



**Agenda Item No. 19.**

**Staff Report**

**Date:** June 16, 2022

**To:** Mayor Robbins and Council Members

**From:** Rebecca Markwick, Planning and Building Director

**Subject:** Swire Residence, 5 Ames Avenue

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**Recommendation**

It is recommended that the Town Council adopt Resolution No. 2255 approving Design Review, Demolition Permit, and Nonconformity Permit for the subject project as described below.

**Property Address:** 5 Ames Avenue  
**A.P.N.:** 073-181-19  
**Applicant:** Catton Design  
**Property Owner:** Stephen Swire & Jacqueline Neuwirth-Swire  
**Zoning:** R-1:B-A  
**General Plan:** VL (Very Low Density)  
**Flood Zone:** X (Minimal risk area)

**Project Summary:** The applicant requests approval of Design Review to construct a new two-story structure comprising an accessory dwelling unit at the lower floor and an open-air cabana at the upper floor; remodel and expand an existing pool house above an existing garage; renovate the exterior of the existing main residence; construct new front yard fence and gates; and rehabilitate the landscape. Request for Accessory Dwelling Unit (ADU) Permit to construct a new detached accessory dwelling unit is ministerial in nature and subject to administrative approval. Nonconformity Permit is required to enlarge, extend, reconstruct, or structurally alter existing nonconforming structures involving no increase to the total nonconforming floor area. Demolition Permit is required to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

**Project Data**

	<b>Code Standard</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area</b>	1-Acre min.	44,038 sq. ft.	No change
<b>Floor Area (FAR)</b>	15% max.	6,944 sq. ft. (15.8%) (nonconforming)	7,744 sq. ft. - [800 sq. ft.] (ADU) = 6,944 sq. ft. (15.8%) (no change to nonconforming)
<b>Building Coverage</b>	15% max.	5,215 sq. ft. (11.8%)	6,559 sq. ft. (14.9%)
<b>Front Setback</b>	25 feet min.	Pool house: 66 feet	Pool house: No change ADU/Cabana: 37 feet (north)
<b>Side Setbacks</b>	25 feet min.	House deck: East, 43 feet; West, 27.5 feet  Pool house/garage: East, 44 feet	House deck: East, 41 feet; West, 25 feet  Pool house/garage: No change ADU/Cabana: West, 26.5 feet
<b>Rear Setback</b>	40 feet min.	House deck: 92 feet	House deck: 90 feet
<b>Building Height</b>	2 stories; 30 feet max.  ADU: 1 story, 16 feet max.	House: 2 stories; 28 feet  Pool house/garage: 2 stories; 22.5 feet	House: 22'6"  Pool house/garage: 2 stories; 23'6" feet ADU/Cabana: 2 stories; 26'6" feet
<b>Off-street Parking Spaces</b>	4 total (2 enclosed) min.	4 total (2 enclosed)	No change
<b>Impervious Surface Coverage</b>	Minimize and/or mitigate *	14,225 sq. ft. (32.3%)	16,986 sq. ft. (38.6%)

### **Project Description**

The project proposes to renovate the exterior of the existing two-story, single-family residence, including: remove existing porches, decks, and minor projections; construct new porches and decks at the first and second stories; replace existing exterior materials, windows, and doors with new exterior materials and details; and extend and alter roof eaves. The project would renovate the existing detached pool house/garage in a similar manner; and it would alter the pool house roof and increase the building height to 23'6", an increase of 1 foot.

To the south of the existing single-family residence, the project proposes a new detached two-story, 26'6" foot-tall accessory structure containing an 800-square-foot accessory dwelling unit at the lower floor and an unenclosed, roofed cabana at the upper floor. The new building would be located 37 feet from the south property line and 26.5 feet from the west property line, in compliance with the minimum required 25-foot setbacks.

The project proposes to alter and construct new basement-level storage spaces that are partially or fully below grade, with ceiling heights of less than 7 feet in the renovated pool house/garage and the new accessory dwelling unit/cabana.

The project proposes to rehabilitate the existing landscape, including construct a new front yard fence and gates; construct new walls, walkways, steps, and patios; install new plantings; replace an existing hot tub; and replace existing asphalt driveway with new permeable pavers. The project proposed to excavate 325 cubic yards, fill 70 cubic yards, and export 255 cubic yards from the site. The project would result in a net increase to impervious coverage of approximately 2,761 square feet (6.3%). The proposed increase to impervious coverage would be mitigated by the addition of 225 square feet of bioretention area in the rear yard, which would avoid increased stormwater runoff because of the project.

Project Plans are included as **Attachment 2**; Project Description as **Attachment 3**; Neighborhood Outreach Description as **Attachment 4**.

### **Background**

The project site is a corner lot located at the southwest intersection of Ames Avenue and Shady Lane. The 63,644-square-foot lot is flat, rectangular in shape and exceeds the 1-acre minimum lot size for the district. It is in the "AE" FEMA flood zone which is subject to inundation by 1-percent-annual chance flood event. The property contains an existing single-family residence and attached garage with nonconforming west side yard setback, and an existing detached pool house with nonconforming rear yard setback.

According to the Assessor's Office, development occurred on the site in 1948 and 1995. The previously granted approvals from the Town include the following:

Date	Permit	Description
11/08/84	Variance	Construct new pool house 10 feet from rear property line.
06/13/85	Variance	Construct new pool house 10 feet from rear property line (reapplication).
09/10/97	Design Review	Construct new 6-foot high wood fence.
07/22/20	Minor Exception Permit	Install new back-up generator within a minimum required side yard setback.

The Project History is included as **Attachment 5**.

#### **Advisory Design Review**

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

The Advisory Design Review (ADR) Group reviewed the project at two public hearings. The ADR Group received information from the applicant, received public comments, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Ross Municipal Code Section 18.41.100 and the Town of Ross Design Guidelines.

On April 19, 2022, the ADR Group reviewed the project, and had comments regarding the roof on the cabana, the overall mass of the project, the amount of fenestration on the pool house, the underground storage space, and the design of the driveway gate. The April 19, 2022, ADR Group meeting minutes are included as **Attachment 6**.

In consideration of comments received from the ADR Group, the applicant revised the project design and resubmitted the project for ADR Group review, along with a written response to ADR Group comments below.

**POOL HOUSE and CABANA:** The height of the pool house has been lowered another foot as suggested along with the corresponding heights in the Cabana. The Pool House is now 3 feet lower than the original story poles, and is now just 1 foot higher than the existing Pool House. The Pool House doors and windows facing Ames have been reduced in width. The roof eaves of the Cabana have been reduced to 3.5 feet at the ends and 2.5 feet on the long sides.

**MAIN HOUSE PORCH:** The proposed flat porch roof over the existing covered porch has been lowered to match the eave of the existing porch roof. The new extension and supporting columns

have been reduced 2 feet each to be 7 feet, and 5 feet respectively. The four corners of the porch roof have been removed, creating less mass at the porch roof line.

**MAIN HOUSE WINDOWS:** The lower floor windows on Ames are proposed to be replaced with taller sliding windows to better match the new windows at the Pool House. Additionally, exterior louvered wood screens (which match those proposed at the Pool House) have been added to the upper windows of the new Main House entry to provide better screening and privacy but still allow natural light into the space.

**BASEMENT STORAGE AT CABANA:** The majority of the Cabana basement storage has been relocated to the underground basement level on the west side of the Garage. The remaining downhill pool deck retaining wall has been moved 5 feet back/uphill so that it recedes better from view from Upper Ames, and breaks up the length of the continuous solid wall. Additional plant screening below this area has been added (please see landscape drawings). The applicant's revisions included: adding additional landscape screening to address privacy concerns; rebuilding and relocating the nonconforming garage and new second-story addition to comply with the minimum required 25-foot west side yard setback; adding wood siding to the new west side building elevation to avoid a blank façade facing the neighbor's property; relocating accessory structures and landscape structures to comply with minimum required front, side, and rear yard setbacks (except for nonconforming, relocated pool equipment and associated enclosure); and raising the parapet wall to screen rooftop solar panels.

On May 17, 2022, the ADR Group reviewed the revised project and did not have a unanimous recommendation for the project. The ADR group discussed the changes and for clarity separated the project into two components, one the cabana roof and two the main house roof. The following is a summary of the ADR comments on the two components:

### **Cabana**

ADR Comments:

Dewar: The cabana would be less imposing if roof is removed.

Sutro: Torn on the cabana roof, feels a little too tall, should be lowered.

Kruttschnitt: Remove cabana roof.

### **Main House Roof**

ADR Comments:

Dewar: Supports the roof as proposed, won't be seen and if homeowner would like to make upgrades to their home, and the roof is cost prohibitive, then she can support the roof.

Sutro: Supports all the exterior changes that were made with a strong recommendation that the roof line change to match the pool house roof. Sutro abstained from making a recommendation to the Town Council on this component of the project.

Kruttschnitt: Opposed to the roof and recommends that it be changed to match the more modern architecture. He could support the project if the roof was changed.

### **ADR Summary**

The ADR could not come to a consensus on either component of the project. There was no recommendation because there was not a majority decision regarding the main house roof, and the cabana roof. The ADR discussed that the Town Council could consider the ADR's comments combined with the public testimony and the revised plans and make a decision on the project.

### **Revised Plans**

Based on the feedback received at the May 17, 2022 ADR meeting the applicant has made the following changes:

**MAIN HOUSE ROOF:** The existing pitched roof will be removed and replaced with a flat roof so that the Main House better relates to the other structures and reduces the height of the existing Main House.

**CABANA:** The roof has been lowered. Additional plant screening is proposed on the downhill side. The proposed screening combined with the many large existing trees will block the view of the Cabana from Upper Ames.

The May 17, 2022, ADR Group meeting minutes (draft) are included as **Attachment 8**.

### **Discussion**

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

### ***Design Review***

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter.

If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution. Specifically, the revised plans submitted the applicant considered the comments made at the May 17, 2022 ADR meeting and revised the plans to reflect the ADR comments. The specific changes made were a direct response to the comments made at ADR. The specific changes to the roof of the cabana include a reduction in height and added landscaping to help screen the structure. The main house changes, include a new roof which will provide consistency in architecture. Staff is reassured that the applicant took into consideration the comments made at the May 17, 2022 ADR meeting and revised the plans accordingly.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan. Lot coverage and building footprints are minimized, and development clustered, to minimize site disturbance area and preserve larger areas of undisturbed space. All new improvements constructed on sloping land are designed to relate to the natural land forms and step with the slope in order to minimize mass, bulk and height and to integrate structures with the site. Buildings use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. The post-project stormwater runoff rates from the site would be no greater than pre-project rates; pre-existing impervious surfaces would be reduced.

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, and the Hillside Lot regulations; therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

#### ***Demolition Permit***

The "small town" quality and feel of the town are heavily shaped by the attributes, integrity, historical character, and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of structures with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character. The Town Council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross.

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Staff recommends approval of the Demolition permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level. The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located.

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to found consistent with the Ross General Plan and Zoning Ordinance. The project is required to comply with all applicable provisions, measures, and safeguards of the Town's building and safety codes, such that it would not cause detriment or injury to the health, safety, and general welfare of persons residing or working in the neighborhood.

### ***Nonconformity Permit***

Many residential structures in the town do not conform to the requirements of this Zoning Code because they were established before the adoption of zoning or before residential floor area limits were established in 1967. The purpose of this section is to allow for the continued existence, reconstruction and modification of nonconforming residential structures, subject to limitations set forth in this section. The intent of these regulations is to protect historic buildings and those that contribute to the Town's small town character; to permit floor area nonconformities to be retained on site redevelopment where the design is appropriate; and to allow other nonconformities to be maintained when reasonable and where they create the same or fewer impacts than strict conformance with town regulations.

Pursuant to Sections 18.32.050 and 18.32.060, which establish development standards in the R-1:B-A district for maximum allowed floor area, the existing property exceeds the 15% maximum floor area allowed in the district. Pursuant to Section 18.52.030, the project requires a Nonconformity Permit to enlarge, extend, reconstruct, and/or structurally alter the existing residential structures which are nonconforming with respect to the maximum allowed floor area, and resulting in no net increase to the total existing nonconforming floor area on the property.

Staff recommends approval of the Nonconformity permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community. The project conforms to the design review standards, and the floor area does not exceed the existing floor area. The project will comply with all Flood regulations, and the site has adequate parking.



### ***Accessory Dwelling Unit (ADU) Permit***

Accessory dwelling units increase the overall supply of housing within established residential zoning districts or as part of new residential subdivisions, while maintaining the existing character of the neighborhood. Such units are intended to increase the supply of smaller, more affordable housing within existing residential neighborhoods and provide independent living units for prospective and current residents, including family members, students, local employees, the elderly, in-home health and childcare providers, and single adults, among others.

The Planning Department shall consider an application for accessory dwelling unit without discretionary review, public notice, or a hearing. The Planning Department shall approve the application for accessory dwelling unit if the application meets all of the requirements and standards of Chapter 18.42.

The proposed project includes a new attached accessory dwelling unit that meets the requirements for ministerial review and administrative approval pursuant to the Town's code, and which is not subject to discretionary review.

### **Fiscal, Resource and Timeline Impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

### **Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

### **Environmental Review**

The project has been reviewed under the provision of the California Environmental Quality Act (CEQA) and the CEQA Guidelines, California Code of Regulations. On June 9, 2022, the proposed project was determined to be categorically exempt from CEQA pursuant to Section 15301 because the proposed project consists of the project consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use.

### **Public Comment**

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date and no comments have been received at the time of writing this report.

### **Attachments**

1. Resolution No. 2255
2. Project Plans

3. Project Description
4. Neighborhood Outreach Description
5. Project History
6. ADR Meeting Minutes, April 19, 2022
7. Response to ADR Group Comments
8. ADR Meeting Minutes, May 17, 2022 (draft)
9. Public Comments

# ATTACHMENT 1

# **TOWN OF ROSS**

## **RESOLUTION NO. 2256**

### **A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, DEMOLITION AND, NONCONFORMITY PERMIT FOR EXTERIOR RENOVATIONS AND REMODEL TO THE EXISTING SINGLE FAMILY HOME AND GARAGE LOCATED AT 5 AMES AVENUE, A.P.N. 073-181-19**

**WHEREAS**, applicant Catton Design, on behalf of property owners Stephen Swire and Jacqueline Neuwirth-Swire has submitted an application requesting approval of Design Review, Demolition Permit, and Nonconformity Permit to renovate and remodel the exterior of the existing single family home and garage at 5 Ames Avenue, A.P.N. 073-181-19 (herein referred to as “the Project”).

**WHEREAS**, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use; and

**WHEREAS**, on June 16, 2022, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review, Demolition and Nonconformity Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 16<sup>th</sup> day of June, 2022, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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Elizabeth Robbins, Mayor

**ATTEST:**

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Linda Lopez, Town Clerk

**EXHIBIT "A"**  
**FINDINGS**  
**5 AMES AVENUE**  
**A.P.N. 073-181-19**

- I. In accordance with Ross Municipal Code Section 18.41.070 (b), Design Review is approved based on the following mandatory findings:**

**(1) The project is consistent with the purpose of Design Review as outlined in Section 18.41.010.**

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan.

**(2) The project is in substantial compliance with the design criteria of Section 18.41.100.**

Lot coverage and building footprints are minimized, and development clustered, to minimize site disturbance. New structures and additions avoid monumental or excessively large size. Buildings are compatible with others in the neighborhood and do not attract attention to themselves. Buildings use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Good access, circulation and off-street parking is provided. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Decks, balconies and other outdoor areas are sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping protects privacy between properties. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

**(3) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, and the Hillside Lot regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance. Consistent with Chapter 18.48, findings are recommended to support the requested variance to allow for the proposed minor setback encroachments on a Hillside Lot.

- II. In accordance with Ross Municipal Code Section 18.50.060 (a), Demolition Permit is approved based on the following mandatory findings:**

**(1) The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level.

- (2) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.**

The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located.

- (3) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance.

**III. In accordance with Ross Municipal Code (RMC) Section 18.52.030 (c), Nonconformity Permit is approved based on the following mandatory findings:**

- (a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.**

The existing nonconforming residence was originally constructed in approximately 1940-1946 per the County Assessor.

- (b) The town council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

A demolition permit is not required pursuant to per RMC Chapter 18.50

- (c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.**

As described in the Design Review findings in Section I above, the project is consistent

with the Design Review criteria and standards per RMC Section L8.41.L00.

- (d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.**

The project will not result in any change to the existing conforming floor area

- (e) Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.**

The project will promote public health, safety and welfare, and avoid material injury to properties and improvements in the vicinity, by elevating the subject residence above the L00-year flood plain and by reducing flood plain obstruction.

- (f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.**

The project will comply with the Flood Damage Prevention regulations in RMC Chapter 15.36, by lifting the subject residence out of the L00-year flood plain.

- (g) The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.**

Adequate access and water supply exist for firefighting purposes.

- (h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.**

Condition of Approval No. 10 requires indemnification pursuant to RMC Section 18.40.180.

