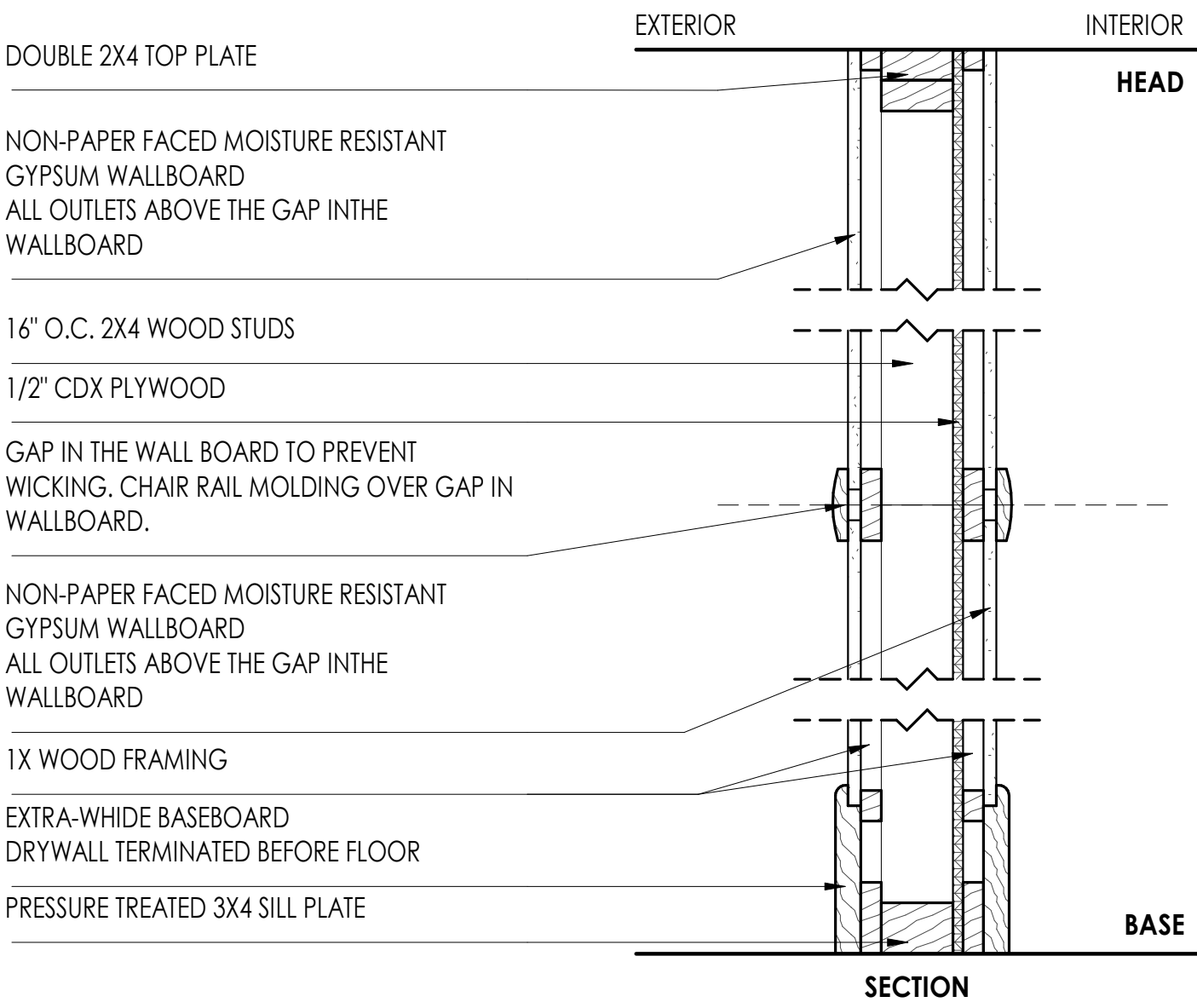
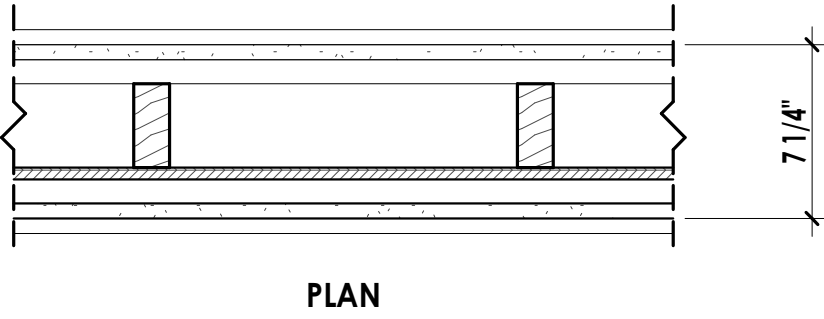
(WI02)

- EXTERIOR
- 5/8" TYPE-X GWB
  - 1X Wood Framing
  - 2"X4" Wood Framing W/ R13 Batt Insulation
  - 1x Wood Framing
  - 5/8" Non-Paper Faced Moisture Resistant GWB
- INTERIOR



WI03

- EXTERIOR
- 5/8" Non-Paper Faced Moisture Resistant GWB
  - 1X Wood Framing
  - 2"X4" Wood Framing
  - 1/2" CDX Plywood
  - 1x Wood Framing
  - 5/8" Non-Paper Faced Moisture Resistant GWB
- INTERIOR



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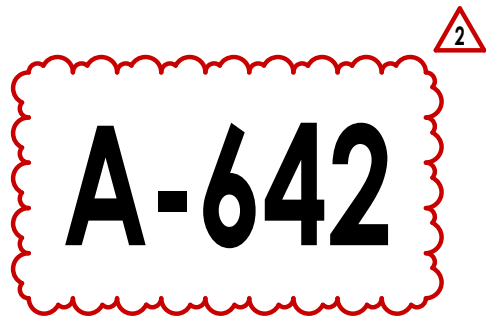
41 Poplar Kitchen  
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Scale: As Noted

Sheet Title

WALL ASSEMBLIES





EXISTING WINDOWS										
Type Mark	Mark	Description	DIMENSIONS				ROOM	GLAZING		EGRESS (Y/N)
			Width	Height	Area	SILL		Spec.	Tempered (Y/N)	
WN01	WN01.1	WINDOW	2' - 6"	3' - 9"	9.4 SF	3' - 2"				
WN02	WN02.1	WINDOW	2' - 8"	3' - 6"	9.3 SF	3' - 4"				
WN02	WN02.2	WINDOW	2' - 8"	3' - 6"	9.3 SF	3' - 4"				
WN02	WN02.3	WINDOW	2' - 8"	3' - 6"	9.3 SF	3' - 4"				
WN03	WN03.1	SINGLE AWNING	3' - 0"	2' - 0"	6.0 SF	5' - 0 1/2"				
WN04	WN04.1	WINDOW	2' - 5"	3' - 0"	7.3 SF	3' - 8"				
WN05	WN05.1	DOUBLE HUNG	2' - 0"	3' - 0"	6.0 SF	3' - 6 1/4"				
WN05	WN05.2	DOUBLE HUNG	2' - 0"	3' - 0"	6.0 SF	3' - 6"				
WN05	WN05.4	DOUBLE HUNG	1' - 9"	2' - 6"	4.4 SF	3' - 10"				
WN05	WN05.6	DOUBLE HUNG	2' - 0"	3' - 0"	6.0 SF	3' - 6 1/4"				
WN06	WN06.1	FIXED - SINGLE	2' - 0"	3' - 6"	7.0 SF	3' - 3"				
WN07	WN07.1	FIXED SINGLE	1' - 9"	2' - 9"	4.8 SF	3' - 3"				
WN08	WN08.4	WINDOW	3' - 10"	4' - 0"	15.3 SF	2' - 8"				
WN08	WN08.5	WINDOW	3' - 10"	4' - 0"	15.3 SF	2' - 6 5/8"				
WN08	WN08.6	WINDOW	3' - 10"	4' - 0"	15.3 SF	2' - 6 5/8"				
WN09	WN09.1	CASEMENT DOUBLE	5' - 4"	4' - 0"	21.3 SF	3' - 0"				
WN10	WN10.1	WINDOW 3 PANELS	11' - 4"	5' - 8"	64.2 SF	1' - 2"				
WN11	WN11.1	FIXED SINGLE	3' - 8"	2' - 9"	10.1 SF	3' - 1 1/2"				
WN13	WN13.1	TRIPLE XXO CASEMENT WINDOW	6' - 0"	3' - 4"	20.0 SF	3' - 4"				
WN14	WN14.1	WINDOW	7' - 10"	3' - 6"	27.4 SF	3' - 4"				
WN16	WN16.1	LOUVERS	1' - 2"	0' - 6"	0.6 SF	0' - 8"				
WN16	WN16.2	LOUVERS	1' - 2"	0' - 6"	0.6 SF	6' - 5 1/4"				
WN17	WN17.1	WINDOW	5' - 0"	3' - 5"	17.1 SF	3' - 1 1/2"				
WN18	WN18.1	WINDOW	5' - 10 1/2"	4' - 5"	25.9 SF	2' - 5"				
WN18	WN18.2	WINDOW	5' - 10 1/2"	4' - 5"	25.9 SF	2' - 5"				
25					344.0 SF					

EXISTING WINDOWS TO BE DEMOLISHED										
Type Mark	Mark	Description	DIMENSIONS				ROOM	GLAZING		EGRESS (Y/N)
			Width	Height	Area	SILL		Spec.	Tempered (Y/N)	
WN03	WN03.1	SINGLE AWNING	3' - 0"	2' - 0"	6.0 SF	5' - 0 1/2"				
WN05	WN05.1	DOUBLE HUNG	2' - 0"	3' - 0"	6.0 SF	3' - 6 1/4"				
WN05	WN05.2	DOUBLE HUNG	2' - 0"	3' - 0"	6.0 SF	3' - 6"				
WN05	WN05.6	DOUBLE HUNG	2' - 0"	3' - 0"	6.0 SF	3' - 6 1/4"				
WN06	WN06.1	FIXED - SINGLE	2' - 0"	3' - 6"	7.0 SF	3' - 3"				
WN07	WN07.1	FIXED SINGLE	1' - 9"	2' - 9"	4.8 SF	3' - 3"				
WN09	WN09.1	CASEMENT DOUBLE	5' - 4"	4' - 0"	21.3 SF	3' - 0"				
WN11	WN11.1	FIXED SINGLE	3' - 8"	2' - 9"	10.1 SF	3' - 1 1/2"				
WN13	WN13.1	TRIPLE XXO CASEMENT WINDOW	6' - 0"	3' - 4"	20.0 SF	3' - 4"				
WN16	WN16.1	LOUVERS	1' - 2"	0' - 6"	0.6 SF	0' - 8"				
WN16	WN16.2	LOUVERS	1' - 2"	0' - 6"	0.6 SF	6' - 5 1/4"				
11					88.4 SF					

NEW WINDOWS										
Type Mark	Mark	Description	DIMENSIONS				ROOM	GLAZING		EGRESS (Y/N)
			Width	Height	Area	SILL		Spec.	Tempered (Y/N)	
WN19	WN19.1	SKYLIGHT	2' - 0"	4' - 0"	8.0 SF		STAIR	Low - E 2	Yes	No
WN20	WN20.1	CASEMENT 24 X 54 WITH SCREENS	4' - 0"	4' - 6"	18.0 SF	3' - 0"	HALL	Low - E 2	Yes	No
WN20	WN20.2	CASEMENT 24 X 54 WITH SCREENS	4' - 0"	4' - 6"	18.0 SF	3' - 0"	BEDROOM #1	Low - E 2	Yes	No
WN20	WN20.3	CASEMENT 24 X 54 WITH SCREENS	4' - 0"	4' - 6"	18.0 SF	3' - 0"	HALL	Low - E 2	Yes	No
WN21	WN21.1	CASEMENT 68 x 48	5' - 8"	4' - 0"	22.7 SF	3' - 0"	BEDROOM #2	Low - E 2	No	Yes
WN23	WN23.1	DOUBLE HUNG WINDOW	2' - 0"	4' - 0"	8.0 SF	3' - 0"	BEDROOM #2	Low - E 2	No	No
WN25	WC25.1	CASEMENT 24 X 54 WITH SCREENS	8' - 0"	4' - 0"	32.0 SF	2' - 0 1/16"	COVERED PORCH	Low - E 2	No	No
WN26	WN22.1		5' - 10 1/2"	4' - 0"	23.5 SF	2' - 8 27/32"				Yes
8					148.2 SF					

EXISTING EXTERIOR DOORS										
TAG		DESCRIPTION								ROOM
Type	Mark		Width	Height	Thickness	Area	% Glazed	Glass Area	From	To
DE01	DE01.1	SWING HALF GLASS	3' - 0"	6' - 8"	0' - 1 1/2"	20.0 SF	50%	10.0 SF		
DE02	DE02.1	SWING 2-PANEL FRENCH DOOR OX	5' - 4"	6' - 8"	0' - 0 3/4"	35.6 SF	80%	28.4 SF		
DE03	DE03.1	GARAGE DOO	9' - 6"	6' - 6"	0' - 1 1/2"	61.8 SF	0%	0.0 SF		
DE06	DE06.1	SWING DOUBLE	5' - 4"	6' - 8"	0' - 1 3/4"	35.6 SF	0%	0.0 SF		
DI05	DE09.1	SINGLE SWING WITH SIDE LIGHT	3' - 0"	6' - 8"	0' - 2"	20.0 SF				
5						172.9 SF		38.4 SF		

EXISTING EXTERIOR DOORS TO BE DEMOLISHED										
TAG		DESCRIPTION	DIMENSIONS					ROOM		
Type	Mark		Width	Height	Thickness	Area	% Glazed	Glass Area	From	To
DE01	DE01.1	SWING HALF GLASS	3' - 0"	6' - 8"	0' - 1 3/8"	20.0 SF	50%	10.0 SF		
DE02	DE02.1	SWING 2-PANEL FRENCH DOOR OX	5' - 4"	6' - 8"	0' - 0 3/4"	35.6 SF	80%	28.4 SF		
DE03	DE03.1	GARAGE DOO	9' - 6"	6' - 6"	0' - 1 1/2"	61.8 SF	0%	0.0 SF		
3						117.3 SF		38.4 SF		

NEW EXTERIOR DOORS										
TAG		DESCRIPTION	DIMENSIONS					ROOM		
Type	Mark		Width	Height	Thickness	Area	% rGlazed	Glass Area	From	To
DE04	DE04.1	SLIDING (4) PANELS OXXO	11' - 6"	7' - 10"	0' - 2 1/2"	90.1 SF	90%	81.1 SF	LIVING	COVERED PORCH
DI18	DE05.1		9' - 0"	9' - 3"	0' - 1 1/2"	83.3 SF	0%	0.0 SF	GARAGE	
2						173.3 SF		81.1 SF		

NOTES WINDOWS & DOORS										
1 - GENERAL NOTES										
1.01	ALL EXTERIOR WINDOWS IN CONDITIONED SPACE TO BE NFRC RATED, CLEAR TEMPERED GLASS, DUAL GLAZED, LOW-E, U-FACTOR MAX. 0.32 7 SHGC MAX. 0.25, WOOD SASH & FRAME, UNLESS OTHERWISE NOTED.									
1.02	CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO ORDERING ALL WINDOWS AND DOORS.									
1.03	WINDOWS AND EXTERIOR DOORS ARE VIEWED FROM THE EXTERIOR.									
1.04	DIMENSIONS IN DRAWINGS, U.O.N. ARE TYPICALLY AS FOLLOWS: INTERIOR DOORS: LEAF SIZE EXTERIOR SWING DOORS: LEAF SIZE EXTERIOR PIVOT DOOR: OUTSIDE OF FRAME GARAGE DOOR: OPENING SIZE (SIZE DOOR OVERLAP PER MFR'S TRACK REQUIREMENTS) LIFT AND SLIDE: OPENING SIZE LIFT AND SLIDE POCKET: OPENING SIZE									
1.05	BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH MUST BE OPERABLE. CRC R303.3.									
1.06	ALL WINDOWS IN SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT STANDING SURFACE SHALL BE SAFETY GLAZING. CRC SECTION R308.4.5									
1.07	DOOR THRESHOLD HEIGHT IS LIMITED TO .75" AT SLIDING DOORS AND .5" AT ALL OTHER DOORS. AT THE FRONT DOOR OF A RESIDENCE, THERE MAY BE A SINGLE STEP WITH A MAXIMUM RISE OF 7" (CBC 1003.5). THE MAXIMUM HEIGHT TO THE THRESHOLD OF AN EXTERIOR DOOR OF A RESIDENCE IS 7.75" (CBC 1008.1.6).									

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Rev	Description	Date

41 Poplar Kitchen  
Remodel


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Scale: As Noted

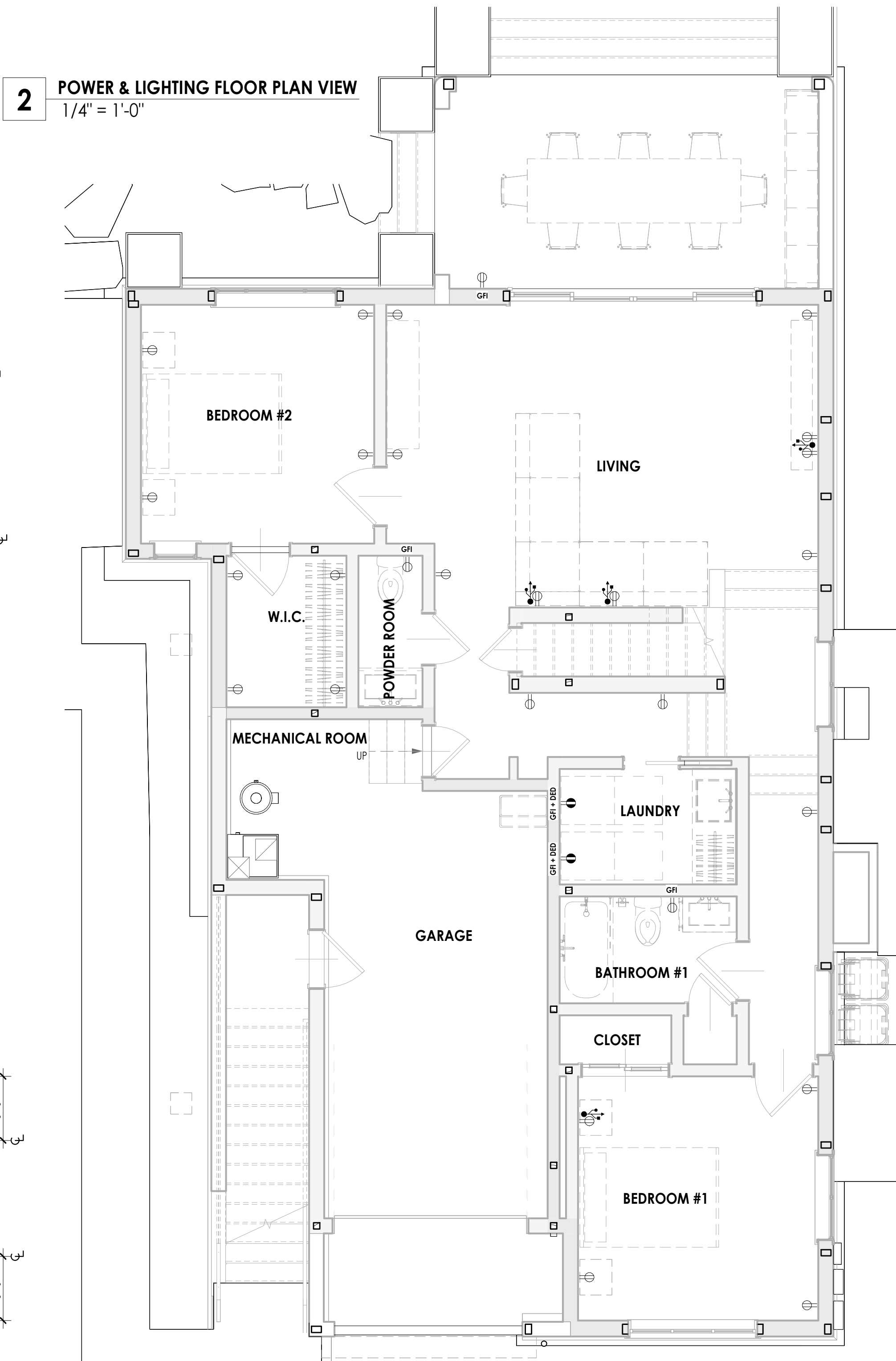
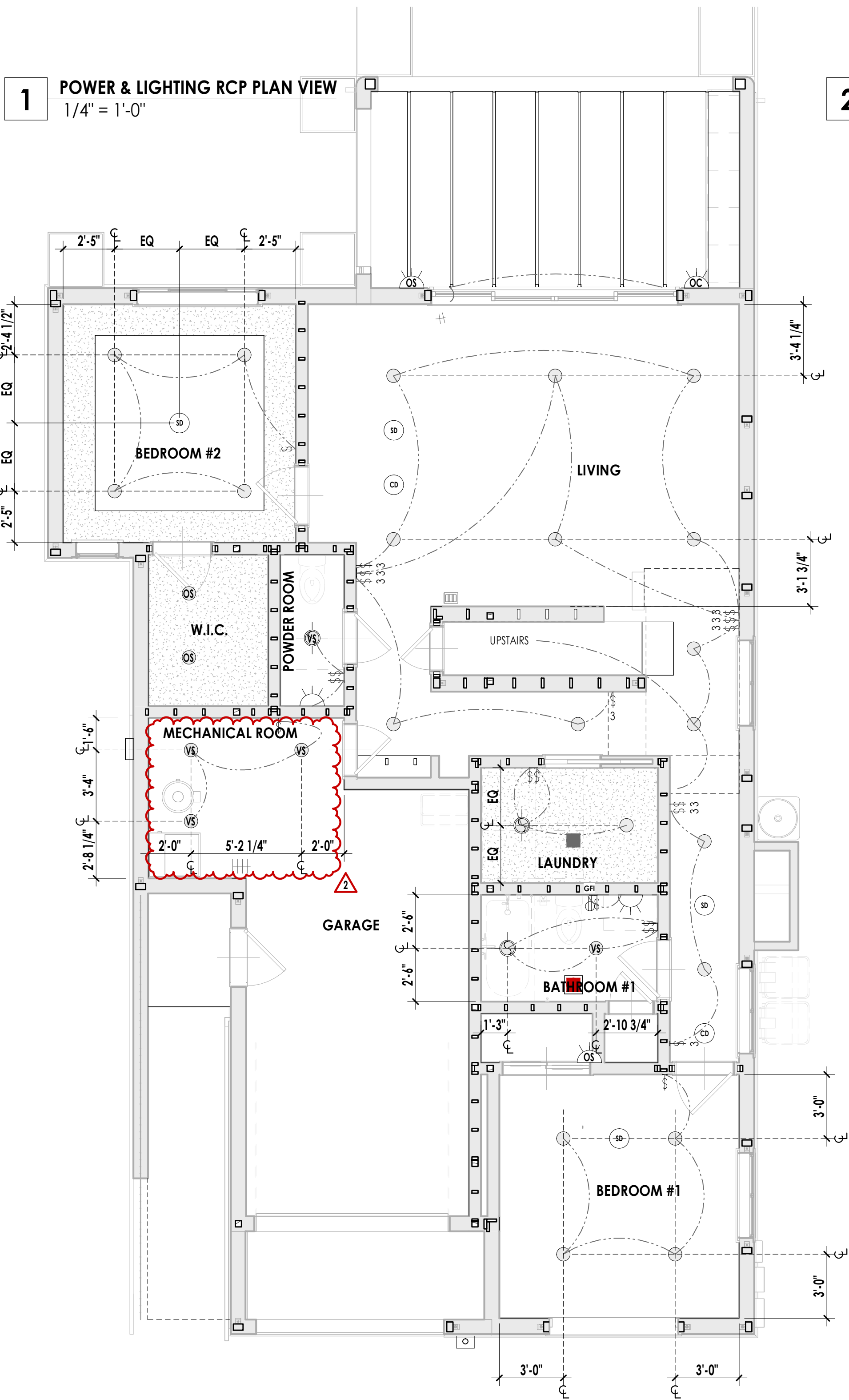
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WINDOW & DOOR  
SCHEDULES

A-644







NOTES CEILINGS

1 - GENERAL NOTES

- 1.01** SCALES AS STATED ARE VALID ON THE ORIGINAL DRAWING ONLY. DO NOT SCALE FROM THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC PRESENTATION. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.
- 1.02** NOTIFY DESIGNER OF ANY DIMENSIONAL DISCREPANCIES. ANY MODIFICATIONS OF DEVIATION TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR REVIEW AND APPROVAL.
- 1.03** CONTRACTOR TO COORDINATE WITH DESIGNER IF ANY LOCATION OF LIGHT FIXTURES OR DEVICES ARE NOT SHOWN DIMENSIONALLY PRIOR TO INSTALLATION.
- 1.04** CONTRACTOR TO COORDINATE WITH DESIGNER IN FIELD FOR MOUNTING HEIGHT OF ALL DECORATIVE PENDANT FIXTURES.
- 1.05** MECHANICAL AND ELECTRICAL CONTRACTOR SHALL COORDINATE WORK BETWEEN THE ENGINEERING AND ARCHITECTURAL DRAWINGS. ARCHITECTECTURAL CEILING PLAN SHALL GOVERN WITH RESPECT TO AESTHETIC CONSIDERATIONS, QUANTITY, LOCATIONS FOR FIXTURES, DEVICES, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATIONS OF QUANTITIES (NEW OR EXISTING) INDICATED ON PLANS.
- 1.06** MECHANICAL AND ELECTRICAL CEILING PLAN SHALL GOVERN WITH RESPECT TO FUNCTIONAL CONSIDERATIONS AND OVERALL SCOPE OF WORK.
- 1.07** ALL DOWNLIGHTS (INCANDESCENT OR LOW VOLTAGE) SHALL BE ON A SINGLE DIMMER RESPECTIVELY. ALL WALL WASHERS SHALL BE ON DIMMERS PER ARCHITECT'S INSTRUCTION.
- 1.08** SUBMITTALS ON ALL FIXTURES ARE REQUIRED PRIOR TO ORDERING.

ELECTRICAL/MECHANICAL LEGEND

- HIGH EFFICACY OR LED SURFACE MOUNT OR PENDANT LAMP
- HIGH EFFICACY OR LED RECESSED LED DOWN LIGHT, LOW VOLTAGE 4" ADJUSTABLE TEMPERATURE HALO RECESSED CAN U.O.N.
- HIGH EFFICACY OR LEDRECESSED LED WALL WASHER LOW VOLTAGE 4" ADJUSTABLE TEMPERATURE HALO RECESSED CAN U.O.N.
- HIGH EFFICACY OR LED WALL MOUNTED LIGHTING FIXTURE
- TUBULAR SKYLIGHT WITH LIGHTING FIXTURE
- UNDER CABINET LED STRIP, LOW VOLTAGE
- VS** CONTROLLED BY VACANCY SENSOR  
**OS** CONTROLLED BY OCCUPANCY SENSOR  
**AS** CONTROLLED BY ASTRONOMICAL TIME CLOCK OR BY BOTH A MOTION SENSOR AND PHOTCELL
- NOTE 1** WHITE SATIN FINISH W/ ROCKER SWITCH  
D = W/ DIMMER  
R = REOSTAT FAN SPEED CONTROL  
O = OCCUPANCY SENSOR  
P = PHOTOCELL  
D = DIMMER
- 120V (N) DUPLEX RECEPTACLE @ 18" A.F.F. TYP. OR 42" A.F.F. @ COUNTER TOPS, U.O.N., WHITE SATIN FINISH WITH SCREWLESS FACEPLATES:  
240V
- H = HORIZ.  
GFI = GFI PROTECTION  
WP = WATER PROOF
- (N) FOURPLEX RECEPTACLE @ 18" A.F.F. HORIZ. TYP., U.O.N.;  
H = HORIZ.; G = GFI PROTECTION; WP = WATER PROOF
- FLOOR OUTLET - FLUSH BOX, BRASS W/ COVER
- TV CABLE
- TELEPHONE RJ11 JACK
- DATA JACK (VERIFY CABLE TYPE)
- USB CHARGING PORT
- SMOKE DETECTOR, INTERCONNECTED & HARD WIRED, ALARMS SHALL COMPLY WITH CBC 2010 SECTION 420.1.
- CARBON MONOXIDE DETECTOR, INTERCONNECTED & HARD WIRED, ALARMS SHALL COMPLY WITH CBC 2010 SECTION 420.1.
- EXHAUST FAN/LIGHT/HEAT LAMP WITH HUMIDITY CONTROL, 50 C.F.M. MIN. - E = ENERGY RECOVERY VENTILATION
- THERMOSTAT
- HOSE FAUCET
- SPRINKLER HEAD
- CEILING MOUNTED FAN

NOTES ELECTRICAL

1 - GENERAL NOTES

- 1.01** PER CBC 504.1 ALL EQUIPMENT AND APPLIANCES PROVIDED BY THE BUILDER SHALL BE ENERGY STAR LABELED IF ENERGY STAR IS APPLICABLE TO THAT EQUIPMENT OR APPLIANCE.
- 1.02** INSTALL MULTI-GANG WALL SWITCHES IN THE SAME CONFIGURATION AS SHOWN ON PLANS.
- 1.03** PROVIDE APPROPRIATE OUTLETS FOR ALL APPLIANCES.
- 1.04** EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD TO BEREPLACED. SECTION R314.3.2. SMOKE ALARMS SHALL BE INSTALLED IN EVERY ROOM USED FOR SLEEPING PURPOSES. ON THE WALL OR CEILING OUTSIDE OF EACH SLEEPING AREA (E.G. BEDROOMS), AND IN EVERY STORY OF THE DWELLING UNIT. IN ADDITION, A SMOKE ALARM IS REQUIRED INSIDE EACH BEDROOM. CRC R314.
- 1.05** CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ALL PATHWAYS LEADING TO THE SLEEPING AREA AND ON EACH LEVEL OF THE DWELLING. CRC R315.
- 1.06** SPECIFICATIONS FOR ELECTRICAL DEVICES INSTALLED IN DWELLINGS: CEC ARTICLE 210 & 406  
A) TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN 210.52 (I.E., ALL RECEPTACLES IN A DWELLING).  
B) WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS OUTSIDE).  
C) ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.8(A): FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.
- 1.07** PER CEC ARTICLE 210.11(C)3, BATHROOM CIRCUITING SHALL BE EITHER:  
A) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM OR  
B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- 1.08** ELECTRICAL RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6', MEASURED HORIZONTALLY, FROM AN OUTLET. THIS INCLUDES ANY WALL SPACE OF 2' OR MORE IN LENGTH. (CEC 210.52(A))
- 1.09** OUTDOOR LIGHTING IS TO BE HIGH EFFICACY THAT IS CONTROLLED BY ONE OF THE FOLLOWING PER CA ENERGY CODE SEC. 150.0(k)3A: PHOTOCONTROL & MOTION SENSOR; PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL; ASTRONOMICAL TIME SWITCH CONTROL; ENERGY MANAGEMENT CONTROL SYSTEM.
- 1.10** ADDRESS NUMBERS MUST BE IN PLACE ADJACENT TO THE FRONT DOOR AND MUST BE AT LEAST 4" TALL AND A MINIMUM OF 1/2" STROKE. IF NOT CLEARLY VISIBLE FROM THE STREET, ADDITIONAL NUMBERS ARE REQUIRED AT THE EDGE OF THE PROPERTY AND AT THE FRONT DOOR. RESIDENTIAL NUMBERS MUST BE INTERNALLY ILLUMINATED (BACKLIT) OR ILLUMINATED BY AN ADJACENT LIGHT WHICH MUST BE CONTROLLED BY A PHOTOCELL AND SWITCHED ONLY BY A BREAKER SO IT WILL REMAIN ILLUMINATED ALL NIGHT. THIS LIGHT MUST NOT HAVE A SCREW-BASE SOCKET AND MUST CONSUME NO MORE THAN 5 WATTS OF POWER AND MAY NOT BE USED FOR GENERAL PORCH ILLUMINATION.

2 - KITCHENS

- 1.11** KITCHENS  
A) ALL KITCHEN LIGHTS TO BE HIGH EFFICACY. EXCEPTION: A MINIMUM OF 50% OF THE TOTAL WATTAGE OF PERMANENTLY INSTALLED LIGHT FIXTURES IN THE KITCHEN SHALL BE HIGH EFFICACY. C<sub>ener</sub>C 150.0(k)3A  
B) PROVIDE A MINIMUM OF (2) 20 AMP DEDICATED BRANCH CIRUITS FOR KITCHEN. CEC ART. 210.11(C)(1).  
C) PERMANENTLY INSTALLED LIGHT FIXTURES THAT ARE INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 WATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINETS. C<sub>Aenr</sub>C 150.0(k)4.A

3 - BATHROOMS

- 1.12** BATHROOMS  
A) ALL 125-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN THE BATHROOM SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. CEC 210.8.  
B) LIGHT FIXTURES IN BATHROOMS MUST BE HIGH EFFICACY OR MUST BE CONTROLLED BY A VACANCY SENSOR. C<sub>ener</sub>C 150.0(k)5.  
C) ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINARIES IN BATHROOMS MUST BE SWITCHED SEPERATELY FROM LOW EFFICACY LUMINARIES. C<sub>ener</sub>C 150(k)7.  
D) ALL LIGHT FIXTURES IN BATHROOMS MUST BESWITCHED EPERATELY FROM EXHAUST FANS.