- (i) The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement, the Town Council may require covered parking to be provided. The Town Council may consider the size of the residence and number of bedrooms and may require additional parking up to the following:**

**Total site floor area (excluding covered parking) 1,300 square feet to 3,300 square feet  
Over 3,300 square feet Required off street parking 3 spaces 4 spaces**

The project complies with the minimum required off-street parking capacity



**EXHIBIT "B"**  
**CONDITIONS OF APPROVAL**  
**5 AMES AVENUE**  
**A.P.N. 073-181-19**

1. This approval authorizes Design Review, Demolition, and Nonconformity Permit for a remodel and renovations to the existing single family dwelling and detached garage and pool house at 5 Ames Avenue A.P.N. 073-181-19 (herein referred to as "the Project").
2. The building permit shall substantially conform to the plans prepared by Catton Design entitled, "5 Ames Residence Remodel and Additions 5 Ames Avenue, Ross, Ca 94945", dated May 24, 2022; and reviewed and approved by the Town Council on June 16, 2022.
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:

- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of

their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
  - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
  - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department

of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

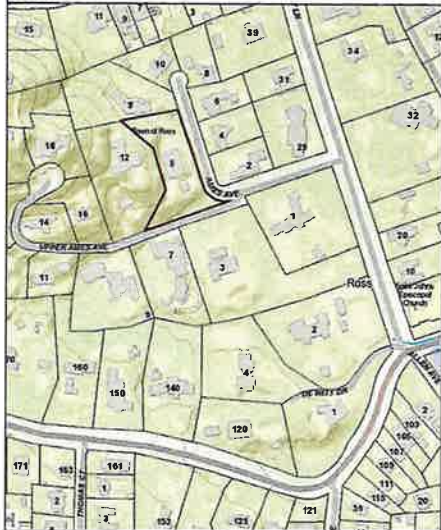
- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.

10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

## ATTACHMENT 2



## VICINITY MAP



## PROJECT DATA

PROJECT ITEM	EXISTING	PROPOSED
LOT AREA:	44,028 sf	No Change
FLOOR AREA:		
House 1st	2,759 sf	2,705 sf
House 2nd	2,854 sf	2,822 sf
Garage	926 sf	737 sf
Pool House	605 sf	880 sf
Cabana	N/A	0
ADU	N/A	800 sf
	6,944 sf (15.8%)	7,744 sf -800 sf ADU 6,944 sf (15.8%)
BUILDING COVERAGE:		
House	3,532 sf	3,800 sf
Pool House/Garage	890 sf	1,391 sf
Pool Deck above grade	793 sf	86 sf
Cabana	N/A	1,100 sf
	5,215 sf (11.8%)	6,177 sf (14.0%)
SETBACKS:		
Side Yard Setback (East)	House: 48" House Porch: 43" Pool House: 46"	No Change 41" No Change Pool House Porch: 38"
Front Yard Setback (South)	Pool House: 66"	No Change Cabana/ADU: 37"
Rear Yard Setback (North)	House: 97" House Porch: 93"	No Change 90"
Rear Yard Setback (West)	House: 59' 9" House Porch: 27' 4"	No Change 27'-0" Cabana 36'-0"
BUILDING HEIGHT:	House: 28' - 0" (2 stories) Pool House/Garage: 22'-4" (2 stories)	22'-4" 23'-4" Cabana 11'-4"/ADU 15'-0": 26'-4"
PARKING:	4 spaces (2 covered)	4 spaces (2 covered)

## PROJECT DIRECTORY

OWNER:	STEPHEN SWIRE & JACQUELINE NEUWIRTH-SWIRE 5 AMES AVE, ROSS, CA 94957 EMAIL: SSWIRE@GMAIL.COM EMAIL: JNEUWIRTH@GMAIL.COM
DESIGNER:	CATTION DESIGN LLC PO BOX 102, ROSS, CA 94957 CONTACT: KEN CATTION EMAIL: KEN@CATTIONDESIGN.COM
LANDSCAPE ARCHITECT:	IMPRINTS LANDSCAPE ARCHITECTURE 202 ROSEMONT AVE, MILL VALLEY, CA 94541 CONTACTS: BRAD DIGSTI & RYAN STRINGHAM EMAIL: BRAD@IMPRINTSGARDENS.COM EMAIL: RYAN@IMPRINTSGARDENS.COM
CIVIL ENGINEER:	LTD ENGINEERING, INC. 1050 NORTHGATE DR, #450, SAN RAFAEL, CA 94903 CONTACT: GLENN DEARTH EMAIL: GDEARTH@LTDENGINEERING.COM
ARBORIST:	ARBORLODIC 2285 WEST PORTAL AVE, SAN FRANCISCO, CA 94127 CONTACT: JAMES LASCOT EMAIL: JAMESLASCOT@GMAIL.COM

## DRAWING INDEX

ARCHITECTURAL	LANDSCAPE
A0.0 COVER SHEET/NOTES	S-1 SURVEY PLAN
A0.1 COMPOSITE EXTERIOR ELEVATIONS	L-1.1 EXISTING CONVENTIONS
A1.0 EXISTING SITE PLAN/DEMOS	L-2.1 DEMO PLAN
A1.1 PROPOSED SITE PLAN/EXTERIOR MATERIALS	L-3.1 SITE PLAN
A1.2 EXISTING FLOOR PLANS/FLOOR AREAS	L-4.1 DETAILS
A1.3 PROPOSED DEMO/EXISTING PLAN & ELEVATIONS	L-5.1 LIGHTING PLAN
A2.0 PROPOSED LOWER LEVEL PLAN	L-7.1 VEGETATION MANAGEMENT PLAN
A2.1 PROPOSED MAIN FLOOR PLAN	T-1 TRAIL PROTECTION PLAN
A2.2 PROPOSED ROOF PLAN/HOUSE 2ND FLOOR PLAN	
A2.3 PROPOSED HOUSE ROOF PLAN/BEDG. CALCS	
A3.1 PROPOSED EXTERIOR ELEVATIONS	CIVIL
A3.2 PROPOSED EXTERIOR ELEVATIONS/SECTIONS	C-1 COVER SHEET
A3.3a PROPOSED BASEMENT STORAGE SECTIONS	C-2 GRADING & DRAINAGE PLAN
A3.3 PROPOSED EXTERIOR ELEVATIONS	C-3 DETAILS
A3.4 PROPOSED EXTERIOR ELEVATIONS	
PROJECT DESCRIPTION	
<ul style="list-style-type: none"> <li>Add new recreation accessory Home Gym and covered exterior Cabana.</li> <li>Add new Accessory Dwelling Unit below the new Cabana.</li> <li>Remodel existing Pool House.</li> <li>Exterior improvements to exterior House facade and porch roof.</li> <li>Repair, replacement and redevelopment of landscape, walks and hardscape.</li> </ul>	
CODES	
<ul style="list-style-type: none"> <li>2019 CA Residential Code</li> <li>2019 CA Electrical Code</li> <li>2019 CA Plumbing Code</li> <li>2019 CA Mechanical Code</li> <li>2019 CA Energy Code &amp; Green Building Standards</li> <li>2019 CA Fire Code and WUI Standards</li> </ul> As applicable and amended by the Ross/Marin Municipal Code	

# 5 AMES RESIDENCE

## Ross, California

## EXISTING CONDITIONS



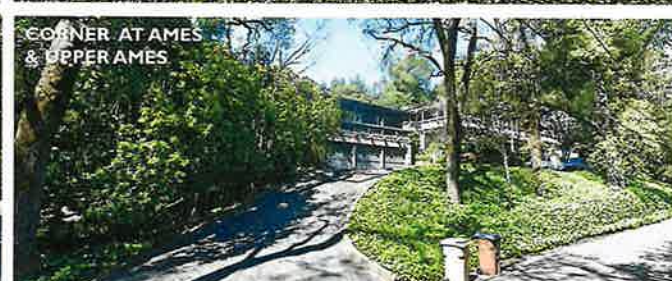
POOL DECK



AMES AVE



UPPER AMES

CORNER AT AMES  
& UPPER AMESCATTION  
DESIGNP.O. BOX 192  
ROSS, CA 94957  
815.588.9778

PROFESSIONAL SEAL AND SIGNATURE OF THE DESIGNER REQUIRED FOR ALL PROJECTS. THE DESIGNER'S SEAL AND SIGNATURE MUST BE PLACED ON ALL DRAWINGS. THE DESIGNER'S SEAL AND SIGNATURE MUST BE PLACED ON ALL DRAWINGS. THE DESIGNER'S SEAL AND SIGNATURE MUST BE PLACED ON ALL DRAWINGS.

**5 AMES RESIDENCE**  
**REMODEL AND ADDITIONS**  
**5 AMES AVENUE ROSS, CA 94957**

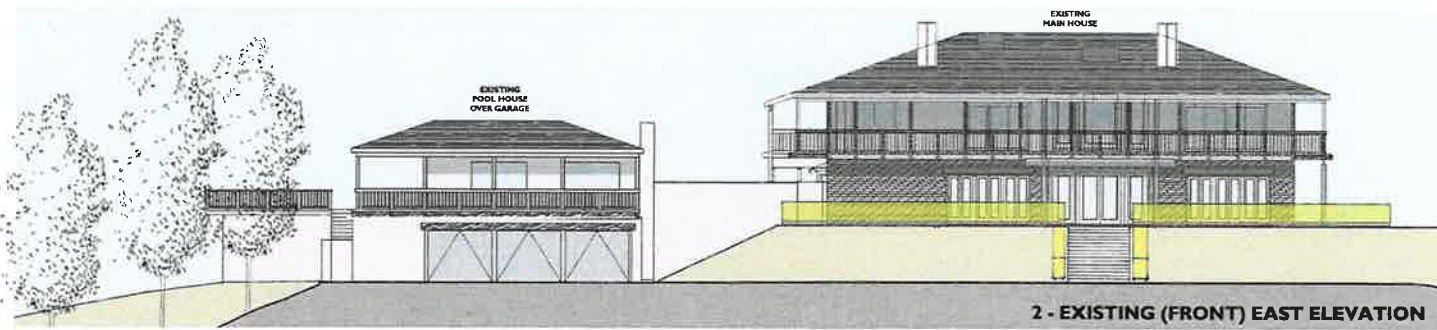
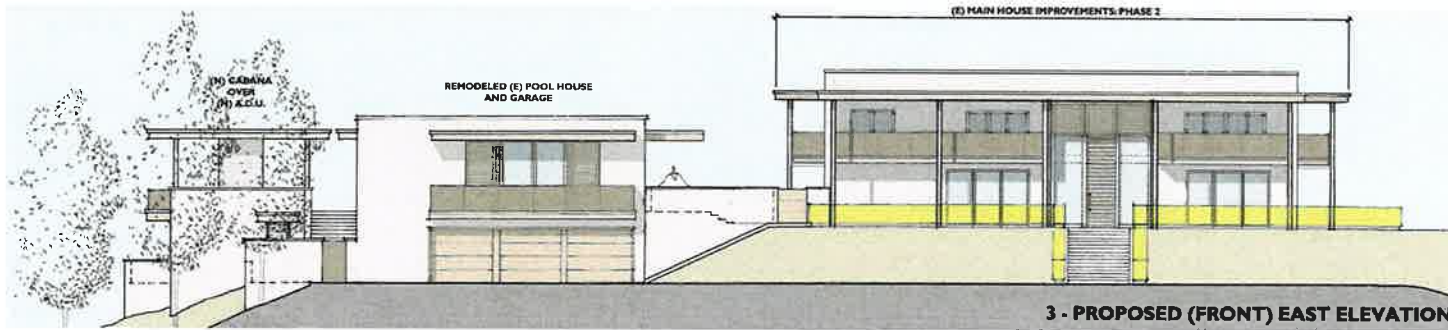
APN 073-181-19

10.25.2022 - 03/03/2023

COVER

A0.0





0 16'  
SCALE: 1/8" = 1'-0"



CATTON  
DESIGN  
P.O. BOX 182  
ROSS, CA 94427  
415.383.6778

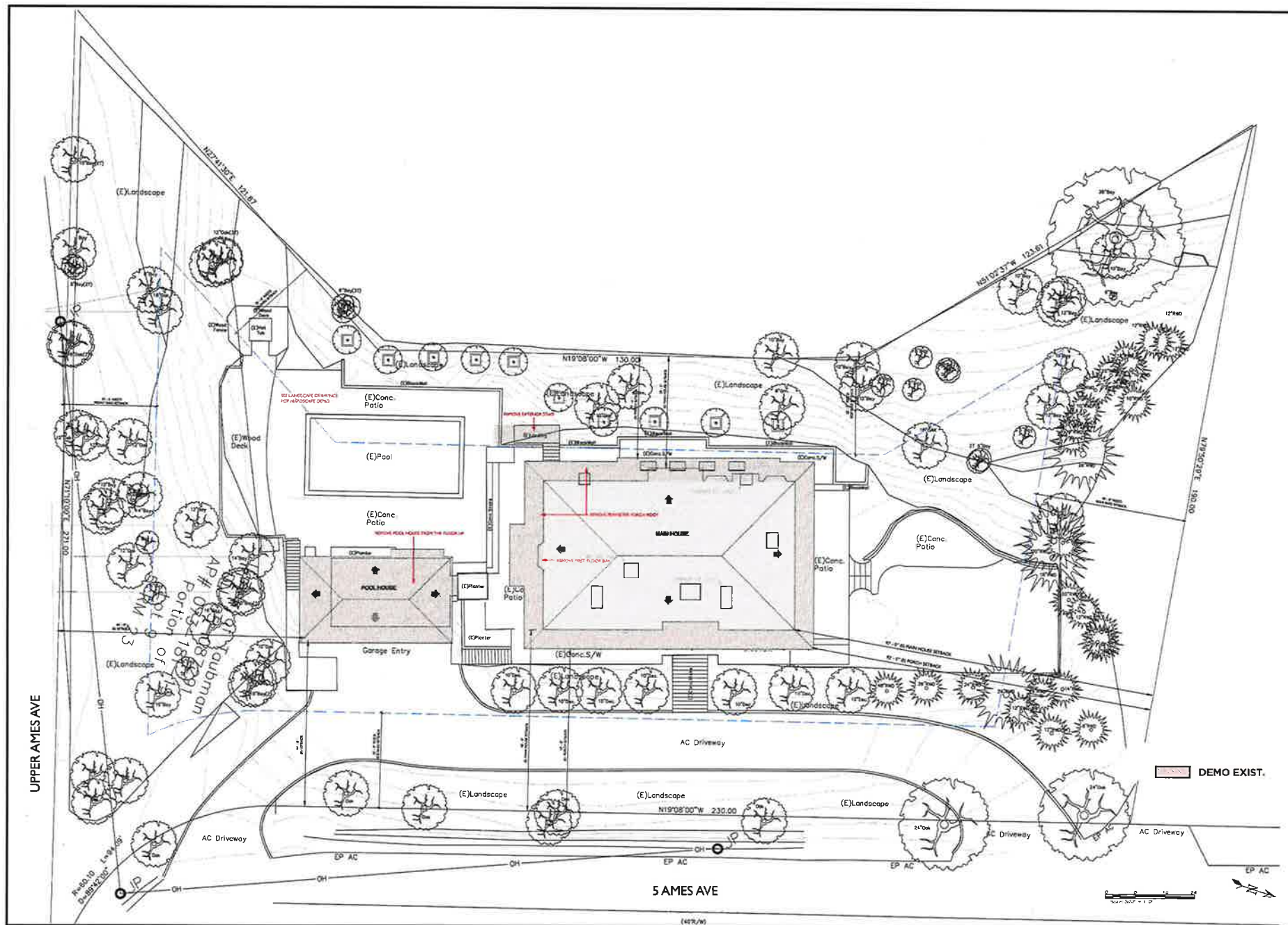
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**REMODEL AND ADDITIONS**  
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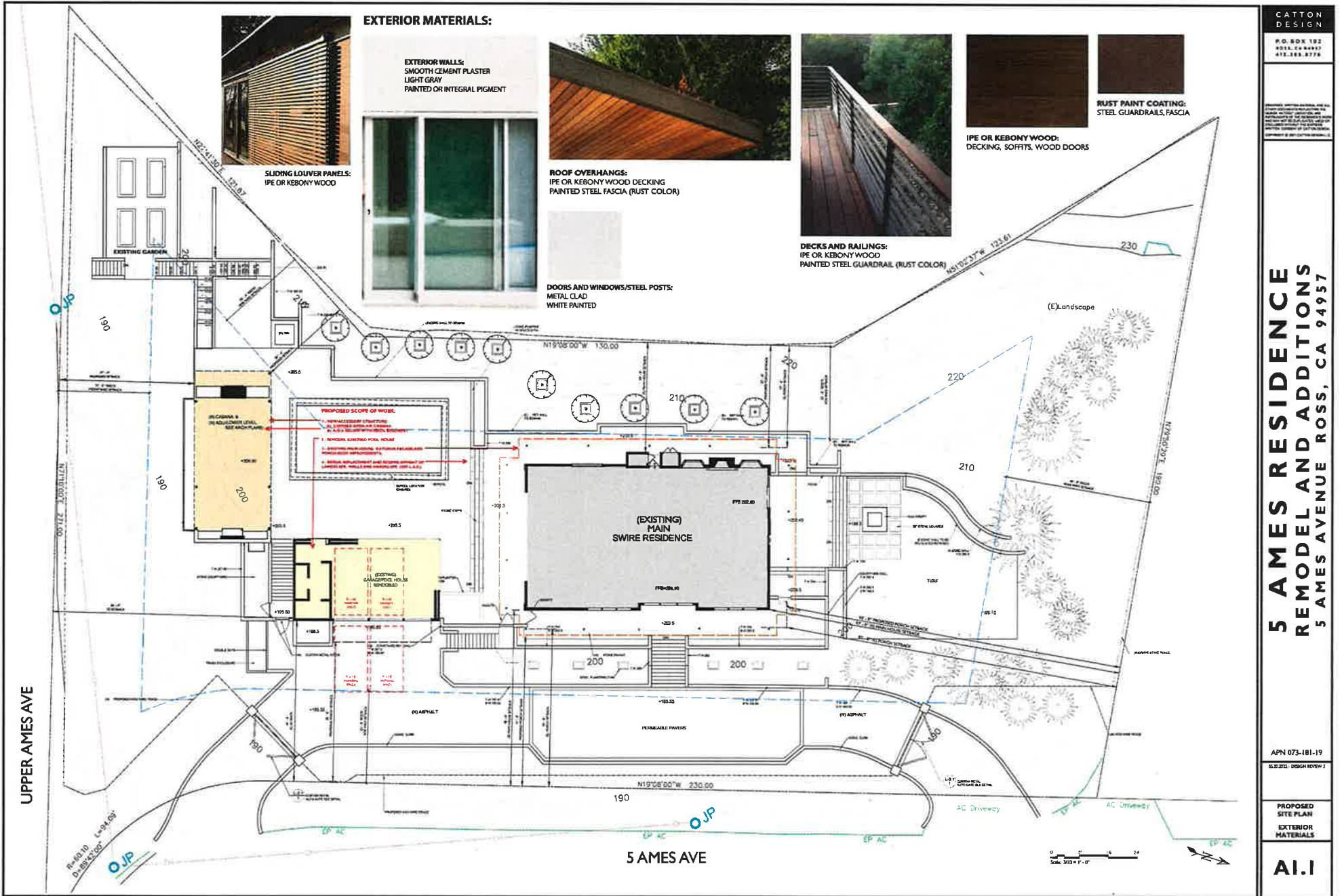
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01/25/2022 - DESIGN REVIEW

EXISTING  
AND  
PROPOSED  
COMPOSITE  
EXTERIOR ELEVATIONS

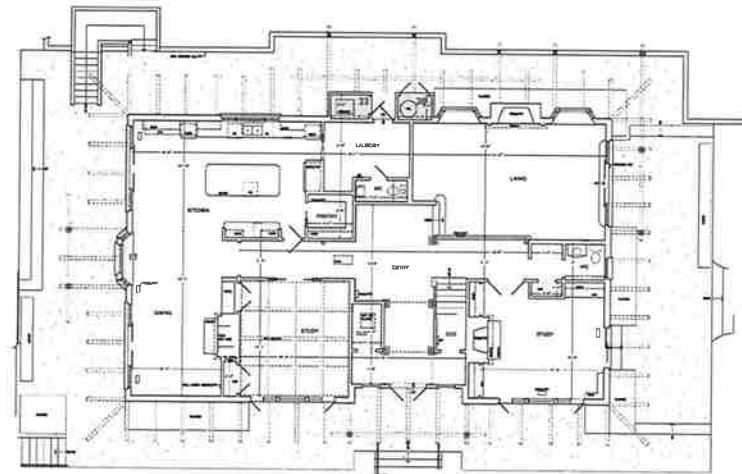
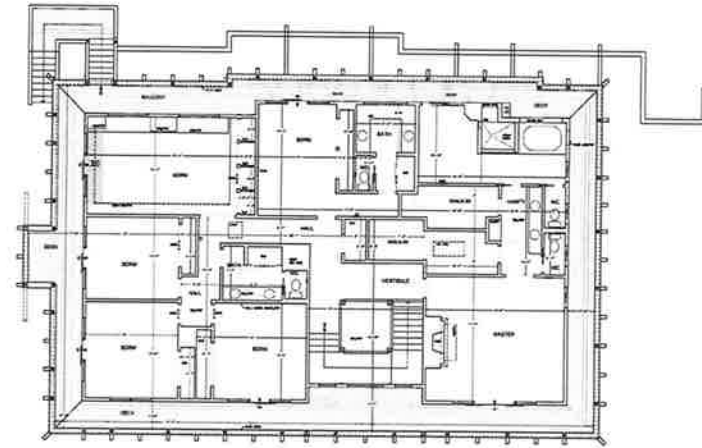
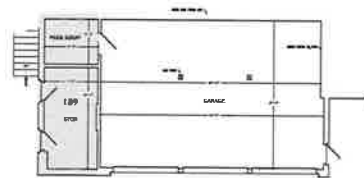
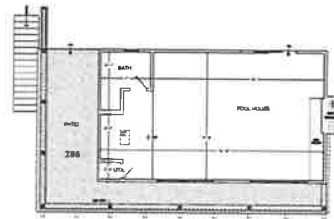
**A0.1**







- EXISTING FLOOR AREA  
REDUCED BY DELETION OR  
CLC HT REDUCTION
- EXISTING FLOOR AREA  
ADDED BY FILLING IN EXISTING  
COVERED PORCH



SCALE: 1/8" = 1'-0"

CATTON  
DESIGN

P.O. BOX 122  
ROSS, CA 94957  
415.282.8778

CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, 2019 EDITION, AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE REGULATIONS.

# 5 AMES RESIDENCE REMODEL AND ADDITIONS 5 AMES AVENUE ROSS, CA 94957

APN 073-181-19  
REVISION: DESIGN REVIEW 1

EXISTING  
BUILDING  
PLANS

A1.2

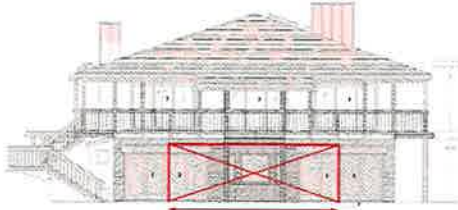




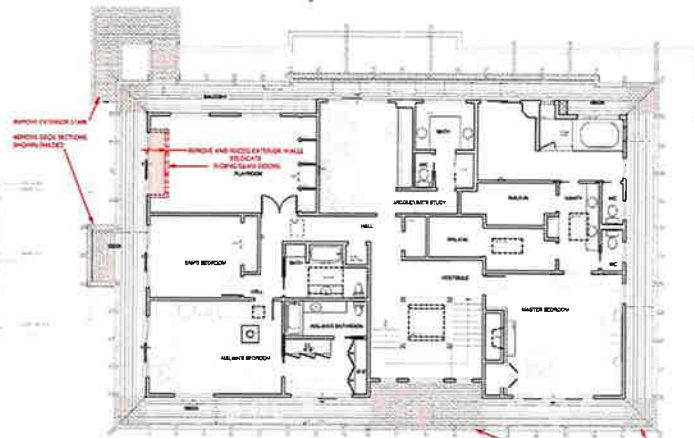
EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

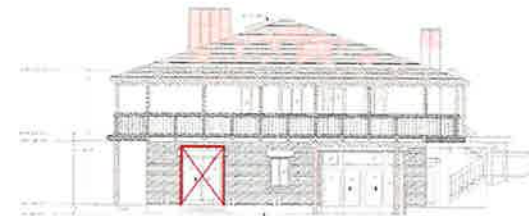
DEMO EXIST.  
EXIST. WALLS TO REMAIN



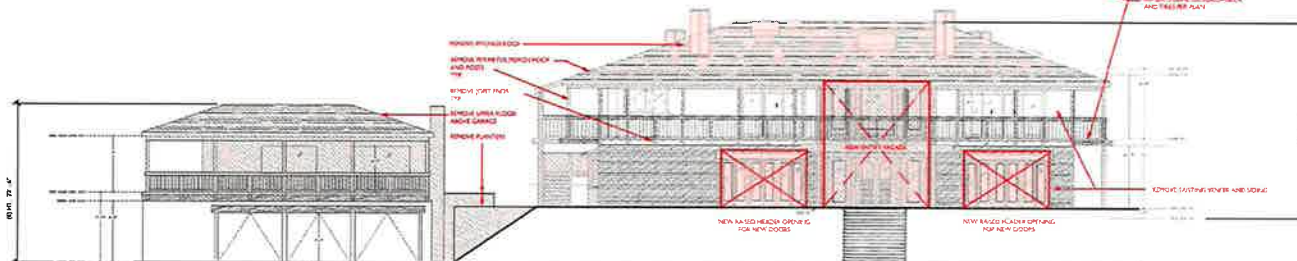
EXISTING SOUTH ELEVATION



EXISTING SECOND LEVEL FLOOR PLAN



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION

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DESIGN  
P.O. BOX 182  
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415.368.9776

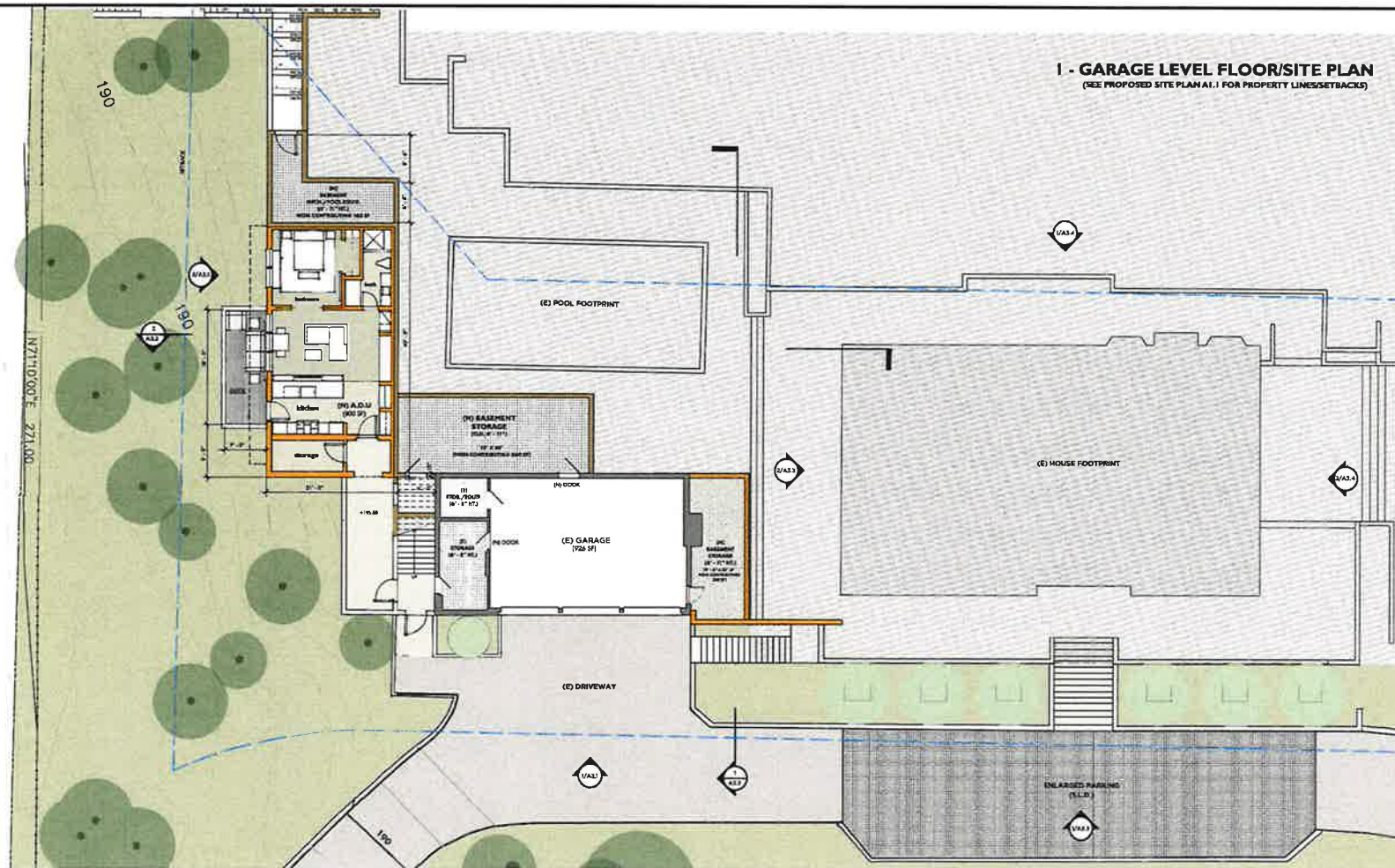
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REMODEL AND ADDITIONS  
5 AMES AVENUE ROSS, CA 94957

APN 073-181-19

05.08.2022 - DESIGN REVIEW 2

PROPOSED DEMO  
SECOND FLOOR  
ELEVATIONS

A1.3



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5 AMES AVENUE ROSS, CA 94957

APN 073-181-19  
15.25 AC. - GRACIA ESTATE

GARAGE LEVEL  
FLOOR/SITE PLAN  
COMPOSITE EAST  
ELEVATION

**A2.0**



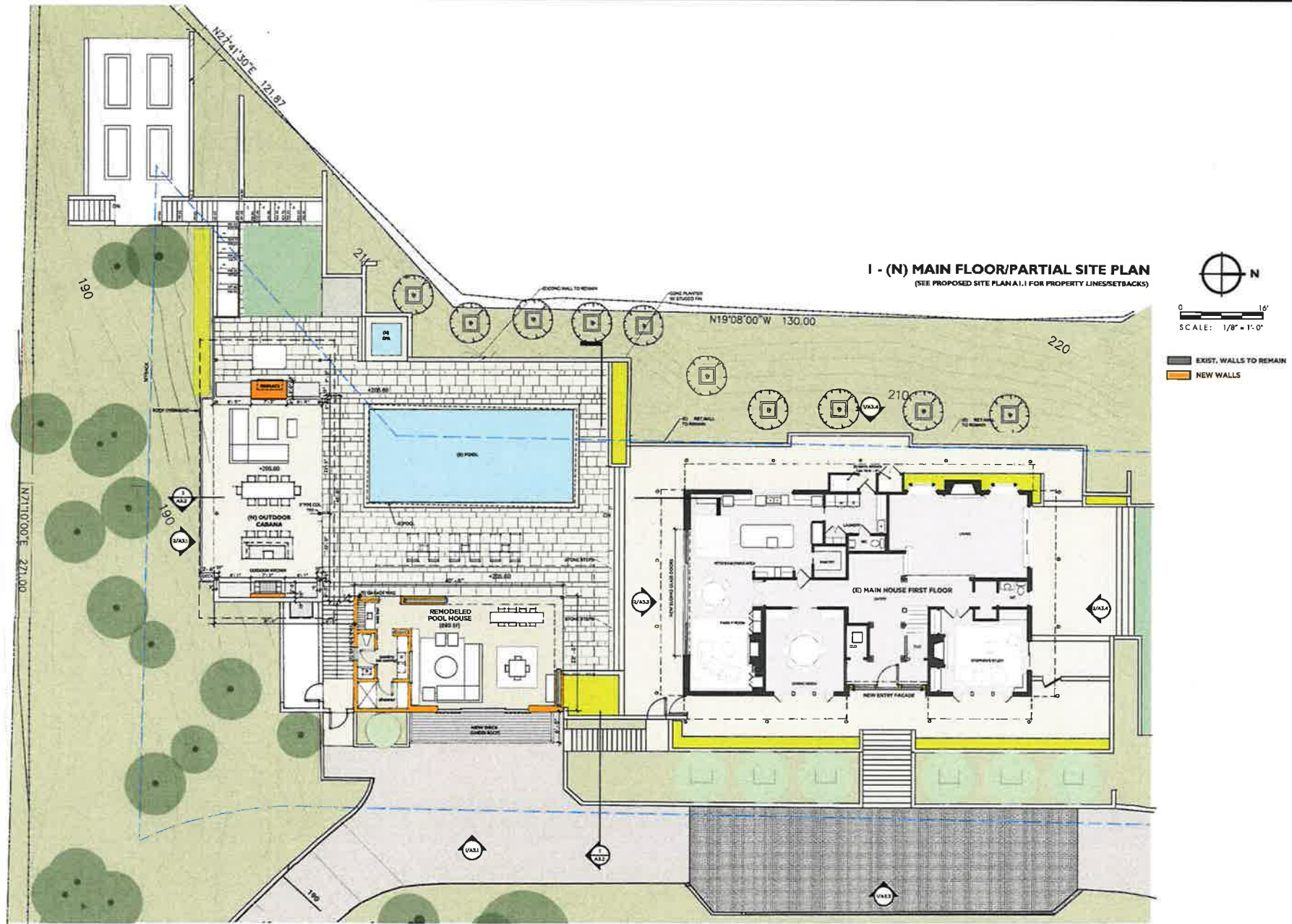
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**REMODEL AND ADDITIONS**  
5 AMES AVENUE ROSS, CA 94957