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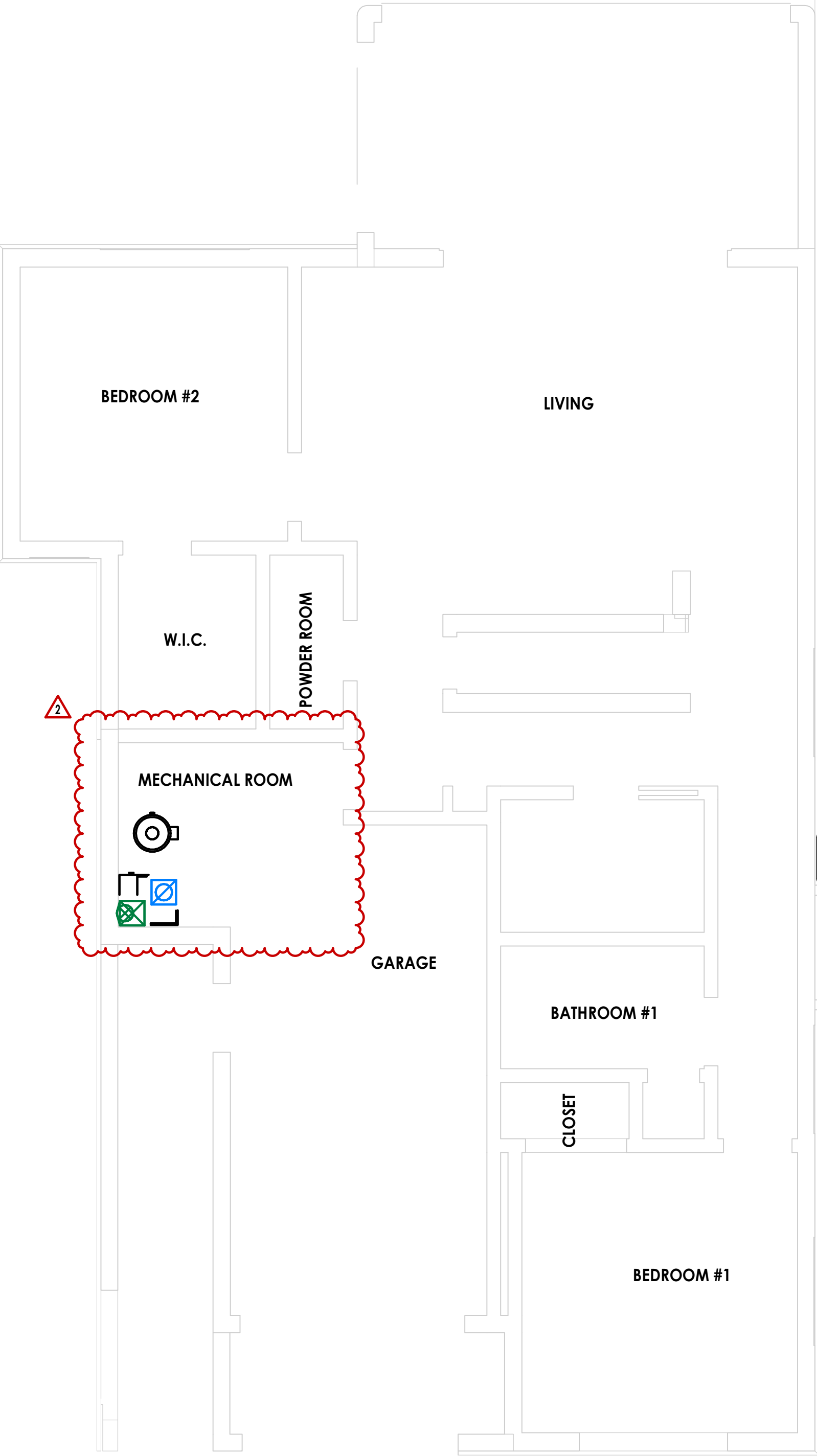
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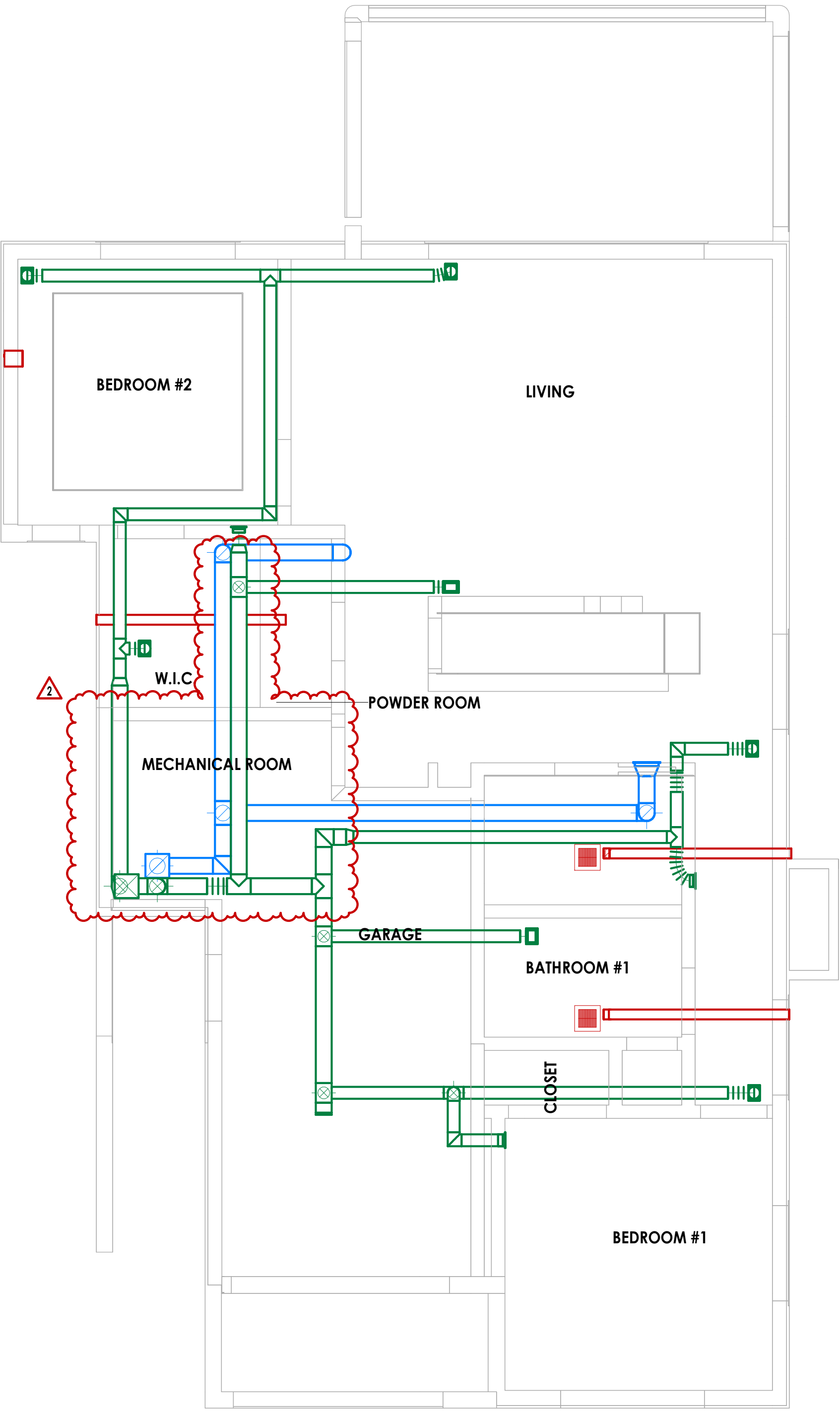
ELECTRICAL & POWER

E-141

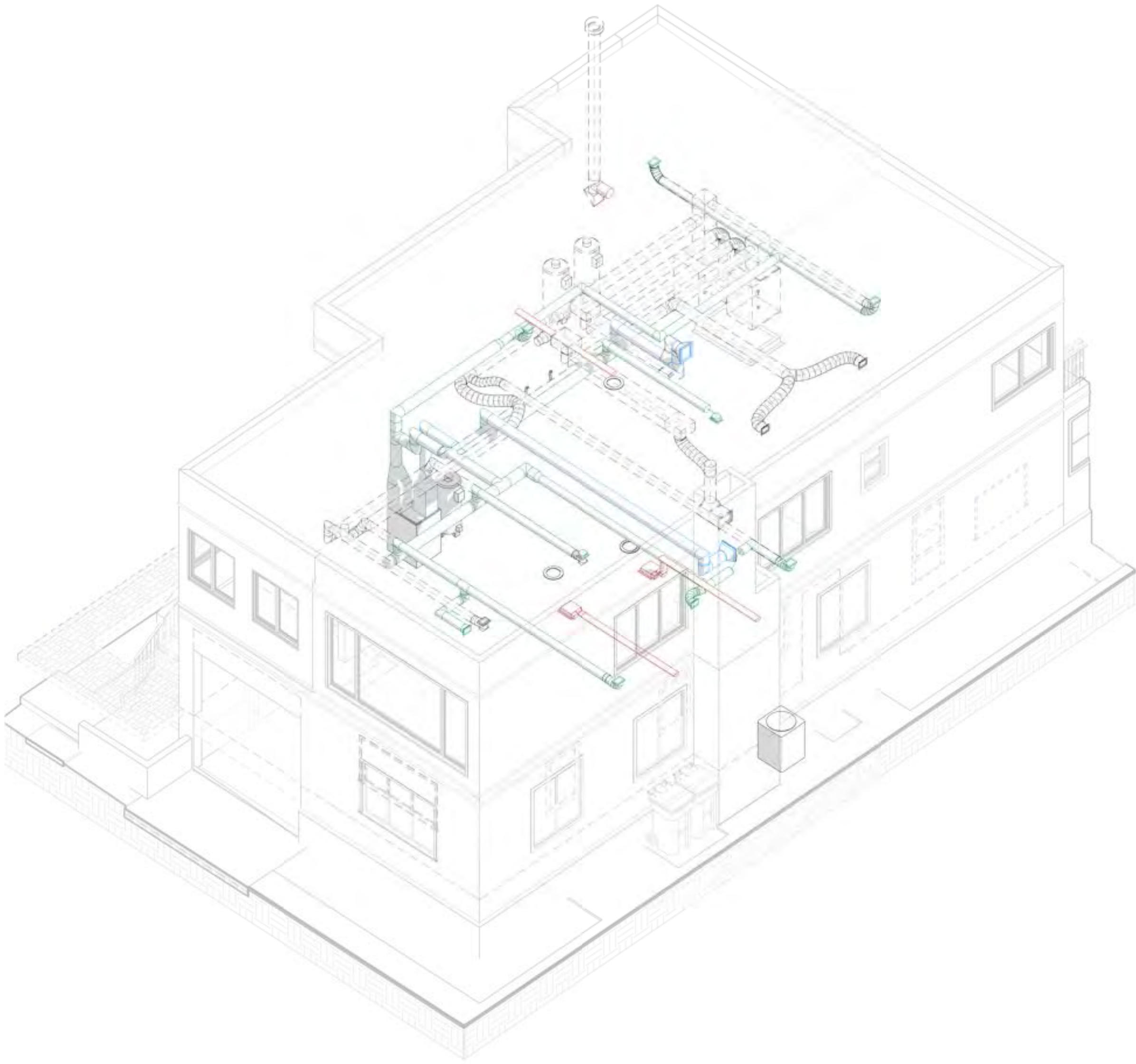




1 (N) - LEVEL 1 - MECHANICAL EQUIPMENT PLAN  
1/4" = 1'-0"



2 (N) - LEVEL 1 - RCP - HVAC LAYOUT  
1/4" = 1'-0"



3 (N) - HVAC AXONOMETRIC VIEW

NOTES MECHANICAL		
1 - GENERAL NOTES		
1.01	RANGEHOOD FAN TO BE 100 C.F.M. MIN.	
1.02	KITCHENS REQUIRE MECHANICAL VENTILATION TO THE OUTSIDE (A NON-CIRCULATING FAN) WITH A MINIMUM OF AT LEAST 100CFM. (CEC 150(o) & ASHRAE 62.2).	
1.03	BATHROOMS REQUIRE MECHANICAL VENTILATION TO THE OUTSIDE WITH A MINIMUM OF 50 CFM. IF THEY INCLUDE A LIGHT, THEY MUST BE SWITCHED SEPERATELY. (CBC 1203.4.2.1 & CMC 403.7 & Table 4-4)(CEC 150(o), ASHRAE 62.2)	
1.04	HOT WATER PIPE MUST BE INSULATED FROM THE WATER HEATER TO THE KITCHEN.	
1.05	AN EARTHQUAKE-ACTUATED SHUTOFF VALVE IS TO BE INSTALLED AT THE GAS METER. MARIN COUNTY MUNICIPAL CODE SECTION 19.04.090 ITEM B.	

MECHANICAL EQUIPMENT		
TAG	DESCRIPTION	ROOM
		BATHROOM #1
		LAUNDRY
		POWDER ROOM
ME02	ELECATRIC HEAT PUMP FURNACE	MECHANICAL ROOM
ME03	ELECATRIC WATER HEATER	MECHANICAL ROOM
ME04	(N) AC COMPRESSOR	
ME05	EXHAUST AIR FAN	BATHROOM #1
ME05	EXHAUST AIR FAN	LAUNDRY

MECH LEGEND	
<div></div>	EXHAUST AIR DUCT
<div></div>	SUPPLY AIR DUCT
<div></div>	RETURN AIR DUCT



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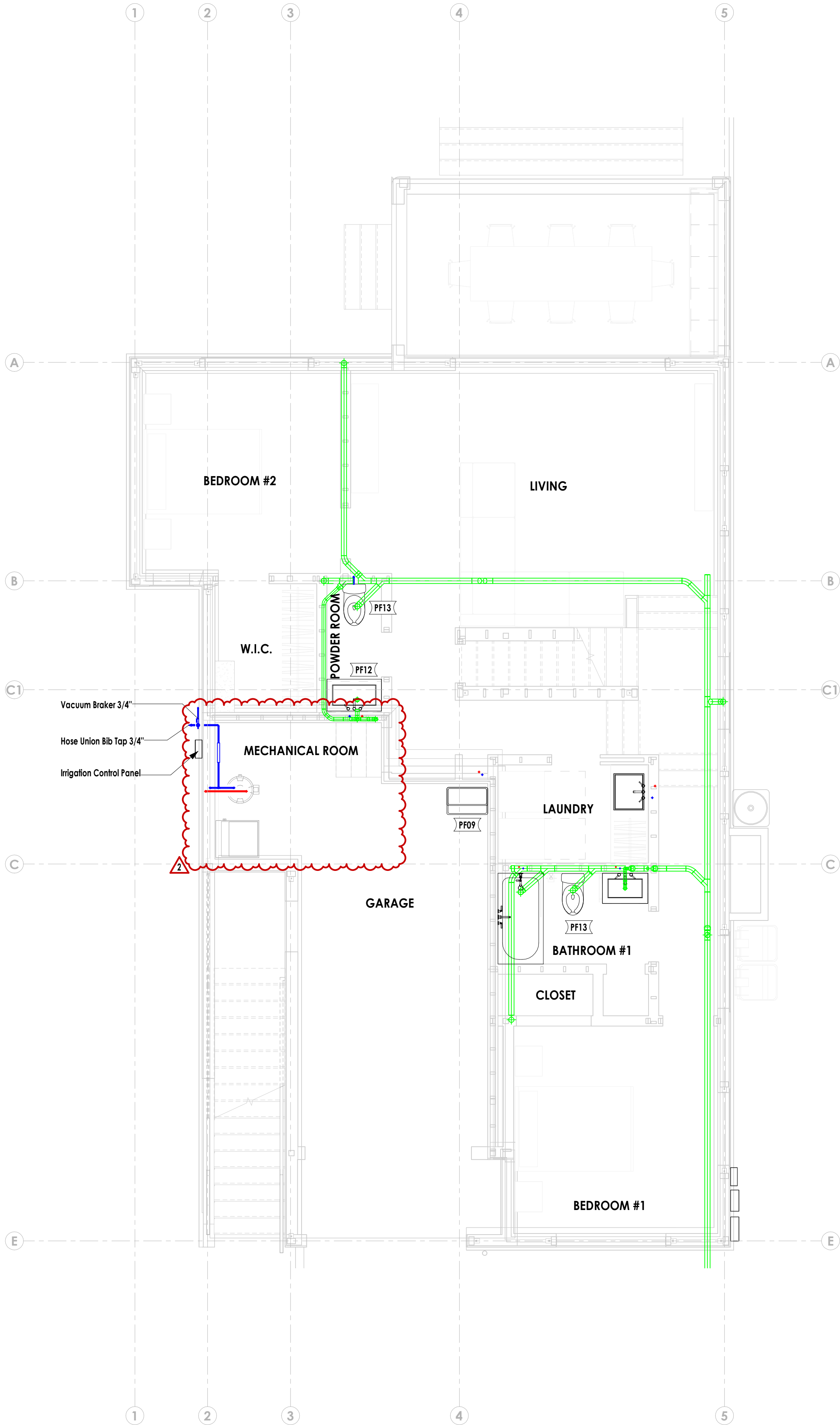
(N) MEP - HVAC PLANS

M-142

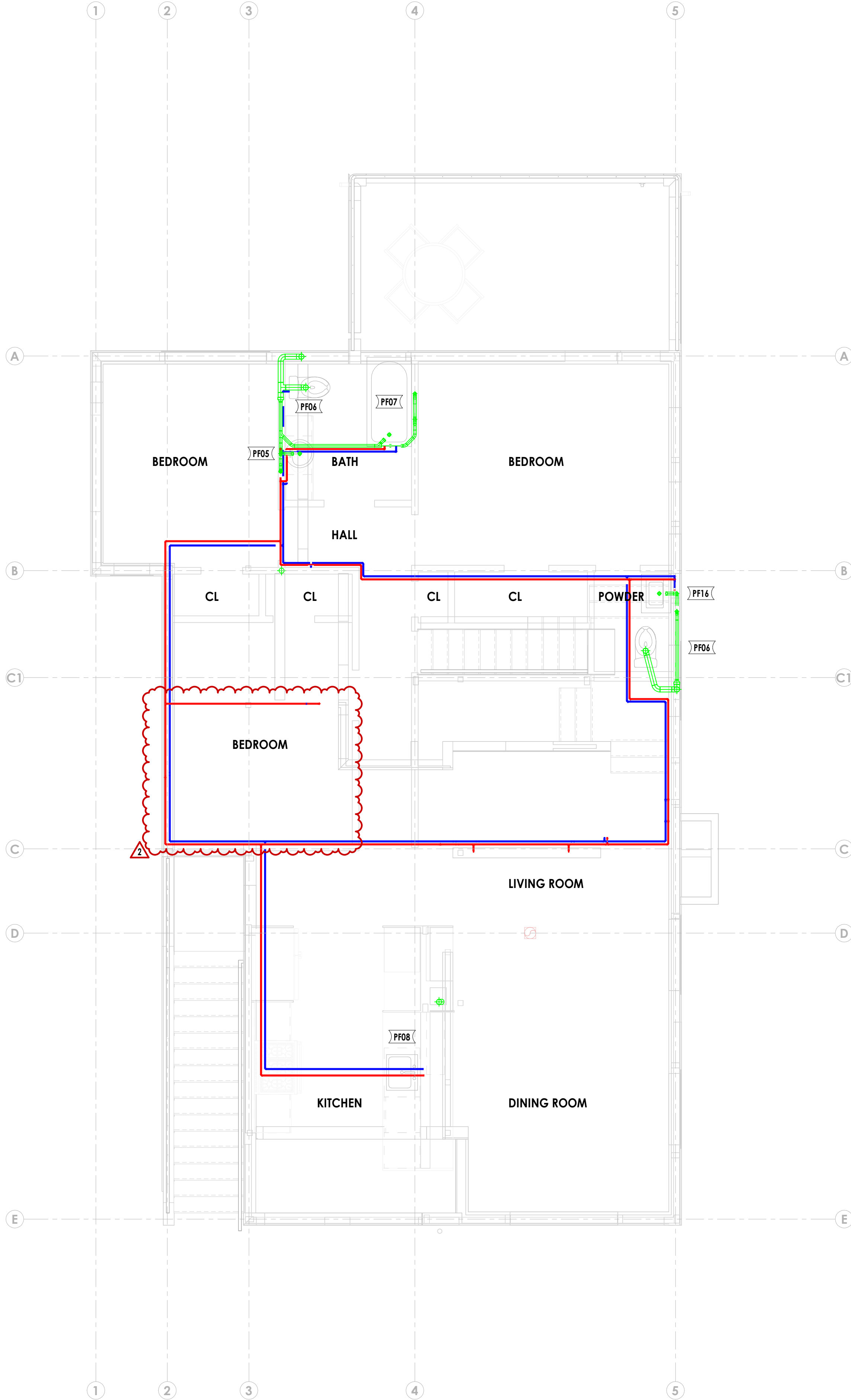


NOTES PLUMBING		
1 - GENERAL NOTES		
1.01	ALL PLUMBING FIXTURES TO COMPLY WITH 2016 CGC, SEC. 4.303.	
1.02	THE CONTROL VALVES IN SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410.	
1.03	ALL NEW GAS PIPING SHALL BE SIZED TO SUPPLY SUFFICIENT GAS TO THE APPLIANCES. CPC 1215. THE GAS PIPING SHALL BE TESTED WITH A PRESSURE OF 10 PSI FOR A MINIMUM OF 15 MINUTES. CPC 1213.3.	
1.04	ALL GAS APPLIANCES CONNECTED TO A PIPING SYSTEM SHALL HAVE AN ACCESSIBLE APPROVED MANUAL SHUTOFF VALVE WITH A NON-DISPLACEABLE VALVE MEMBER, OR A LITED GAS CONVENIENCE OUTLET INSTALLED WITHIN 6 FEET OF THE EQUIPMENT IT SERVES. CPC 1211.	
1.05	PROVIDE A 1" AIR-GAP BETWEEN THE DISHWASHER DRAINPIPE AND THE GARBAGE DISPOSAL INLET. CPC 603.3.	
1.06	WATER CLOSETS SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM. CPC 403.2.1, CALGREEN 4.303.1.	
1.07	SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MINUTE, MEASURED AT 80 PSI. CPC 403.1.1; CALGREEN 4.303.1.	
1.08	SHOWER HEAD SHALL NOT DISCHARGE DIRECTLY AT THE ENTRANCE; BATHER CAPABLE OF ADJUSTING PRIOR TO STEPPING INTO SPRAY. CPC 408.9.	
1.09	FAUCETS FOR LAVATORIES SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE, MEASURED AT 60 PSI. CPC 402.1.1.	
1.10	BATHTUB AND WHIRLPOOL BATHTUBS SHALL HAVE A MAXIMUM HOT WATER TEMPERATURE OF 120 DEGREE FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION. CPC 409.4.	
PLUMBING FIXTURES		
TAG	DESCRIPTION	ROOM
PF01	THERMOSTATIC MIXING VALVE	BATHROOM #1
PF02	BATHROOM SINK	BATHROOM #1
PF05	SINK	BATH
PF06	TOILET	BATH
PF06	TOILET	POWDER
PF07	TUB	BATH
PF07	TUB	BATHROOM #1
PF08	SINK	KITCHEN
PF09	BASIN	GARAGE
PF10	GENERIC TWO LEVERS FAUCET	BATHROOM #1
PF10	GENERIC TWO LEVERS FAUCET	LAUNDRY
PF10	GENERIC TWO LEVERS FAUCET	POWDER ROOM
PF11	WALL MOUNTED HAND SHOWER SET	BATHROOM #1
PF12	BATHROOM SINK	POWDER ROOM
PF13	WASHLET TOILET	BATHROOM #1
PF13	WASHLET TOILET	POWDER ROOM
PF16	PEDESTRAL SINK	POWDER
PF17	GENERIC VANITY QUEARE SINK - 24 - 20 - 0.5	LAUNDRY
PF18	WALL MOUNTED 3 HOLE FAUCET	BATHROOM #1
PF19	3-WAY DIVERTER	BATHROOM #1

PLUMBING LEGEND	
<div></div>	DOMESTIC COLD WATER
<div></div>	DOMESTIC HOT WATER
<div></div>	WASTE
<div></div>	VENT



1 (N) LEVEL 1 - PLUMBING PLAN  
1/4" = 1'-0"



2 (N) LEVEL 2 - PLUMBING PLAN  
1/4" = 1'-0"



Michael and Mindy  
Whittington

41 Poplar Ave  
Ross, CA 94957

APN:073-273-04

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2 TOWN COUNCIL 03/02/23

1 CITY COMMENTS REV 1 01/11/23

Rev	Description	Date
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41 Poplar Kitchen  
Remodel

Date: 02/03/23

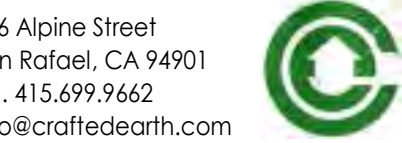
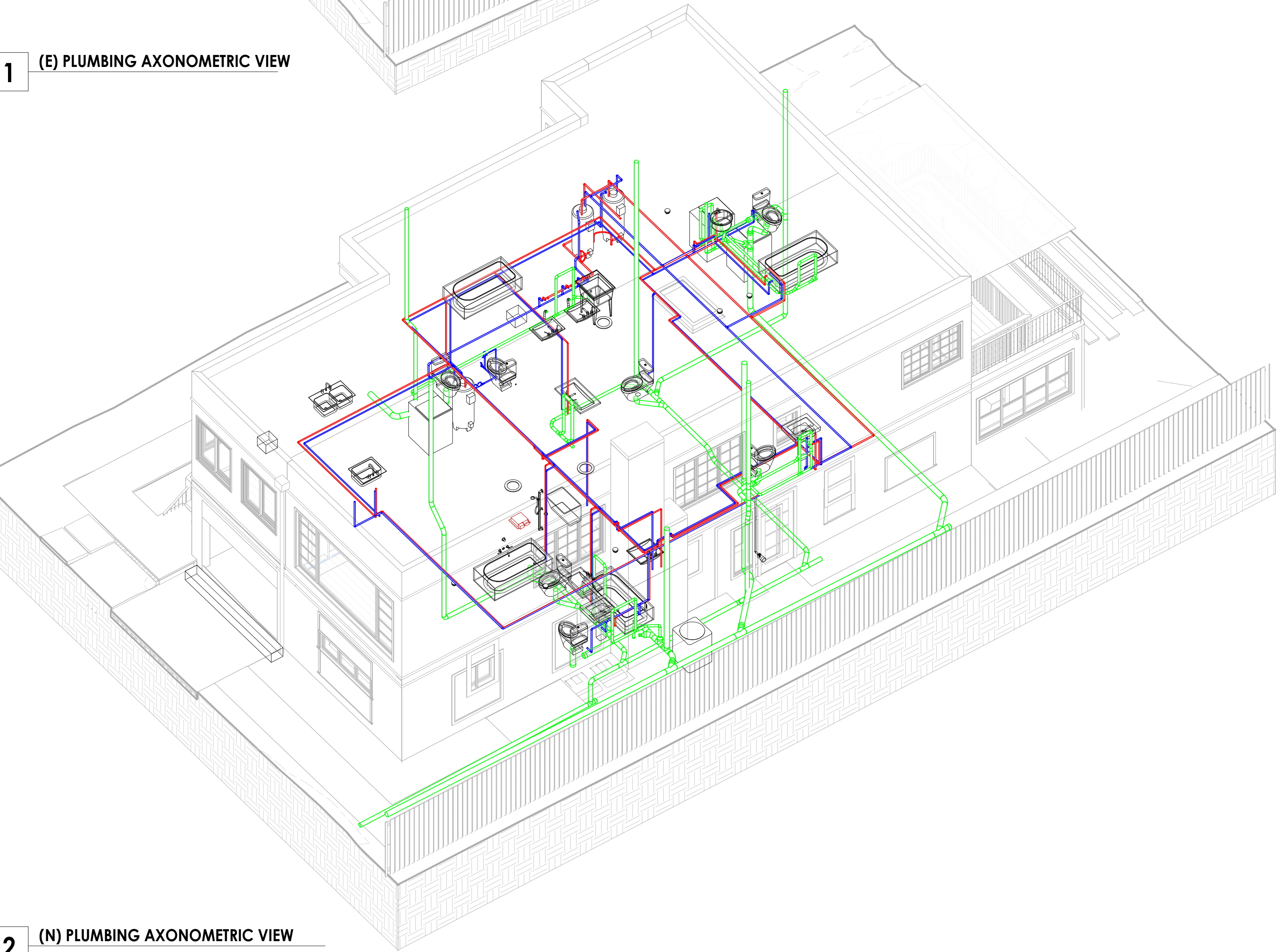
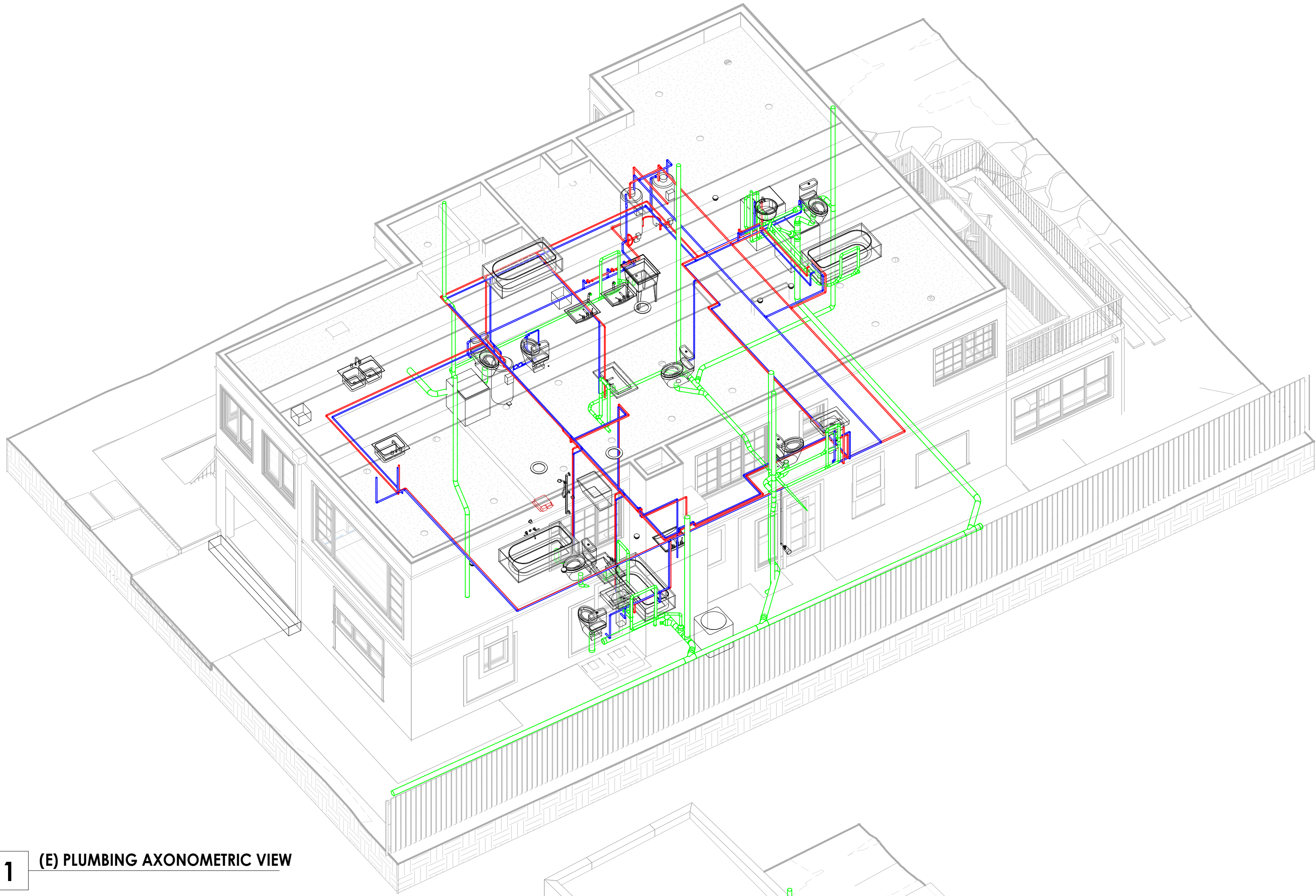
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Sheet Title

(N) MEP - PLUMBING  
PLANS

M-144





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Remodel

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Scale: As Noted

Sheet Title

MEP - PLUMBING  
AXONOMETRY VIEWS



1 - GENERAL NOTES	
1.01	IT IS THE INDIVIDUAL RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTION INDIVIDUAL OR AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION.
1.02	STRUCTURAL OBSERVATIONS IS REQUIRED PER CBC CHAPTER 17.
1.03	THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
1.04	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
1.05	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
1.06	ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
1.07	DO NOT WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
1.08	WHEN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
1.09	WHEN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
1.10	DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
1.11	THE SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
1.12	PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
1.13	ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
1.14	INSTALL ALL FIXTURES, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
1.15	VERIFY FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
1.16	FIRE-@ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2013 CBC 718.2.2 & R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: - IN SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MIN. 10-FOOT INTERVALS. - IN CONCEALED INTERCONNECTIONS SUCH AS DROP CEILINGS & COVE CEILINGS. - IN CONCEALED SPACES STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
1.17	PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2013 CBC 718.3-4 & R302.11, DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS DIVIDED IN APPROX. EQUAL AREAS. WHERE A FLOR IS ENCLOSED ABV. & BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES: - SUSPENDED CEILING UNDER FLOOR FRAMING - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
1.18	PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIRGAP.

2 - FOUNDATIONS	
2.01	CONCRETE FOOTINGS SHALL BE CONSTRUCTED IN ONE CONTINUOUS MONOLITHIC POUR WITHOUT CONSTRUCTION JOINTS UNLESS NOTED OTHERWISE.
2.02	CONCRETE FOOTINGS SHALL USE A MINIMUM STRENGTH CONCRETE OF 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
2.03	DRILLED, CAST-IN-PLACE, REINFORCED CONCRETE PIERS SHOULD BE A MINIMUM OF 12" AND SHOULD EXTEND A MINIMUM OF 6" INTO BEDROCK, WHICH WAS PENETRATED AT DEPTHS OF 3' TO 4' BELOW EXISTING GROUND SURFACE.

3 - MATERIALS	
3.01	TIMBER: SAWN LUMBER SHALL CONFORM TO DOUGLAS FIR NO.2 OR BETTER EXCEPT AS NOTED ON THE DRAWINGS. TIMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE EITHER PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
3.02	CONCRETE: ALL REINFORCED CONCRETE TO BE MINIMUM 2500 PSI, 28-DAY COMPRESSIVE STRENGTH. CONCRETE SHALL COMPLY WITH ASTM C-94, READY MIX CONCRETE.
3.03	REINFORCING STEEL: ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
3.04	BOLTS: ALL BOLTS TO BE A325N UNLESS OTHERWISE NOTED.
4 - REINFORCING STEEL	
4.01	LAP SPLICES SHALL BE S7db U.O.N.
4.02	SPLICES IN REINFORCING STEEL SHALL DEVELOP FULL STRENGTH OF THE BAR.
4.03	BENDS AND HOOKS IN THE REINFORCING STEEL SHALL CONFORM TO UBC AND ACI REQUIREMENTS REGARDING BEND RADIUS AND EXTENSION.
4.04	ALL CONCRETE SHALL BE REINFORCED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS SUBJECT TO REVIEW BY CRAFTED EARTH, INC.
4.05	DOWELS OR BOLTS EMBEDDED IN PREVIOUSLY CAST CONCRETE SHALL BE ANCHORED WITH SIMPSON ET (EPOXY) MEETING ASTM C881-90 EPOXY ADHESIVE OR EQUIVALENT, FOLLOW MANUFACTURERS PROCEDURES FOR USE. TO DEVELOP SHEAR RESISTANCE REQUIRED IN STRUCTURAL CALCULATIONS, ALL ANCHOR BOLTS WILL BE EMBEDDED A MINIMUM OF 8". HOLD DOWN BOLTS SHALL BE CAST IN PLACE WHERE THEY OCCUR IN NEW FOUNDATIONS, AND SHALL BE EMBEDDED TO THE SPECIFIED DEPTH.
4.06	ALL REINFORCING STEEL AND HOLD DOWN ANCHORS SHALL BE ACCURATELY LOCATED IN THE FORMS AND HELD FIRMLY IN PLACE BEFORE AND DURING THE PLACING OF CONCRETE BY MEANS OF WIRE SUPPORTS ADEQUATE TO PREVENT DISPLACEMENT DURING THE COURSE OF CONSTRUCTION AND TO KEEP THE STEEL AT A PROPER DISTANCE FROM THE FORMS. BAR SUPPORTS ARE TO BE SUFFICIENT IN NUMBER AND SUFFICIENTLY HEAVY TO PROPERLY CARRY THE STEEL THEY SUPPORT. ACCESSORIES SHALL BE AS SPECIFIED IN THE LATEST EDITION OF CRSI DESIGN HANDBOOK. MAXIMUM ACCESSORIES SPACING 4' O.C. UNDER NO CONDITIONS SHALL CONCRETE BE PLACED WITHOUT ADEQUATE TIES OR SUPPORTS AS OUTLINED ABOVE.
4.07	DOWELS SHALL BE PROVIDED AT POUR CONSTRUCTION JOINTS AND SHALL BE SAME SIZE AS DETAILED STANDARD LAP SPLICE.
4.08	SPLICES IN ADJACENT HORIZONTAL WALL REINFORCEMENT BARS SHALL BE STAGGERED 4'-0" MINIMUM UNLESS OTHERWISE NOTED.
4.09	ALL REINFORCING ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE OR GROUTING MASONRY.

4.10	PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVERING OF CONCRETE: BELOW GRADE (UNFORMED) 3" CLEAR. BELOW GRADE (FORMED) 2" CLEAR. ABOVE GRADE 1.5" CLEAR, EXPOSED TO WEATHER. FOR ABOVE GRADE SHELL AND FOLDED PLATE MEMBERS NOT EXPOSED TO WEATHER, MIN. COVERAGE IS 1/2" CLEAR.
4.11	WELDING OF REBAR IS NOT PERMITTED UNLESS PROCEDURE APPROVED BY ENGINEER. ADDITIONAL HEATING OF REBAR IS NOT ALLOWED.

5 - CONCRETE CONSTRUCTION	
5.01	CONCRETE BEAMS AND COLUMNS SHALL BE CONSTRUCTED IN ONE CONTINUOUS MONOLITHIC POUR WITHOUT CONSTRUCTION JOINTS, U.N.O. OR APPROVED BY CRAFTED EARTH, INC.
5.02	SLAB-ON-GRADE MAY BE CONSTRUCTED WITH CONTROL AND CONSTRUCTION JOINTS SUBJECT TO REVIEW OF CRAFTED EARTH, INC.
5.03	PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT NOT BE EMBEDDED THEREIN.
5.04	CURING CONCRETE SHALL NOT BE EXPOSED TO TEMPERATURES LESS THAN 40° FAHRENHEIT FOR THE FIRST THREE DAYS.

6 - CONCRETE CONSTRUCTION	
6.01	FRAMING CONNECTIONS AND DETAILS NOT SPECIFIED SHALL CONFORM TO UBC MINIMUM NAILING STANDARDS.
6.02	WOOD FRAMING CONNECTIONS AND ACCESSORIES DESIGNATED ON DRAWINGS ARE MANUFACTURED BY SIMPSON STRONG-TIE CO. OR EQUIVALENT. ALL SIMPSON OR EQUIVALENT PRODUCTS TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
6.03	OPENINGS IN DIAPHRAGMS SHALL BE STIFFENED BY EXTENDING FRAMING MEMBERS OR BLOCKING AT LEAST 16" BEYOND THE EDGE OF THE OPENING. NAIL PLYWOOD TO BLOCKING AS SPECIFIED FOR PANEL EDGES. METAL STRAPPING AT BLOCKING AT OPENINGS.
6.04	ALL NAILS TO BE HOT DIPPED GALVANIZED PER CBC 2304.3.
6.05	WOOD TIMBERS EXPOSED TO VIEW IN FINISHED WORK, PLANED ON SITE USING EITHER A HAND HELD 6" TIMBER PLANER OR A PORTABLE FINISH PLANER.
6.06	ALL LAG SCREWS MUST HAVE LEAD HOLES THAT COMPLY WITH NDS SPECIFICATION 11.1.3.2. LEAD HOLES IN ATTACHED ELEMENT WILL BE SET TO SHAFT DIAMETER AND LEAD HOLES INTO SUPPORTING MEMBERS WILL BE 1/2 THE SHAFT DIAMETER.
6.07	ALL FRAMING SHALL HAVE 18" CLEAR BETWEEN SOIL AND JOISTS, AND 12" CLEAR AT GIRDERS.
6.08	ALL FASTENERS FOR PRESSURE TREATED WOOD SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT DIPPED ZINC COATED STEEL.