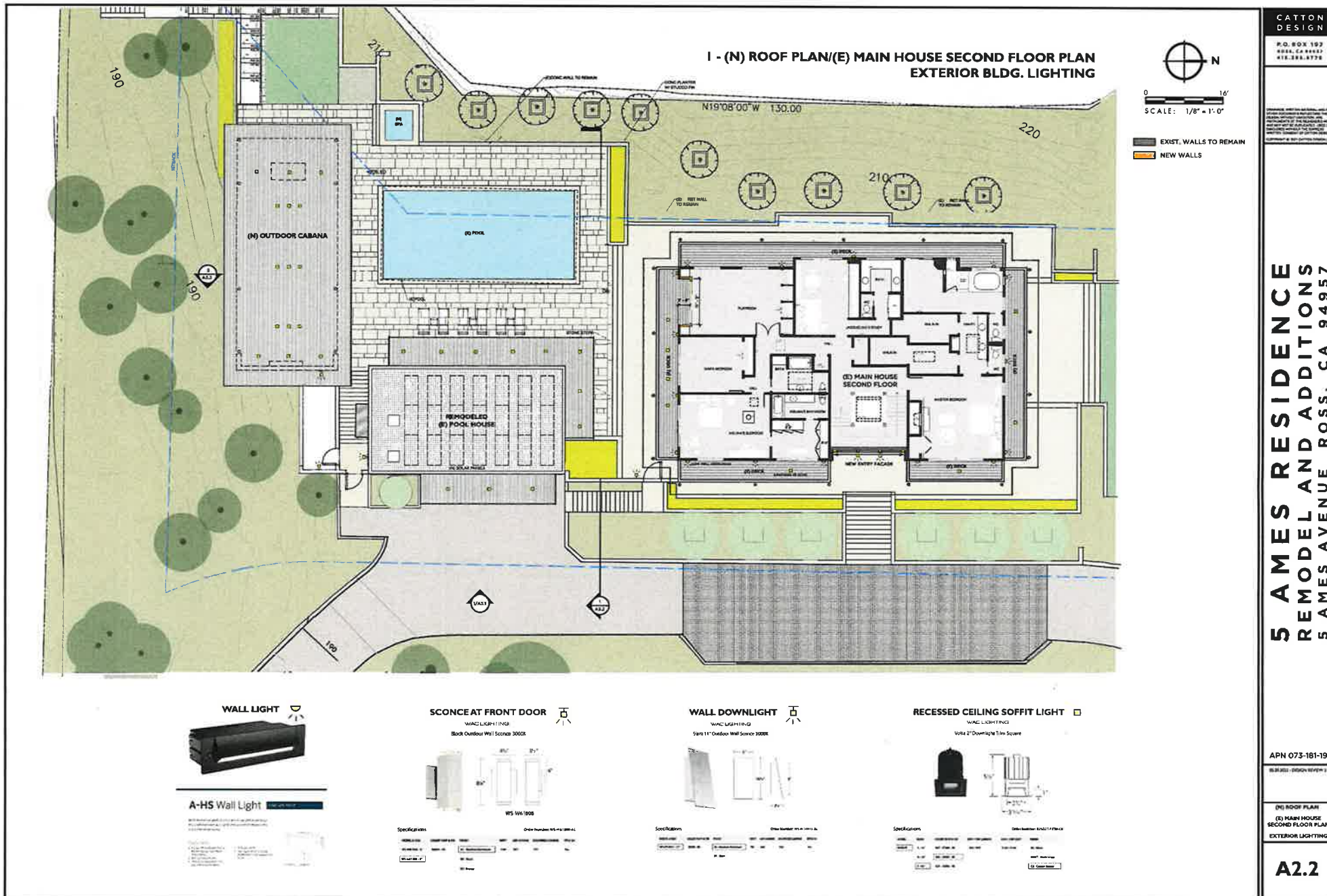
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**MAIN FLOOR/SITE  
PLAN**

## A2.1

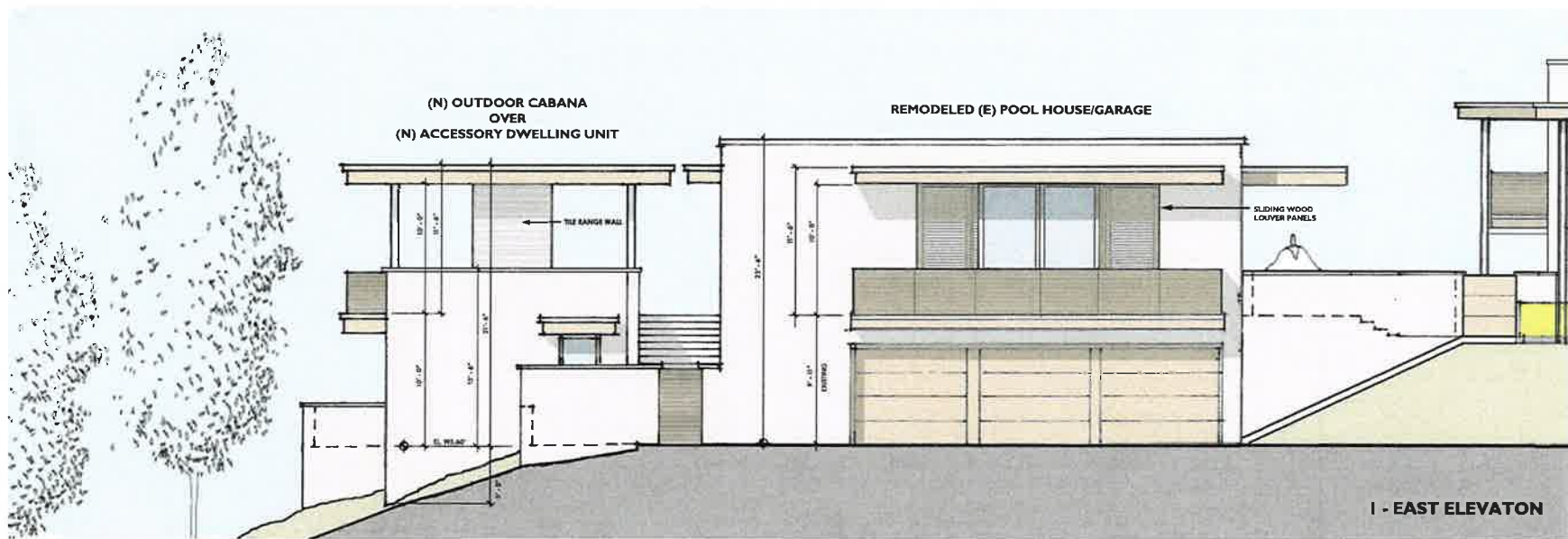
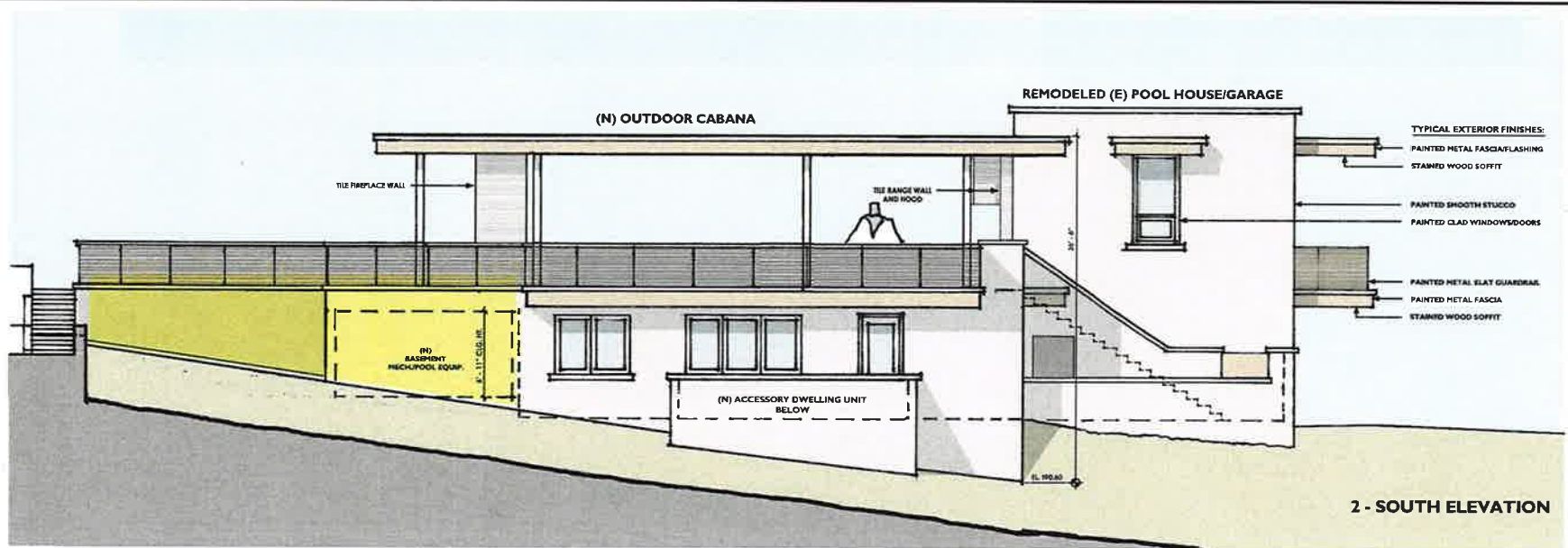












0 12'  
SCALE: 1/4" = 1'-0"

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DESIGN

P.O. BOX 192  
ROSS, CA 94957  
415.885.8778

OWNER: 5 AMES RESIDENCE  
ARCHITECT: CATTON DESIGN  
DATE: 07/20/2022  
PROJECT: 5 AMES AVENUE, ROSS, CA 94957  
DRAWING: EXTERIOR ELEVATIONS

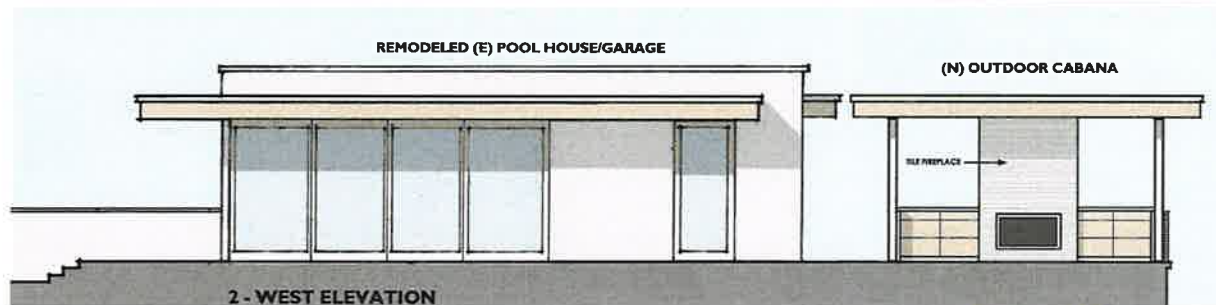
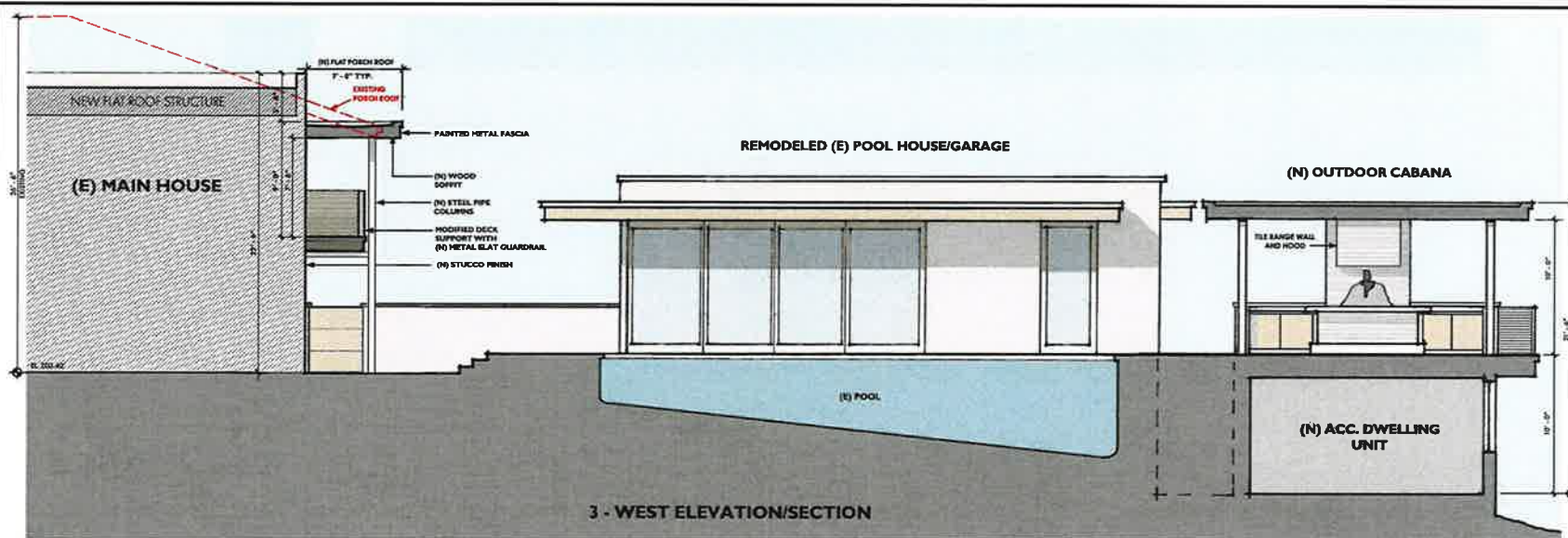
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REMODEL AND ADDITIONS  
5 AMES AVENUE ROSS, CA 94957

APN 073-181-19

07/20/2022 - DESIGN REVIEW 1

EXTERIOR ELEVATIONS:  
POOL HOUSE/REC.  
EAST  
CABANA/REC.  
SOUTH

A3.1



0 12  
SCALE: 1/4" = 1'-0"

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DESIGN

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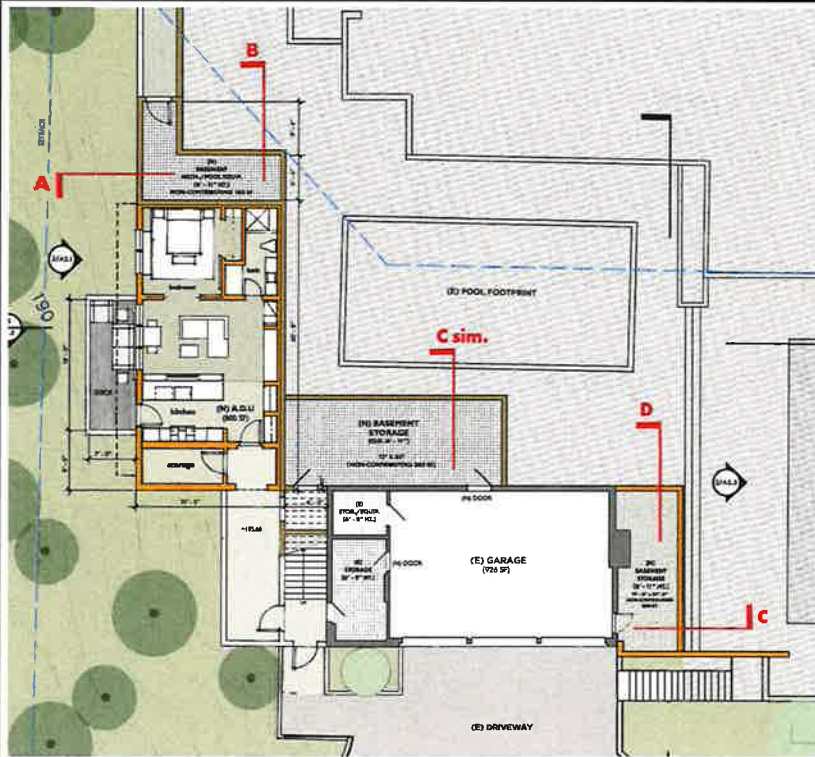
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EX. 100 - DESIGN REVIEW 1