CRAFTED EARTH, INC.  
ENGINEERING & DESIGN

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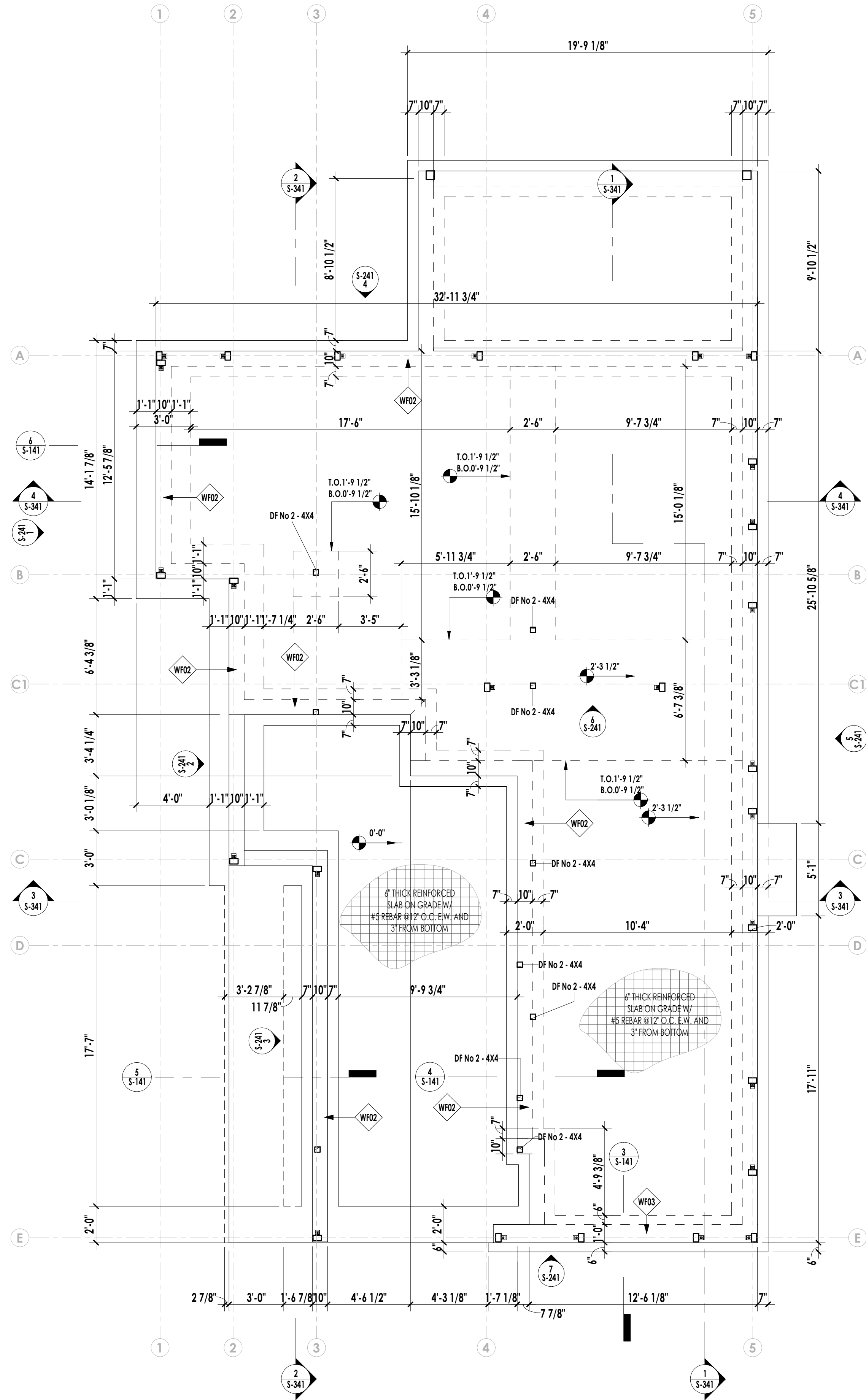
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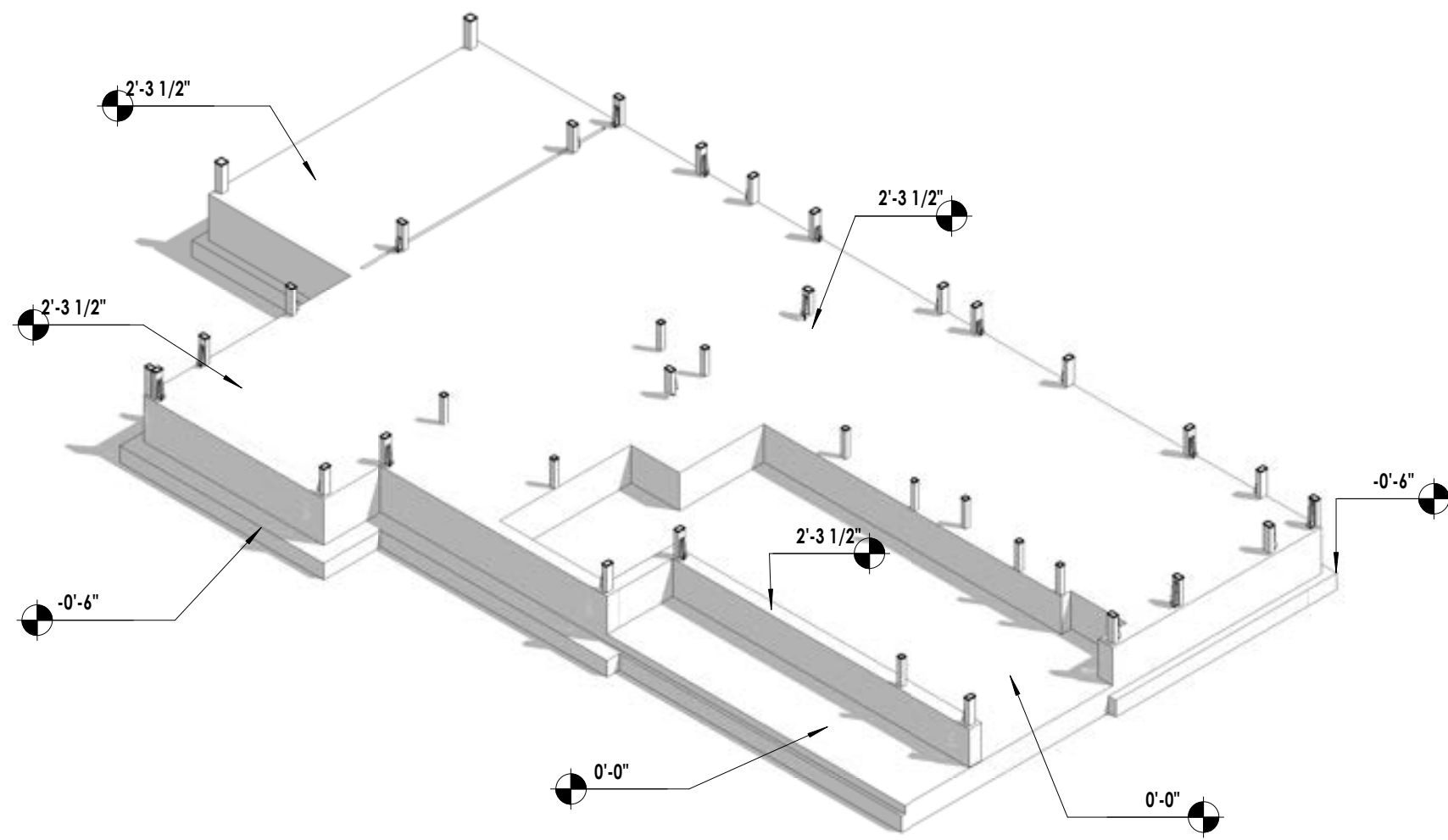
STRUCTURAL NOTES

S-040

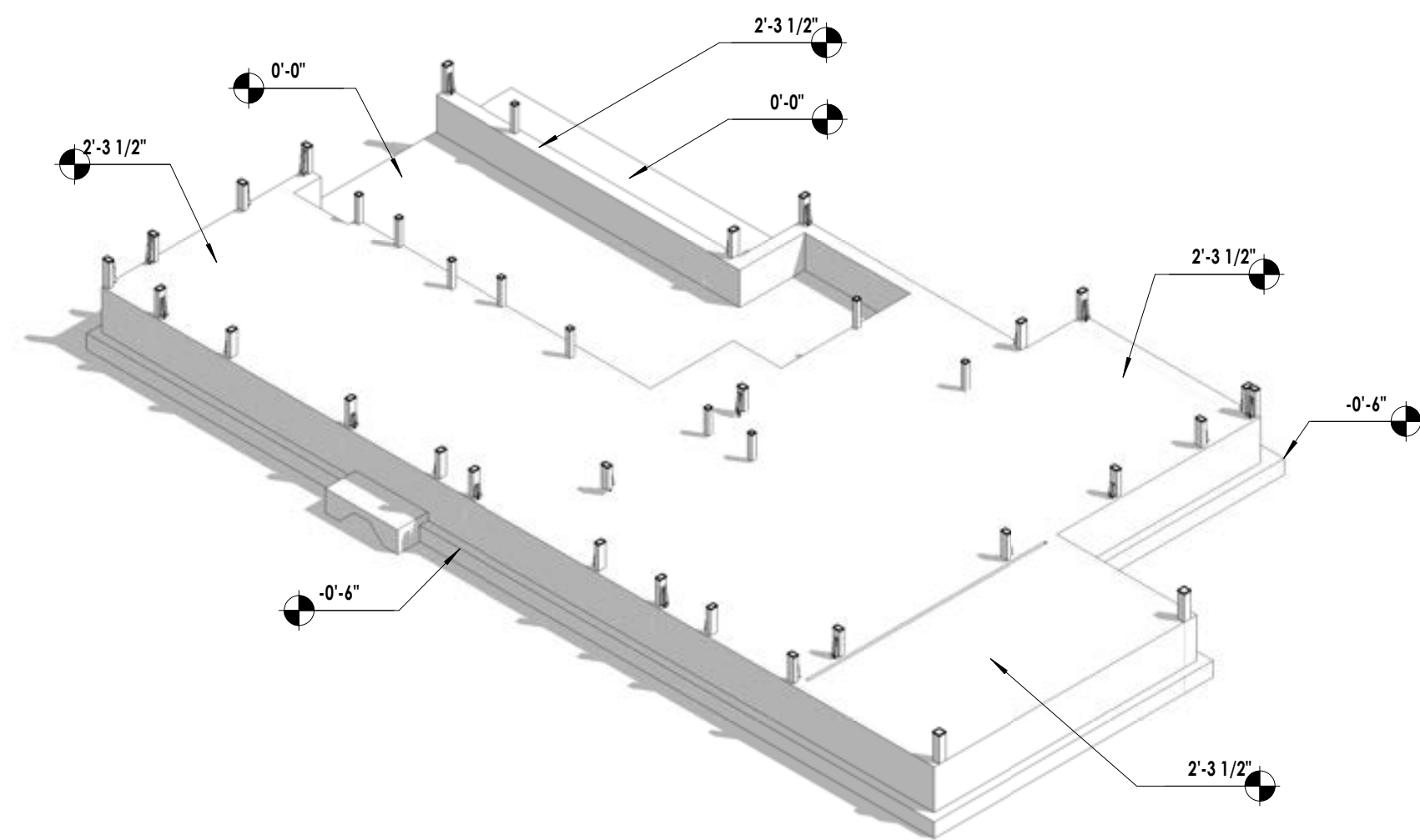




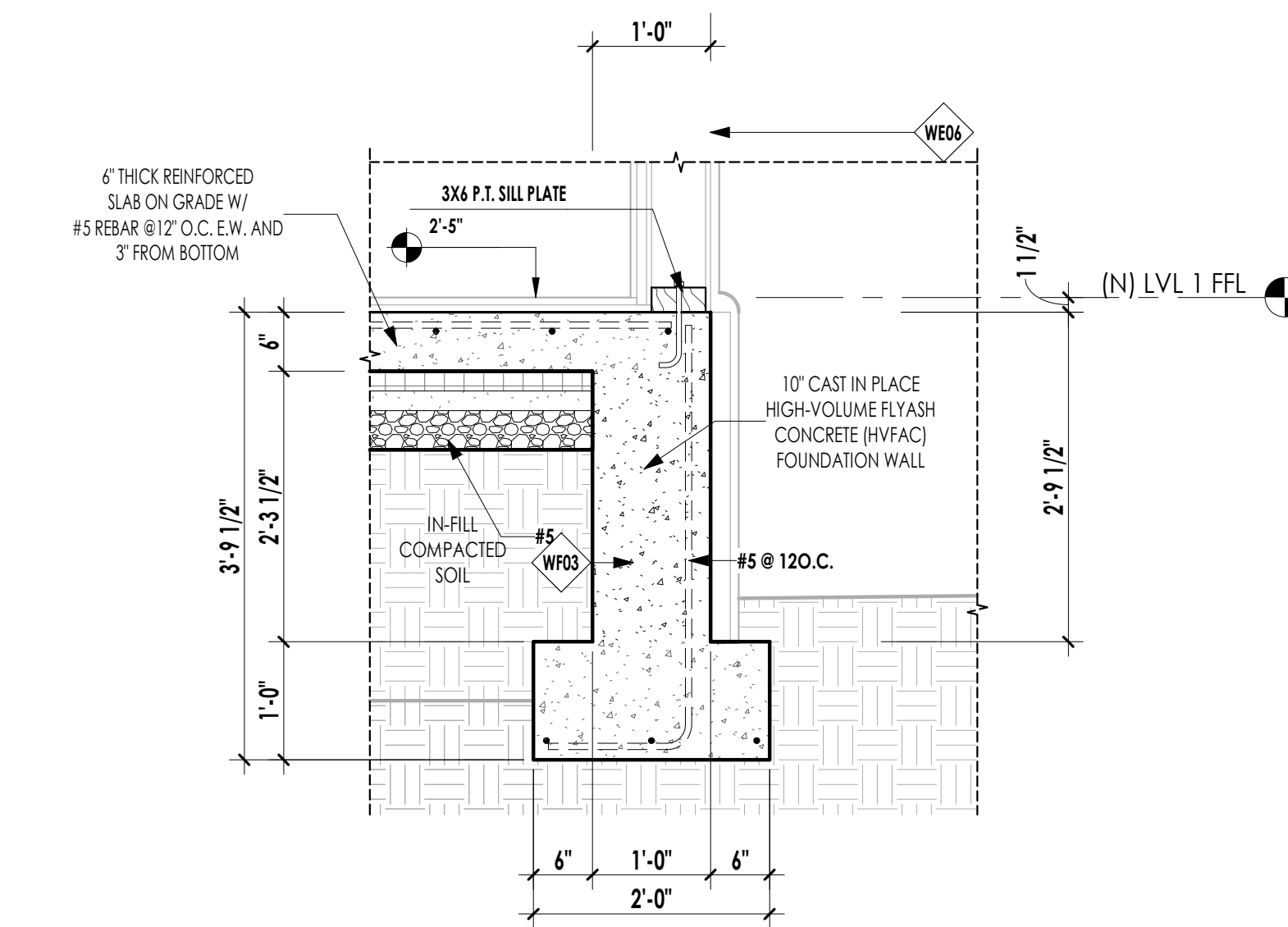
**1 (N) FOUNDATION PLAN**  
1/4" = 1'-0"



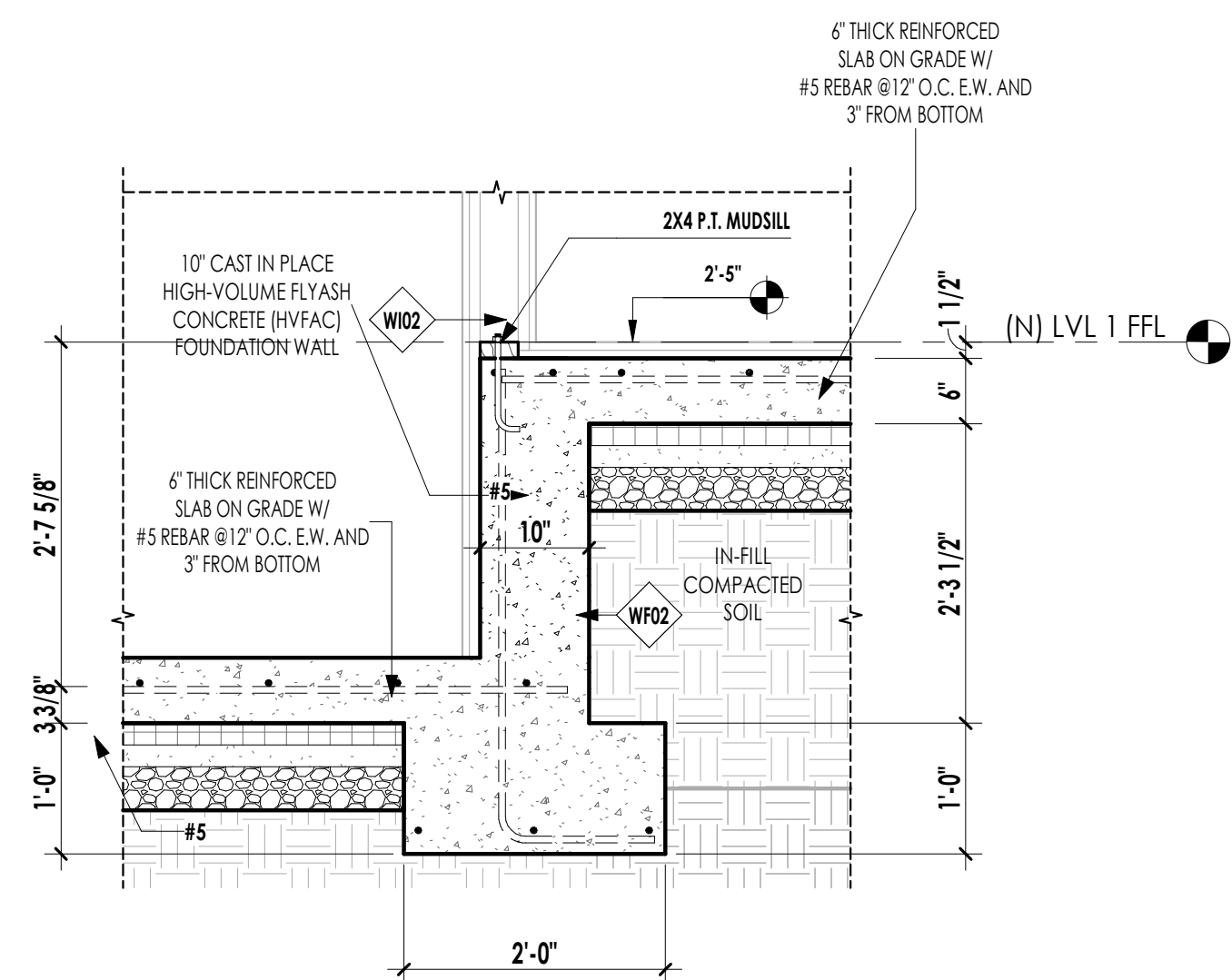
**2 FOUNDATION ASSONOMETRIC VIEW (N-W)**



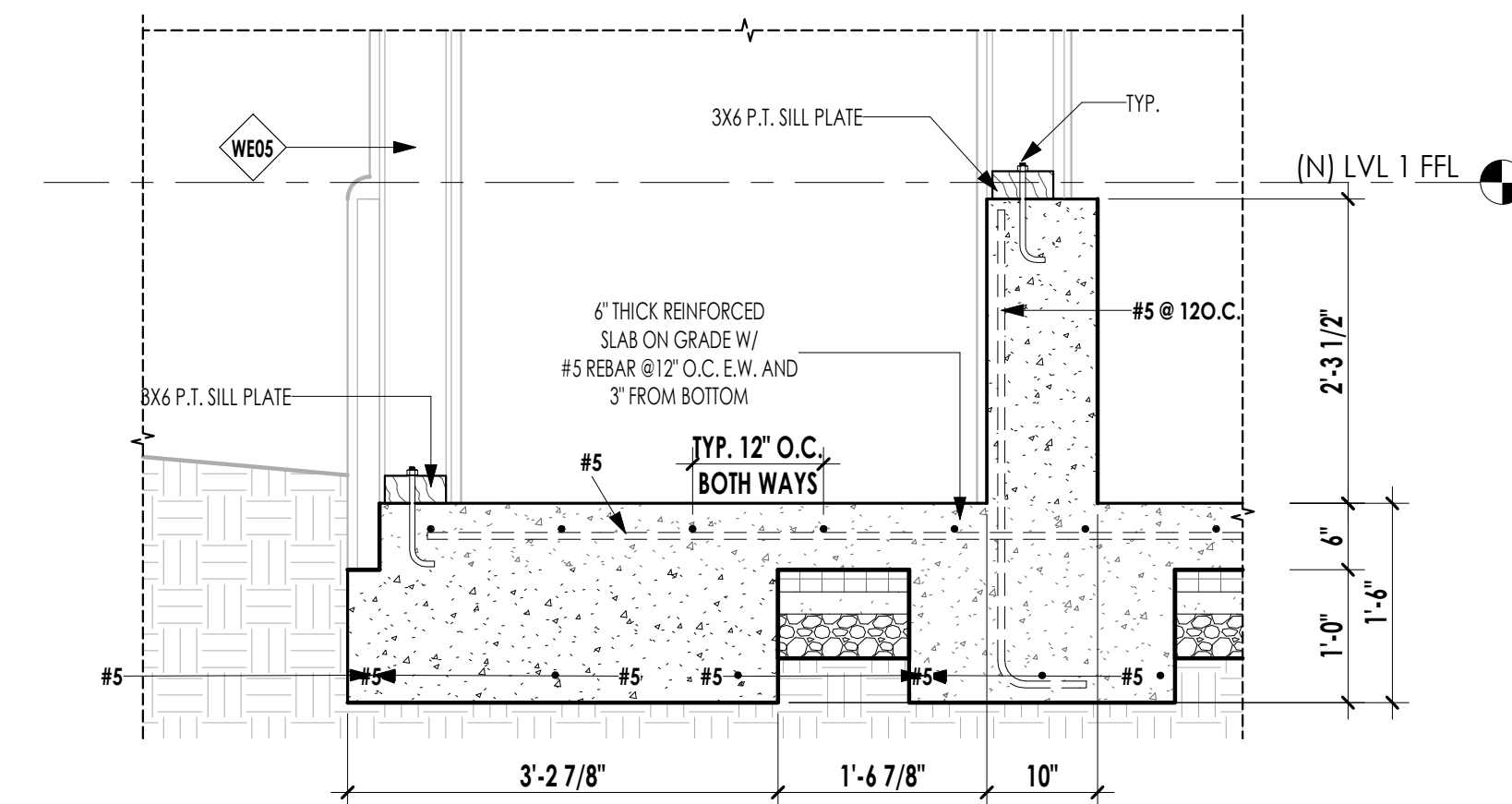
**7 FOUNDATION ASSONOMETRIC VIEW (S-E)**



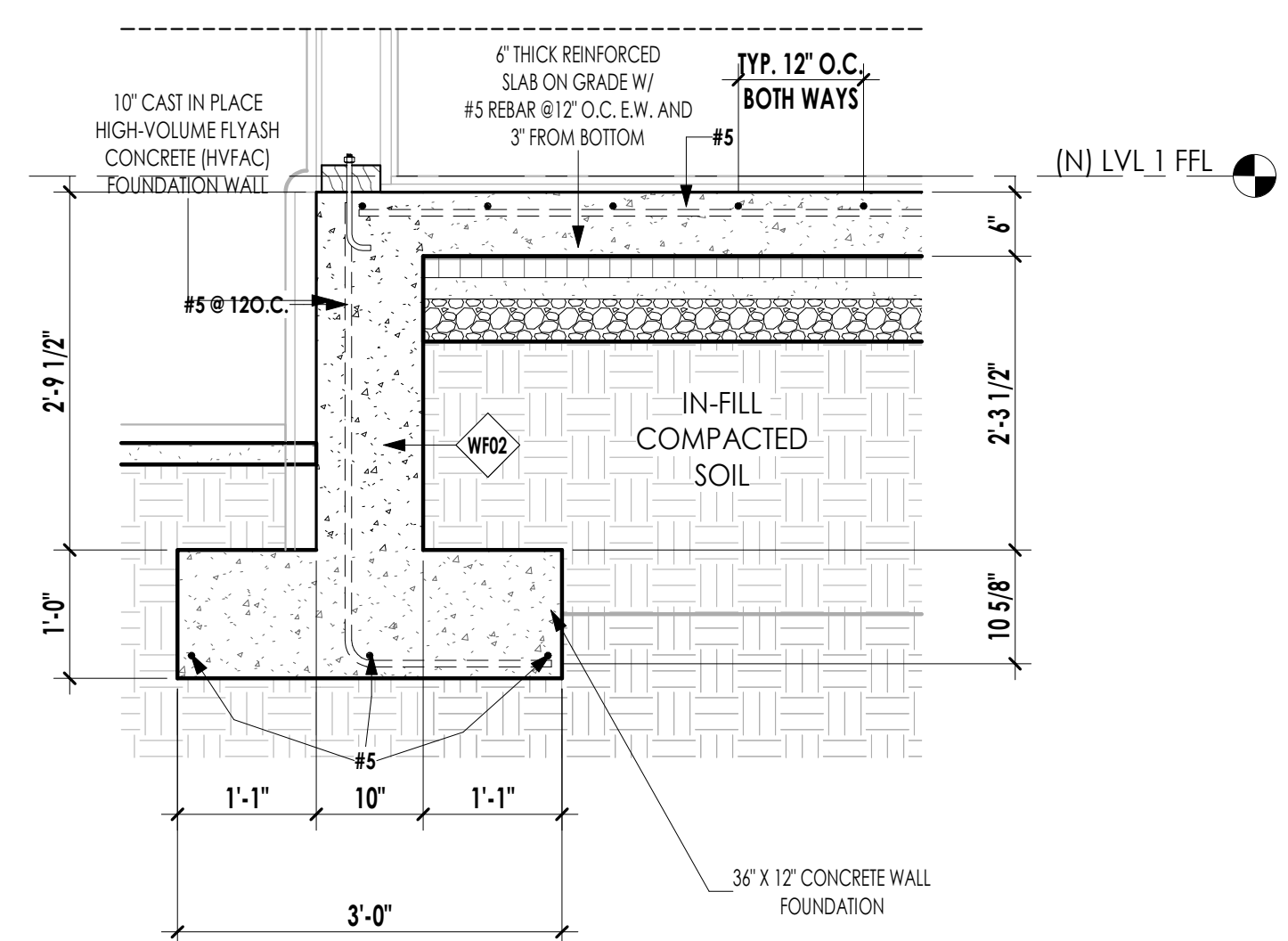
**3 WALL SECTION @ THE FOUNDATION**  
3/4" = 1'-0"



**4 WALL SECTION @ THE FOUNDATION**  
3/4" = 1'-0"



**5 WALL SECTION @ THE FOUNDATION**  
3/4" = 1'-0"



**6 WALL SECTION @ THE FOUNDATION**  
3/4" = 1'-0"



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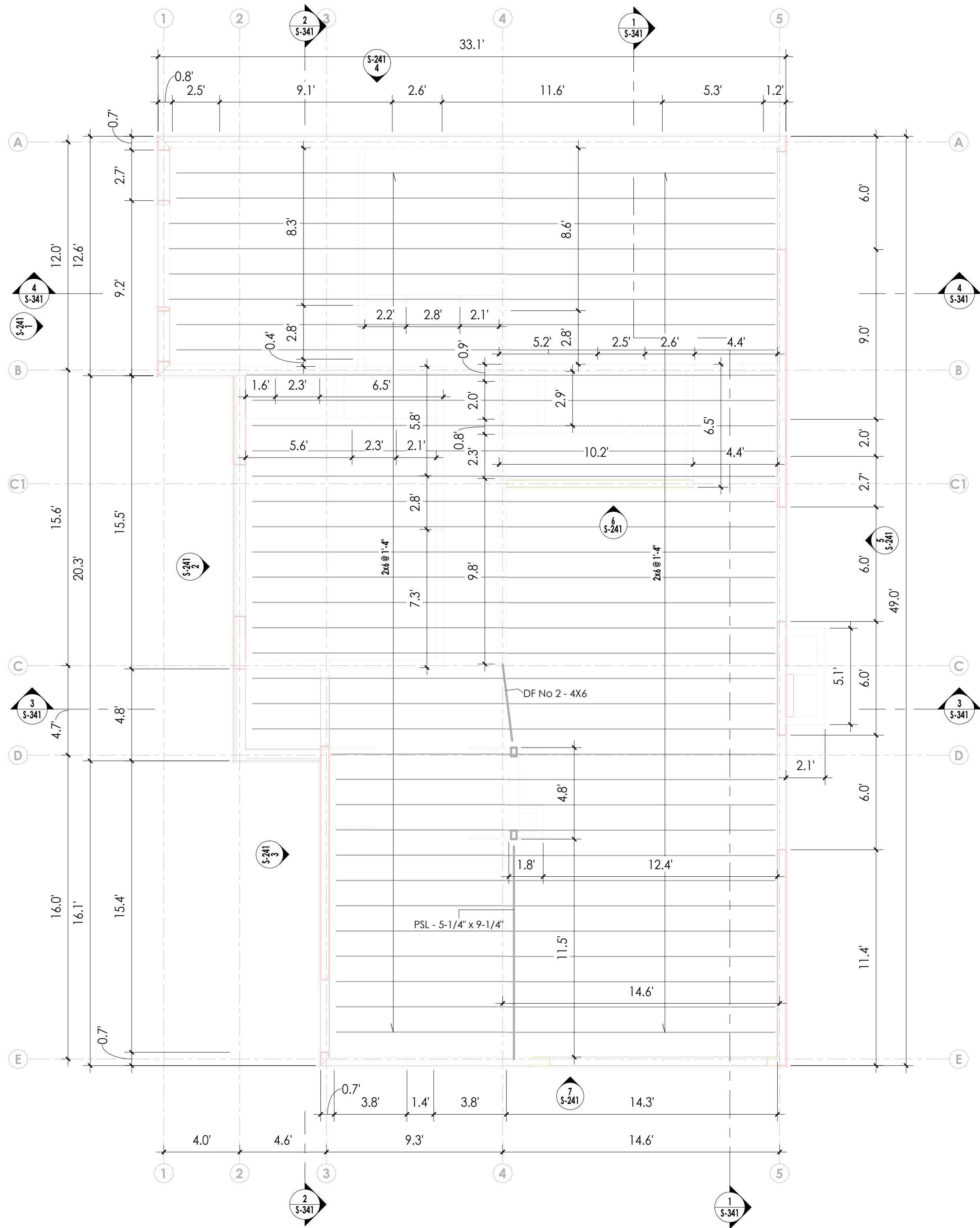
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Sheet Title

**FOUNDATION PLAN**

**S-141**





## 2 (N) ROOF FRAMING PLAN

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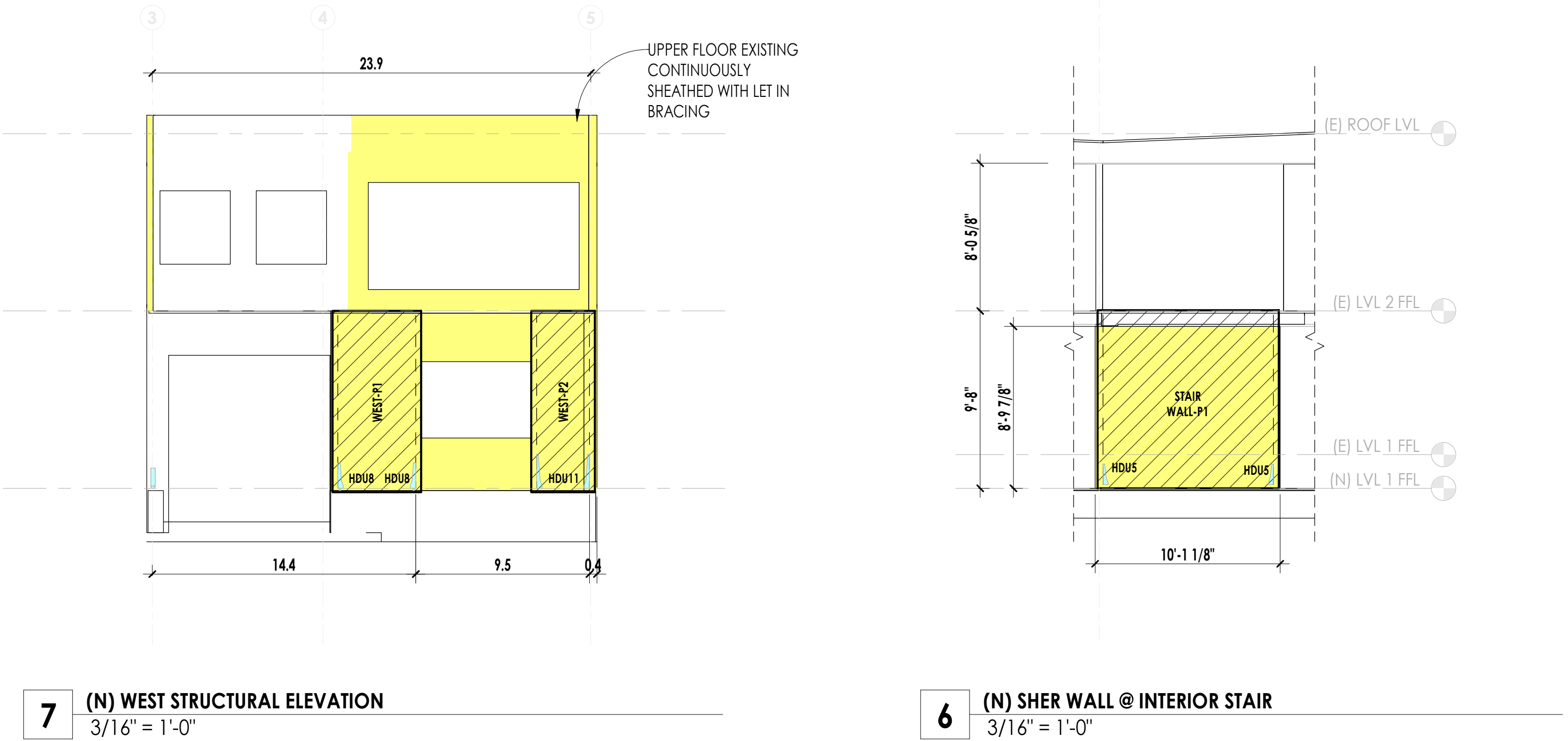
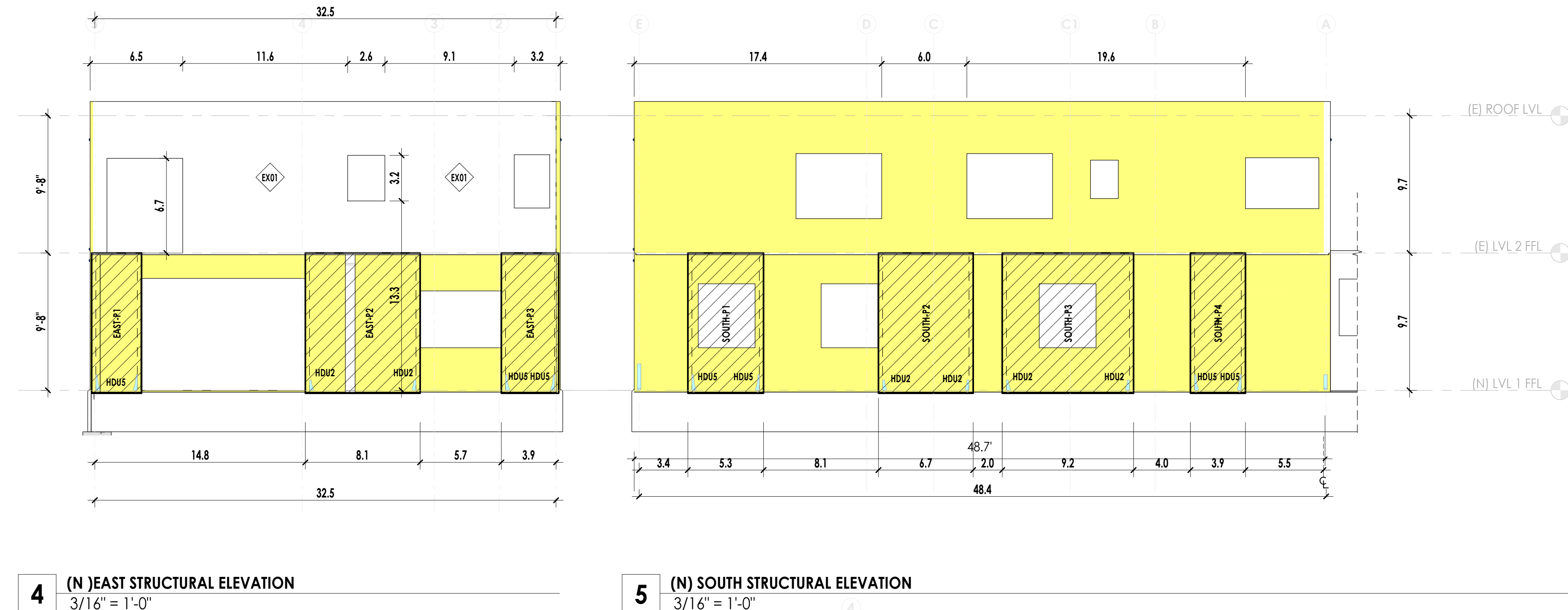
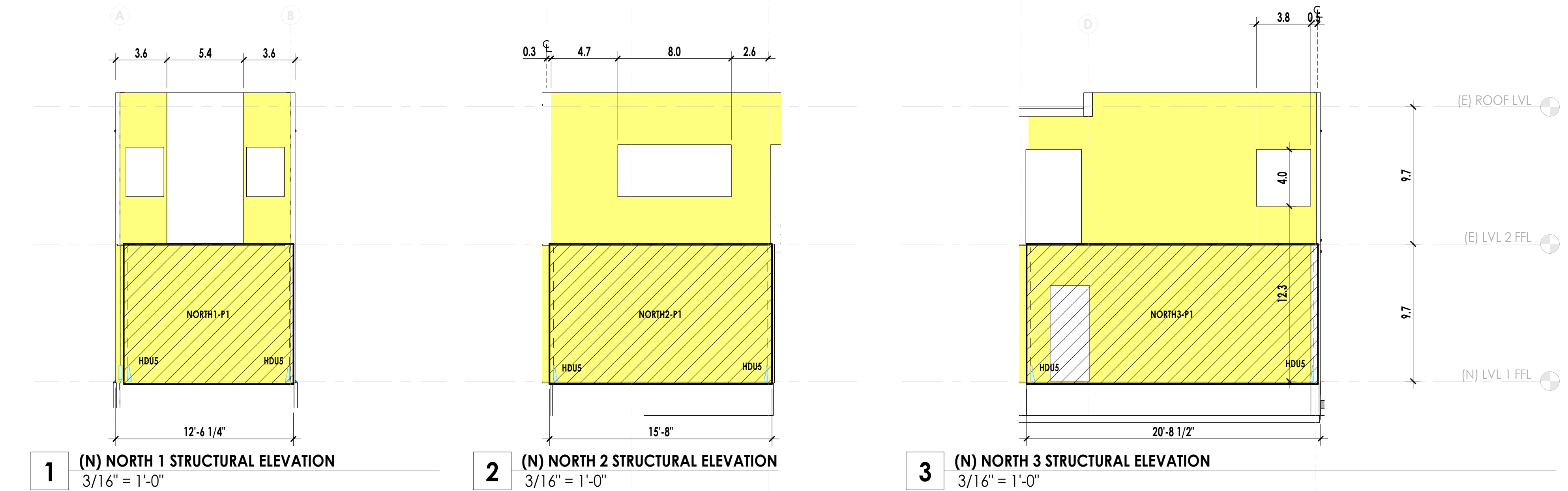
## 41 Poplar Kitchen Remodel

Sheet Title

## FRAMING PLANS

STRUCTURAL COMBINED (BEARING AND SHEAR)

# S-142



SHEAR WALL SCHEDULE					
MARK	CONSTRUCTION	WALL CHORD	HOLD DOWN	SHEATING	NAILING
EAST-P1	2X6	0' - 3 1/2"	HDU5	2x 1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
EAST-P2	2X6	0' - 3 1/2"	HDU2	2x 1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
EAST-P3	2X6	0' - 3 1/2"	HDU5	2x 1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
NORTH1-P1	2X6	0' - 3 1/2"	HDU5	1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
NORTH2-P1	2X6	0' - 3 1/2"	HDU5	1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
NORTH3-P1	2X6	0' - 3 1/2"	HDU5	1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
SOUTH-P1	2X6	0' - 3 1/2"	HDU5	1/2" CDX PLY	4" AT PANEL EDGES, 12" IN FIELD
SOUTH-P2	2X6	0' - 3 1/2"	HDU2	1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
SOUTH-P3	2X6	0' - 3 1/2"	HDU2	1/2" CDX PLY	6" AT PANEL EDGES, 12" IN FIELD
SOUTH-P4	2X6	0' - 3 1/2"	HDU5	1/2" CDX PLY	4" AT PANEL EDGES, 12" IN FIELD
STAIR WALL-P1	2X6	0' - 3 1/2"	HDU5	1/2" CDX PLY	4" AT PANEL EDGES, 12" IN FIELD
WEST-P1	2X6	0' - 3 1/2"	HDU8	2x 1/2" CDX PLY	2" AT PANEL EDGES, 12" IN FIELD
WEST-P2	2X6	0' - 3 1/2"	HDU11	2x 1/2" CDX PLY	2" AT PANEL EDGES, 12" IN FIELD

**NOTE:**  
ALL NAILING OF WOOD STRUCTURAL PANELS TO BE WITH 10D FASTENERS WITH MIN. PENETRATION OF 1 1/2"



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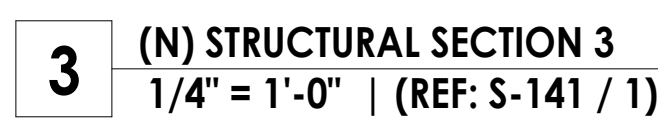
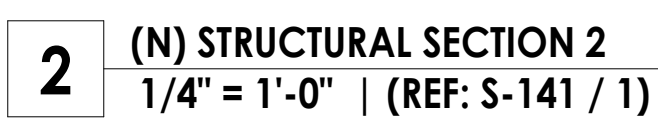
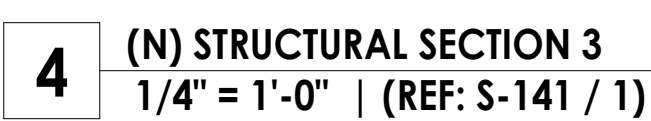
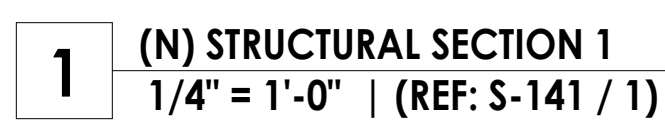
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Sheet Title

SHEAR WALL ELEVATIONS





## STRUCTURAL SECTIONS





Michael and Mindy  
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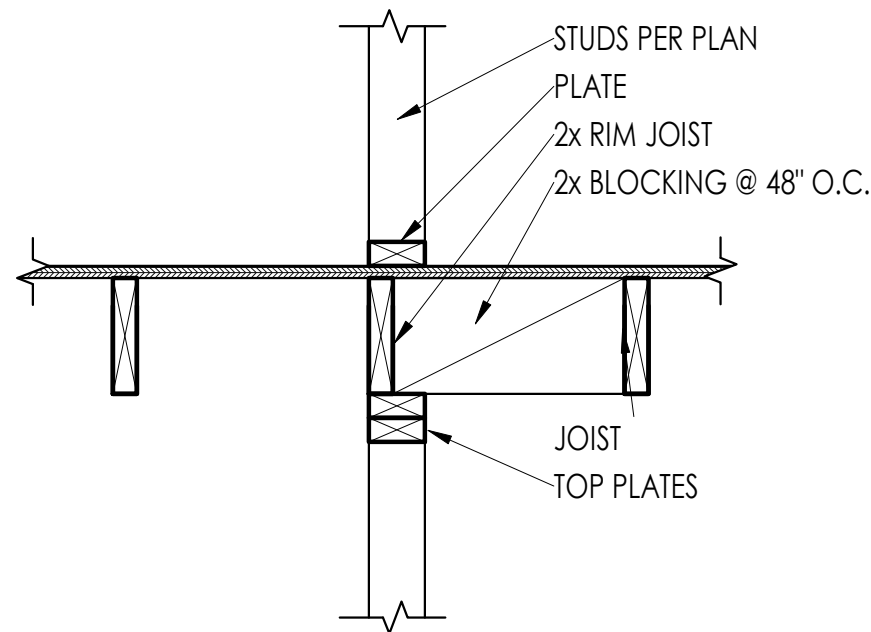
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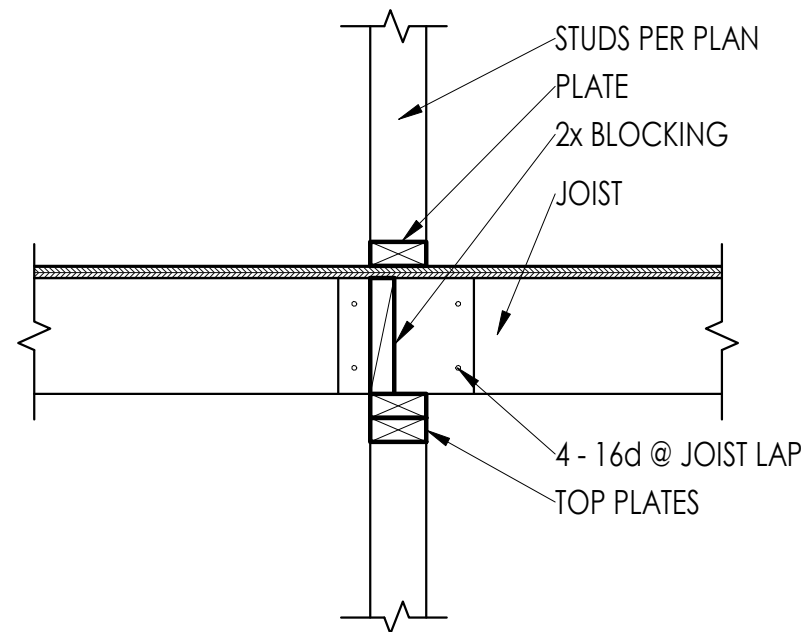
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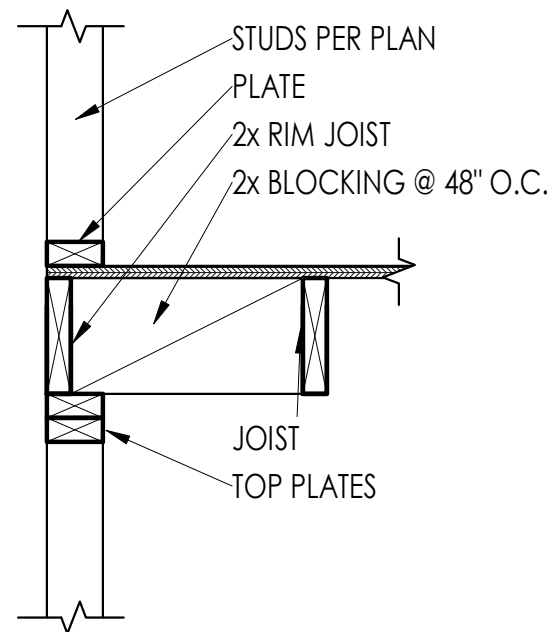
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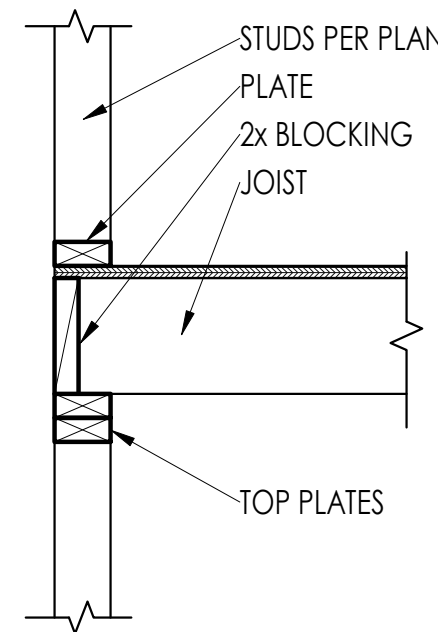
PARALLEL



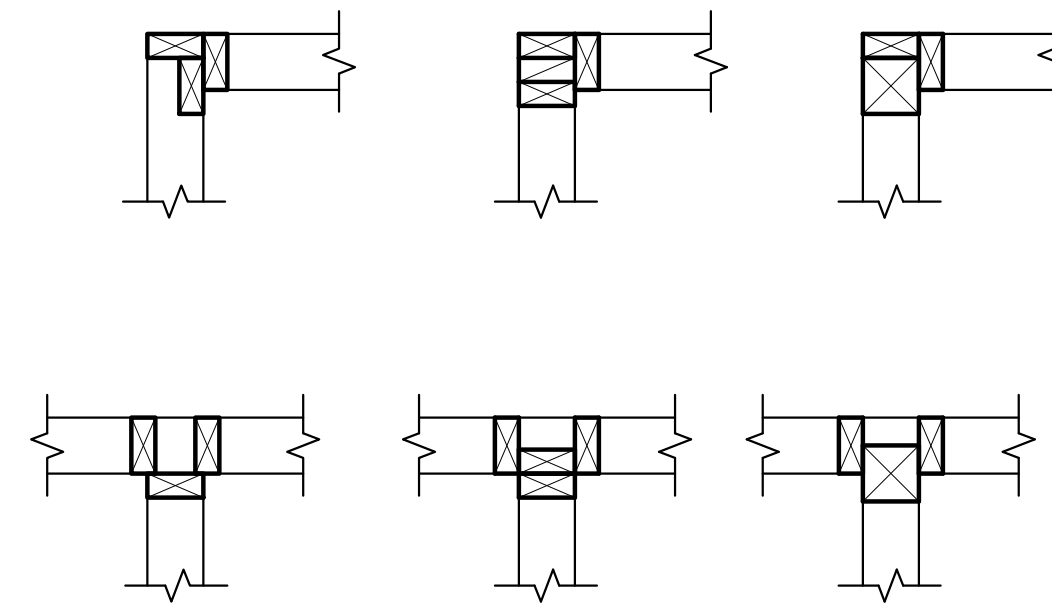
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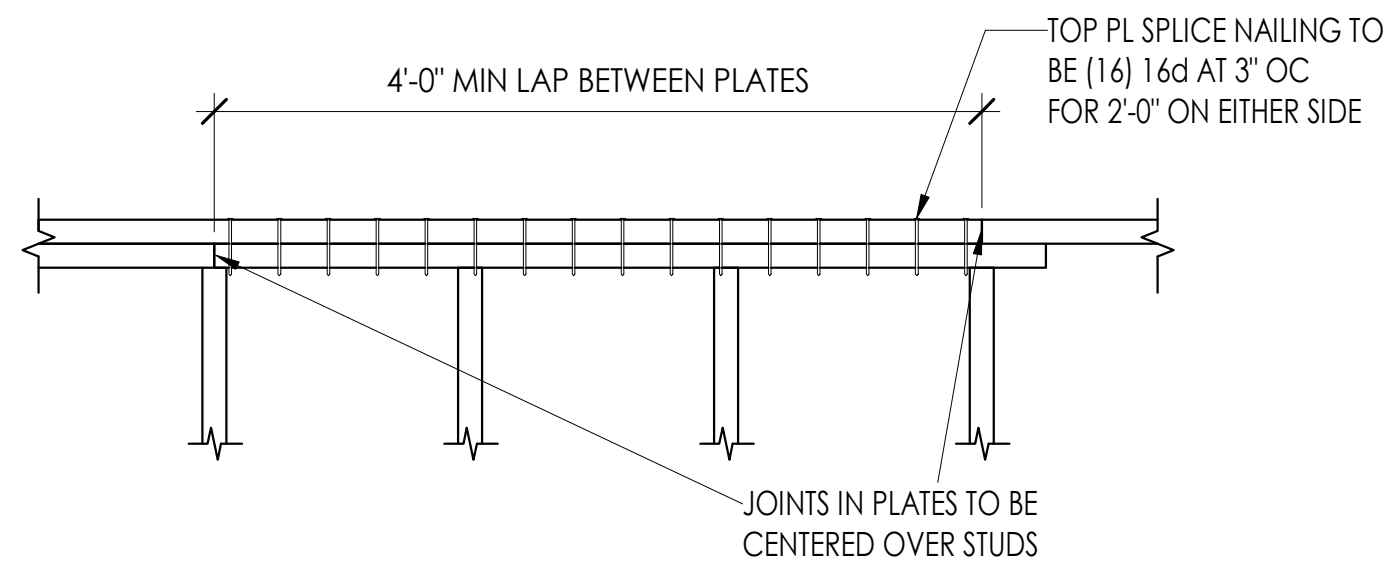
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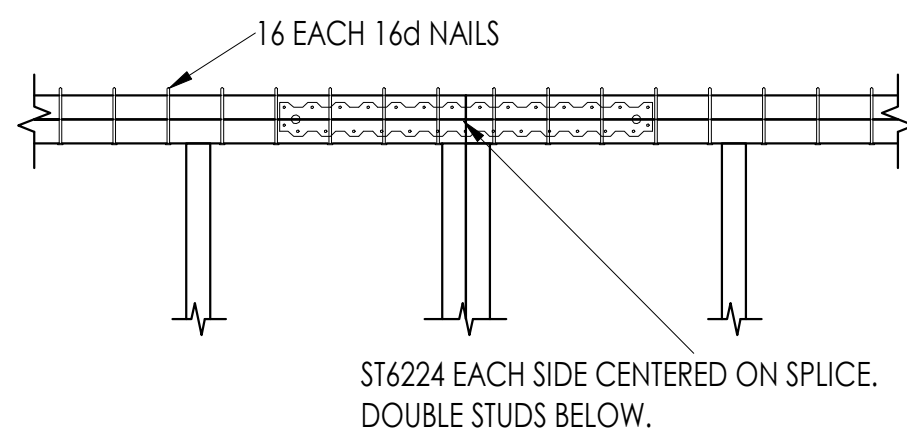
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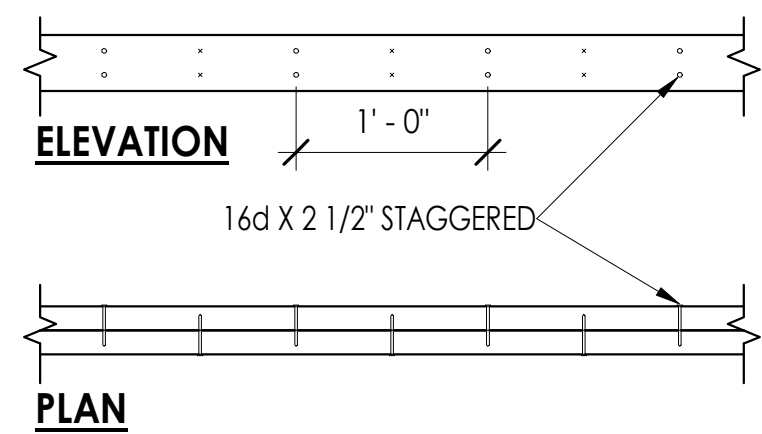
2 TYPICAL INTERIOR FRAMING  
1" = 1'-0" |



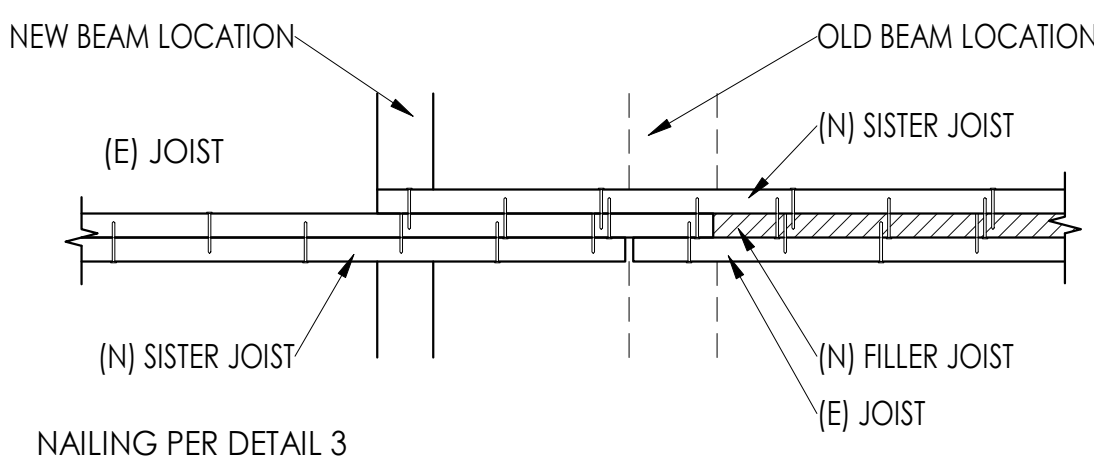
TYPICAL TOP PLATE SPLICE



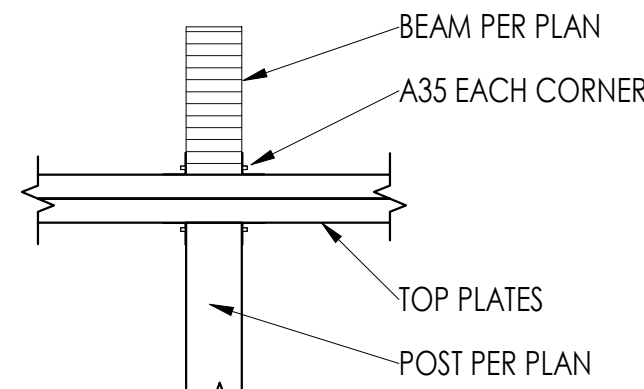
SPLICE WHERE BOTH PLATES ARE CUT



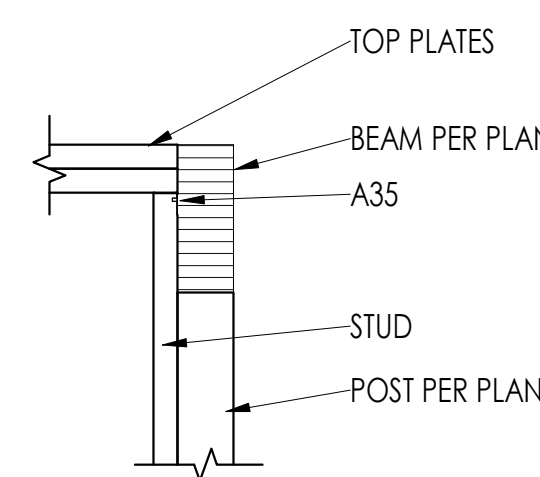
4 JOIST SISTER NAILING  
1" = 1'-0" |



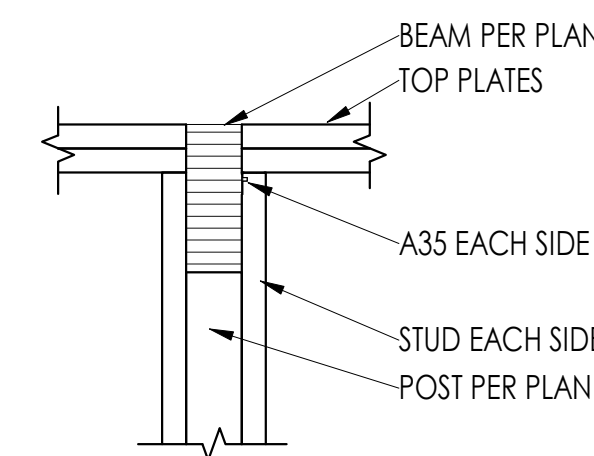
5 JOIST SISTER NAILING SIDE  
1" = 1'-0" |



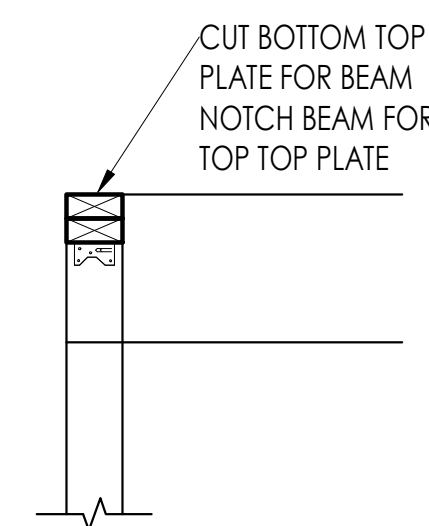
FLUSH BEAM



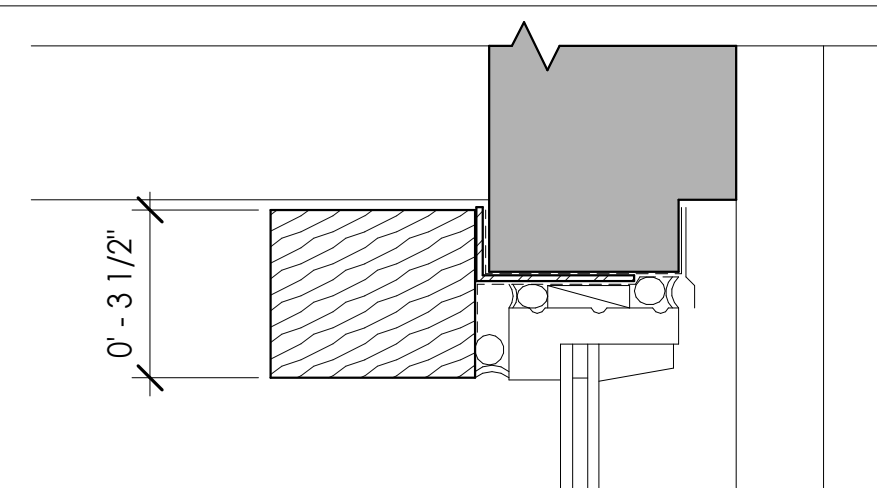
BEAM BELOW @ CORNER



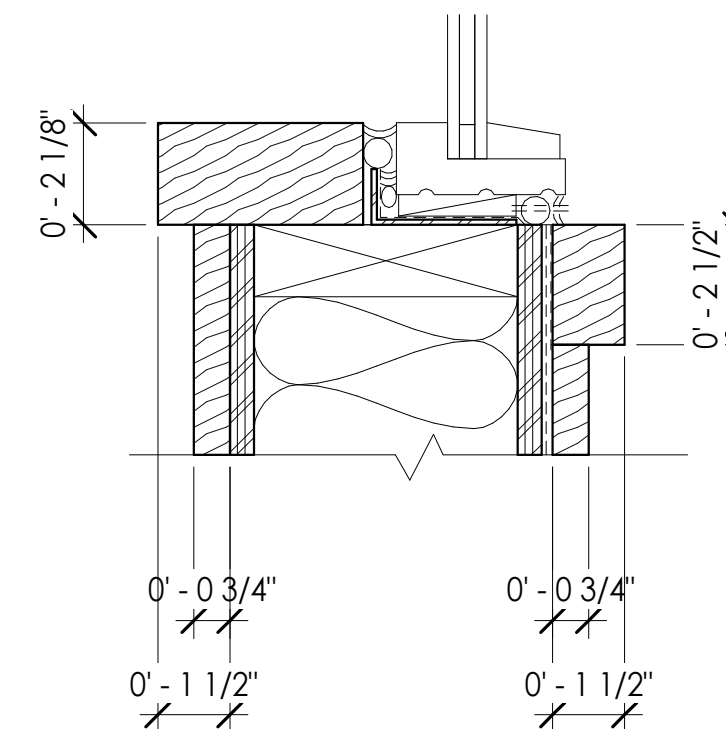
BEAM BELOW



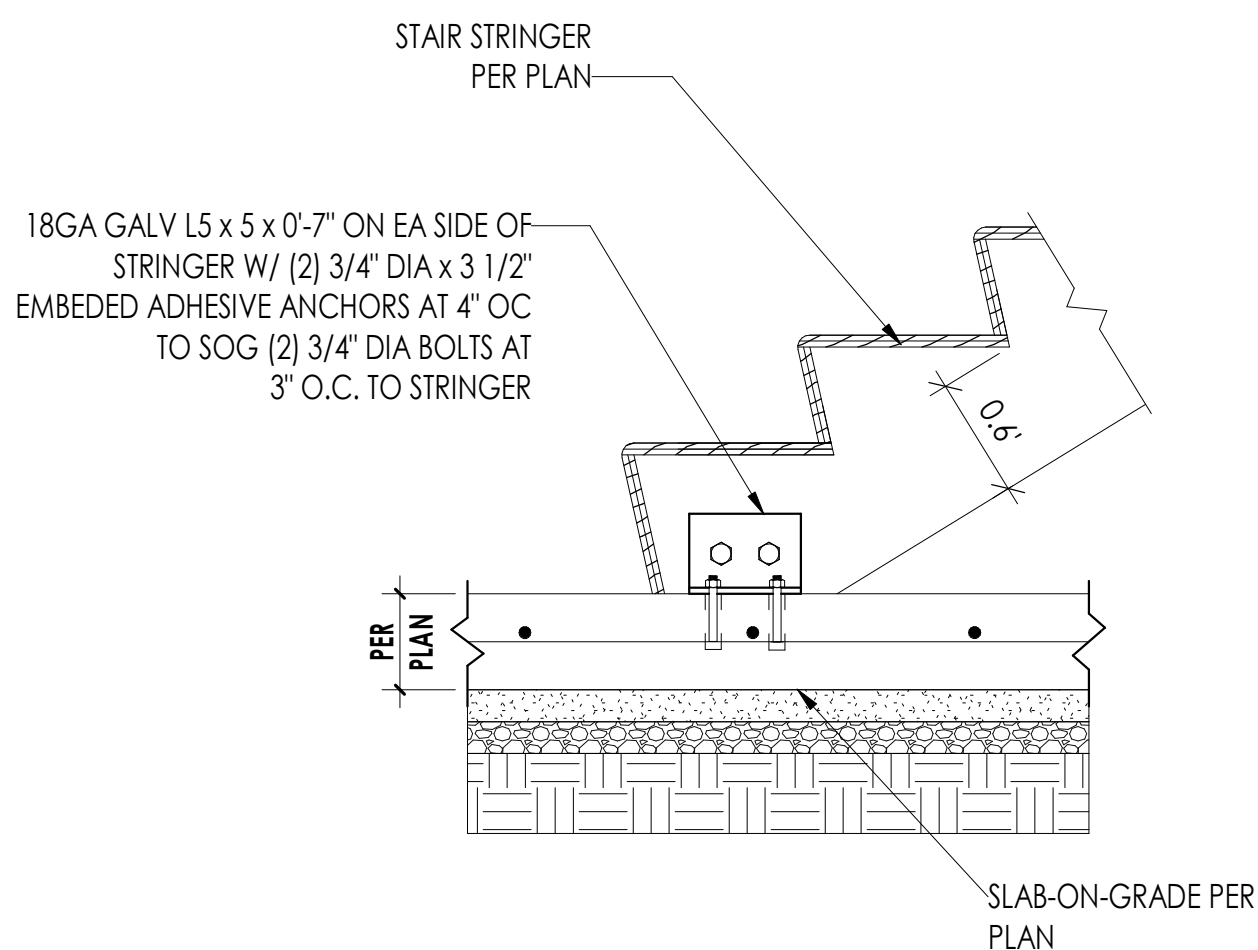
SECTION A



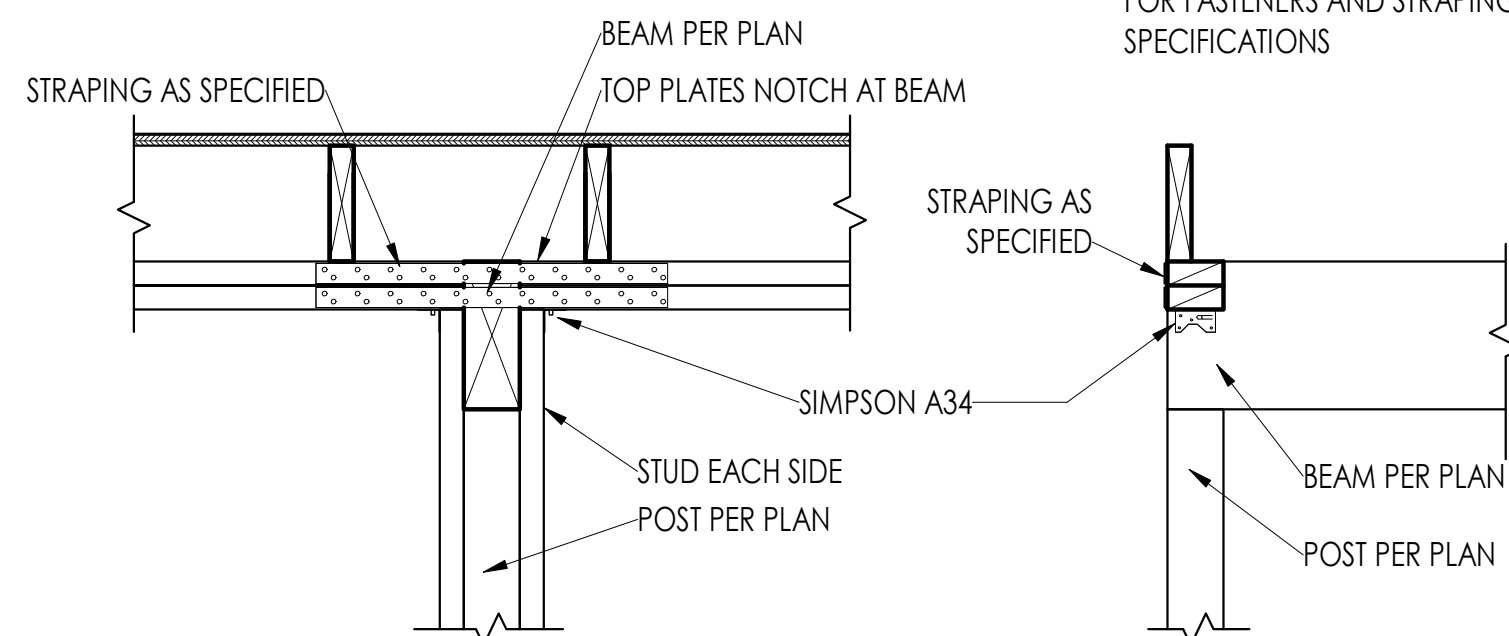
12 TYP WINDOW HEAD  
3" = 1'-0" |



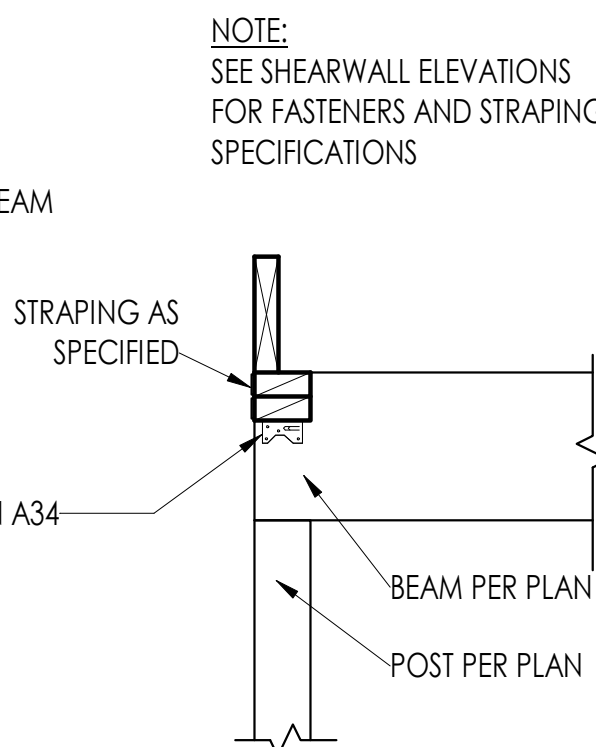
11 TYP WINDOWS SILL  
3" = 1'-0" |



9 TOP PLATE SPLICES  
1" = 1'-0" |

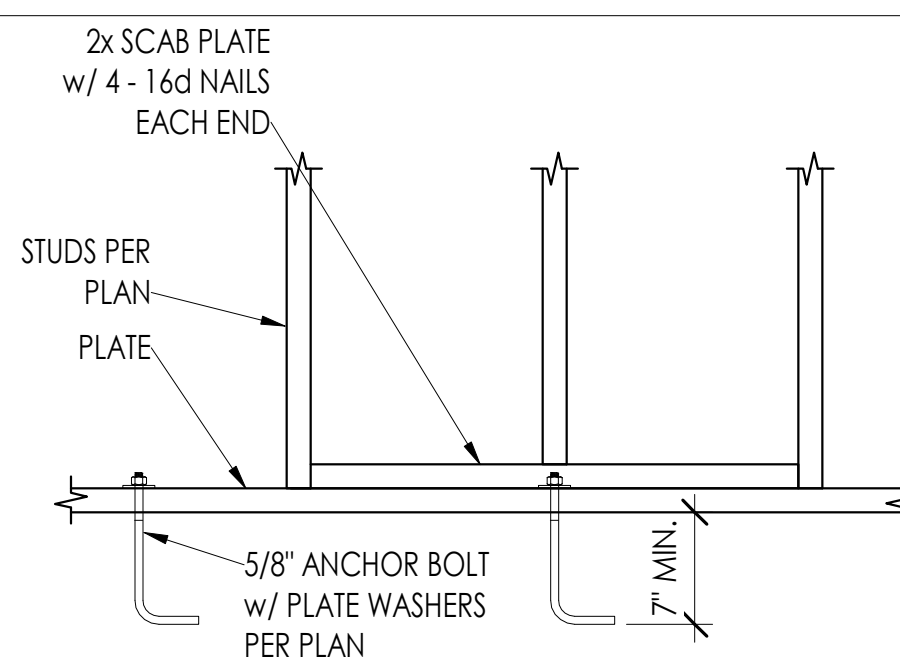
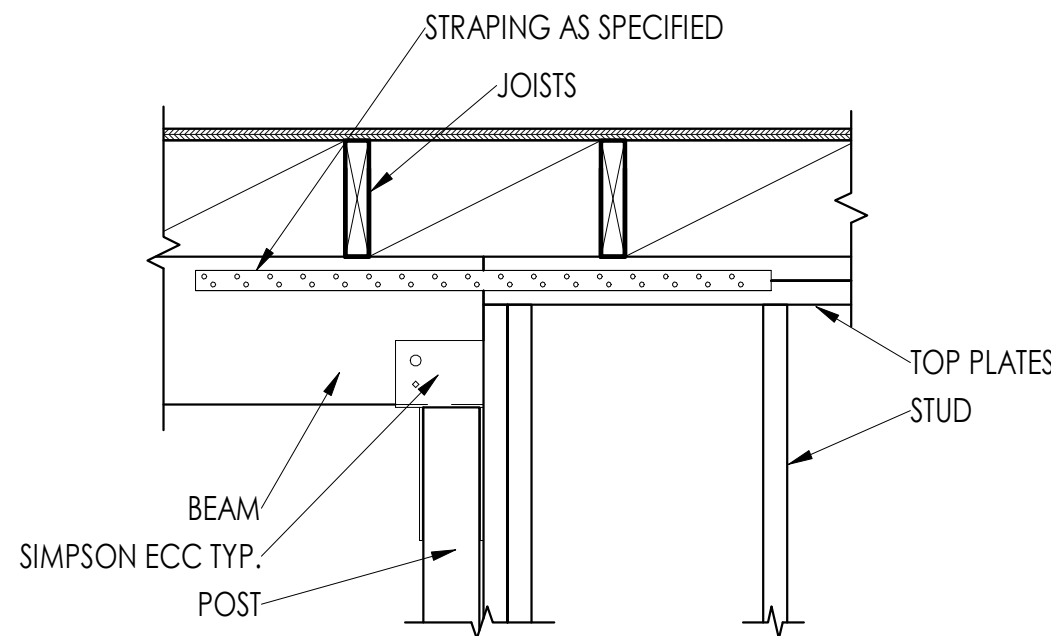