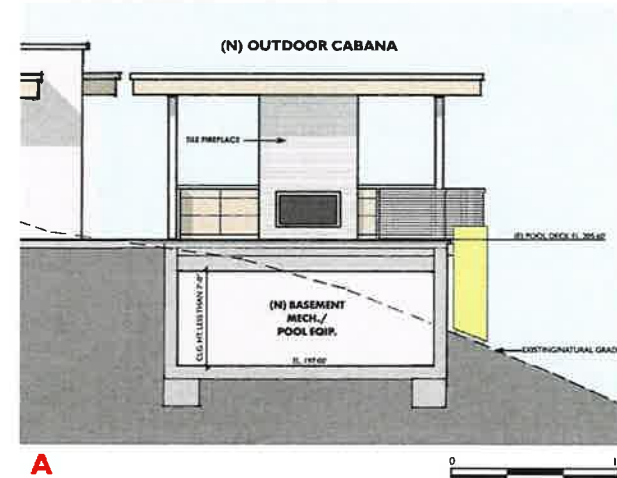
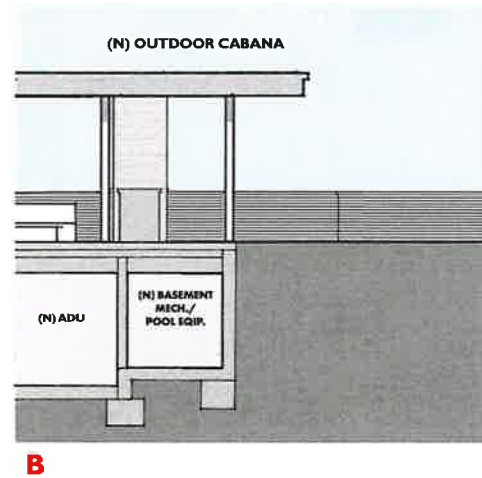
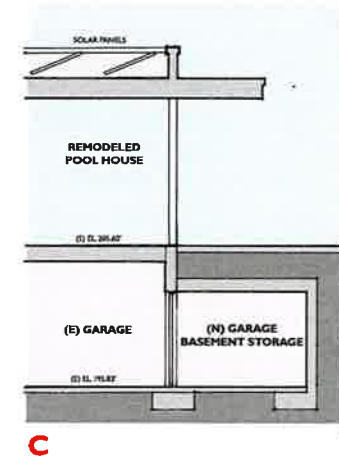
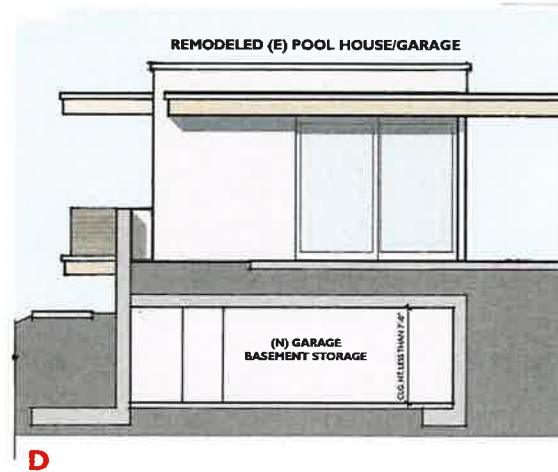
EXTERIOR ELEVATIONS  
SECTION  
POOL HOUSE  
CABANA/ACC.  
NORTH & WEST

A3.2





**REFERENCE PLAN**



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2001 CA 94957  
415.385.8778

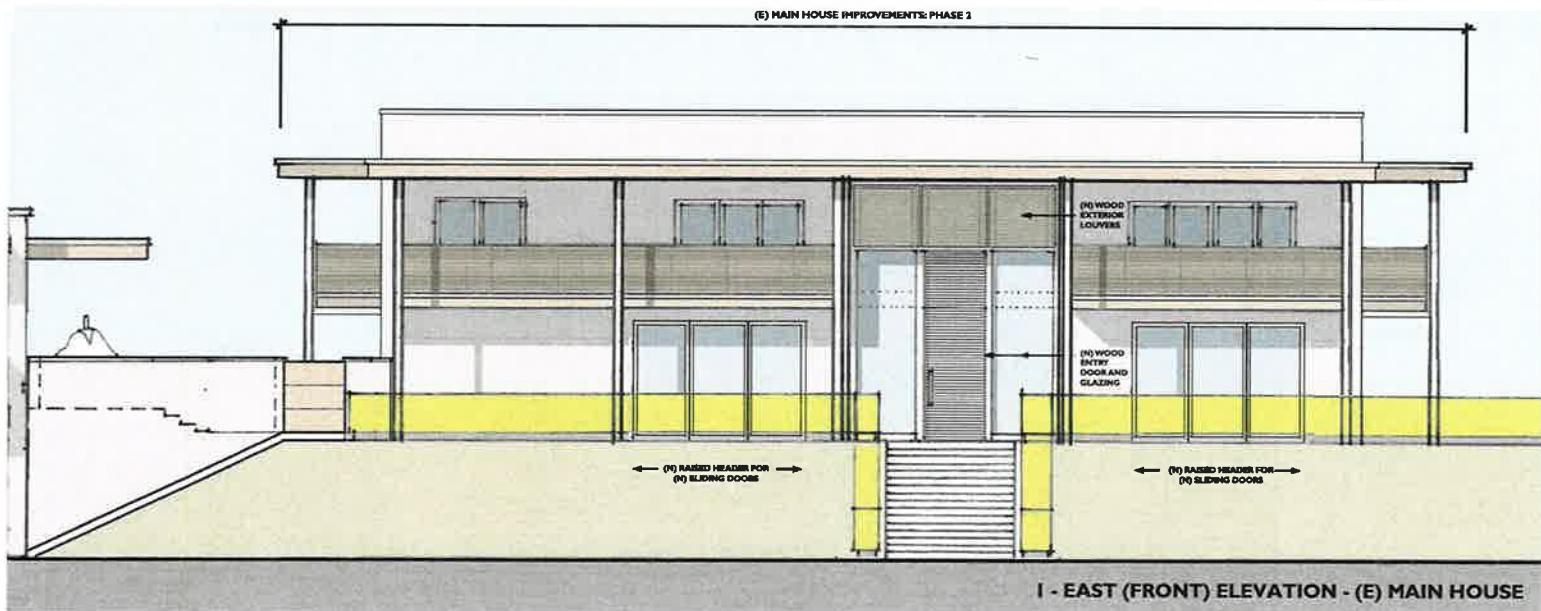
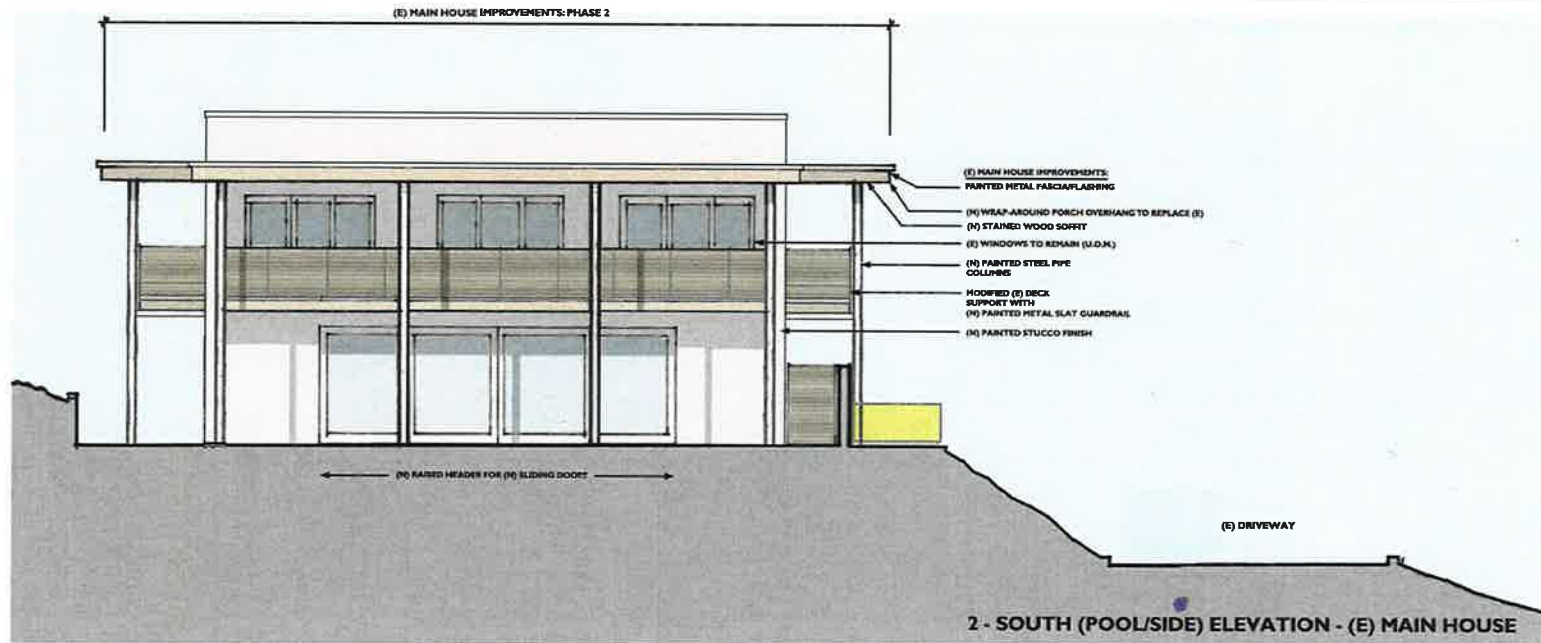
**5 AMES RESIDENCE  
REMODEL AND ADDITIONS**  
5 AMES AVENUE ROSS, CA 94957

APN 073-181-19

ISSUED - DESIGN REVIEW

NEW  
BASEMENT STORAGE  
SECTIONS

**A3.2a**



0 12'  
SCALE: 1/4" = 1'-0"

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80220, CA 94922  
415.283.8778

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5 AMES RESIDENCE  
REMODEL AND ADDITIONS  
5 AMES AVENUE ROSS, CA 94957

APN 073-181-19

DESIGNED BY CATTON DESIGN

EXTERIOR ELEVATIONS

MAIN HOUSE  
EAST & SOUTH

A3.3

**5 AMES RESIDENCE  
REMODEL AND ADDITIONS  
5 AMES AVENUE ROSS, CA 94957**

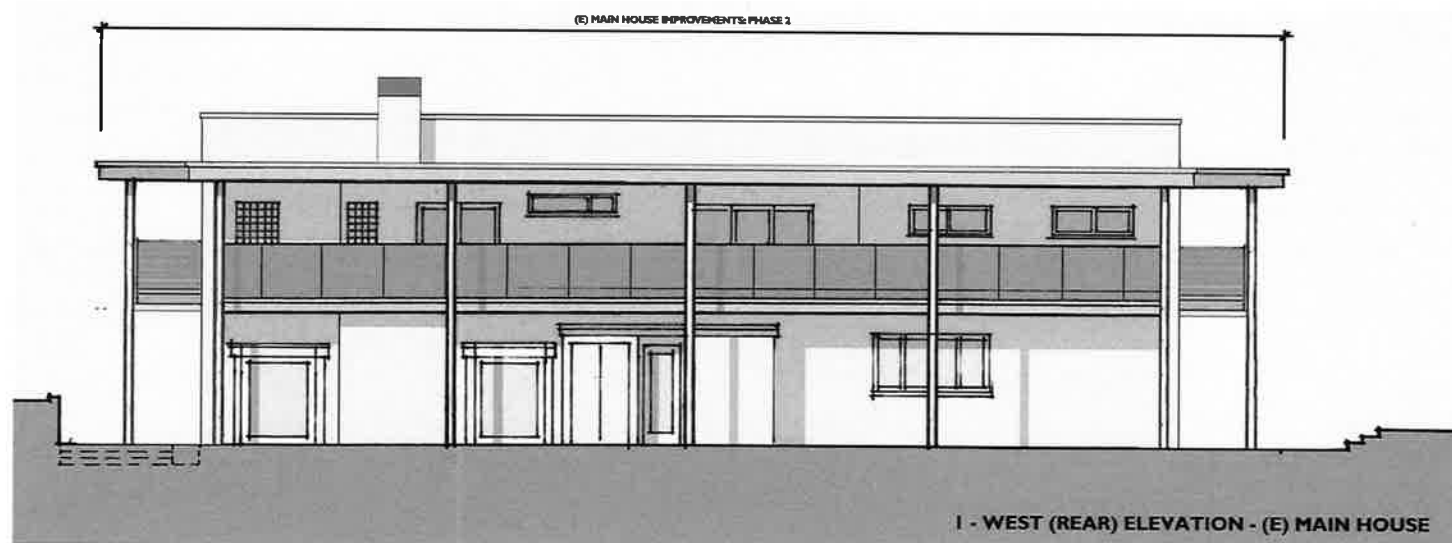
APN 073-181-19

JULY 2001 • DESIGN REVIEW 3

EXTERIOR ELEVATIONS

RAIN HOUSE  
NORTH & WEST

### A3.4



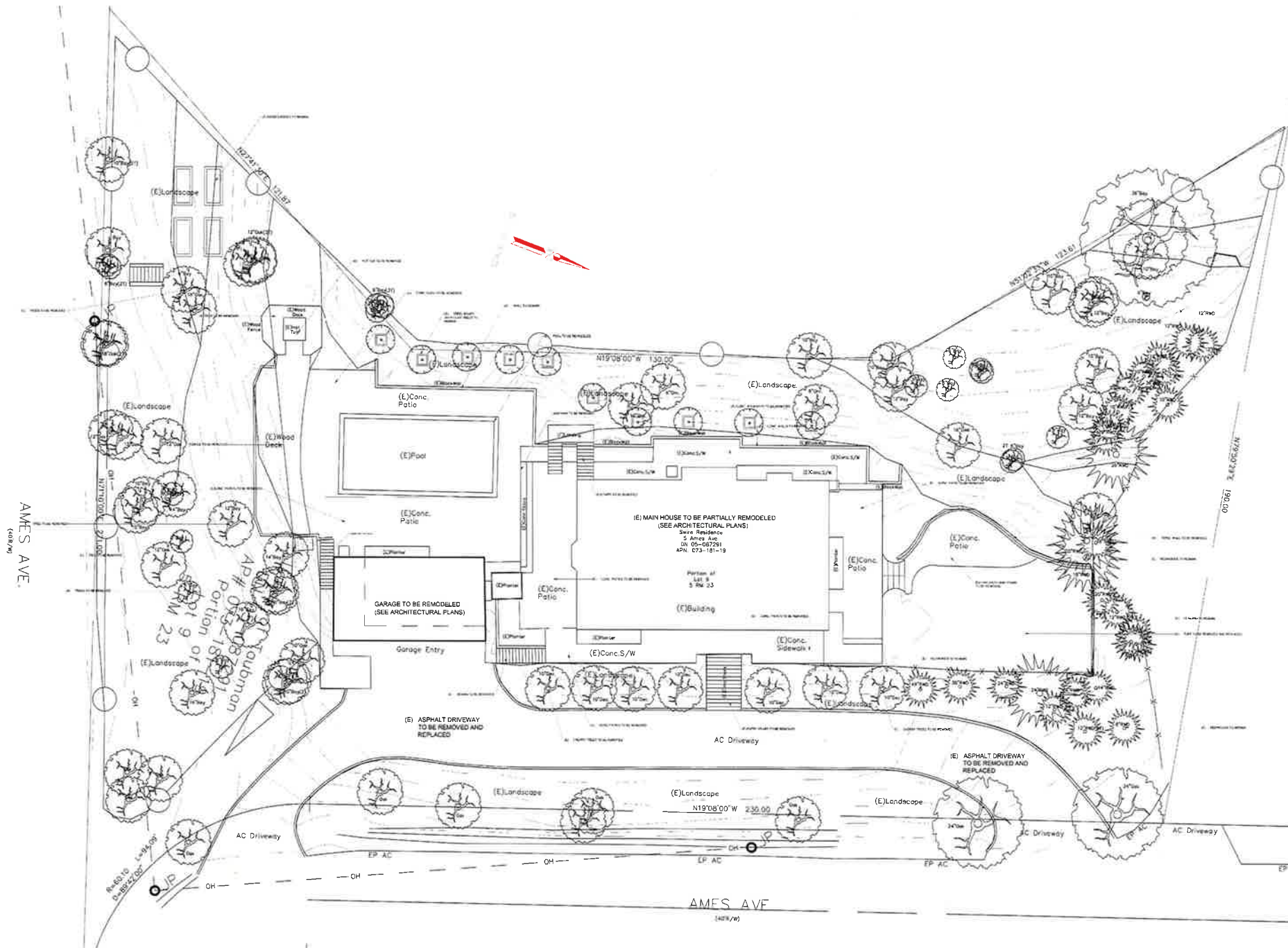
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SCALE: 1/4" = 1'-0"













**IMPRINTS**  
LANDSCAPE ARCHITECTURE



STATE OF CALIFORNIA

**SWIRE RESIDENCE**

5 AMES AVENUE  
ROSS, CA  
AP # 073-181-19

DATE	BY	DESCRIPTION
11.23.2021	RS	RS
11.23.2021	SWIRE	SWIRE
11.23.2021	SWIRE	SWIRE

DEMO PLAN

SHEET  
**L2.1**

11.23.2021

RS

SWIRE

1/32"=1'-0"





5 AMES AVENUE  
ROSS, CA  
AP #: 073-181-19

[illegible]

### L3.1





C-LL

## A-HS Wall Light

LINE VOLTAGE

With distinctive performance and a low-profile package, the A-HS compact wall light adds a touch of elegance to any commercial space.