BEAM BELOW



SECTION A

8 TYPICAL BEAM CONNECTIONS @ WALLS  
1" = 1'-0" |



NOTE:  
ALL SILL PLATES BOLTED WITH MIN. 2 BOLTS,  
SPACING AS PER PLAN. BOLTS REQUIRED MIN.  
5\", MAX. 12\"/>

TYPICAL ANCHORS IN (N) CONCRETE

10 TYPICAL SILL BOLTING  
1" = 1'-0" |

3 TYPICAL BEAM END @ WALL  
1" = 1'-0" |

1 TYPICAL BEAM IN LINE W/ WALL  
1" = 1'-0" |

13 TYPICAL STAIR CONNECTIONS  
1" = 1'-0" |

2 TOWN COUNCIL 03/02/23

1 CITY COMMENTS REV 1 01/11/23

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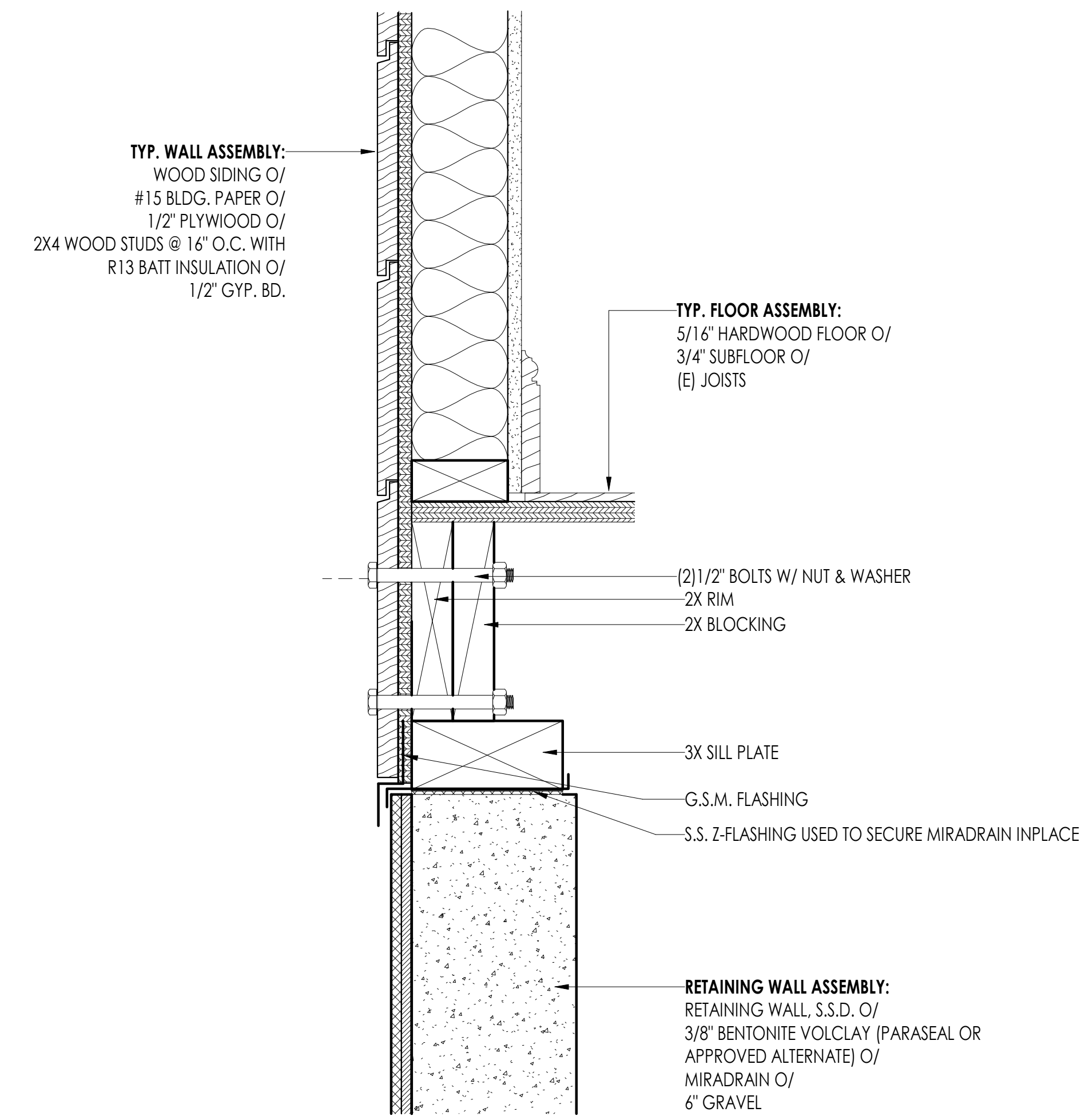
41 Poplar Kitchen  
Remodel

Date: 02/03/23

Scale: As Noted

Sheet Title

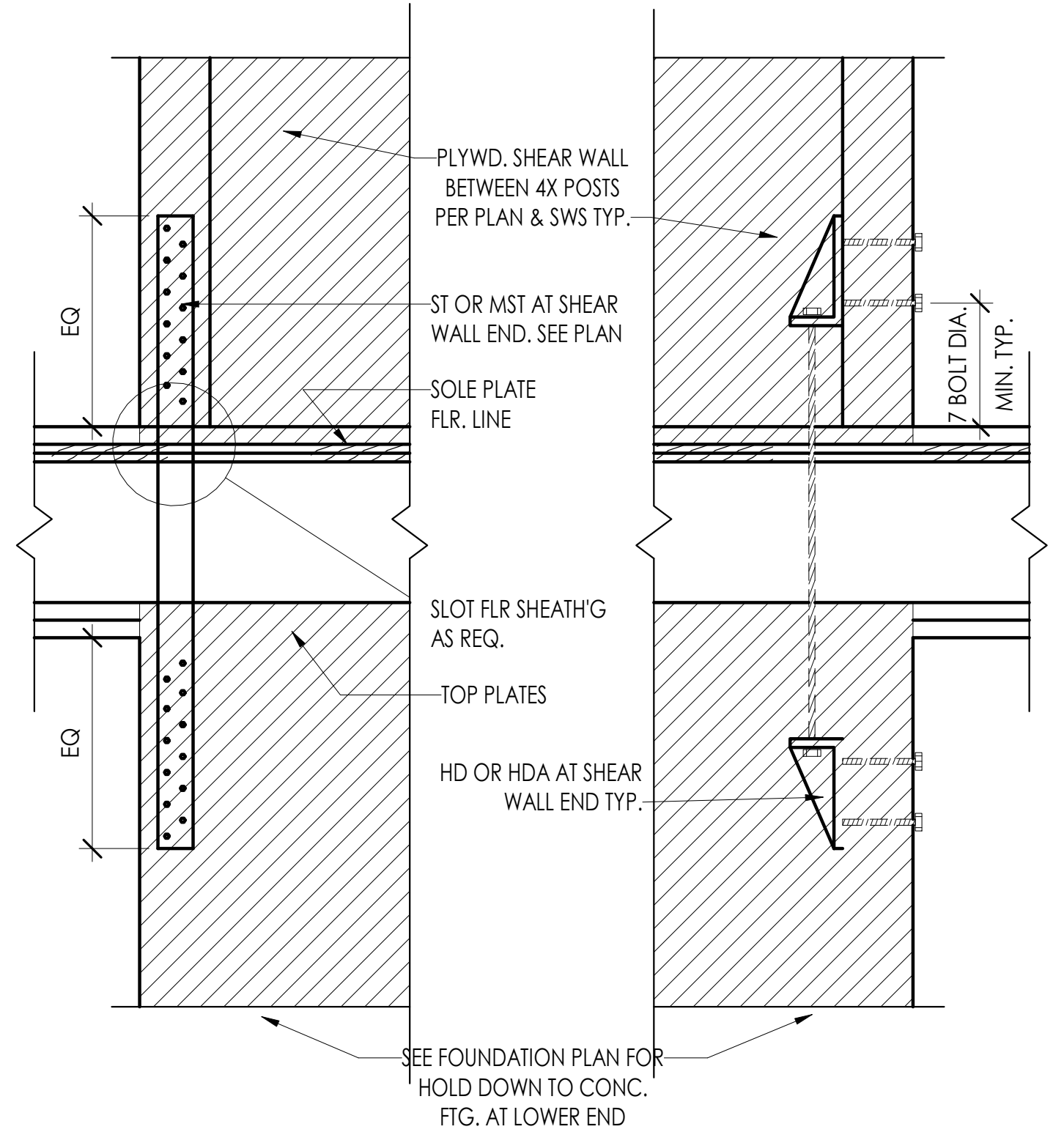
TYPICAL FRAMING DETAILS



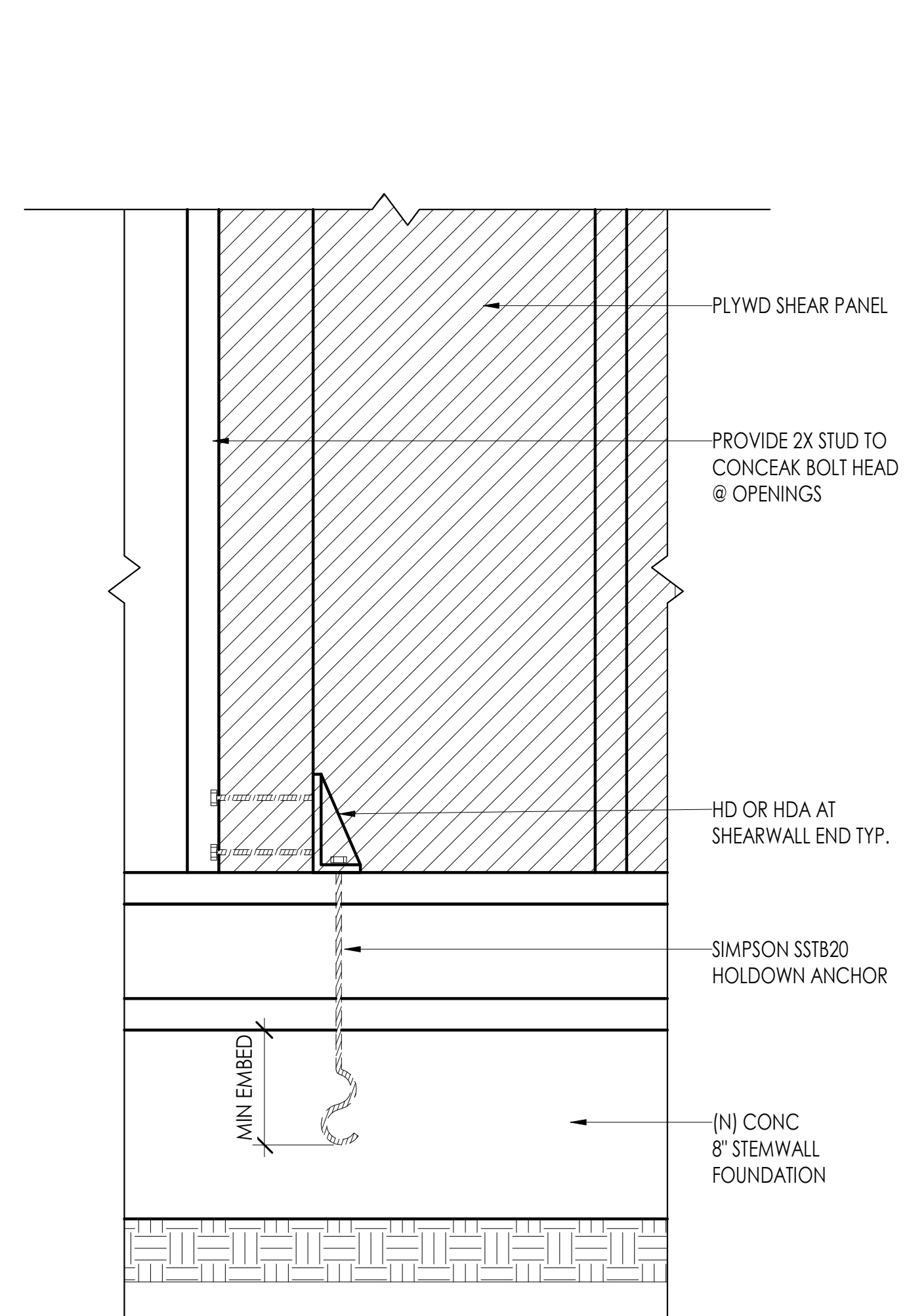
NOTE:

- (2) DTT2 SIMPSON DECK CONNECTORS WITH 1/2" A.T.R. ALONG LENGTH OF DECK, INSTALLED PER SIMPSON TECHNICAL BULLETIN T-DECK- TO WALL SPECIFICATIONS.  
(2) PER DECK ARE REQUIRED PER 2009 IRC  
SEE TECHNICAL BULLETIN FOR BLOCKED CONFIGURATION

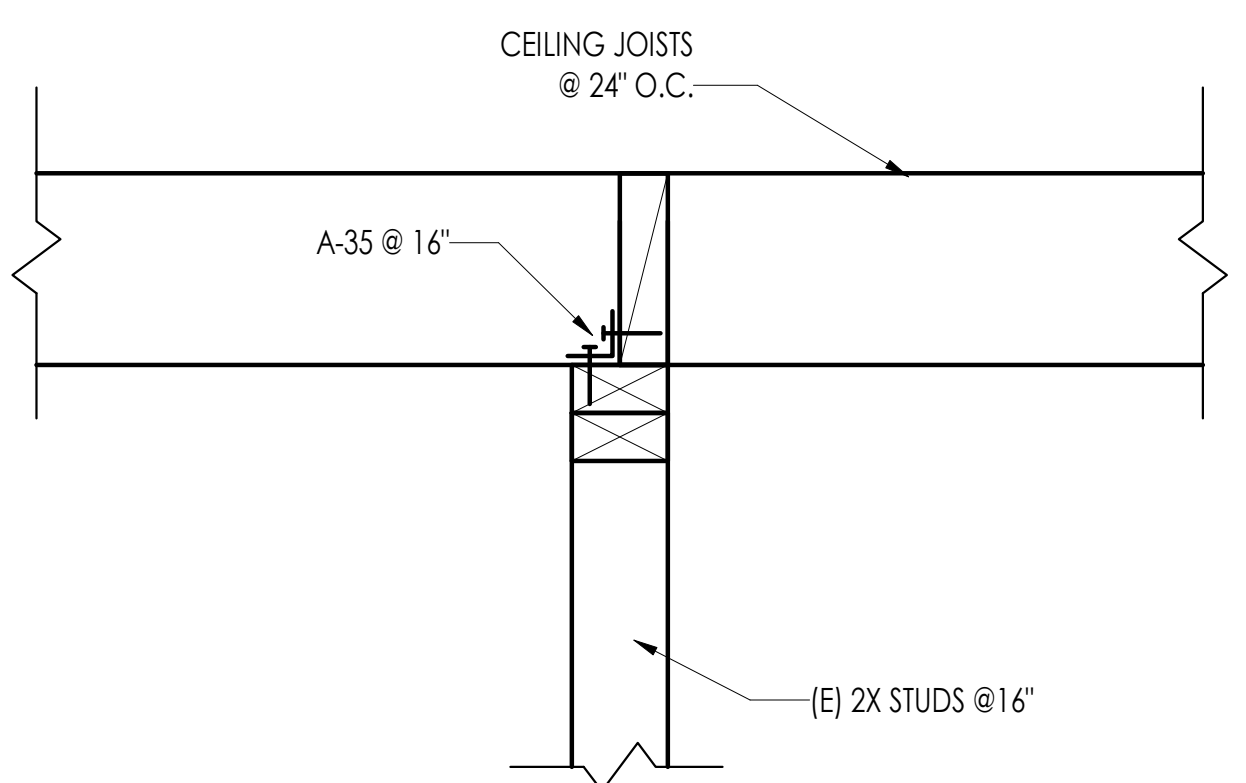
3 DECK W WOOD STEP  
3" = 1'-0" |



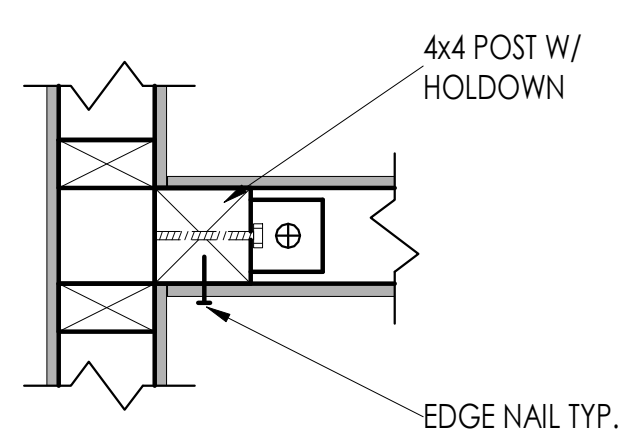
6 HOLDOWN / STRAP TIE @ FLOOR  
1 1/2" = 1'-0" |



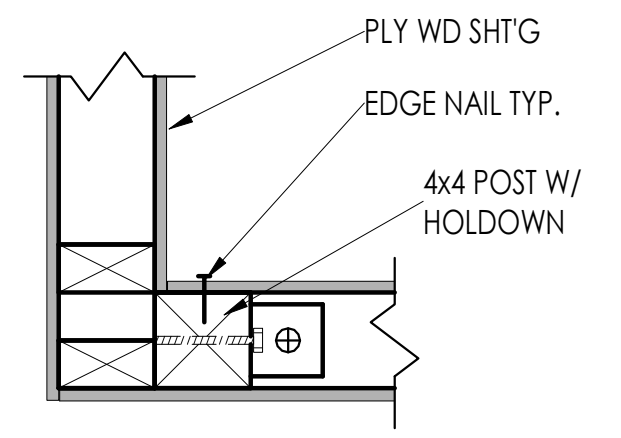
7 HOLDOWN @ NEW FOUNDATION  
1 1/2" = 1'-0" |



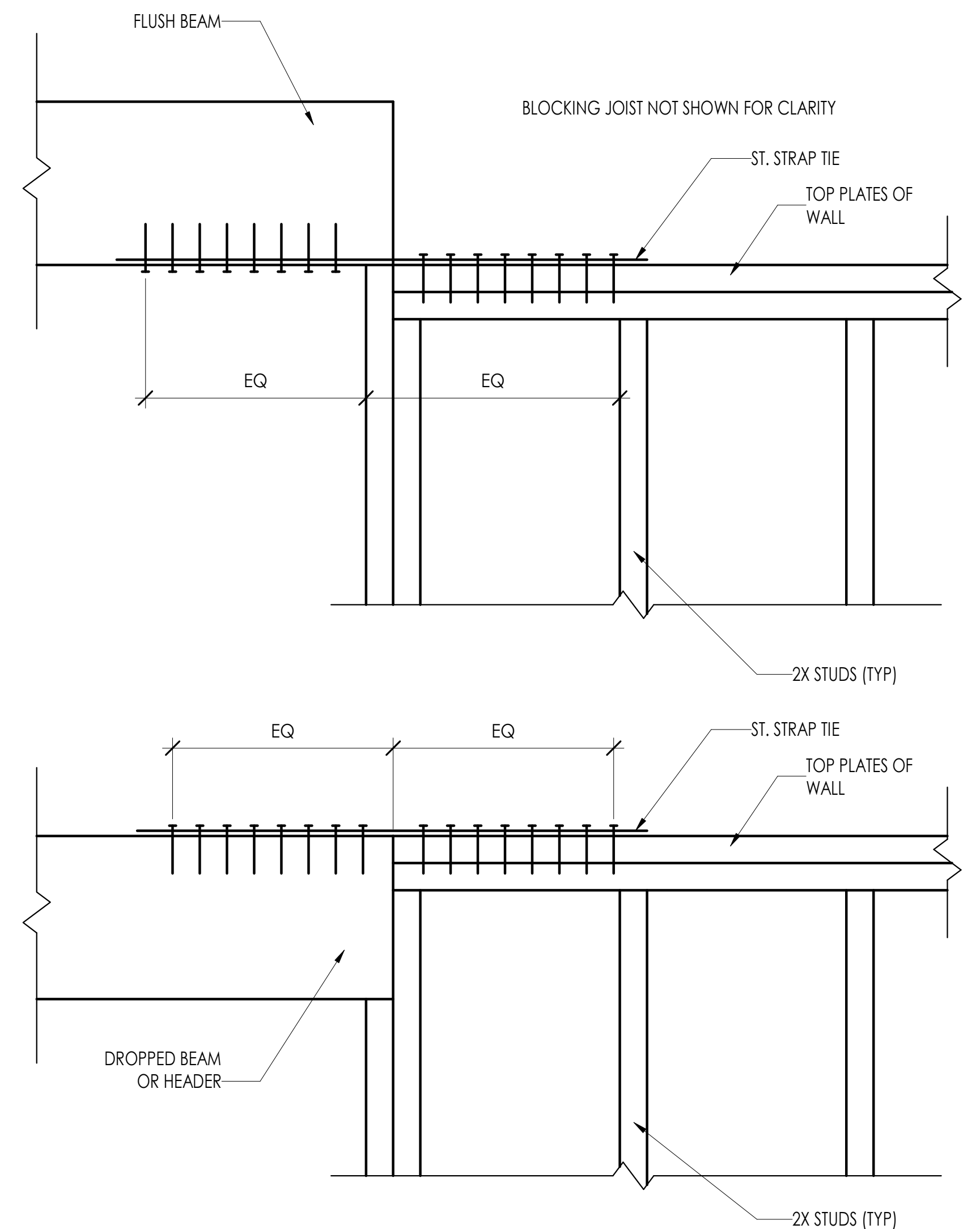
1 (N) INTERIOR WALL @ CEILING  
1 1/2" = 1'-0" |



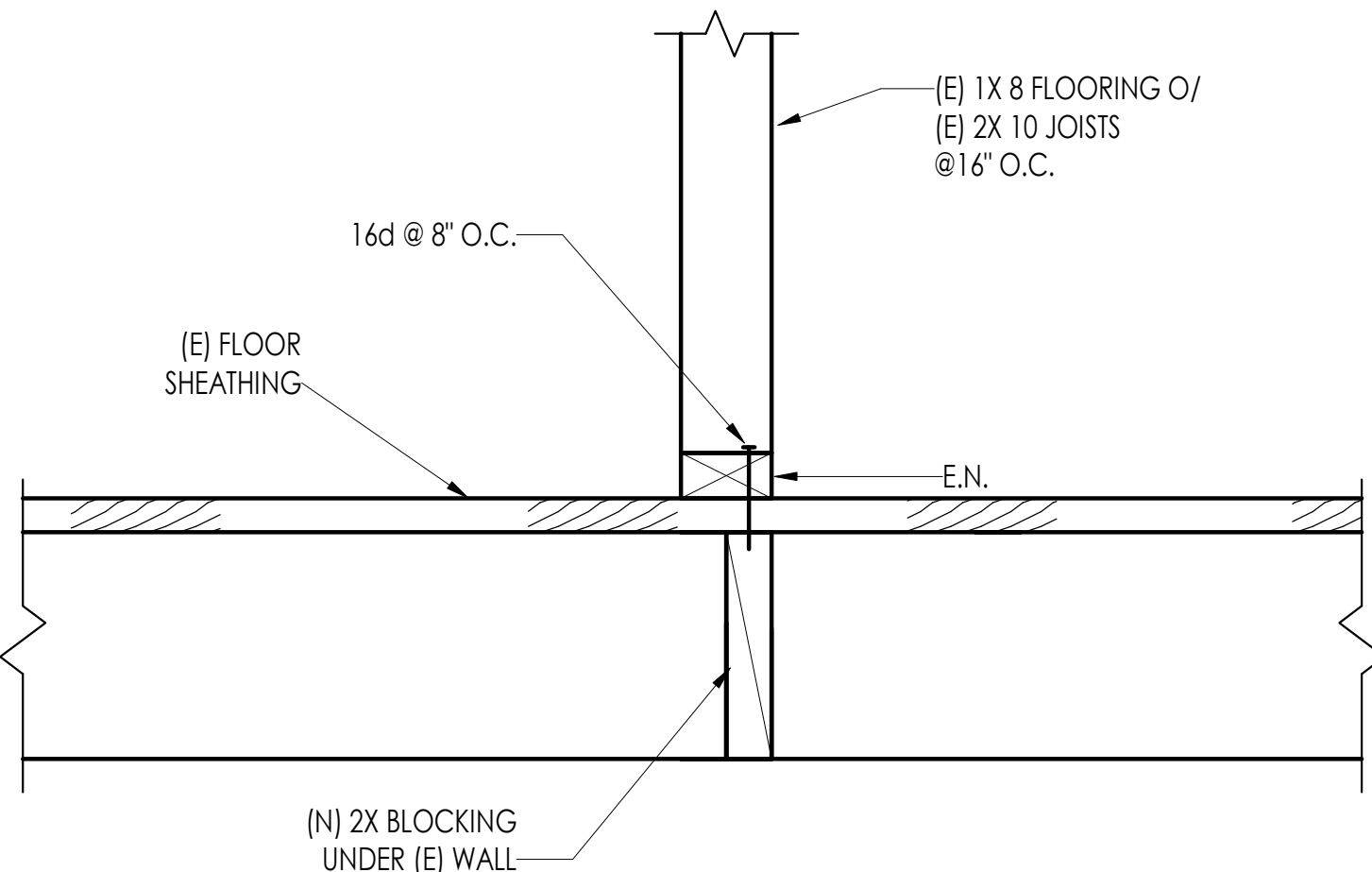
WALL INTERSECTION



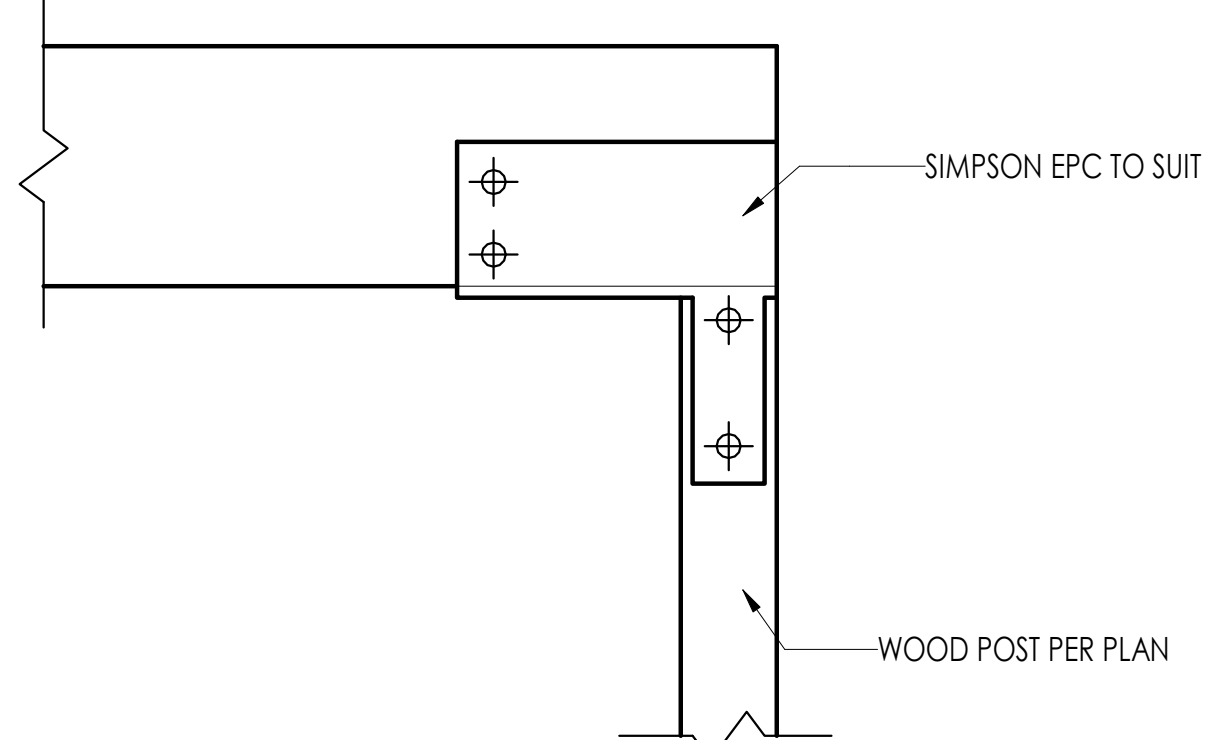
CORNER WALL



2 BEAM HEADER DETAIL  
1 1/2" = 1'-0" |



4 FRAME SECTION I  
1 1/2" = 1'-0" |

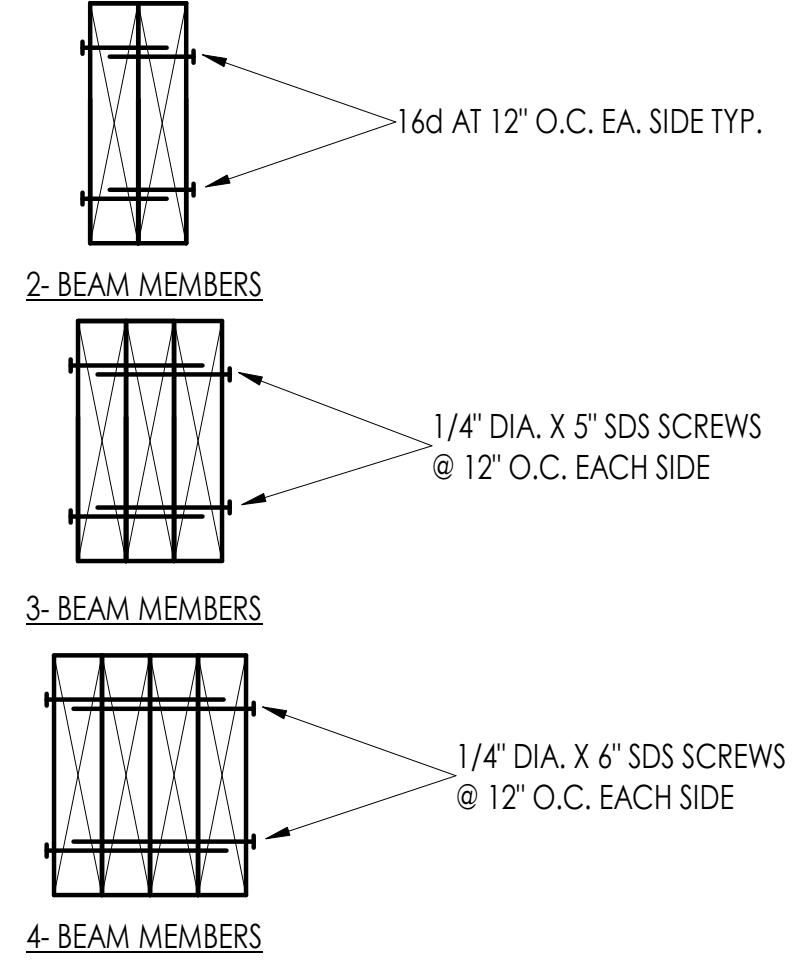


8 POST @ BEAM DETAIL  
1 1/2" = 1'-0" |

TYP JOIST/BEAM HANGER SCHEDULE		
JOIST/BEAM TYPE	HANGER TYPE	
	FACE MOUNT HANGER	TOP FLANGE HANGER
2x/3x SAWN LUMBER	LUS/LU/U	JB/LB/HUTF
4x SAWN LUMBER	LUS/U/HUS	BA/B/HUTF
6x SAWN LUMBER	U/HU	B/HUTF
TJI	IUS/IUT/MIU	ITS/ITT/MIT
LSL, LVL, PSL	HUS/HU	BA/B/HB/LBV
GLULAM	HU	GB/HW

- UNLESS OTHERWISE NOTED ON THE PLANS/DETAILS, THE HANGER SCHEDULE AS SHOWN MAY BE USED.
- HANGERS MANUFACTURED BY SIMPSON OR EQUIVALENT HANGER APPROVED BY ENGINEER.
- INSTALL PER MANUFACTURERS INSTRUCTIONS.
- USE LARGEST DEPTH HANGER FOR MEMBER SIZE. USE MAX SPECIFIED NAILING.

5 HANGER SCHEDULE1  
3/4" = 1'-0" |



9 SHEAR WALLS-D3 MULTI MEMBERS MIN CONNECTION  
1 1/2" = 1'-0" |



Michael and Mindy  
Whittington

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APN:073-273-04

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2	TOWN COUNCIL	03/02/23
1	CITY COMMENTS REV 1	01/11/23

Rev	Description	Date
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41 Poplar Kitchen  
Remodel

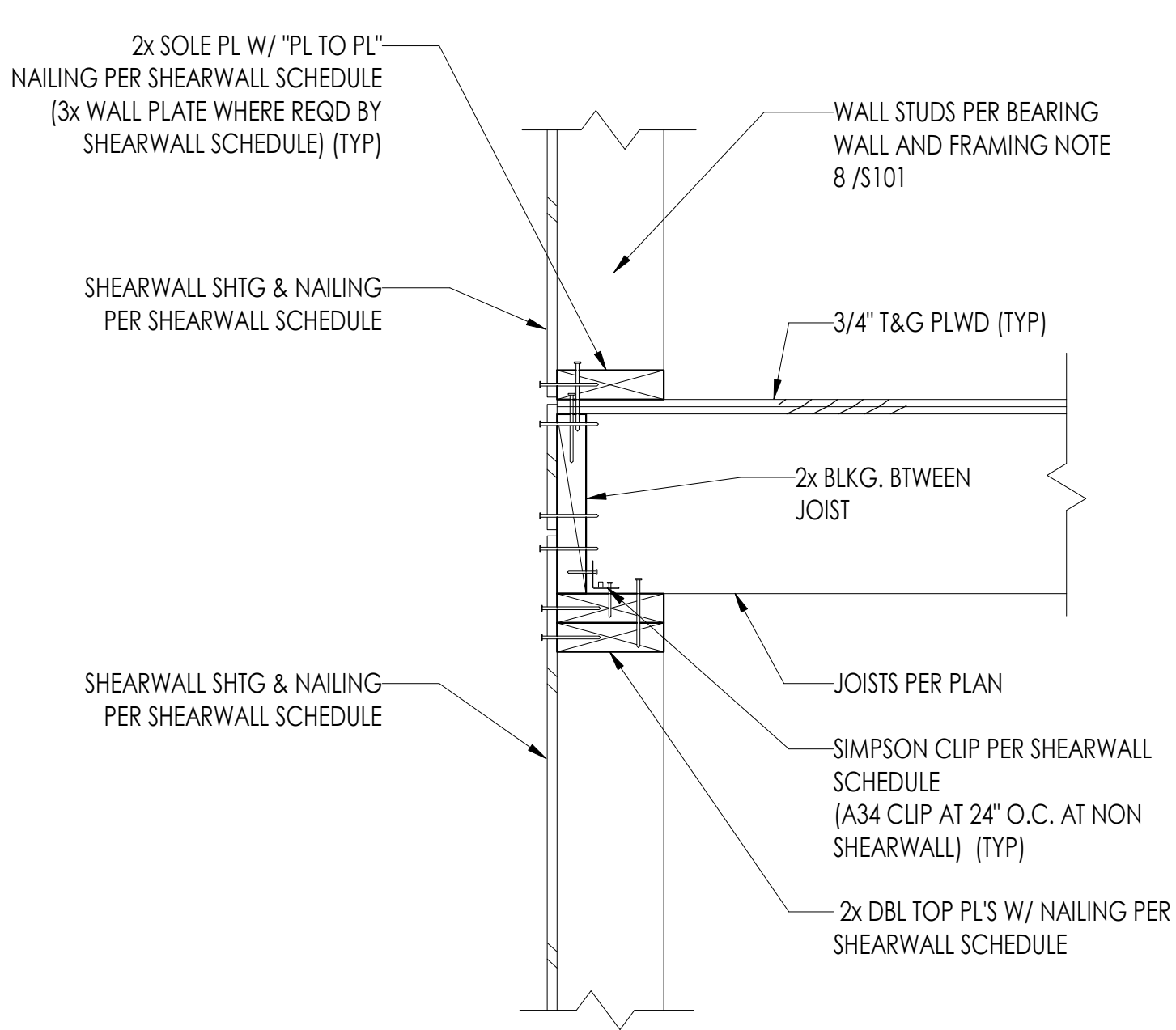
Date: 02/03/23

Scale: As Noted

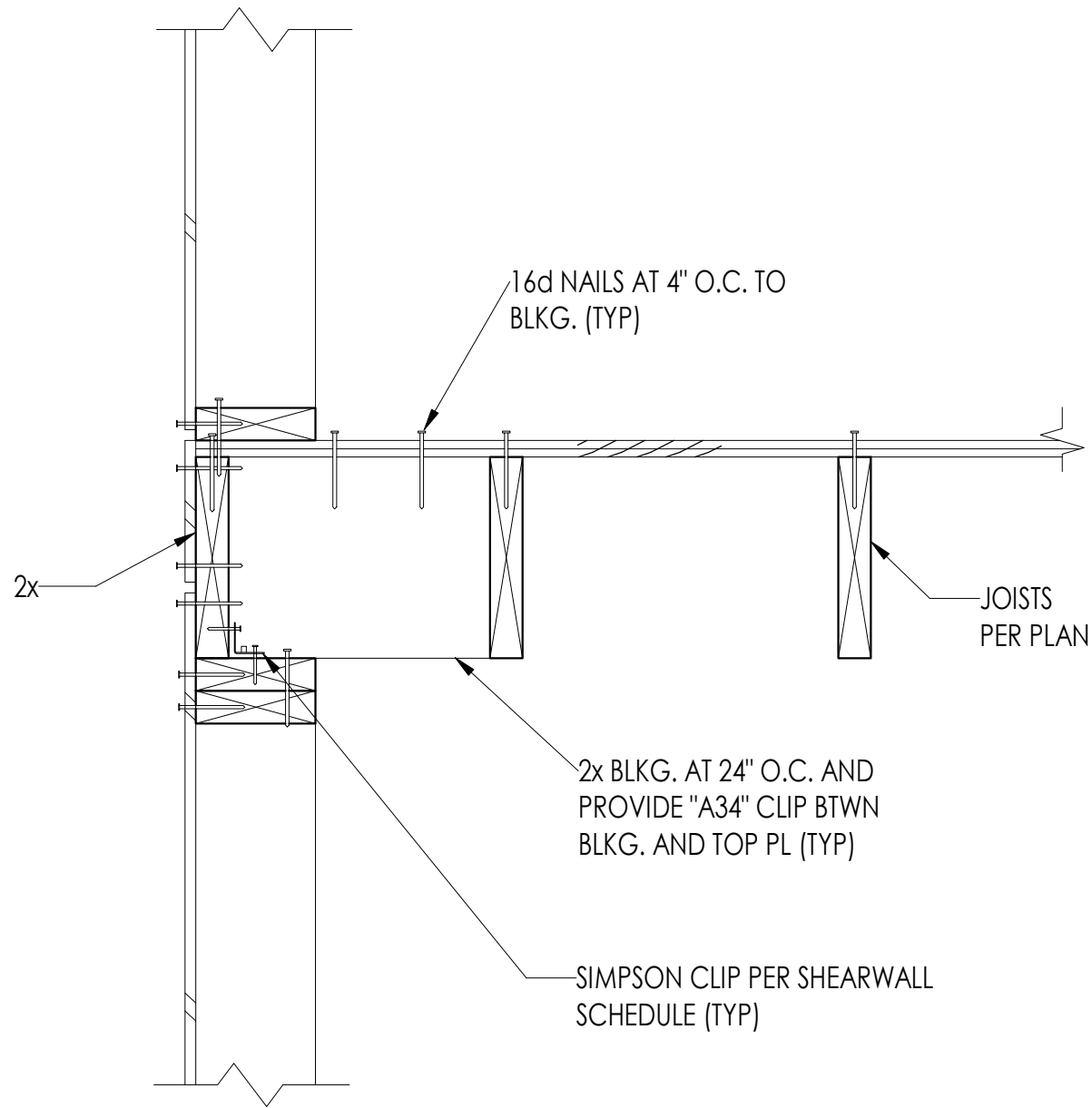
Sheet Title

TYPICAL FRAMING DETAILS

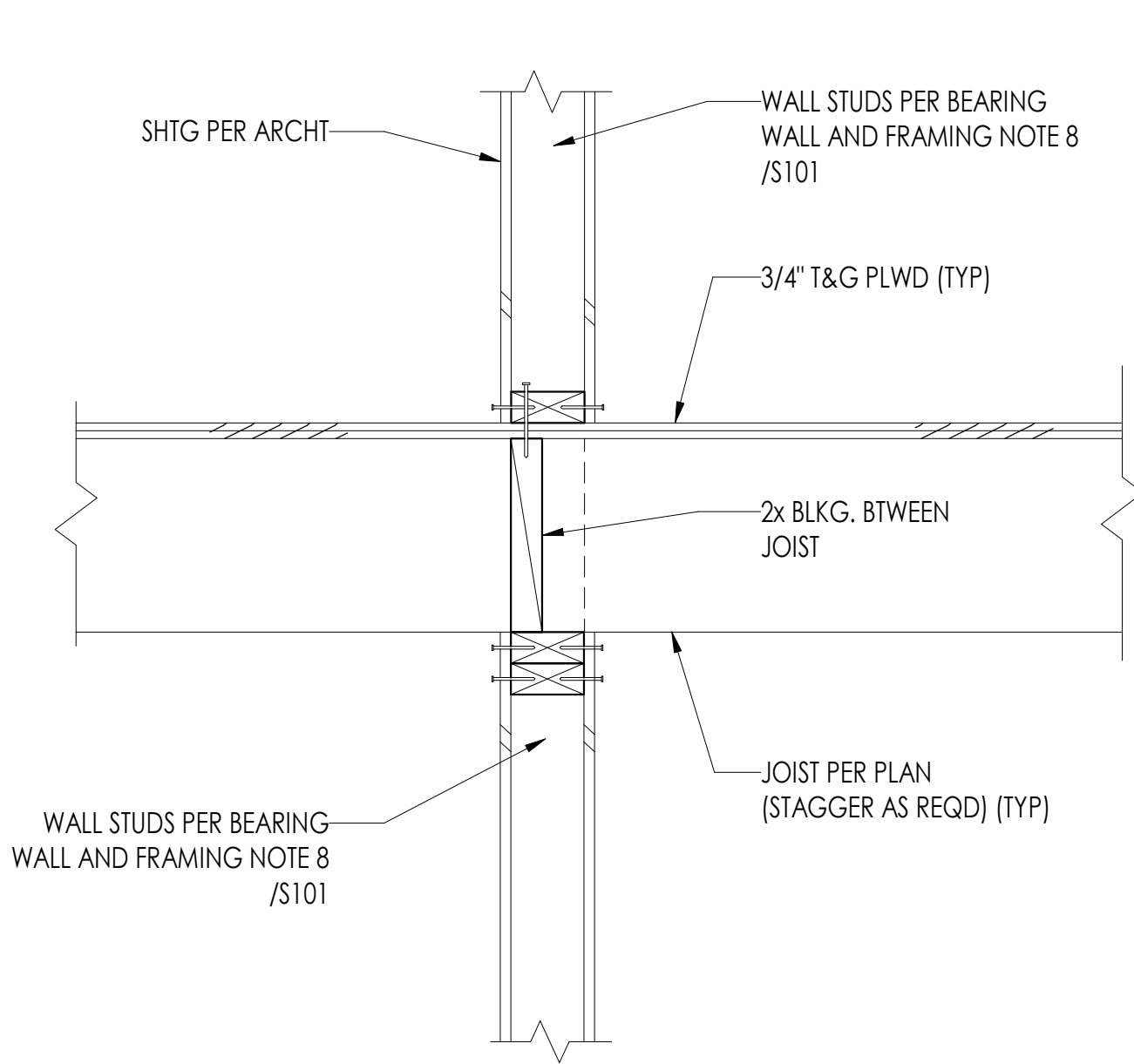




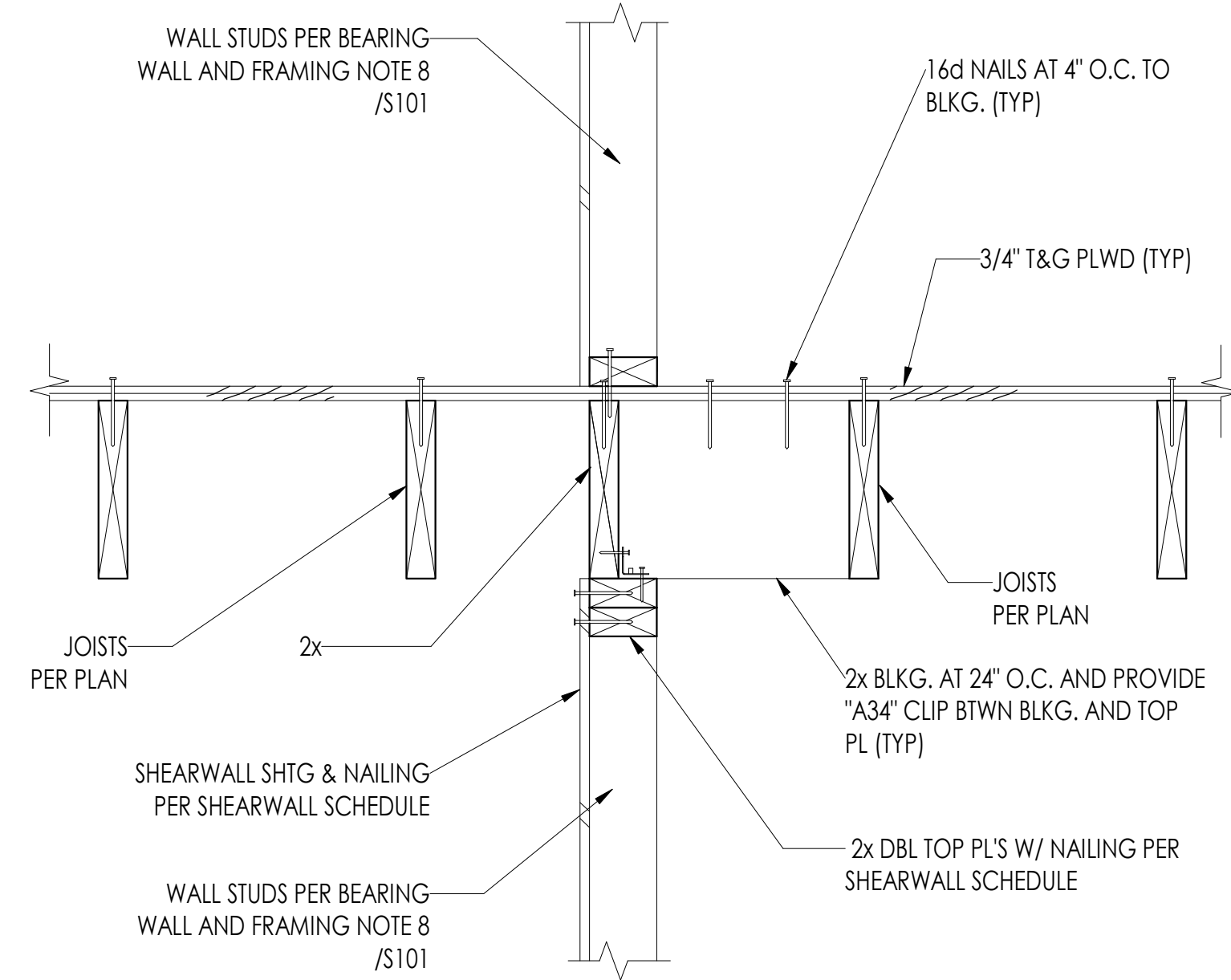
**1** EXTERIOR FRAMING PERPENDICULAR SECTION  
1 1/2" = 1'-0"



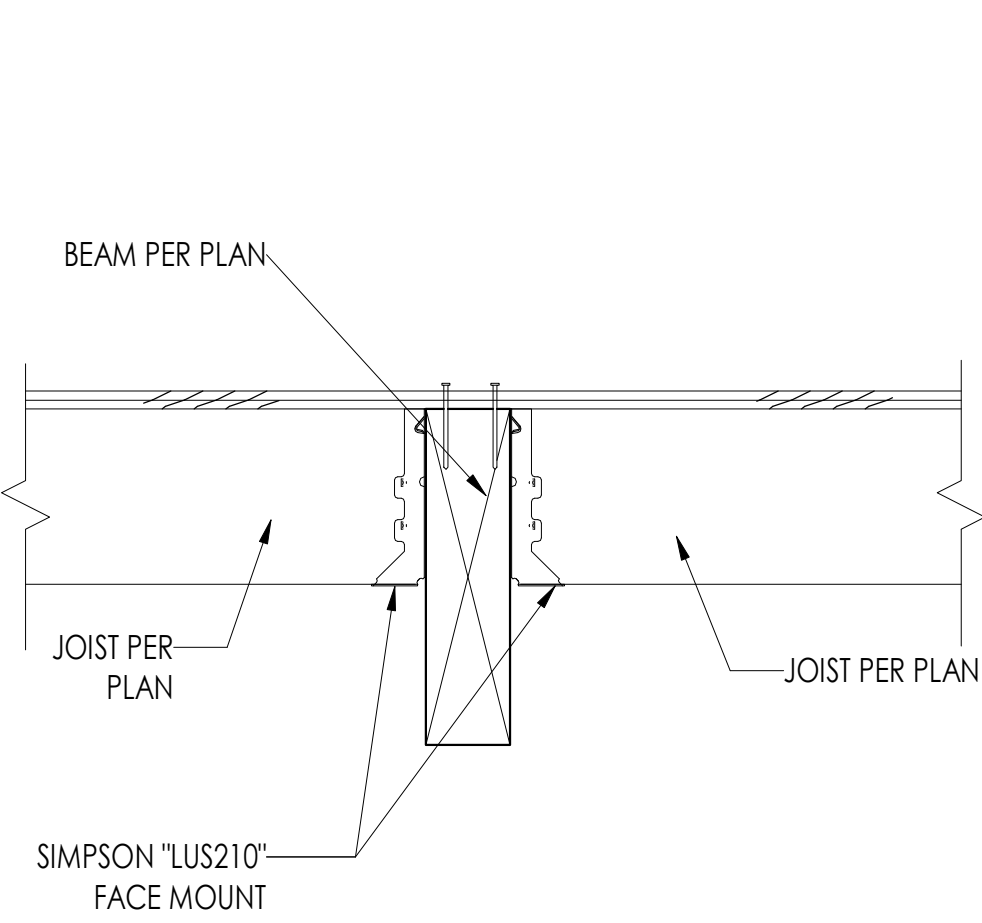
**2** EXTERIOR FRAMING PARALLER SECTION  
1 1/2" = 1'-0"



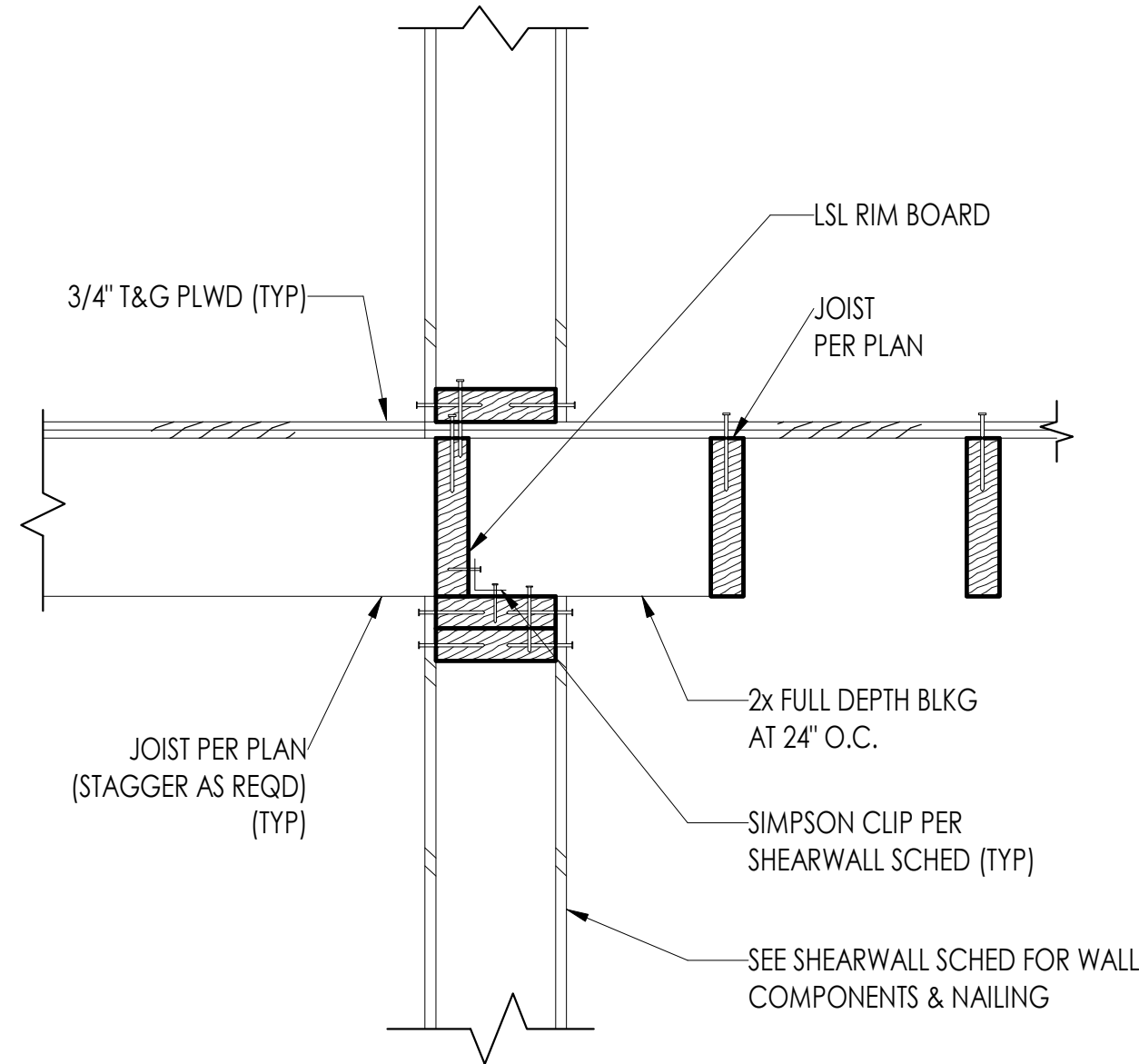
**3** INTERIOR FRAMING PERPENDICULAR SECTION  
1 1/2" = 1'-0"



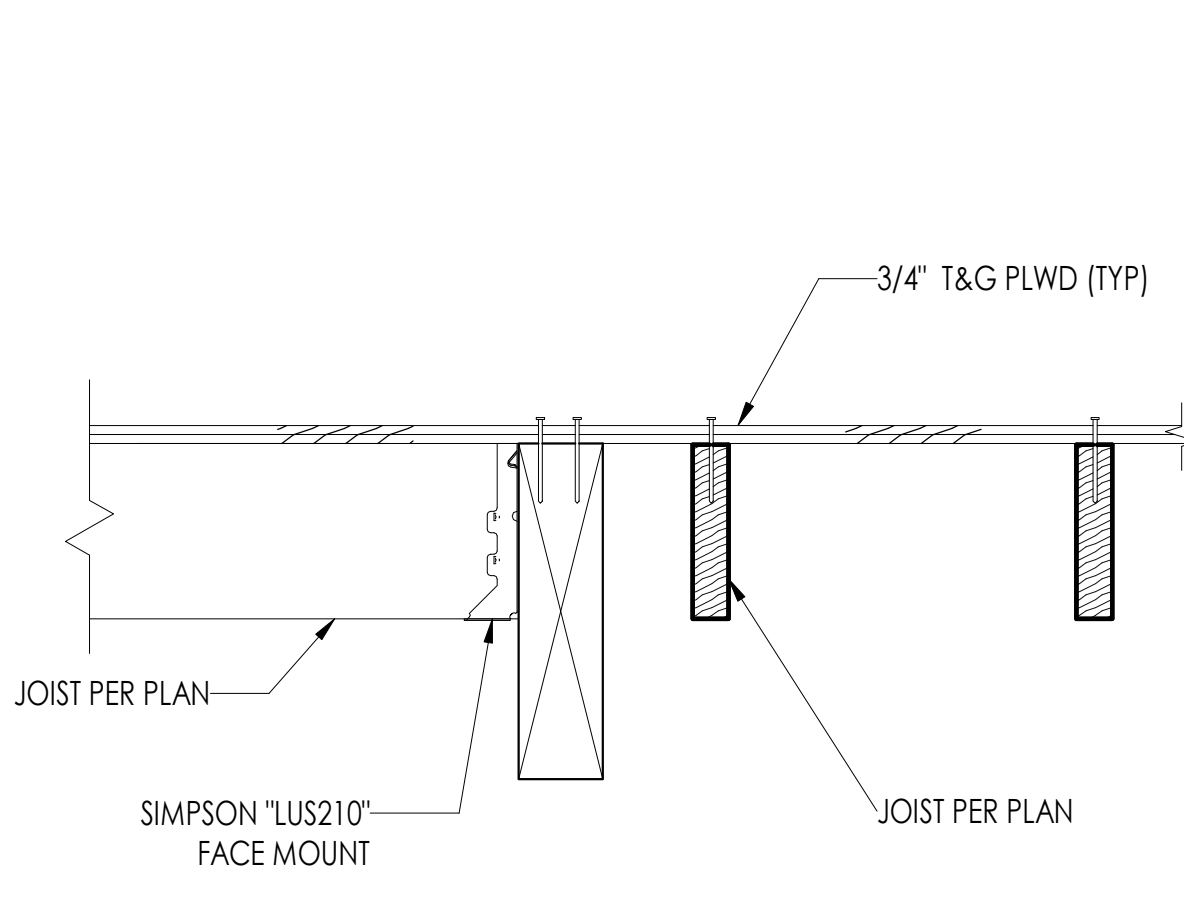
**4** TYP. INTERIOR FRAMING PARALLER SECTION  
1 1/2" = 1'-0"



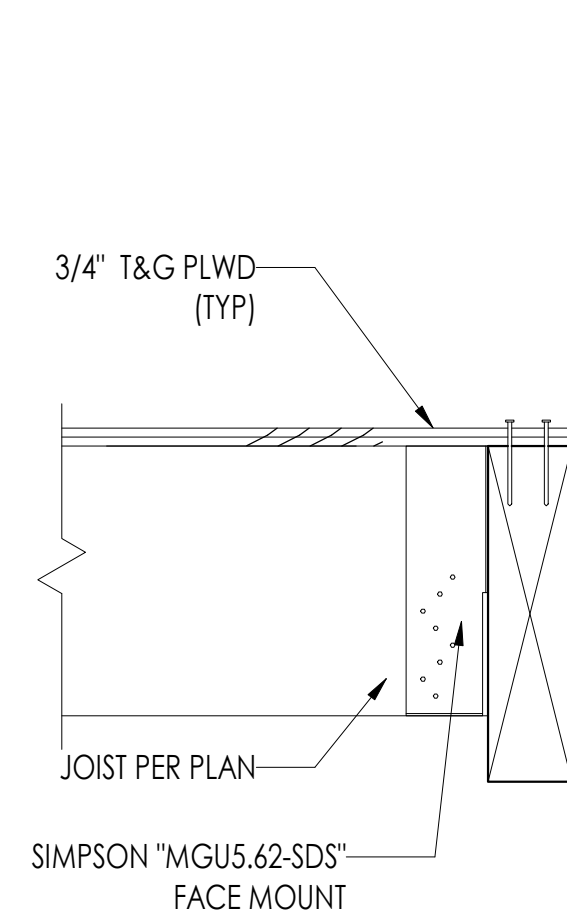
**5** JOIST TO BEAM DETAIL SAME SPAN DIRECTION  
1 1/2" = 1'-0"



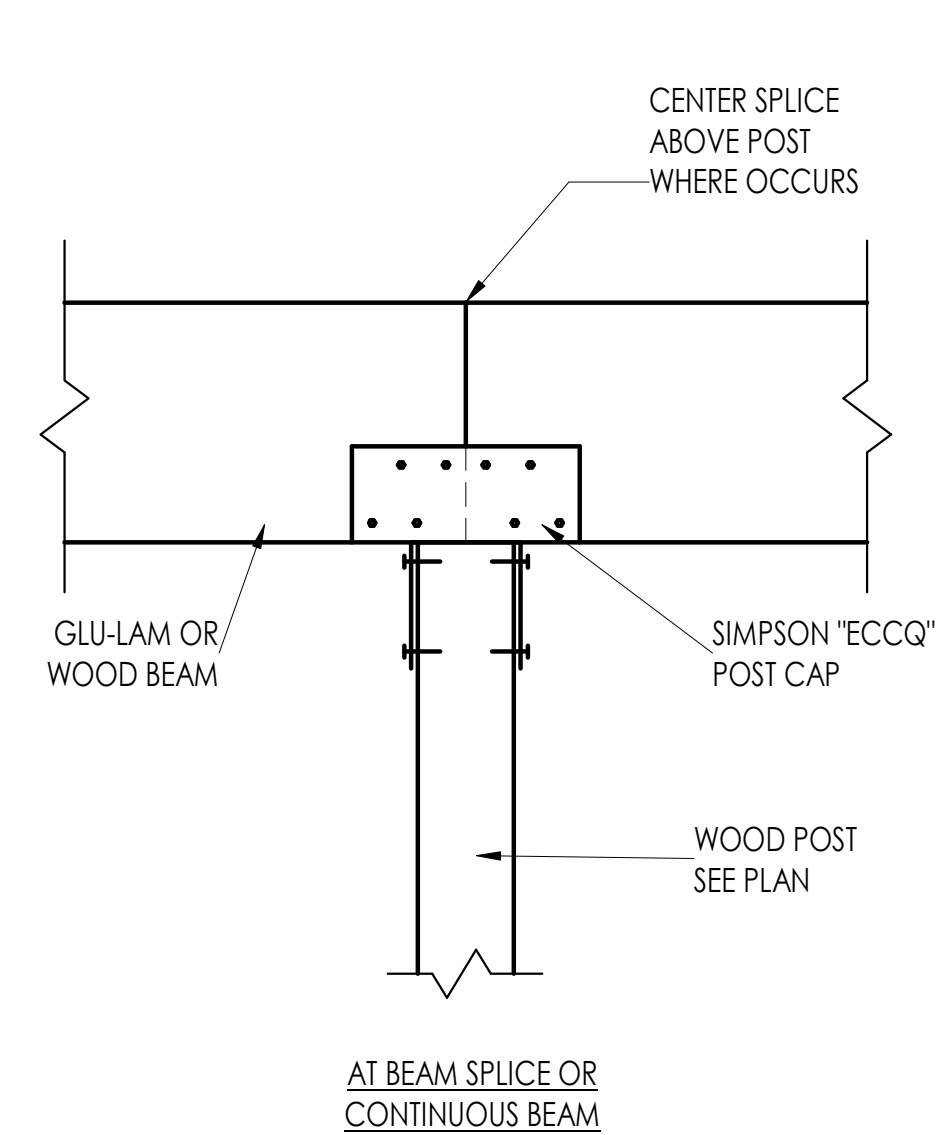
**11** SHEAR WALL FRAMING WITH SPAN DIRECTION CHANGE  
1 1/2" = 1'-0"



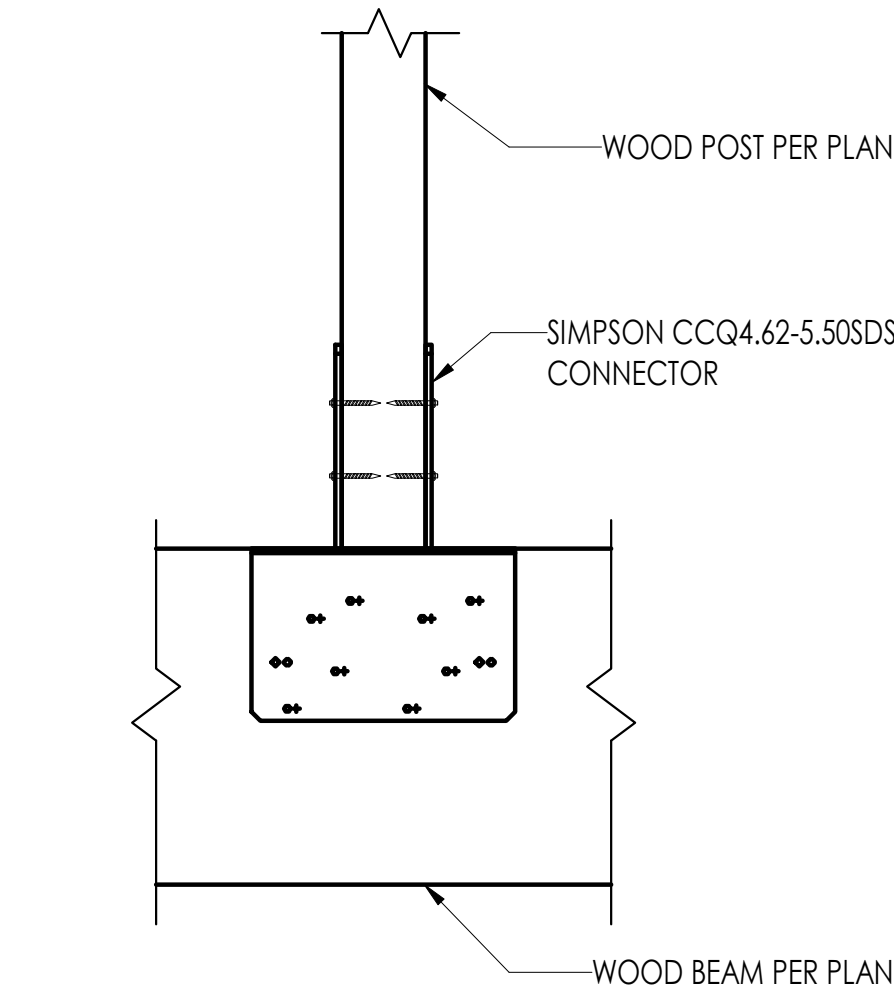
**10** JOIST @ BEAM DETAIL W/ SPAN DIRECTION CHANGE  
1 1/2" = 1'-0"



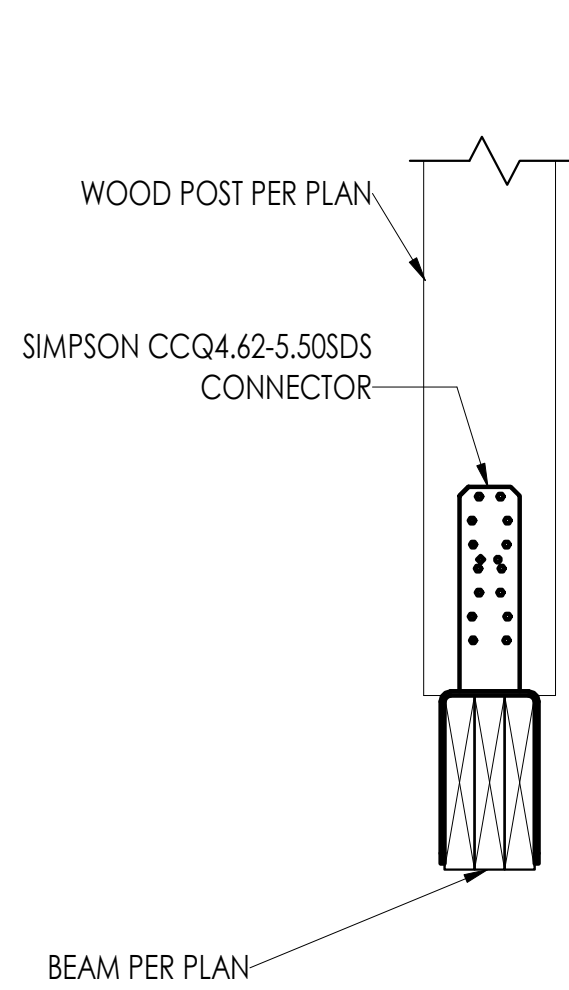
**13** JOIST @ BEM DETAIL  
1 1/2" = 1'-0"



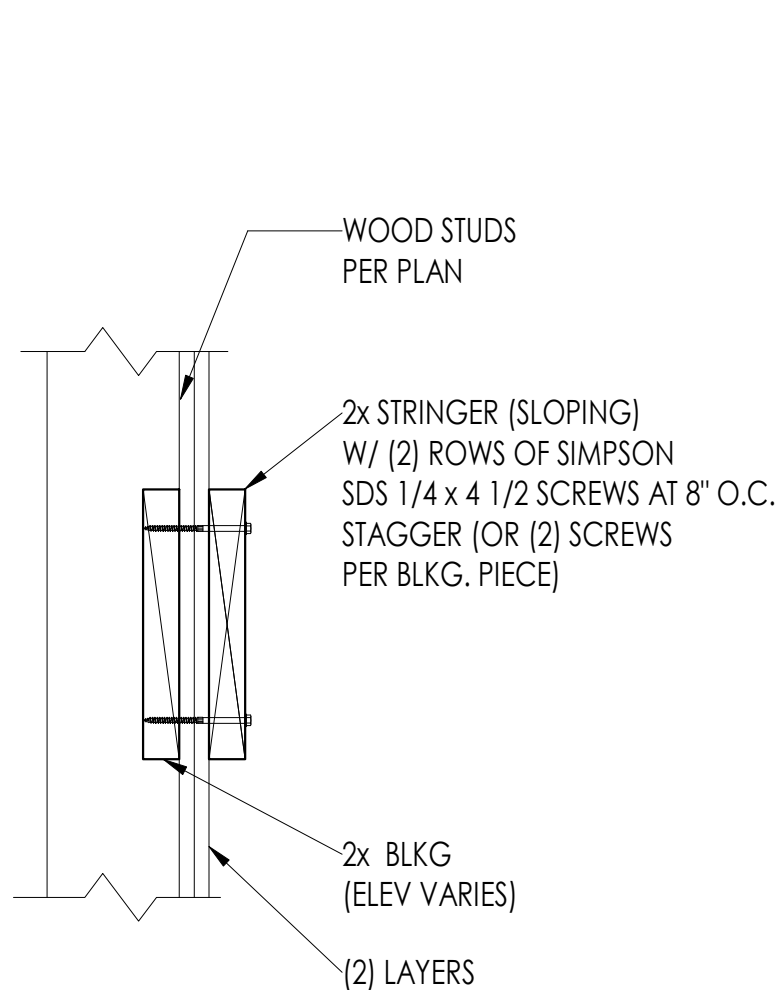
**6** WOOD BEAM @ WOOD POST DETAIL  
1 1/2" = 1'-0"