### Quick Facts:

- Compact form factor (10" x 4" x 1.5")
- Available in multiple finishes (Black, White, Bronze, Silver, Gold, and Copper)
- Low profile design (1.5" deep)
- Low profile design (1.5" deep)

- IP65 and IP68
- Two-year, three-year, five-year, and ten-year warranties

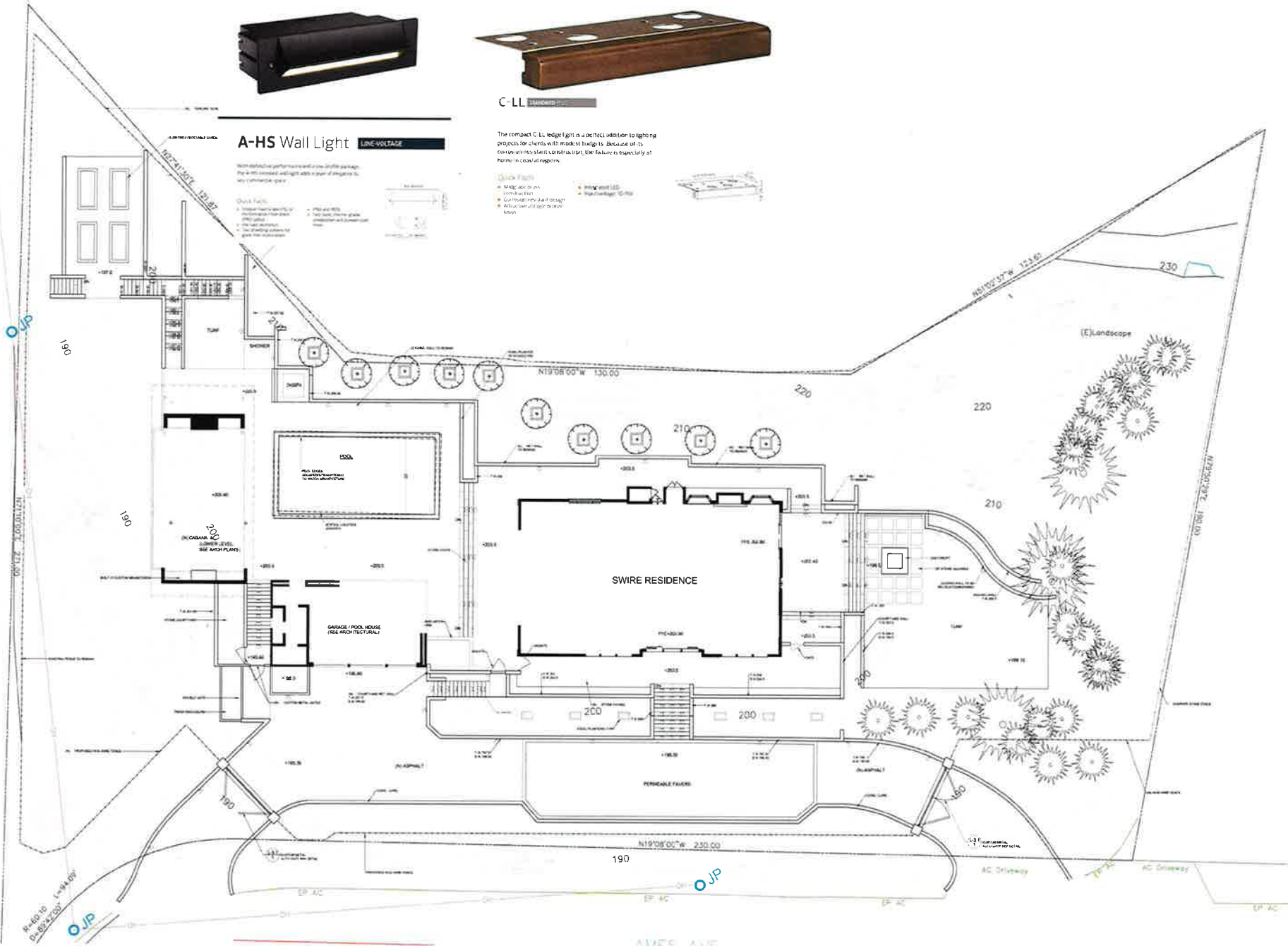
### Quick Facts:

- Available in multiple finishes (Black, White, Bronze, Silver, Gold, and Copper)
- Low profile design (1.5" deep)
- Low profile design (1.5" deep)

- IP65 and IP68
- Two-year, three-year, five-year, and ten-year warranties



The compact C-LL edge light is a perfect addition to lighting projects for clients with modest budgets. Because of its corrosion-resistant construction, the fixture is especially at home in coastal regions.

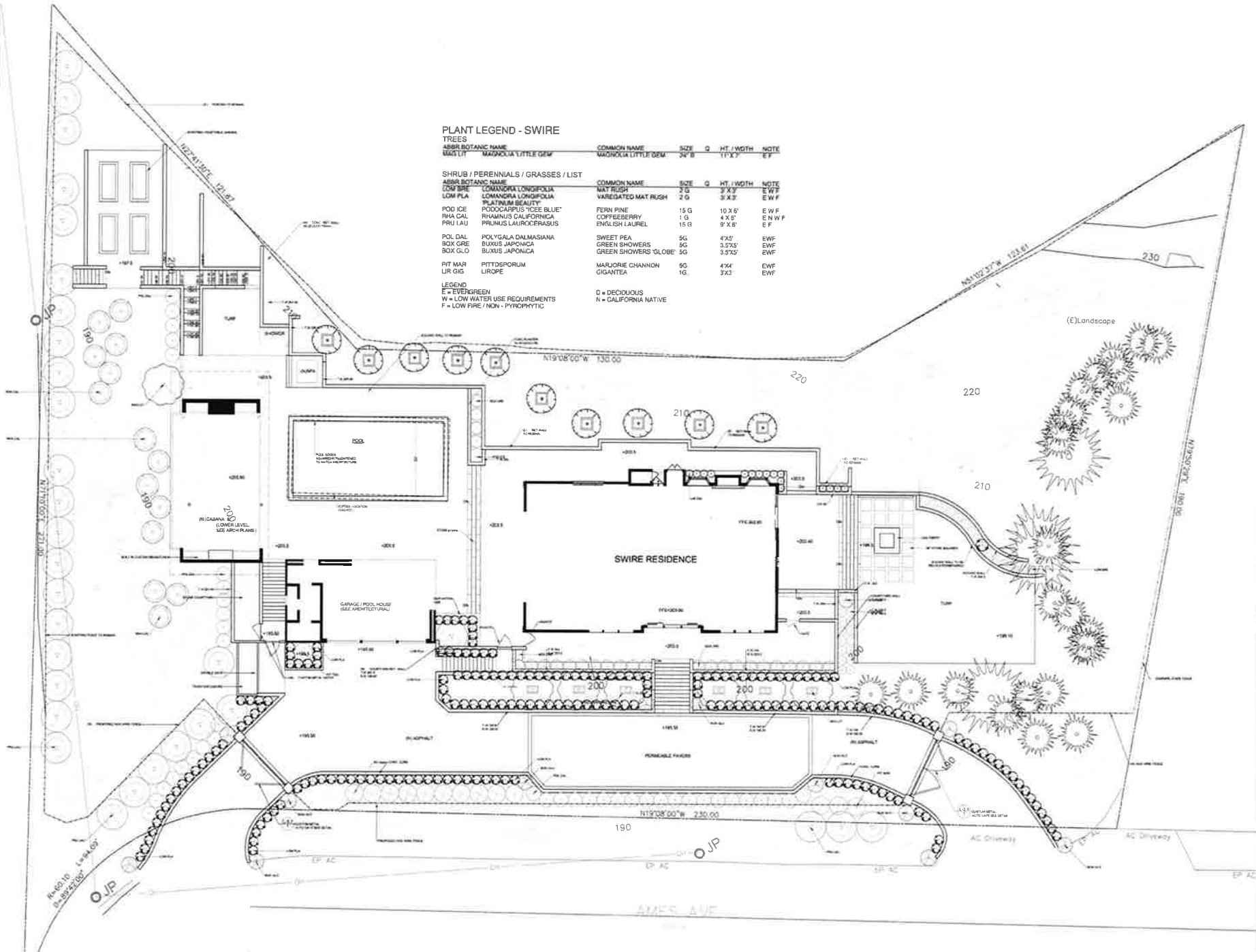


**SWIRE RESIDENCE**  
5 AMES AVENUE  
ROSS, CA  
AP #: 073-181-19

DATE	5	DESCRIPTION	BY
11/23/2021		RS	
11/23/2021		SWIRE	
3/32/21		1.0"	

LIGHTING PLAN

SHEET  
**L5.1**



**SWIRE RESIDENCE**

5 AMES AVENUE  
ROSS, CA  
AP #: 073-181-19

DATE	Δ	REVISION	BY
11.23.2021			RS
11.23.2021			SWIRE
3/32"=1'-0"			

PLANTING PLAN

**L6.1**



# PLANT LEGEND - SWIRE

TREES	ABBREVIATED NAME	COMMON NAME	SIZE	Q	HT. / WTH	NOTE
MAG. LI	MAGNOLIA LITTLE GEM	MAGNOLIA LITTLE GEM	24" S		11' X 7'	EF
SHRUB / PERENNIALS / GRASSES / LIST	ABBREVIATED NAME	COMMON NAME	SIZE	Q	HT. / WTH	NOTE
LOW BRE	LOMANDRA LONGIFOLIA	MAT RUSH	2 G		2' X 3'	E W F
LOW PLA	LOMANDRA LONGIFOLIA	VARIEGATED MAT RUSH	2 G		2' X 3'	E W F
POD ICE	PLATINUM BEAUTY	FERN PINE	15 G		10' X 6'	E W F
RHA CAL	ROSEHIPS ICE BLUE	COFFEEBERRY	1 G		4' X 6'	E N W F
PRU LAU	PHANUS LAURICERASUS	ENGLISH LAUREL	15 G		9' X 6'	EF
REL DAL	POLYGALE DALMANIANA	SWEET PEA	50		4' X 5'	E W F
BOX GRC	BUXUS JAPONICA	GREEN SHOWERS	50		3.5' X 5'	E W F
BOX GLO	BUXUS JAPONICA	GREEN SHOWERS GLOBE	50		3.5' X 5'	E W F
PIT MAR	PITTIOSPORUM	MARJORIE CHANNON	50		4' X 6'	E W F
UR GIG	LINORE	GIGANTEA	10		3' X 3'	E W F

LEGEND  
E = EVERGREEN  
W = LOW WATER USE REQUIREMENTS  
F = LOW FIRE / NON-PYROPHYTIC

Q = DECIDUOUS  
N = CALIFORNIA NATIVE

## VEGETATION MANAGEMENT NOTES

### GENERAL

The landscape improvements are to conform to all requirements of the Marin County ordinances and requirements. The contractors and owners are responsible for fully understanding and complying with all provisions of this ordinance. No prohibited plants will be allowed to remain and / or be planted in the new landscape.

### SITE DESCRIPTION

The property faces south, with an average slope of 20%. The existing property consists of an specimen garden, nearest to the house, and oak woodlands w/ perennial grasses underneath, on the periphery. We are proposing to remove and replace the existing specimen garden with new fire resistant plantings and irrigation system. Our defensible space, as determined by the fire hazard assessment matrix, is to be 30 ft. in the front and side yards, and 30 ft. in the rear.

### EXISTING PLANT REMOVAL

All existing pyrophytic plant material is to be removed from the property. All existing fire ladders and unsafe conditions are to be mitigated per the approval requirements of the Marin County Fire District.

### IRRIGATION

All planting areas will be irrigated utilizing drip irrigation methods.

### PLANTING

Shrubs to be planted in groups and spaced to prevent fire ladders and the expansion of fire movement characteristics. The proposed planting is to be primarily a specimen garden.

### MULCHING

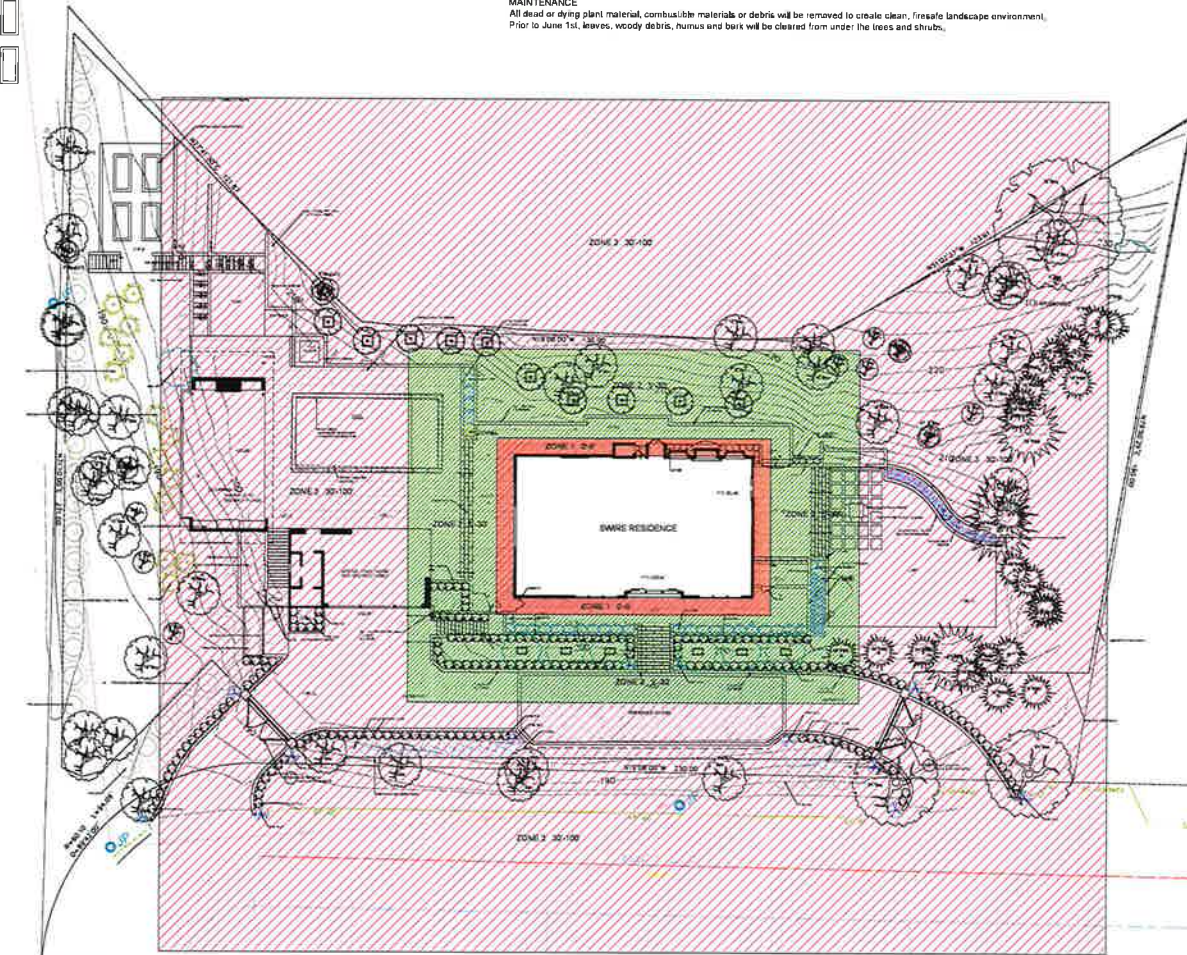
All planting areas within the defensible space will be mulched utilizing chips(not shredded material). Mulching material to be approved by the Central Marin Fire Inspector prior to purchase and application.

### PLANT SELECTION

The recommended planting for the defensible space zone to be non pyrophytic per banned list of plants in the publication Pyrophytic vs. fire resistant plants (October 1998). All plants proposed for this project have been deemed fire resistant and chosen for the site specific characteristics of the property. See also table 1: Prohibited Plants and trees included in Southern Marin Fire Protection District Standards.

### MAINTENANCE

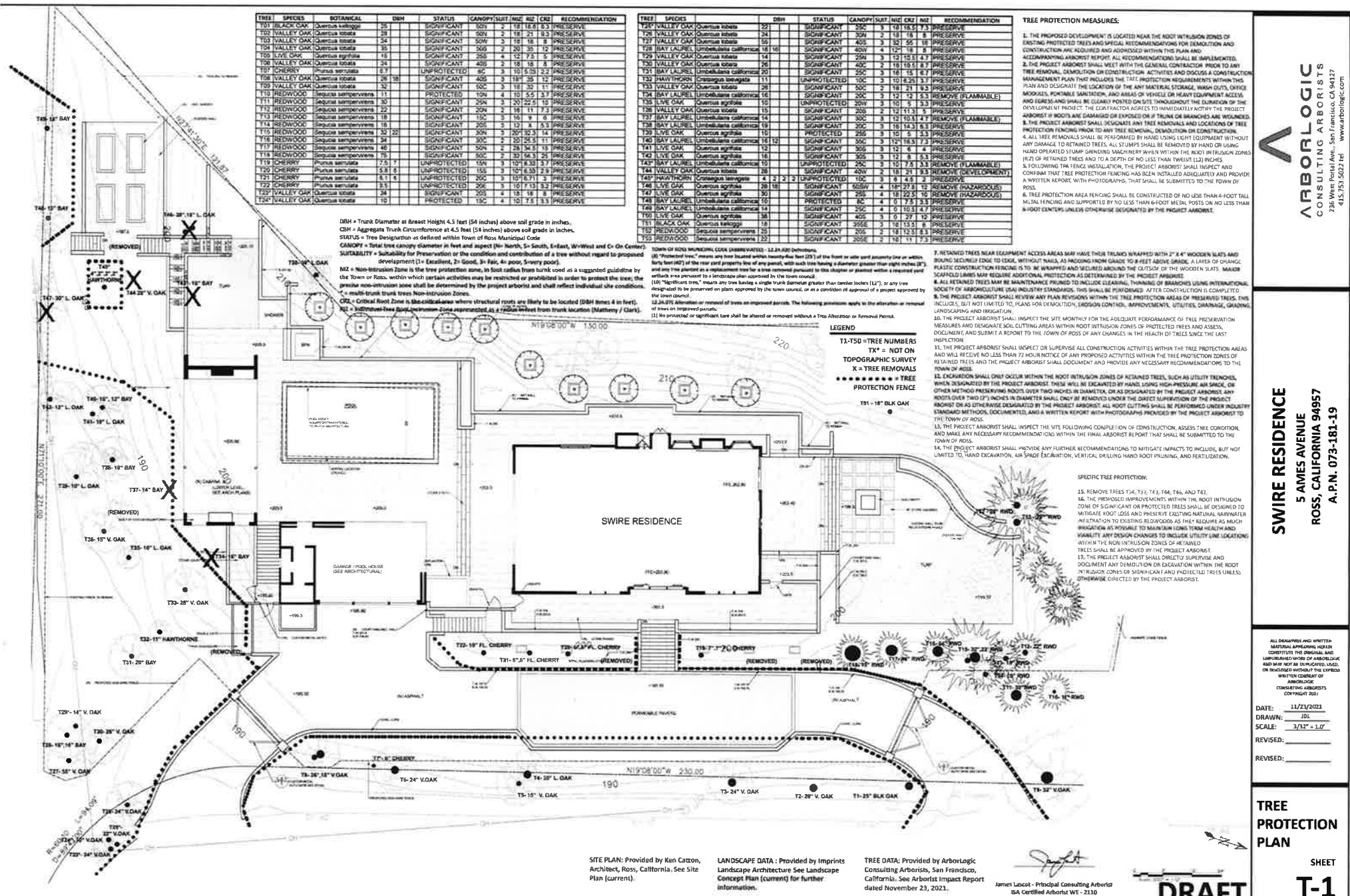
All dead or dying plant material, combustible materials or debris will be removed to create clean, fire safe landscape environment. Prior to June 1st, leaves, woody debris, mulch and bark will be cleared from under the trees and shrubs.