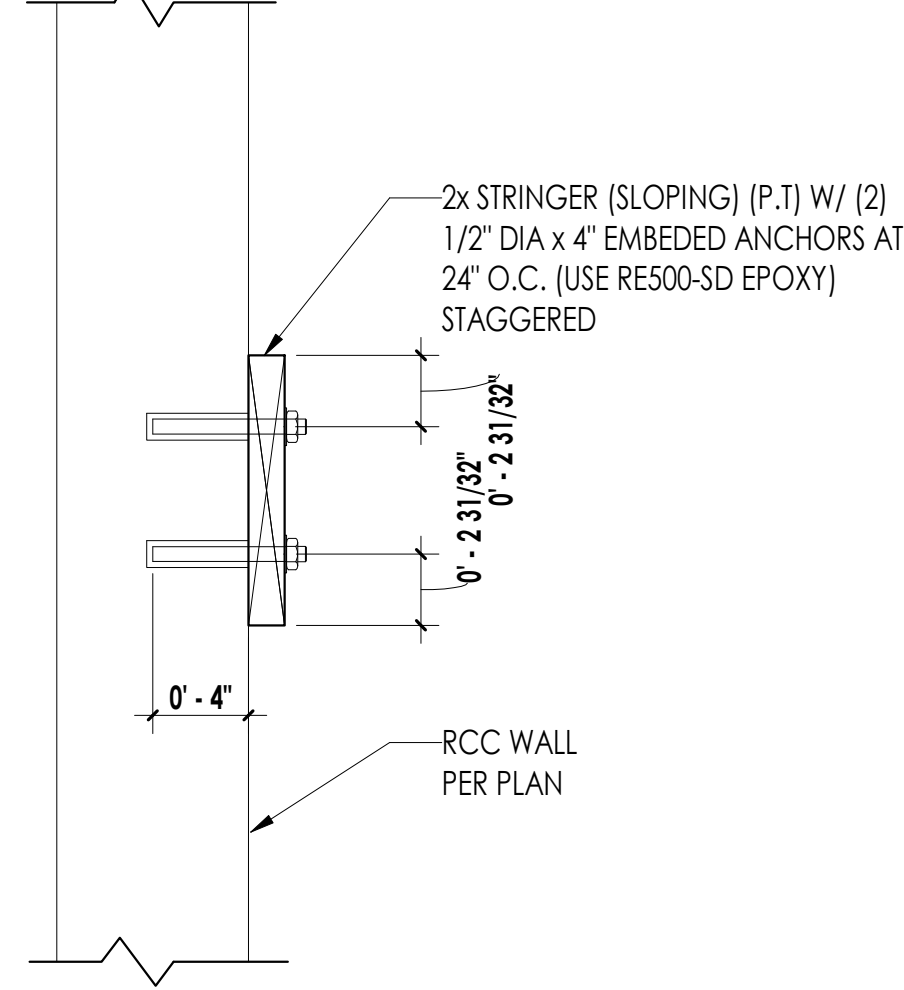
**7** POST @ BEAM DETAIL  
1 1/2" = 1'-0"



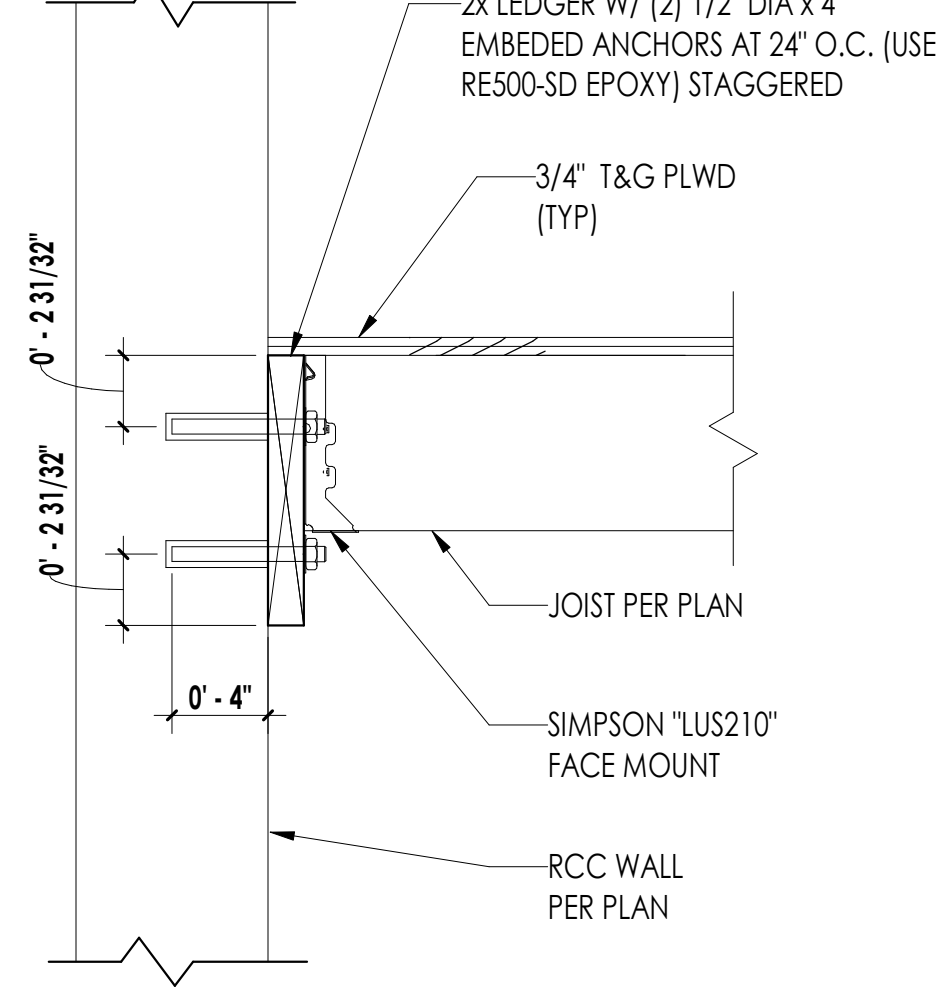
**12** POST @ BEAM DETAIL  
1 1/2" = 1'-0"



**8** STRINGER @ FRAMED WALL DETAIL  
1 1/2" = 1'-0"



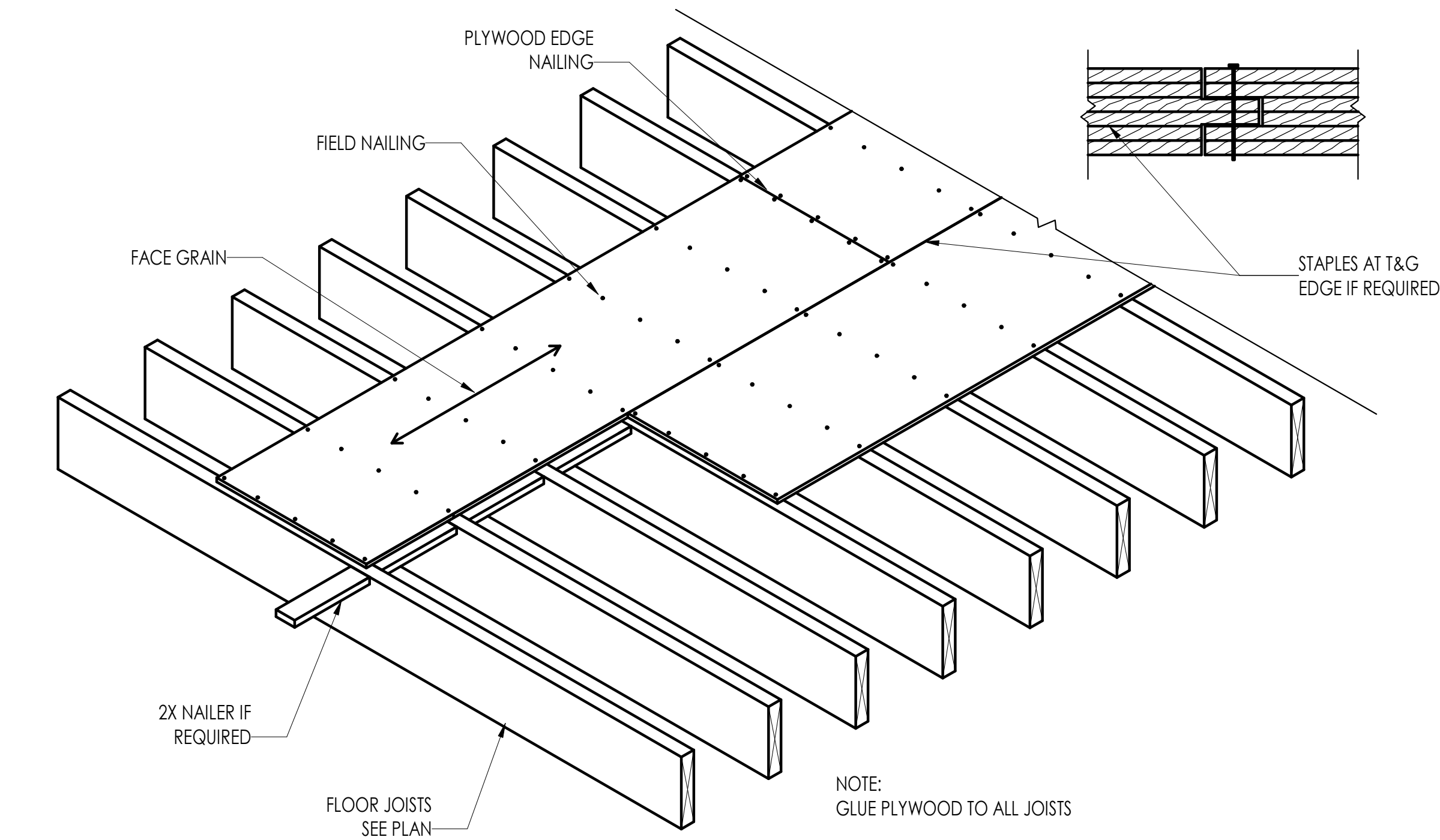
**9** STRINGER @ CONCRETE WALL DETAIL  
1 1/2" = 1'-0"



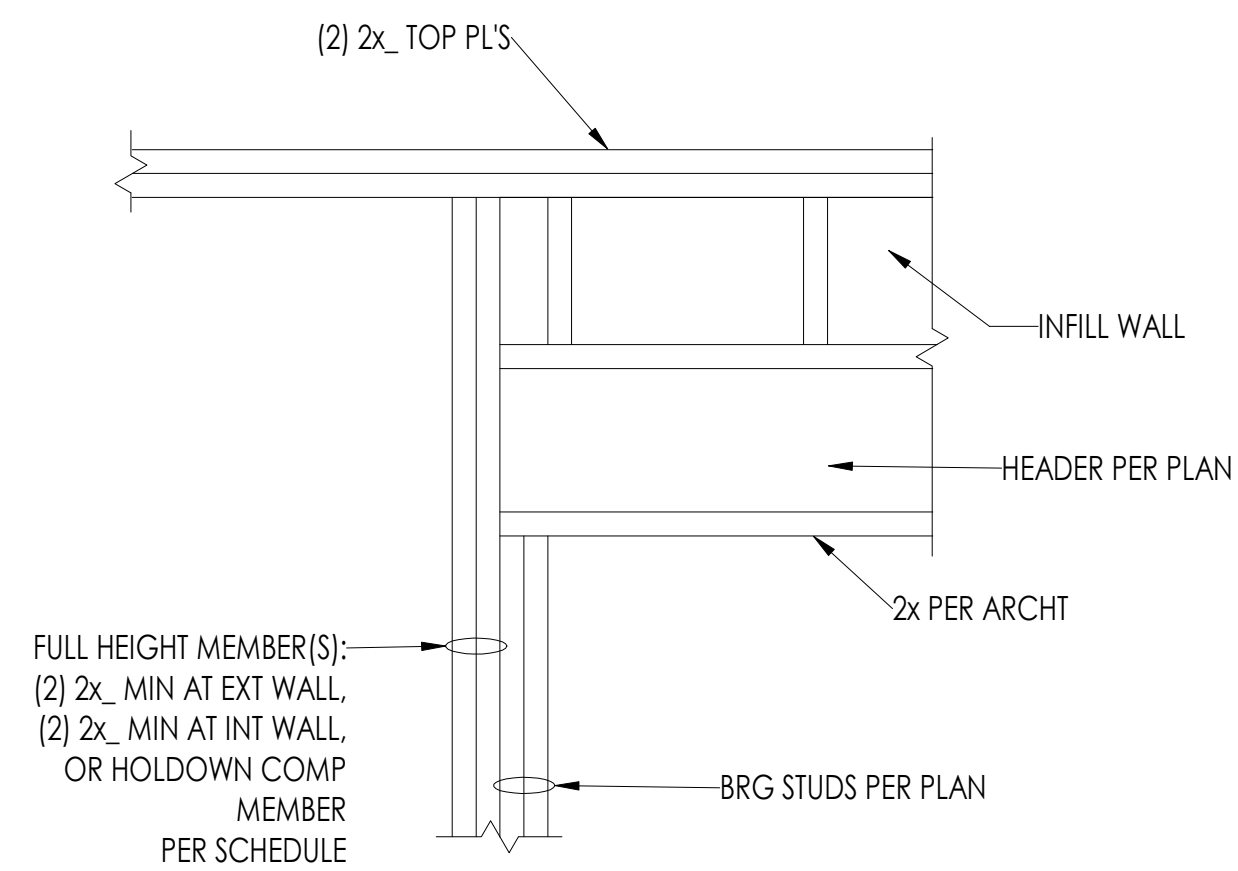
**14** JOIST @ CONCRETE WALL DETAIL  
1 1/2" = 1'-0"



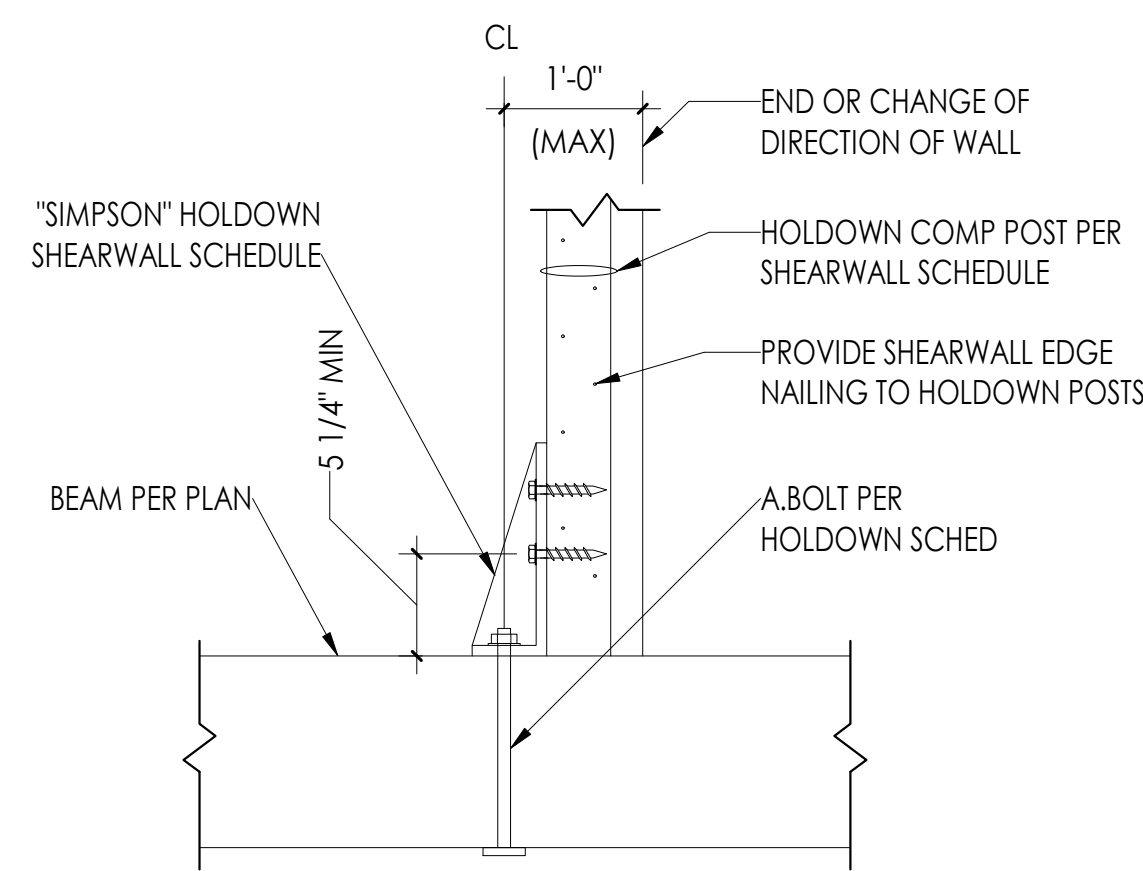




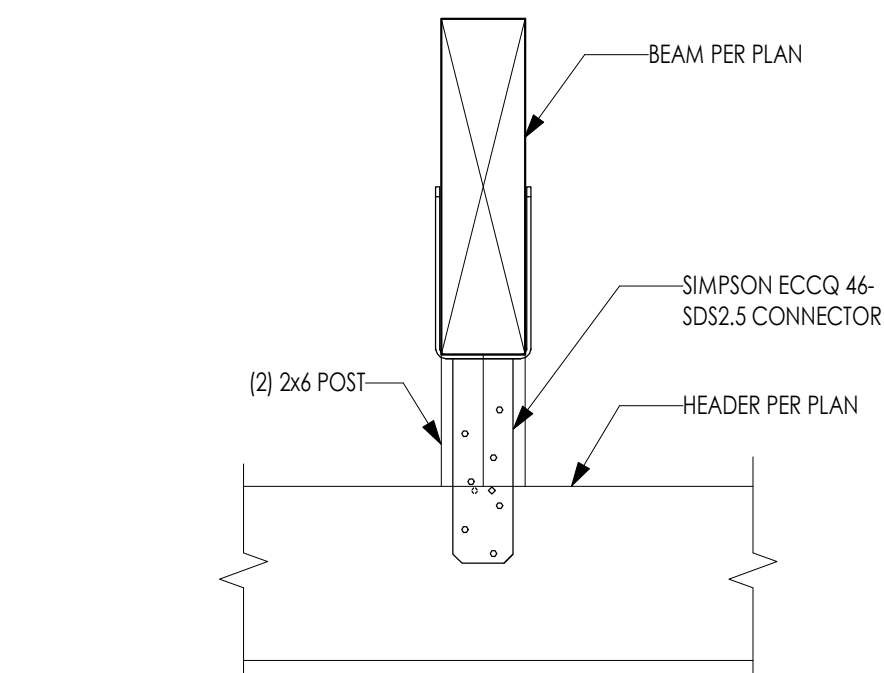
1 FLOOR PLYWOOD NAILING DETAIL  
3/4" = 1'-0"



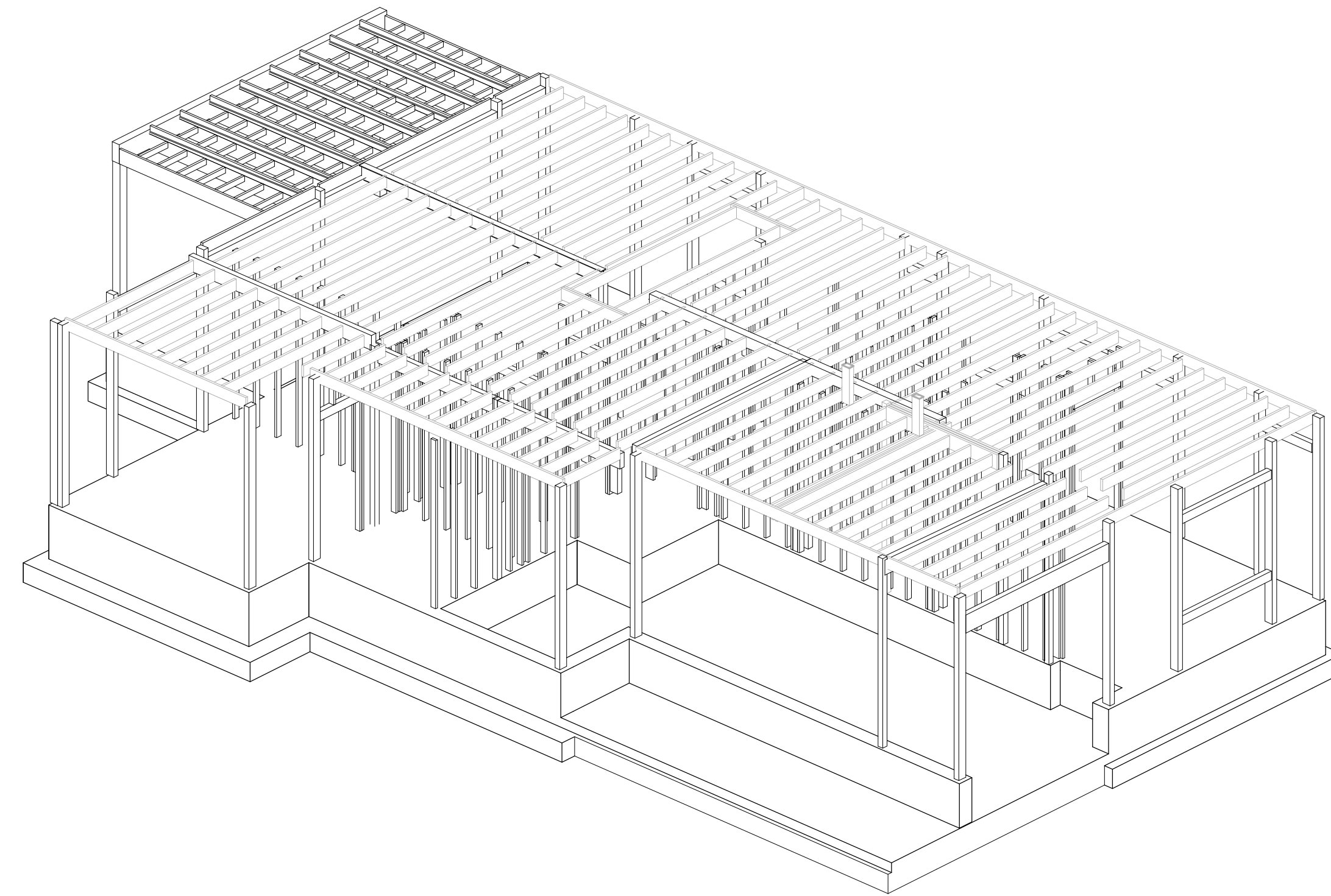
2 HEADER SUPPORT DETAIL  
1" = 1'-0"



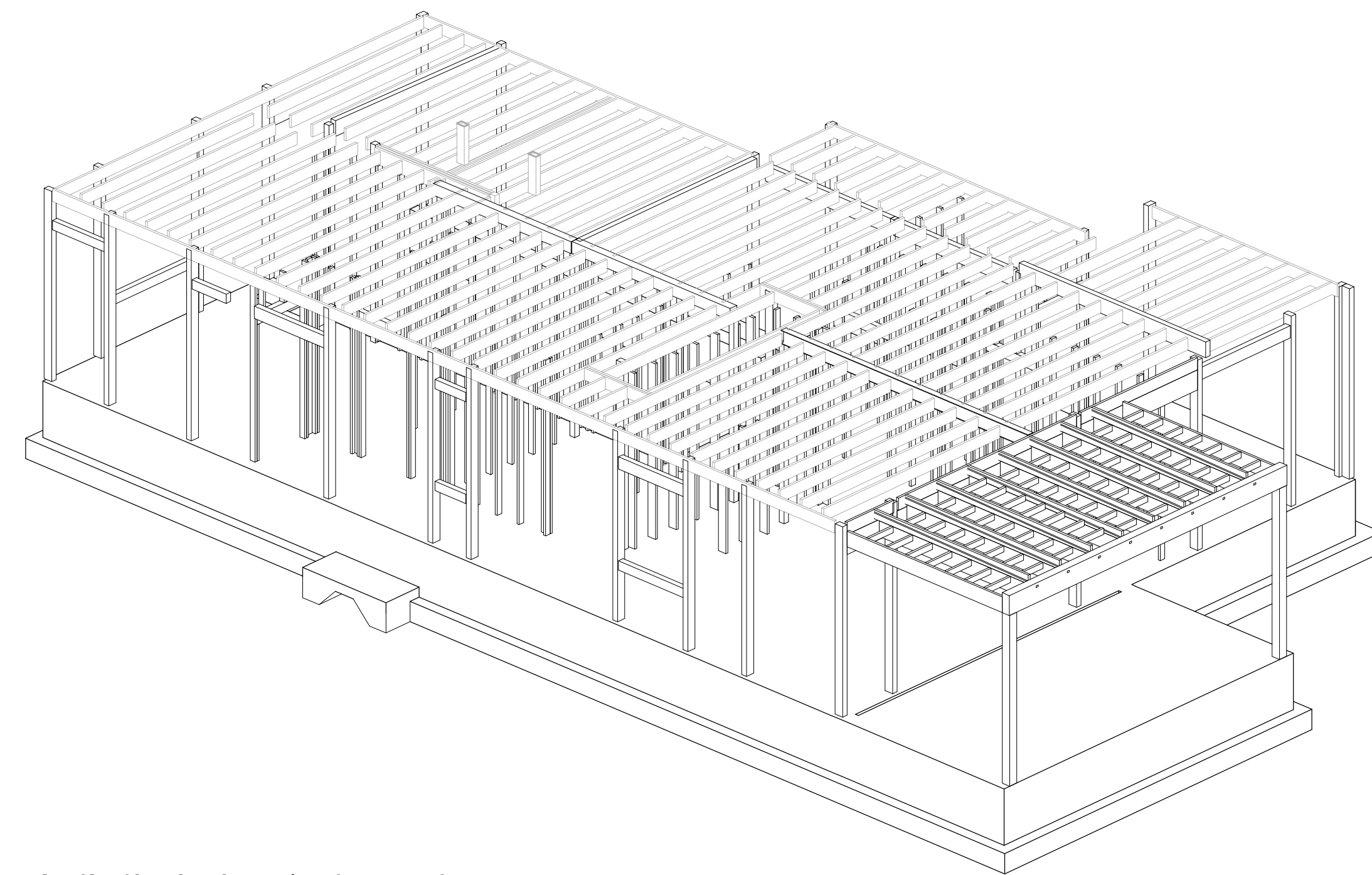
3 SECTION  
1" = 1'-0"



4 SECTION  
1 1/2" = 1'-0"



5 PER - (PH2) - Structural Framing 3D Axo - 1



6 PER - (PH2) - Structural Framing 3D Axo - 2



Michael and Mindy  
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APN:073-273-04

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2 TOWN COUNCIL 03/02/23

1 CITY COMMENTS REV 1 01/11/23

Rev Description Date

41 Poplar Kitchen  
Remodel

Date: 02/03/23

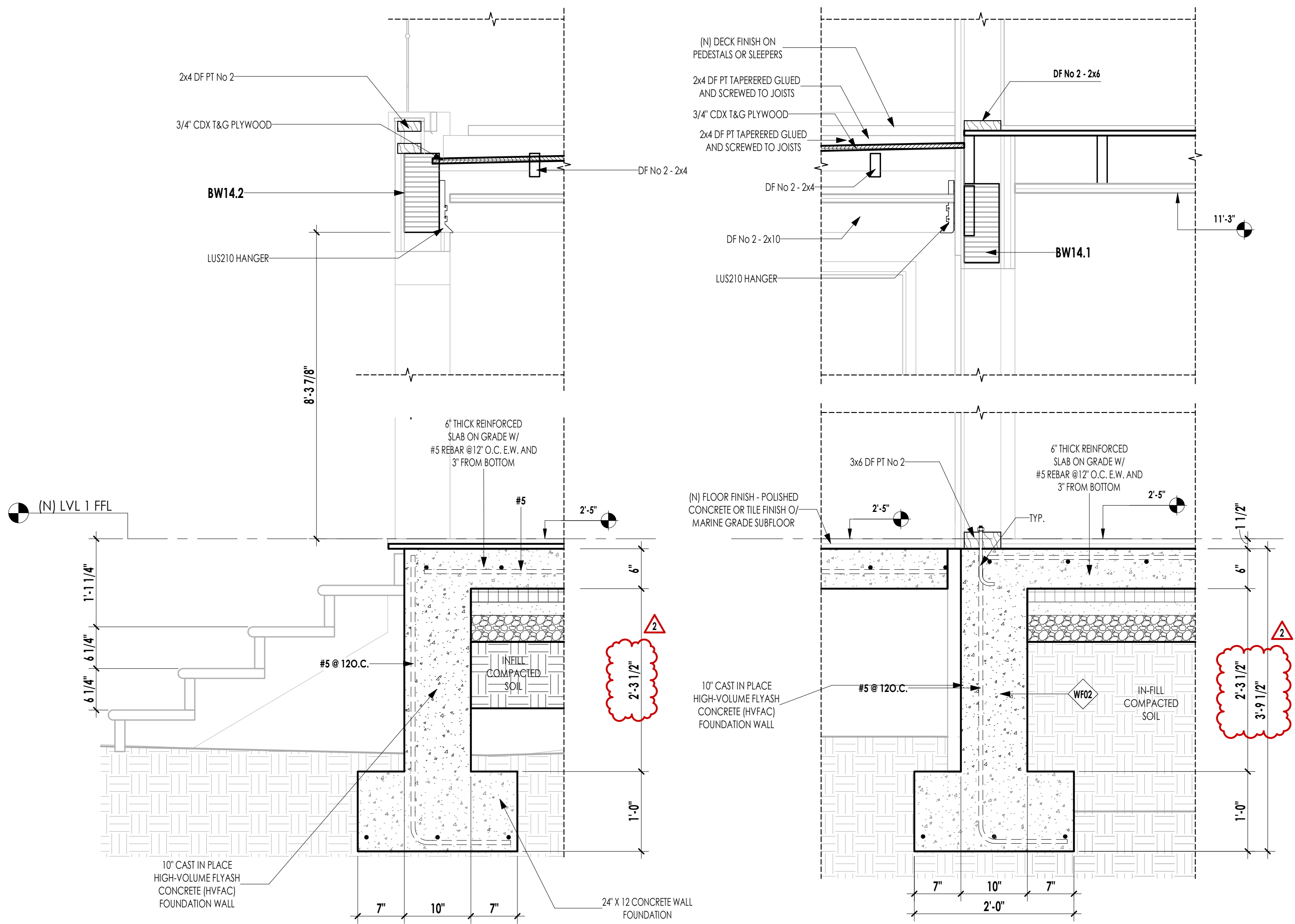
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Sheet Title

FLOOR FRAMING DETAILS

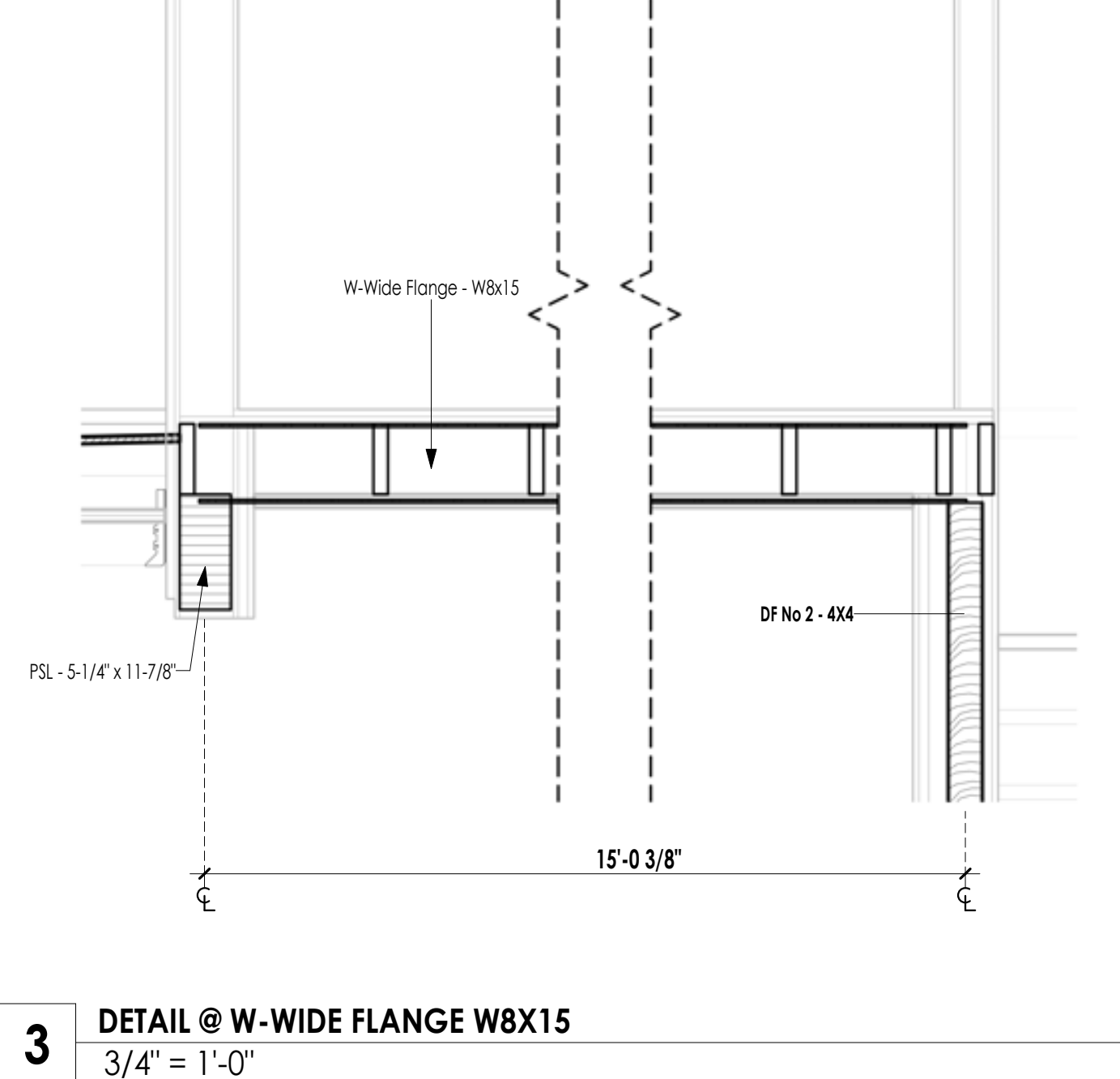
S-544



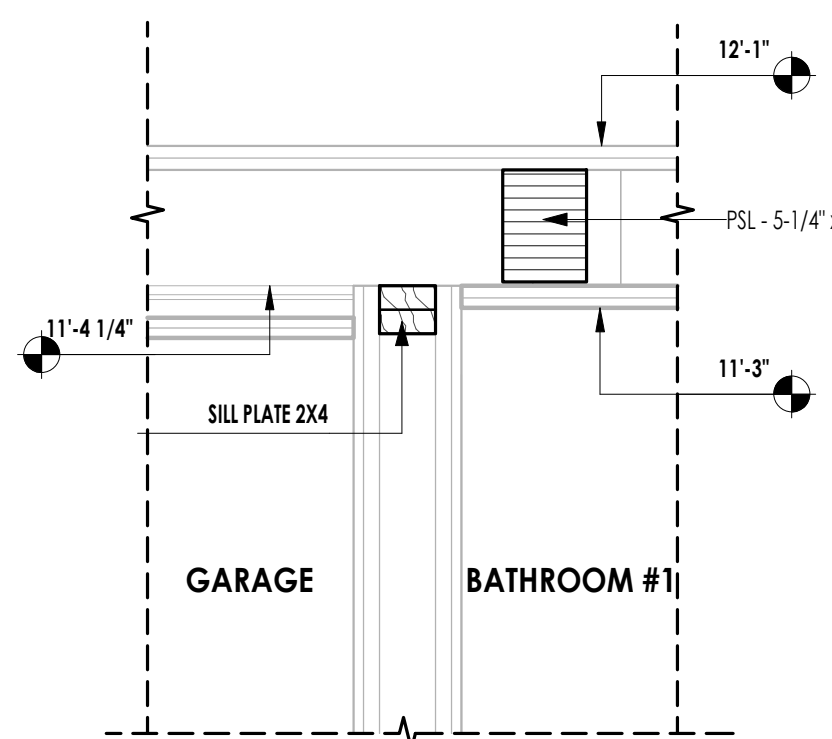


**1** PORCH FRAMING DETAIL 1  
1" = 1'-0" | (REF: S-341 / 1)

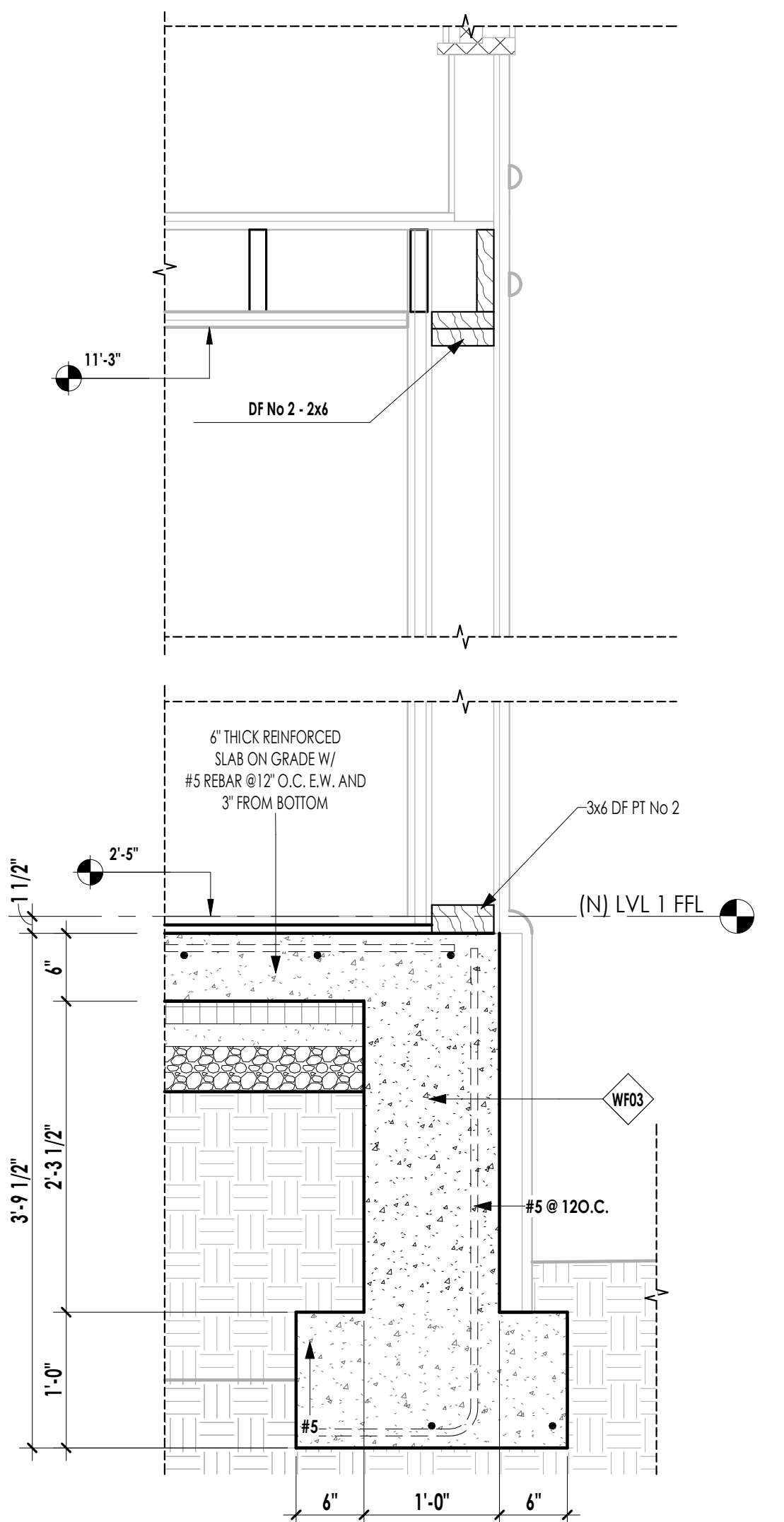
**2** PORCH FRAMING DETAIL 2  
1" = 1'-0" | (REF: S-341 / 1)