**SWIRE RESIDENCE**  
5 AMES AVENUE  
ROSS, CA  
AP # 073-181-19

DATE	BY	REVISION	WT
11.23.2021	RS		
	SWIRE		
	1/16"=1'-0"		

VEGETATION  
MANAGEMENT  
PLAN  
L7.1



**ARBORLOGIC**  
CONSULTING ARBORISTS  
236 West Portal Ave., San Francisco, CA 94127  
415.753.5022 tel  
www.arborlogic.com

**SWIRE RESIDENCE**  
5 AMES AVENUE  
ROSS, CALIFORNIA 94957  
A.P.N. 073-181-19

DATE: 11/23/2023  
DRAWN: JDL  
SCALE: 3/32" = 1'-0"  
REVISED:  
REVISED:

**TREE PROTECTION PLAN**

SHEET  
**T-1**

SITE PLAN: Provided by Ken Catton, Architect, Ross, California. See Site Plan (current).  
LANDSCAPE DATA: Provided by Imprints Landscape Architecture. See Landscape Concept Plan (current) for further information.  
TREE DATA: Provided by ArborLogic Consulting Arborists, San Francisco, California. See Arborist Impact Report dated November 23, 2021.

James Lascot - Principal Consulting Arborist  
ISA Certified Arborist WE - 2110

**DRAFT**



LEGEND			
EX	NEW	EX	NEW
		PROPERTY LINE	CONC. RETAINING WALL
		EASEMENT LINE	SUBDRAIN (PERFORATED PIPE)
		EX WOODEN RET. WALL	STORM DRAIN PIPE
		DRAINAGE DITCH/ BIO-SHALE	ELECTRICAL OVERHEAD LINE
		UNDISTURBED SOIL	ELECTRICAL UNDERGROUND
		COMPACTED FILL MATERIAL	COMMUNICATION OVERHEAD LINE
		GEOTEXTILE	COMMUNICATION UNDERGROUND
		EROSION CONTROL BLANKET	JOINT TRENCH
		TURF REINFORCING MAT	SANITARY SEWER
		STRAW HATCLE	WATER LINE
AD		RUNOFF FLOW DIRECTION	GAS LINE
IN		SHALE FLOW DIRECTION	EDGE OF ROAD
RL		STORMWATER LEVEL SPREADER	ROOF EAVE
FD		BUBBLE-UP DRAINAGE EMITTER	EX FENCE
JO		POP-UP DRAINAGE EMITTER	NEW WIRE FENCE
GE		SUBDRAIN END GAP	NEW WOOD FENCE
WM		SUBDRAIN OR STORMWATER CLEANOUT	EXISTING GRADE ELEVATION CONTOUR
ET		SUBDRAIN OUTLET	FINISHED GRADE ELEVATION CONTOUR
ED		WOODEN FOUNDATION OR RETAINING WALL	FINISHED GRADE ELEVATION
		TREE PROTECTION FENCING	REMOVE EX TREE

Diagram illustrating the correct use of section and detail symbols:

- SECTION SYMBOL:** A circle containing the letter 'S' and the section identifier 'C-2'.
  - SECTION LETTER:** Points to the 'S'.
  - SECTION:** Points to the 'C-2'.
  - SHEET ON WHICH SECTION IS SHOWN:** Points to the circle.
- DETAIL SYMBOL:** A circle containing the letter 'D' and the detail identifier 'C-2'.
  - DETAIL NUMBER:** Points to the 'D'.
  - DETAIL:** Points to the 'C-2'.
  - SHEET ON WHICH DETAIL IS CALLED OUT:** Points to the circle.

DRAWING NO.	DESCRIPTION
G-1	COVER SHEET
G-2	CONCEPTUAL GRADING AND DRAINAGE PLAN
G-3	DETAILS (1 OF 2)
G-4	DETAILS (2 OF 2)

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BH	BENCH MARK
SPD	BACKFLOW PREVENTION DEVICE
CWP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COMMCH	COMMUNICATION OVERHEAD
COMMUG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CT	CURB YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
EIGH	ELECTRICAL OVERHEAD
EUG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION

1. THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.

2. UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:
  - WATER: MARIN MUNICIPAL WATER DISTRICT
  - SEWER: ROSS VALLEY SANITARY DISTRICT NO.1
  - ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)
  - GAS: PACIFIC GAS AND ELECTRIC (PG&E)
  - TELEPHONE: AT&T
  - CABLE: COMCAST
3. INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.
4. CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER. LATERAL REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO.1 STANDARDS.

EXCAVATION	925 CY
FILL	10 CY
EXCESS	255 CY
MAX. EXCAVATION DEPTH	10 FT
MAX. FILL DEPTH	5 FT
DISTURBED AREA	0.30 AC

1. QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
2. LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
3. SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDINGS OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

1. THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
2. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM-WATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RAINOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	14,225 SF	16,986 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	0 SF
LANDSCAPE (PERVIOUS)	24,813 SF	27,052 SF
TOTAL LOT AREA	44,038 SF	44,038 SF

1. IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
2. IMPERVIOUS AREA DOES NOT INCLUDE THE POOL.
3. CONCRETE PAVES INCLUDE WALKWAYS, PATIOS AND DRIVEWAY.
4. NEW OR REPLACEMENT IMPERVIOUS AREA IS 7,265 SF.

1. SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY HADCO HAS NO IDEA.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL BEFORE YOU DIG AT 800-4-A-ROOT OR 800-221-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE IMMEDIATELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER. AT THE CLOSE OF THE CONTRACT, ANY PROPERTY DAMAGE OR DAMAGE TO CONFINED FACILITIES OR REPAIRS WILL BE THE RESPONSIBILITY OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. INEFFECTIVE EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THIS GRADING PLAN. ENGINEER IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

OFFER  
STEVEN & JACQUELINE SWRE  
5 AVES AVE  
1055 CALIFORNIA AVE



ISSUED FOR  
REVIEW  
NOT FOR  
CONSTRUCTION

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**073-181-19**  
**5 AMES AVENUE**  
**CROSS, CALIFORNIA**

REVISED

NO	DATE	DESCRIPTION
△	12/10/2	ISSUED FOR REVIEW
△		
△		
△		
△		

DESIGNED BY:	G. DEARTH
DRAWN BY:	E. HARTON
APPROVED BY:	
SCALE:	NA

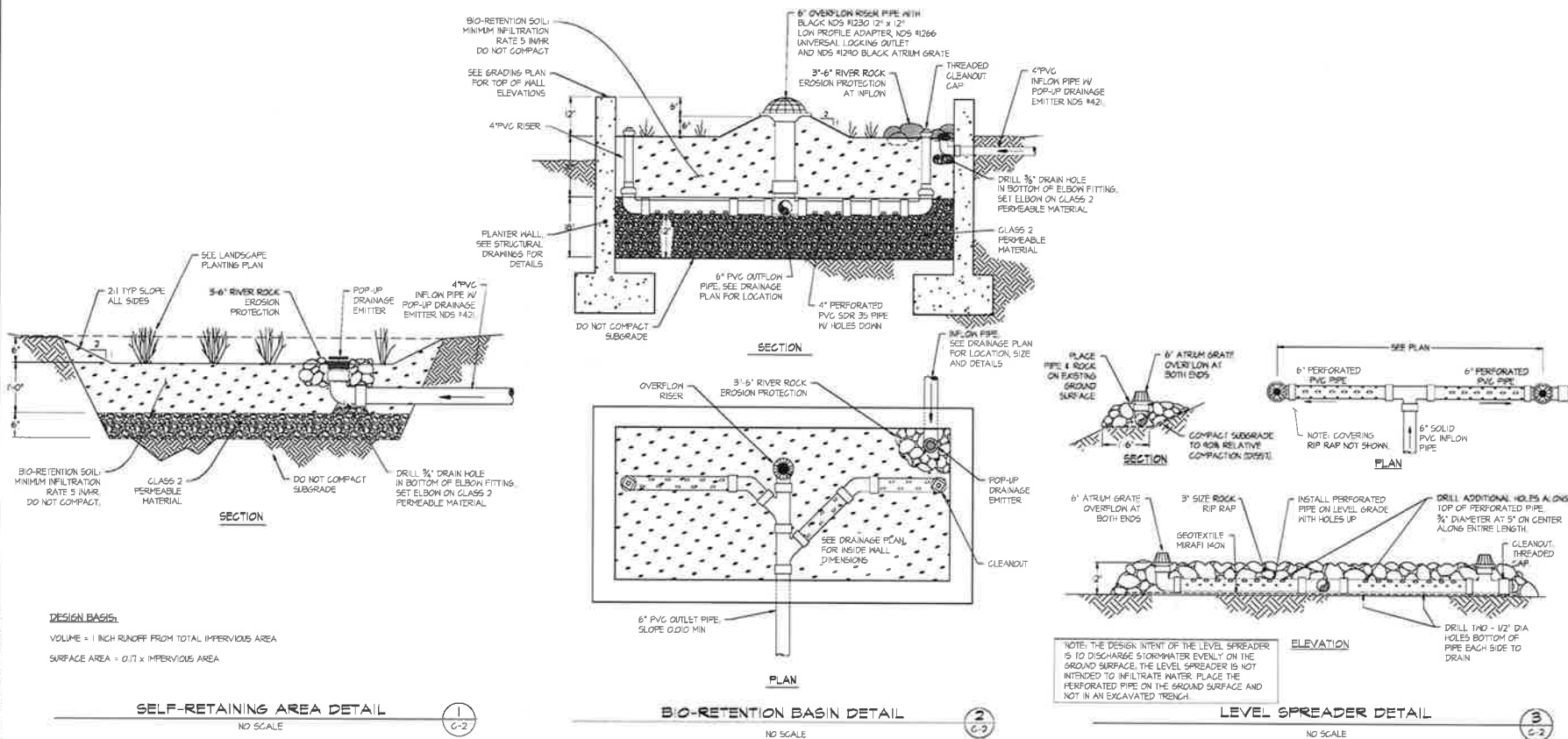
DATE	PROJECT NO.
06/001	048.001

# COVER SHEET

REVISION	0
SHEET NO.	1 of 4
DRAWING	C-1







# **STORMWATER DRAINAGE PLAN**

- THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN OF ROSS REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
- THE EXISTING DEVELOPMENT ON THE SITE TOTALS 10,225 SQUARE FEET (50 FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 44,030 SQ. FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 31 PERCENT OF THE TOTAL LOT AREA.
- THE PROPOSED LANDSCAPE PLAN CREATES OR REPLACES 18,995 SQ. FT. OF IMPERVIOUS AREA. THIS AREA IS MORE THAN THE 2,000 SQ. FT. THRESHOLD FOR RESIDENTIAL STORMWATER PROJECTS, AND THEREFORE, THE PROPOSED PLAN IS SUBJECT TO REQUIREMENTS OF THE BASHAM POST-CONSTRUCTION MANUAL FOR STORMWATER TREATMENT AND CONTROL.
- THE PROPOSED DEVELOPMENT PLAN ADDS 2,761 SQ. FT. OF NEW IMPERVIOUS AREA, GIVING A TOTAL OF 18,956 SQ. FT. OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 34 PERCENT OF THE LOT AREA.
- THE BIO-RETENTION BASIN SURFACE AREA IS SIZED ACCORDING TO THE TOWN OF ROSS REQUIREMENT TO PROVIDE AN AREA EQUAL TO 8 PERCENT OF THE INCREASED IMPERVIOUS AREA. BASED ON THIS STANDARD THE BIO-RETENTION BASIN AREA NEEDS TO BE 221 SQ. FT. THE BIO-RETENTION BASIN SHOWN ON THE PLANS COMPLIES WITH THIS REQUIREMENT.
- THE PROPOSED LANDSCAPE PLAN IMPROVES THE EXISTING 18,995 SQ. FT. OF IMPERVIOUS AREA. RUNOFF FROM MOST OF THE REMAINING IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO AN ON-SITE BIO-RETENTION BASIN. RUNOFF FROM THE DRIVEWAY IMPERVIOUS AREA WILL SHEET FLOW TO LANDSCAPE OR THE STREET.

- AREA DRAINS IN LANDSCAPE AND HARDSCAPE AREAS ARE LIMITED TO LOCATIONS WHERE THEY ARE NECESSARY TO PREVENT WATER PONDING THAT COULD DAMAGE THE HOUSE. RUNOFF FROM MOST OF THE HARDSCAPE AREAS WILL BE ALLOWED TO SHEET FLOW TOWARD LANDSCAPED AREAS WHERE IT CAN INFILTRATE OR SLOWLY RUNOFF TOWARD THE STREET DRAINAGE SYSTEM.
- THE BIO RETENTION BASIN IS DESIGNED TO CAPTURE THE 10-YEAR STORM AND INFILTRATE IT INTO THE GROUND IN ACCORDANCE WITH MGS/OPPH GUIDELINES. THE SURFACE AREA OF THE BASIN IS SIZED FOR 88% OF THE IMPERVIOUS AREA IN CONFORMANCE WITH TOWN OF ROSS REQUIREMENTS RATHER THAN THE STANDARD 48% REQUIRED BY THE BASHAM MANUAL. DETAILS OF BASIN CONSTRUCTION COMPLY WITH MGS/OPPH GUIDELINES.
- A FOUNDATION DRAINAGE AND RETAINING WALL BACK DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

## **EXCAVATION & GRADING PLAN**

- SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN. SITE GRADING SHALL BE LIMITED TO EXCAVATION WITHIN THE FOOTPRINT OF THE NEW STRUCTURE AND PATIOS. FILL WILL BE LIMITED PRIMARILY TO THE NEW RAISED GARDEN AREA AND THE WIDENED DRIVEWAY AREA.
- EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

## **EROSION CONTROL**

- EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAIN MATS WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TAIPS TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL, BLANKET AND STRAIN MATS.
- PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLAN.

## **STORMWATER POLLUTION PREVENTION**

- SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR NATURAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

## **UTILITY PLAN**

- WATER: THE EXISTING WATER METER WILL BE REPLACED WITH AN APPROPRIATELY SIZED METER FOR THE PROPOSED PROJECT. ALL WATER SYSTEM IMPROVEMENTS WILL BE COMPLETED IN CONFORMANCE WITH MARIN MUNICIPAL WATER DISTRICT STANDARDS.

- ELECTRIC POWER: THE EXISTING OVERHEAD ELECTRIC SERVICE AND METER WILL REMAIN AS SHOWN ON DRAWING C-2. ALL ELECTRIC POWER SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
- COMMUNICATION: THE EXISTING OVERHEAD PHONE AND CABLE TV SERVICE WILL REMAIN AS SHOWN ON DRAWING C-2. ALL COMMUNICATION SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH AT&T AND COMCAST. THE WORK WILL BE COMPLETED IN CONFORMANCE WITH THEIR STANDARDS.
- NATURAL GAS: THE EXISTING GAS SERVICE AND METER WILL BE RETAINED. ANY REQUIRED GAS SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
- SANITARY SEWER: A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL WILL BE CONDUCTED. IF THE LATERAL DOES NOT PASS INSPECTION IT WILL BE REPLACED WITH A NEW LATERAL AND BACK FLOW PREVENTION DEVICE CONFORMING TO ROSS VALLEY SANITARY DISTRICT STANDARDS AS SHOWN ON DRAWING C-2.
- ALL UTILITY SERVICES AND BUILDING WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE. NO NEW CONNECTIONS TO SERVICE MAINS ARE PLANNED.

## **RETAINING WALL CONSTRUCTION NOTES**

- ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION SUPPORTED BY SPREAD FOOTINGS OR DRILLED PILES AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.