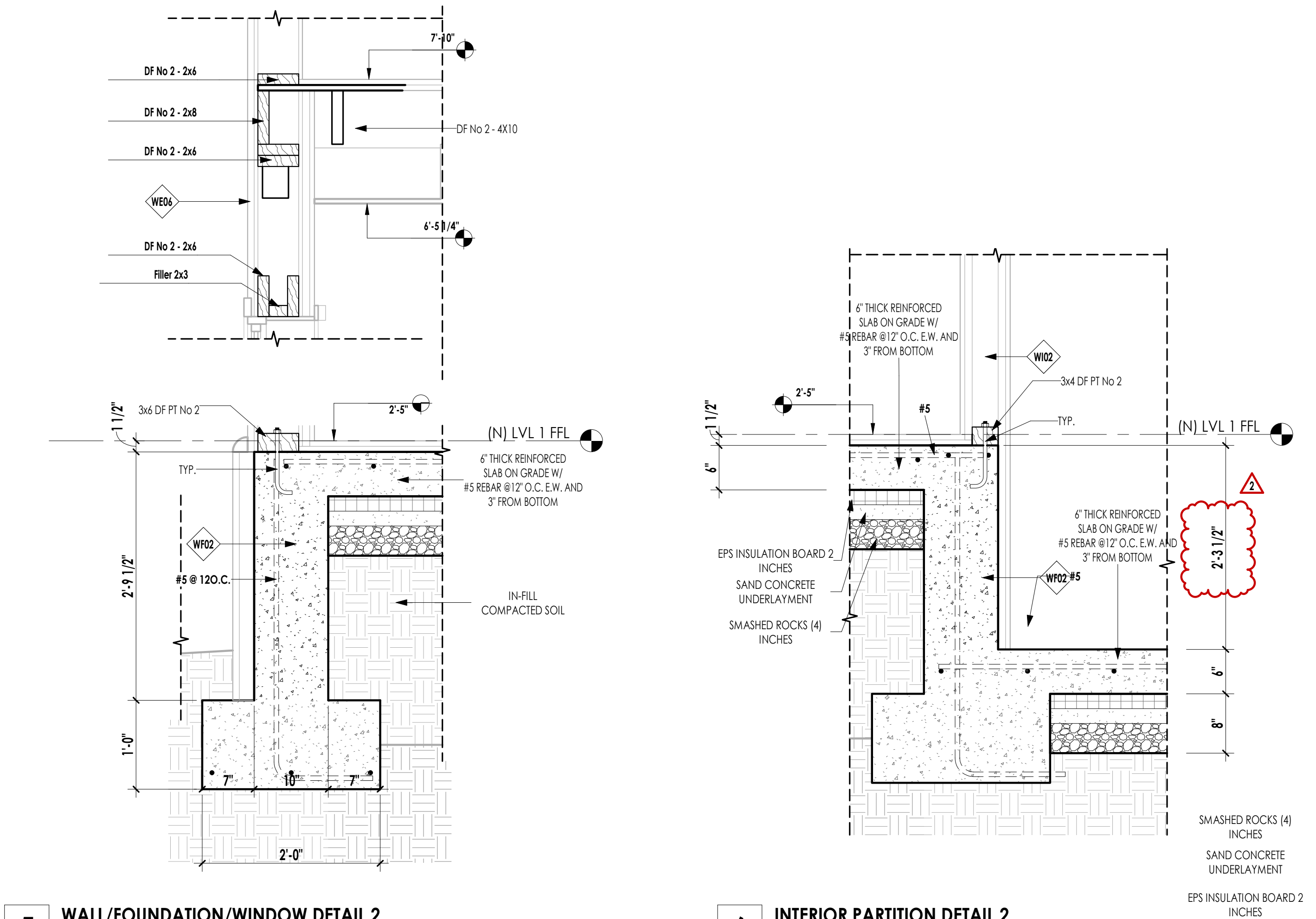
**3** DETAIL @ W-WIDE FLANGE W8x15  
3/4" = 1'-0"



**8** INTERIOR PARTITION DETAIL 3  
1" = 1'-0" | (REF: S-341 / 3)

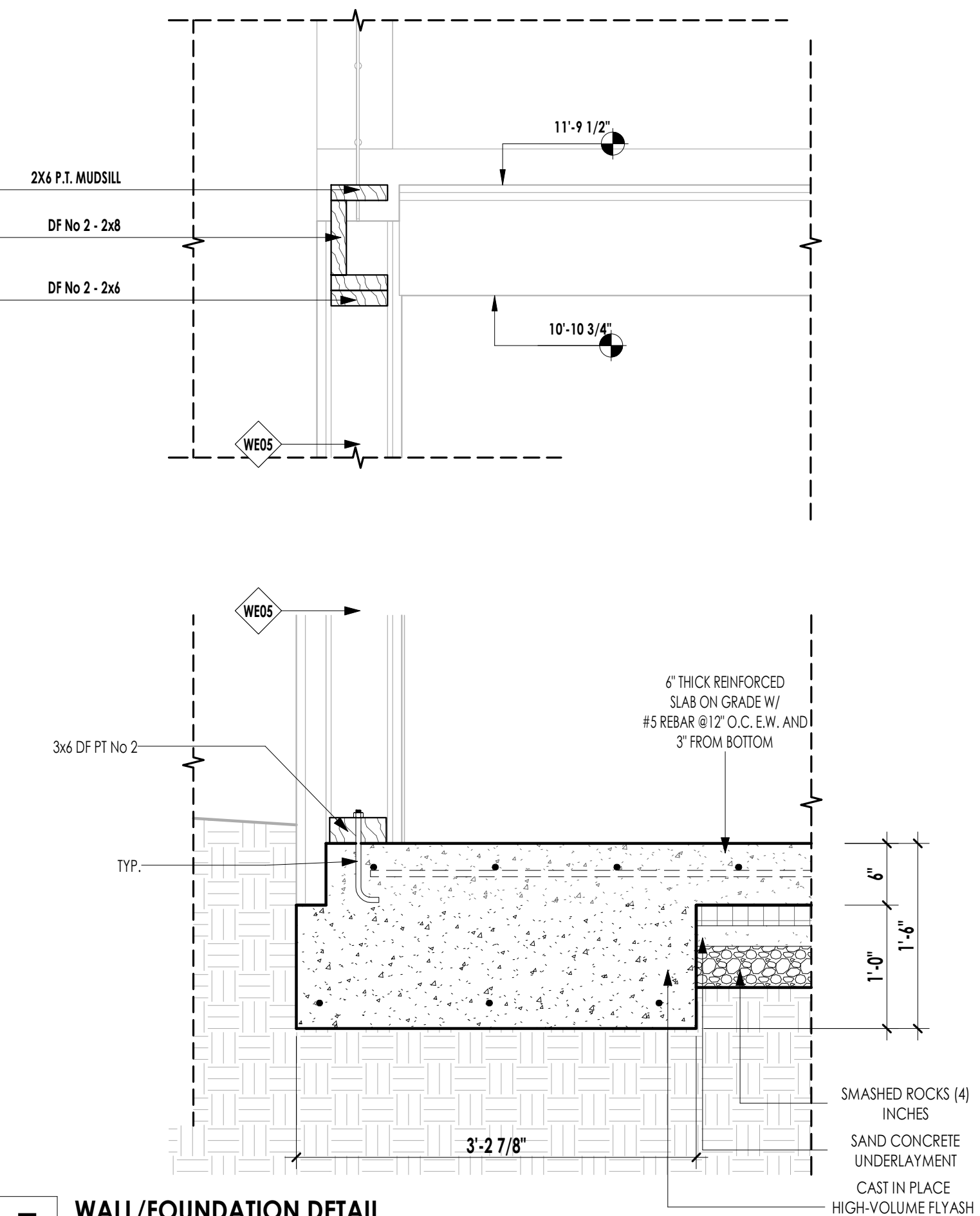


**4** WALL/FOUNDATION/WINDOW DETAIL  
1" = 1'-0" | (REF: S-341 / 1)

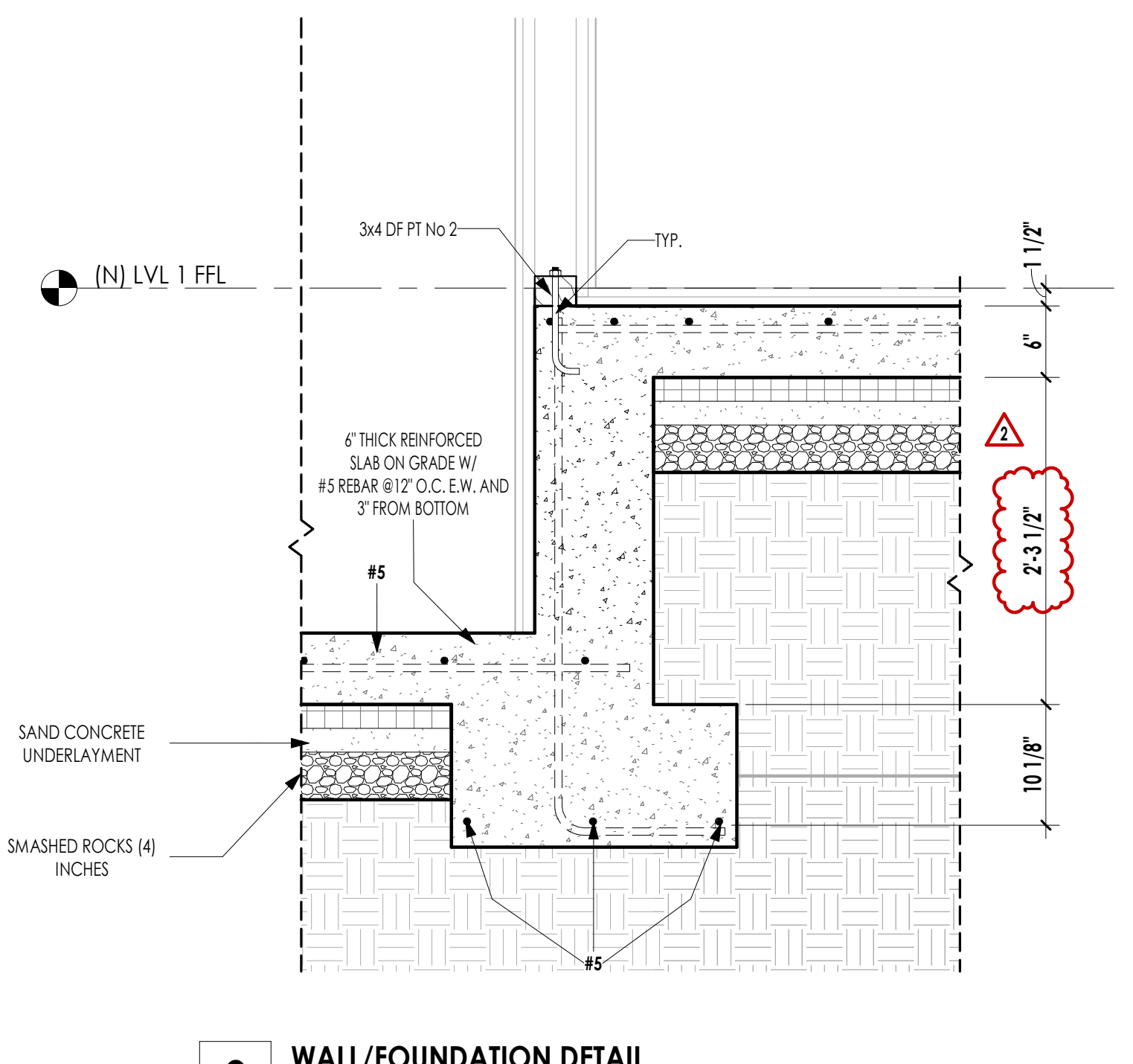


**5** WALL/FOUNDATION/WINDOW DETAIL 2  
1" = 1'-0" | (REF: S-341 / 2)

**6** INTERIOR PARTITION DETAIL 2  
1" = 1'-0" | (REF: S-341 / 2)



**7** WALL/FOUNDATION DETAIL  
1" = 1'-0" | (REF: S-341 / 3)



**9** WALL/FOUNDATION DETAIL  
1" = 1'-0" | (REF: S-341 / 3)



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2	TOWN COUNCIL	03/02/23
1	CITY COMMENTS REV 1	01/11/23

Rev	Description	Date
-----	-------------	------

41 Poplar Kitchen  
Remodel

Date: 02/03/23

Scale: As Noted

Sheet Title

STRUCTURAL DETAILS

S-545



CERTIFICATE OF COMPLIANCE										CF1R-PRF-01E									
Project Name: 41 Poplar addition										Calculation Date/Time: 2022-10-16T20:22:03-07:00									
Calculation Description: Title 24 Analysis										Input File Name: 41_Poplar_addition_v20.rbd19									
GENERAL INFORMATION																			
01	Project Name									05	Standards Version								
02	Run Title									06	Software Version								
03	Project Location									07	CECC-Res 2019.2.0								
04	City									08	Climate Zone								
05	Zip code									09	Front Orientation (deg/ Cardinal)								
10	Building Type									11	Number of Dwelling Units								
12	Project Scope									13	Number of Bedrooms								
14	Addition Cond. Floor Area (ft²)									15	Number of Stories								
16	Existing Cond. Floor Area (ft²)									17	Fenestration Average U-factor								
18	Total Cond. Floor Area (ft²)									19	Glazing Percentage (%)								
20	ADU Bedroom Count									21	ADU Conditioned Floor Area								
22	Is Natural Gas Available?									22									
COMPLIANCE RESULTS																			
01	Building Complies with Computer Performance																		
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.																		
03	This building incorporates one or more special features shown below																		
ENERGY USE SUMMARY																			
Energy Use (kWh/ft²-yr)										Standard Design									
Space Heating										86.04									
Space Cooling										55.91									
IAQ Ventilation										0									
Water Heating										13.31									
Self Utilization/Flexibility Credit										n/a									
Compliance Energy Total										155.26									
Proposed Design										84.47									
Compliance Margin										1.57									
Percent Improvement										-0.24									
Registration Number: 422-P010163485A-000-000-0000000-0000										Registration Date/Time: 10/17/2022 13:11									
NOTICE: This document has been generated by Carbon Home Energy Efficiency Rating System Services, Inc. (CHERS) using information submitted by third parties not affiliated with or related to CHERS. Therefore, CHERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document.										HERS Provider: CHEERS									
CA Building Energy Efficiency Standards - 2019 Residential Compliance										Report Version: 2019.2.000									
Schema Version: rev 20200901										Report Generated: 2022-10-16 20:22:50									

CERTIFICATE OF COMPLIANCE										CF1R-PRF-01E											
Project Name: 41 Poplar addition										Calculation Date/Time: 2022-10-16T20:22:03-07:00											
Calculation Description: Title 24 Analysis										Input File Name: 41_Poplar_addition_v20.rbd19											
OPAQUE SURFACES																					
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16						
Name	Zone	Construction	Area (ft²)	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition											
Interior Floor over Addition	House 2nd floor	Floor Int RD	n/a	n/a	389	n/a	n/a	none	Existing	No											
GWall-ex-F	Garage & Mech room	Wall Gar	335	Front	225	0	90	none	Existing	No											
GWall-ex-R	Garage & Mech room	Wall Gar	245	Right	141	63	90	none	Existing	No											
OPAQUE SURFACES - CATHEDRAL CEILINGS																					
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16						
Name	Zone	Construction	Area (ft²)	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition									
SkylightArea	House 2nd floor	Skylight area alt	335	Front	8	8	0.5	0.1	0.85	No	Altered	No									
ATTIC																					
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16						
Name	Construction	Type	Roof Rise (in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition												
Attic-ex	Roof ex	Ventilated	0.5	0.1	0.85	No	No	Existing	No												
FENESTRATION / GLAZING																					
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16						
Name	Type	Surface	Orientation	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition										
Wind-w-WN20.1	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.2	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.3	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.4	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.5	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.6	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.7	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.8	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.9	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.10	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.11	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.12	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.13	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.14	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.15	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.16	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.17	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.18	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.19	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.20	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.21	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.22	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.23	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.24	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.25	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.26	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.27	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.28	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.29	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.30	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.31	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.32	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.33	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.34	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.35	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.36	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.37	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.38	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.39	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.40	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.41	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.42	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.43	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.44	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.45	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.46	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.47	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.48	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.49	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.50	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.51	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.52	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.53	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.54	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.55	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.56	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.57	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.58	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.59	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.60	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.61	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.62	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.63	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.64	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.65	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.66	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.67	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.68	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.69	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.70	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.71	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.72	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.73	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.74	Window	Wall-w-B	Back	155	2	4.5	1	9	0.58	NFRC	0.67	NFRC	Bug Screen	Altered	No						
Wind-w-WN20.75	Window	Wall-w-B	Back	155																	



CERTIFICATE OF COMPLIANCE

Project Name: 41 Poplar addition  
Calculation Description: Title 24 Analysis

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Calculation Date/Time: 2022-10-16T20:22:03-07:00  
Input File Name: 41\_Poplar\_addition\_v20.rbd19

WATER HEATERS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (in/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NFPA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
Tankless	Gas	Consumer Instantaneous	1	0	0.81-UEF	<= 200 kWh/yr	0	n/a	n/a	n/a	n/a	Altered	No

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW alt - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC new	Heat pump heating cooling	Ducted HP	Ducted HP	Fan new	Duct new	Setback	New	No	1	1

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Number of Units	Heating		Cooling		Zonally Controlled	Compressor Type	HERS Verification	
			HSPF/COP	Cap 17	Cap 17	SEER	EER/CEER			
Ducted HP	Central split HP	1	8.2	48000	36000	24	11.7	Not Zonal	Single Speed	Ducted HP-hera-ftpump

Registration Number: 422-P010163485A-000-000-0000000-0000

Registration Date/Time: 10/17/2022 13:11

HERS Provider: CHEERS

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Report Version: 2019.2.000

Report Generated: 2022-10-16 20:22:50

Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE

Project Name: 41 Poplar addition  
Calculation Description: Title 24 Analysis

CF1R-PRF-01E  
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Calculation Date/Time: 2022-10-16T20:22:03-07:00  
Input File Name: 41\_Poplar\_addition\_v20.rbd19

HVAC HEAT PUMPS - HERS VERIFICATION															
01	02	03	04	05	06	07	08	09							
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap 47	Verified Heating Cap 17							
Ducted HP-hera-ftpump	Required	350	Not Required	Not Required	Yes	No	Yes	Yes							

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Duct Ins. R-value		Duct Location		Surface Area		Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
			Supply	Return	Supply	Return	Supply	Return							
Duct new	Conditioned space - except 12ft	Non-Verified	R-8	R-8	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Duct new-hera-dot	New	n/a	n/a	n/a

HVAC DISTRIBUTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Duct new-hera-dot	Yes	5.0	Required	Not Required	Not Required	Credit not taken	Not Required	No

HVAC - FAN SYSTEMS

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
Fan new	HVAC Fan	0.85	Fan new-hera-fan

Registration Number: 422-P010163485A-000-000-0000000-0000

Registration Date/Time: 10/17/2022 13:11

HERS Provider: CHEERS

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Report Version: 2019.2.000

Report Generated: 2022-10-16 20:22:50

Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE

Project Name: 41 Poplar addition  
Calculation Description: Title 24 Analysis

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Calculation Date/Time: 2022-10-16T20:22:03-07:00  
Input File Name: 41\_Poplar\_addition\_v20.rbd19

HVAC FAN SYSTEMS - HERS VERIFICATION		
01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficiency (Watts/CFM)
Fan new-hera-fan	Required	0.85

HERS RATER VERIFICATION OF EXISTING CONDITIONS

Registration Number: 422-P010163485A-000-000-0000000-0000

Registration Date/Time: 10/17/2022 13:11

HERS Provider: CHEERS

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Report Version: 2019.2.000

Report Generated: 2022-10-16 20:22:50

Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE

Project Name: 41 Poplar addition  
Calculation Description: Title 24 Analysis

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Calculation Date/Time: 2022-10-16T20:22:03-07:00  
Input File Name: 41\_Poplar\_addition\_v20.rbd19

DOCUMENTATION AUTHORITY'S DECLARATION STATEMENT

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Authority Name:  
Igor Pichko

Company:  
Energy Consult LLC

Address:  
1252 W 22nd St Unit #2

City/State/Zip:  
San Pedro, CA 90731

Phone:  
4242477658

Signature Date:  
10/17/2022

ESAV HERS Certification Identification (if applicable):  
R19-14-30005

Signature:  
*Igor Pichko*



RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. I am eligible under Division 9 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.

2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name:  
Eric Spletzer

Company:  
Crafted Earth, Inc.

Address:  
166 ALPINE ST

City/State/Zip:  
San Rafael, CA 94901

Responsible Designer Signature:  
*Eric Spletzer*

Signature Date:  
10/17/2022

License:  
B1015145

Phone:  
14156999662

Digitally signed by Carbon Home Energy Efficiency Rating System Services, Inc. (CHEERS). This digital signature is provided in order to assure the content of this registered document, and in no way makes Registration Provider responsible for the accuracy of the information.

Registration Number: 422-P010163485A-000-000-0000000-0000

Registration Date/Time: 10/17/2022 13:11

HERS Provider: CHEERS

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CA Building Energy Efficiency Standards - 2019 Residential Compliance

Report Version: 2019.2.000

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Schema Version: rev 20200901



# ATTACHMENT 3



CRAFTED EARTH, INC.  
166 ALPINE ST  
SAN RAFAEL, CA 94901  
TEL: 415.699.9662  
E-MAIL: [ERIC@CRAFTEDEARTH.COM](mailto:ERIC@CRAFTEDEARTH.COM)

To: TOWN OF ROSS – PLANNING DEPARTMENT

Attn: ALEX LOPEZ – ASSISTANT PLANNER

RE: WHITTINGTON RESIDENCE, 41 POPLAR AVENUE, APN 073-273-04  
APPLICATION DRP22-0037

Date: 1/11/23

Applicant: Crafted Earth, Inc.  
Eric Spletzer, PE  
526 Third Street, Suite A2  
San Rafael, CA 94901  
Phone: 415-699-9662  
Email: [eric@craftedearth.com](mailto:eric@craftedearth.com)

The following comments were received on Dec 22<sup>nd</sup>, 2022. The comments follow in black, and the responses are in green bold print.

## COMMENTS FROM PLANNING:

Provide a Zoning Parameters table. The table should have three columns, allowed, existing, and proposed.  
(Example below):

*Please see the table on the sheet A-040 already provided.*

Sheet A-201 and A-241 are showing elevations measurements from finish level to roof level. Provide the correct elevations for the planning department, showing the measurements from grade to the highest point of the roof, clearly showing the existing and proposed roof height.

18.12.080 Building height. "Building height" means the vertical distance as measured in a straight line from any point to either existing or finished grade, whichever is lower.

*Sheets A-201 and A-241 were updated.*

Can you provide the measurements for the proposed rear porch? It may be counted as floor area and building coverage.

*Exterior measurements for the proposed rear porch are: Width **18'-8"**, Depth: **9'-11"**.*

*The reference view is A-142/1. The proposed rear porch is not counted as floor area and is already included in Lot Coverage calcs on sheet A-101 and summarized on the cover sheet A-040*

Sheet A-101 shows the proposed rear porch encroaching to the side yard setback. A Variance is required.

*It is the continuation of an existing encroachment line on an onerous setback requirement.*





CRAFTED EARTH, INC.  
166 ALPINE ST  
SAN RAFAEL, CA 94901  
TEL: 415.699.9662  
E-MAIL: ERIC@CRAFTEDEARTH.COM

## COMMENTS RECEIVED FROM BUILDING:

California Residential Code 305.1 ceiling height minimum of 7 feet. A-541/3 shows 6'10".

*6'10 is at a landing. Room height downstairs is 8'9 7/8"*

CRC 311.7.1 stair width of 3 feet minimum. A-541/1 shows a width of 30 inches.

*New risers and threads necessary for the lift will be added at the bottom of the "existing legal not conforming stair run." Existing legal not conforming interior stair hole will be kept as it is. New treads will have a width of 30 inches min as shown on A-541/1.*

Provide a handrail where four or more rises exist. A543/1 shows no handrail.

*The handrail was added. See sheet A541*

## COMMENTS RECEIVED FROM PUBLIC WORKS:

All work shall comply with the requirements of the Town of Ross Section 15.36 Flood Damage Prevention Code.

*???*

A pre-construction Elevation Certificate (EC) shall be provided prior to issuance of the Building Permit verifying that the design F elevation is 1.0' minimum above the 100-YR base flood elevation. A "during construction" EC shall be provided demonstrating that the F elevation will comply with the design F elevation. A "finished construction" EC will be required prior to Permit Final.

*All three ECs will be provided by Adobe Assoc Engineers.*

# ATTACHMENT 4



## MINUTES

Special Meeting of the  
Ross Advisory Design Review Group  
7:00 PM, Tuesday, February 15, 2023

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](https://townofross.org/meetings).

### 1. 7:00 p.m. Commencement

ADR Group Chair Kruttschnitt called the meeting to order.

Present: Laura Dewar, Josefa Buckingham, Stephen Sutro and Mark Fritts.

Director Rebecca Markwick and Assistant Planner Alex Lopez-Vega were present representing staff.

### 2. Approval of Minutes.

The ADR Group minutes were unanimously approved.

### 3. Open Time for Public Comments

No comments were provided.

### 4. Planning Applications/Projects

**a. Property Address:** 28 Walnut Avenue  
**A.P.N.:** 073-171-03  
**Applicant:** Bressack and Wasserman Architects  
**Property Owner:** John and Gabrielle Bressack Gantus  
**Zoning:** R-1:B-10  
**General Plan:** ML (Medium Low Density)  
**Flood Zone:** X (Moderate Risk)

**Project Summary:** The applicant requests approval of Demolition and Design Review applications. The project includes remodeling and a renovation of the existing single-family home, removing the office and deck in the side yard setback, replacing the various roof structures with one coherent roof design, and demolition of the carport at Walnut Avenue. New landscaping and hardscape is also being proposed throughout the property

Director Markwick presented the project, as well as the project architect, Phoebe Bressack.

Andrew Bassick, Hanson Bridgett LLP spoke on behalf of the owners of 15 Walnut and 10 Olive, he mentioned the email that was sent previously. He indicated that the project applicant did not change anything to the design, instead changed the permitting strategy. There are still privacy issues for his client into their pool area. would impact his clients

privacy. He suggested continuing the item so that the architect can go back to the drawing board.

Laura Dewar

- Does not feel that the comments were heard that the applicant found a work around instead.
- Bridge increases bulk and mass.

Joey Buckingham

- Removed the ADU and the ADR is not allowed to comment, however the total development has a large feeling/
- Against the bridge, thinks the buildings would be better separated which would provide more breathing room.
- Bridge goes away and the fenestration could be better addressed.
- ADR typically does not allow second story decks, however it is very far away so there would be no privacy issues. The posts of the deck look spindly.
- Disappointed in the size of the ADU.
- Front door can be more celebrated, change the scale of the it to make it a grand front door.

Mark Kruttschnitt

- Mass is still too large.
- Does not like the bridge.
- Second story decks are never favorable, this one is not supported.

Mark Fritts

- Mass of the project is too large.
- If deck remains more detailing is needed and different railing treatment
- Agrees with the comments about the deck by Mark and Joey
- Shed roofs could use more details, including the whole façade.
- Agrees on the bridge, adds to bulk and mass.
- Eliminate the deck, although it is pretty far from the property line, the glazing needs to be worked out.

Stephen Sutro

- Thinks the deck is okay, however needs some more architectural details.
- Bridge is a little large but will defer to the rest of the ADR members.

**b. Property Address:** 10 Southwood Avenue

**A.P.N.:** 073-151-23  
**Applicant:** Julie Johnson/ JMJ Studios  
**Property Owner:** Ron Abta  
**Zoning:** R-1:B-20  
**General Plan:** L (Low Density)  
**Flood Zone:** X (Moderate Risk)



**Project Summary:** The applicant requests approval for Design Review, and a Variance. The project includes demolishing the existing carport between the main house and the cottage and construction of a new pergola style carport, as well as relocating the driveway, and adding a new dormer. The project also proposes new landscaping and hardscape throughout the property.

Mark Kruttschnitt recused himself because he lives within 500 feet of the property. Assistant Planner Lopez gave the staff report and presentation. Julie Johnson presented the project on behalf of her clients.

The public hearing was opened, and no one wished to speak.

Stephen Sutro

- Project looks great.
- Suggested some design changes for the trellis, mock it up, larger posts.

Laura Dewar

- Supports project, moving the driveway makes sense.
- The Trellis color might make it stick out, love the house color.
- Changes to guest house seem fine.

Joey Buckingham

- Love the green of the house color.
- Trellis color is too bright and having it white will be a maintenance nightmare.
- Suggests painting the parking trellis the same color as the house.
- The guest house should match the main house.

Mark Fritts

- Supports the project as designed.
- Front door trellis can be white.
- Parking trellis should be darker.
- The green is very dark; however it is a personal opinion
- Successful project

**c. Property Address:** 41 Poplar Avenue  
**A.P.N.:** 073-273-04  
**Applicant:** Eric M. Spletzer  
**Property Owner:** Michael and Mindy Whittington  
**Zoning:** R-1:B7\_5  
**General Plan:** ML (Medium Low Density)  
**Flood Zone:** AE (Floodway)

**Project Summary:** The applicant is requesting approval of Design Review and a Variance. The project includes lifting the existing two-story single-family residence 3'8" so that the home is compliant with FEMA. The project includes expanding the second story deck and removing the

existing stairs. A new first story porch is proposed below the new second story deck which will encroach into the side yard setback.

Assistant Planner Lopez presented the staff report and Eric Spletzer presented on behalf of his clients, the homeowners.

The public hearing was opened, and no one wished to speak.

Steven Sutro

- Supports the project as designed.
- Suggests even adding more height if it helps prevent further flooding.
- Height is fine from an architectural critique standpoint.
- Supports the Variance given the 15-foot setbacks.
- Design of terrace is really cool.
- Upper deck is a little close to the neighbor, suggest a planter at the side for privacy.

Joey Buckingham

- Supports the project as designed.
- Should raise it even more if the fenestration changes to match the scale of the walls. Windows should be taller.
- Normally ADR does not support second story decks, if there was a second means of egress, she could support it.

Mark Fritts

- Height is supportable.
- Agrees with Joey about the windows.
- Look at proportions of garage and windows.
- Can't make a finding for the second story deck especially making it larger.
- Support ground floor deck.

Laura Dewar

- Supports the height increase.
- Supports the second story deck especially because it is already there.

Mark Kruttschnitt

- Supports the height increase.
- Does not support the second story deck.
- Ground floor deck is okay.

**d. Property Address:** 34 Poplar Avenue

**A.P.N.:** 073-272-05

**Applicant:** Tristan Warren Architect

**Property Owner:** Jeff and Cassie Shouger

**Zoning:** R-1:B7\_5



**General Plan:** ML (Medium Low Density)  
**Flood Zone:** AE (Floodway)

**Project Summary:** The applicant is requesting approval of an Accessory Dwelling Unit (ADU) Permit to construct a 710 square foot attached ADU over the existing garage and patio with a new deck. Due to the location of the proposed ADU, the ADU is encroaching into the side yard setback, therefore requiring an ADU Permit.

Assistant Planner Lopez presented the staff report. Tristan Warren introduced the project on behalf of the homeowners. THE ADR members asked the architect questions and he answered them to provide clarification.

The public hearing was opened and Michael Lind supported the project and the location of the ADU above the garage. Jeff Shouger spoke about the project, reduction of the massing and façade from the street. Jeff indicated that he did a lot of public outreach and the neighbors were all supportive.

Mark Kruttschnitt

- Supports the project.
- Likes the ADU over the garage, likes where it is set.
- Does not like the second story deck, thinks it is impactful to the people on the street.
- Lots of glazing on one side of the ADU especially if there is not a deck.
- No reason to shorten the garage, will not make a difference in the actual mass of the structure.
- Supports the project as is with the second story deck removed and the glazing removed.

Steven Sutro

- Generally, supports the project with some modifications.
- Move the garage 2 feet back.
- Move the ADU 2 feet back.
- The third skylight closest to the street should be removed.
- Wishes that the roof shapes were more cohesive, maybe a hip at the front.
- Thinks deck is okay, given the business of the street.
- Is okay with widening the garage.
- The architect asked a question about the hipped roof suggestion.

Joey Buckingham

- Would like to see the ADU pushed back as far as possible.
- Is fine with the 2 feet setback.
- The ADU is well placed.
- The propose ADU is dwarfing the existing house, would like to see the ADU and main house match.
- Is okay with widening the garage.

- Change the roof to a hip roof.

Mark Fritts

- Likes the location of the ADU.
- Would like to see the ADU pulled back.
- Supports the deck.
- Would like to see the roof change from a gable roof to a hip roof.
- Would like to see the ADU match the existing home.
- Likes the materials of the ADU.

Laura Dewar

- Generally, supports the project.
- Want the ADU pushed back more.
- Supports the deck.

**5. Conceptual ADR**

**6. Information and Discussion.**

**7. New Agenda Items.**

**Adjournment, 9:15 PM.**

**Next scheduled regular meeting date and time: March 21, 2023, at 7:00 PM.**