LTD Engineering, Inc.  
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San Rafael, CA 94903  
Tel: 415.466.7402 Cell: 415.772.8771  
glenn@ltdengineering.com

OWNER  
STEPHEN & JACQUELINE WARE  
5 AMES AVE  
ROSS, CALIFORNIA 94061



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SWIRE RESIDENCE  
REMODEL  
07-3-01-19  
5 AMES AVENUE  
ROSS, CALIFORNIA

NO.	DATE	DESCRIPTION
1	12/07/21	ISSUED FOR REVIEW

DESIGNED BY: G. WARE  
DRAWN BY: G. WARE  
APPROVED BY:  
SCALE: AS SHOWN  
DATE: 12/07/21  
PROJECT NO: 07-3-01-19

**DETAILS  
(1 OF 2)**

REVISION: 0  
SHEET NO: 3 OF 4  
DRAWING: C-3

BIO-RETENTION BASIN SIZING

Calculation method based on:  
BASMAA Post-Construction Manual  
(January, 2019)

LTD Engineering, Inc.

G. Dearth  
December 6, 2021

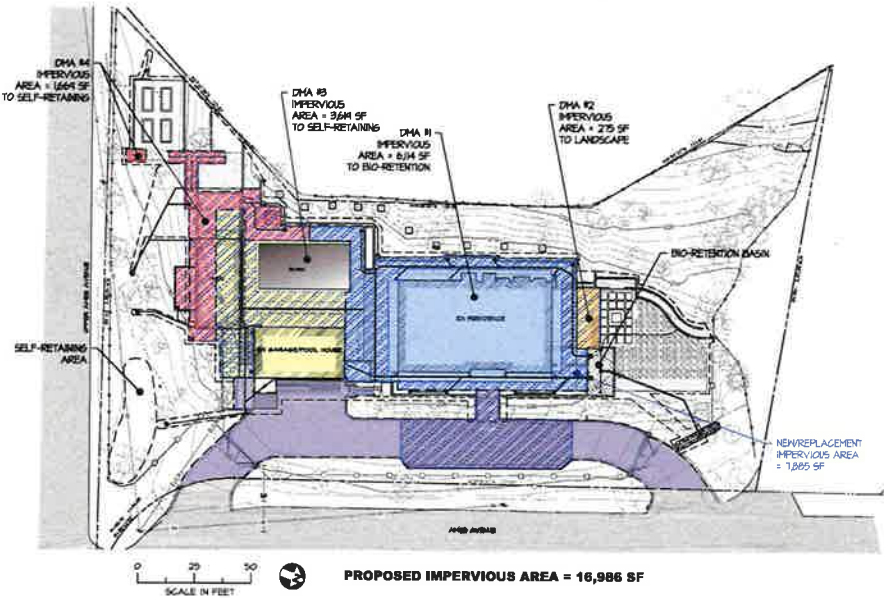
PROJECT: Swire Residence, Ross, CA

Area Name	Area (sq ft)	Surface Type	Runoff Factor	Area x Runoff Factor (sq ft)
Change in impervious area	2,761	Impervious	1.0	2,761
TOTAL		2,761		2,761

Minimum Required Bio-retention Basin Area (sq ft)	221
Proposed Design Bio-retention Basin Area (sq ft)	225

Runoff Factors	
Roofs and paving	1.0
Landscape areas	0.1
Bricks or solid pavers - grouted	1.0
Bricks or concrete pavers on sand base	0.2
Pervious concrete or asphalt	0.1
Turfblock or gravel (min 6" thickness)	0.1
Open or porous pavers	0.1
Artificial turf	0.0

Bio-retention Basin Sizing Factor 0.08



STORMWATER CONTROL PLAN

LTD Engineering, Inc.  
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Tel: 415.464.7402 Fax: 415.717.8719  
gavm@ltdengineering.com

OWNER  
STEPHEN & JACQUELINE SWIRE  
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ROSS, CALIFORNIA 94061

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SWIRE RESIDENCE REMODEL  
073-181-18  
5 AMES AVENUE  
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	08/22	ISSUED FOR REVIEW
2		
3		
4		
5		

DESIGNED BY: G. DEARTH  
DRAWN BY: E. HAYDEN  
APPROVED BY:  
SCALE: AS SHOWN  
DATE: 08/22/2021 PROJECT NO: 046-001

DETAILS  
(2 OF 2)

REVISION 0  
SHEET NO. 3 OF 4  
DRAWING C-4

# ATTACHMENT 3

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**Written Project Description – may be attached.**

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

The project would remove and replace an existing Pool House which sits above the garage. It would maintain the existing structural perimeter and converts 286sf of covered outdoor space into interior area.

The project proposes to construct a new accessory outdoor Cabana on the ground floor over a new 800sf ADU on the downhill side, with subterranean storage rooms.

Proposed are repair, replacement and redevelopment of landscape, site walls and hardscape, including new auto gates. One oak and some bay trees are proposed for removal to facilitate new construction.

Exterior improvements are proposed to the Main House, which include a new entry door and windows, changing the exterior walls to smooth stucco, and replacing the existing porch roof and second floor decks. The Main House work is proposed as a second phase of construction.

Variances are requested for:

-New accessory building (Cabana) within the rear setback.

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**Mandatory Findings for Variance Applications**

*In order for a variance to be granted, the following mandatory findings must be made:*

**Special Circumstances**

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Although the site is large, the naturally buildable level portion is constrained by the unusual property

shape in which the rear property line bows inward creating the narrowest dimension between the front and rear setbacks where the buildable flat area exists. Moving the Cabana out of the rear setback would negatively push it out over the sloped part of the property, making it more visible and locating the recreation function of the space closer to the public street instead of the desired private rear portion of the property. The rear neighbor's property slopes uphill significantly and their house sits at the top, so subject property's proposed improvements are out of sight and "down at the bottom of the hill" from their house.

**Substantial Property Rights**

That the variance is necessary for the preservation and enjoyment of substantial property rights.

**Describe why the project is needed to enjoy substantial property rights.**

The proposed Cabana improvements preserve the same uses that have taken place there historically,

and are enhanced by increasing their utility and quality by providing environment improvements through shade and rain cover for outdoor enjoyment of the pool area, The location preserves recreational uses within the more private portion of the site towards the rear, away from the front public street.

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**Public Welfare**

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

The improvements are to enhance existing recreational uses that are common in this residential neighborhood.

The neighbor most affected to the rear has expressed support, and their pool and recreation areas exist opposite subject property's proposed similar uses, resulting in a compatible adjacency.

# ATTACHMENT 4

09.28.2021

Matthew Weintraub  
Town of Ross Planning Department  
31 Sir Francis Drake Blvd.  
Ross, CA 94957

Re: 5 Ames Avenue Planning Application/Neighborhood Outreach Summary

Dear Matthew,

The Swires of 5 Ames have contacted their surrounding neighbors to inform them of their plans to remodel portions of the existing house and for an addition of an accessory structure. Each neighbor received an email informing them of the owner's intent along with a PDF package of schematic drawings illustrating the existing and proposed project, with an invitation to discuss the project.

The following neighbors were contacted by the owners on July 22, 2021:

- 2 Ames Ave
- 4 Ames Ave
- 6 Ames Ave
- 9 Ames Ave
- 3 Upper Ames Ave
- 7 Upper Ames Ave
- 12 Upper Ames Ave

On Sunday July 25, 2021, the Swires had a Zoom meeting with the Conachers of 3 Upper Ames. The Conachers wanted to make sure there would be sufficient screening along Upper Ames. The Swire's landscape architect provided input to the Conachers regarding screening. With the assurances that the Swires also wanted sufficient screening, the Conachers expressed their support.

On Wednesday July 28, 2021, the Swires received an email from the Livermores of 2 Ames who asked that exterior lighting be pointed downward (dark sky compliant). They also asked that construction work not exceed hours approved by the Town, and that construction workers park away from their property. The Livermores expressed concern about the amount of east-facing glass of the Pool House, which they felt lessened their privacy across Ames. The design of the Pool House glass doors was modified with added louvered screens on two-thirds of the glass, to increase view privacy but still allow natural light. The Livermores reviewed the design revision emailed to them on August 8, 2021, and responded that they were pleased with the design modification and they would support the project.

On Saturday August 14, 2021, the owners received an email from the Oltramares of 12 Upper Ames, expressing their support.

Sincerely,



Ken Catton  
Catton Design



# ATTACHMENT 5

August 14, 1980 Council Minutes

-2-

2. Arthur and Linda Morford, 50 Shady Lane (73-161-02)  
Acre Zone.

Request to add 231 sq. ft. to first floor and a second floor (3105 sq. ft.) to existing house.

Lot Area	45,821 sq. ft.
Present lot coverage	15.8%
Proposed "	16.5%
Present floor area ratio	12.3%
Proposed " " "	19.6%

(15% allowed)

Architect Donald Loomis presented plans and explained the need for an additional master bedroom and study. An entry and stair addition are planned for the first floor. He said lot coverage could be reduced a bit by removing the deck of the cottage, a small shed and the well enclosure.

Mr. Tornga, neighbor to the south, asked that the bedroom on the north side have chest-high windows to protect his privacy, and he questioned the square footage of the lot.

Mr. Loomis and Mr. Morford said the planting between the houses was adequate to insure privacy for both houses. Mayor Chase, Mr. Scales and Mr. Brekhus felt that the lot coverage should not exceed 15%.

It was unanimously agreed to put the matter over to the continued meeting to allow Mr. Lunding to look into the lot area and Mr. Morford to mark off the areas to be removed.

3. No. 570 James Bostwick, 11 Fernhill Ave. (73-091-03)  
20,000 sq. ft. zone.

Request to construct 220 sq. ft. deck and 90 sq. ft. bay window at rear of non-conforming house 7' from side property line.

Lot Area	24,000 sq. ft.
Present lot coverage	8%
Proposed "	9%
Present floor area ratio	15%
Proposed " " "	17%

Mr. Bostwick explained that although the house is non-conforming, the additions will not increase the non-conformity. The only eating area in the house is the formal dining room and with a new baby expected, there is a need for an informal eating area. All neighbors were in approval. On motion by Mr. Poore, seconded by Mr. Stafford, variance No. 570 was unanimously granted.

4. No. 571 Thomas A. and Janice Guerin, 5 Ames Avenue  
(73-181-19) Acre Zone.

Request to construct redwood deck, approx. 736 sq. ft., adjacent to existing swimming pool, 22' from property line. Non-conforming house 32' from rear property line.

Lot Area	43,560 sq. ft.
Present lot coverage	7.7%
Proposed " " "	9.4%

-3-

Present floor area ratio	15.4%
Proposed " " "	17.1%

(15% allowed)

Mr. Guerin presented plans and explained that the lot is badly shaped and steep. More level space is needed in the pool area. The deck will blend in with existing structures.

On motion by Mr. Poore, seconded by Mr. Stafford, the variance was unanimously granted.

5. No. 572 Robert R. Hagopian, 1 Upper Road (73-122-06 & 07)  
Request to allow structural repair of carriage house to use as garage/workshop and studio. Unit will not contain kitchen facilities.

Mr. Lunding explained that the old carriage house is delapidated. Mr. Hagopian plans to build it up structurally and take off a corner of the building and clean up the fire hazards. The unit will not be used for living quarters and the kitchen will be eliminated. He said the parcel map for the subdivision granted in May 1980 cannot be filed until the fire hydrant is installed. Mr. Brekhus moved that the variance be granted, with conditions that the unit not be used for habitation and that it not be rented. Mr. Scales seconded the motion which was unanimously passed.

6. No. 573 Mr. and Mrs. M. MacDonald, 42 Woodside Way (73-231-09) 6,000 sq. ft. zone and acre zone.  
Request to add living room and extend family room on 1st floor and add 3 bedrooms and 2 baths on 2nd floor. Non-conforming house 16'2" from front property line, 14'6" from side property line.

Lot Area	25,750 sq. ft.
Present lot coverage	8.42%
Proposed " "	12.5%
Present floor area ratio	11.2%
Proposed " " "	16.2%

(20% allowed)

Mr. MacDonald and Architect Rebecca Watkin explained that the additions will not further aggravate the non-conformities. All electrical, plumbing and heating will be brought up to code. Covered parking is provided for two cars and there is space for two cars in front of the garage.

The Fire Chief requested installation of a gate at the rear of the property to allow a fire truck to pass through.

All neighbors urged the granting of the variance.

Mr. Poore moved that the variance be granted, subject to the following conditions:

1. No kitchen facilities be installed in the guest house.
2. A fire truck access gate be installed in the rear yard.

Mr. Brekhus seconded the motion, which was unanimously passed.

# ATTACHMENT 6



**MINUTES**  
**Regular Meeting of the**  
**Ross Advisory Design Review (ADR) Group**  
**7:00 PM, Tuesday, April 19, 2022**

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](http://townofross.org/meetings).

**1. 7:00 p.m. Commencement. Call to Order.**

Chair Mark Kruttschnitt called the meeting to order and called roll.

Present: ADR Group Members Josefa Buckingham, Laura Dewar, Mark Fritts, Mark Kruttschnitt, Stephen Sutro; Planner Matthew Weintraub and Director David Woltering representing staff.

**2. Approval of Minutes.**

The ADR Group voted 4-0-1 to approve the March 15, 2022 meeting minutes. Mark Kruttschnitt abstained.

**3. Open Time for Public Comments.**

Mayor Elizabeth Robbins and Council Member Julie McMillan spoke about Measure I, which is the renewal of parcel tax for paramedic services. The measure is on the June 7 ballot.

**4. Planning Applications.**

**a. Mozaffarian Residence, 1 Ames Avenue (A.P.N. 073-201-03)**

**Property Owner:** Erin & Darius Mozaffarian

**Applicant:** Polsky Perlstein Architects

**Project Summary:** The applicant requests approval of Design Review to construct additions at the first story and second story of the existing single-family residence; renovate exterior building façades; construct new front yard fences and gates; and rehabilitate the landscape. Request for Accessory Dwelling Unit (ADU) Permit to construct a new detached accessory dwelling unit is ministerial in nature and subject to administrative approval. Minor Exceptions are required to construct new mechanical equipment and associated enclosures with nonconforming side and rear yard setbacks. Demolition Permit is required to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Planner Weintraub summarized the development standards and project characteristics of the revised project.

Architect Jared Polsky and Landscape Architect Brad Eigsti described the revised project.

Chair Kruttschnitt opened the public comment.

Landscape Architect Ive Haugeland and Attorney Len Rifkind, representing Lionel Conacher and Joan Dea at 3 Upper Ames Avenue, presented information and objections related to privacy, screening, and aesthetics.

Applicant Darius Mozaffarian presented information and responded to comments.

Chair Kruttschnitt closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

Josefa Buckingham:

- Revised design addresses all previous concerns discussed by ADR Group.
- Privacy concerns of the neighbor are being very well addressed in a sensitive manner.
- Separation between properties provides privacy; scale/size of proposed additional landscaping is more than necessary to provide for privacy.
- Applicant is requesting to develop equivalent to the neighbor's property.
- Appreciates relocating development out of setbacks to avoid variances and increase privacy.
- Supports proposed location of pool equipment attached to new ADU and adjacent to a street.
- Findings can be made for a solid fence along Shady Lane frontage due to special circumstances.
- Supports project as designed; very nice design.

Stephen Sutro:

- Supports the project as presented.
- Agrees with Group Member Buckingham's comments.

Mark Fritts:

- Supports the project as presented.
- Concurs with Group Member Buckingham's and Sutro's comments.
- Project does not result in views or sightlines into living space; visibility of a building in and of itself is not a privacy impact.
- Windows are located appropriately to avoid privacy impacts and/or offsite glare.
- The project respects the privacy of 3 Upper Ames Avenue. Compliments to the designers.
- Supports the solid fence along Shady Lane.
- Supports proposed location of pool equipment attached to new ADU.

Laura Dewar:

- Supports the project.

- Appreciates revisions made to address ADR Group's previous comments, including minimize/eliminate setback encroachments.
- Supports proposed location of pool equipment attached to new ADU.

Mark Kruttschnitt:

- Proposed new ADU is ministerial in nature.
- The existing property at 3 Upper Ames Avenue has extensive glazing, which should not restrict the subject property's ability to develop based on views from 3 Upper Ames Avenue.
- The existing landscaping is more extensive/mature than the level of landscaping that would be required to develop an undeveloped lot; the ADR Group would typically not require more landscaping than currently exists.
- Concurs with previous comments of ADR Group Members.

The ADR Group unanimously recommended Design Review approval as proposed.

Chair Kruttschnitt closed the hearing.

**b. Swire Residence, 5 Ames Avenue (A.P.N. 073-181-19)**

**Property Owner:** Stephen Swire & Jacqueline Neuwirth-Swire

**Applicant:** Catton Design

**Project Summary:** The applicant requests approval of Design Review to construct a new two-story accessory structure containing an accessory dwelling unit at the lower floor and an open-air cabana at the upper floor; remodel and expand an existing pool house above an existing garage; renovate the exterior of the existing main residence; construct new front yard fence and gates; and rehabilitate the landscape. Request for Accessory Dwelling Unit (ADU) Permit to construct a new detached accessory dwelling unit is ministerial in nature and subject to administrative approval. Demolition Permit is required to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Planner Weintraub summarized the development standards and project characteristics.

Architect Ken Catton and Landscape Architect Brad Eigsti described the project.

Chair Kruttschnitt opened the public comment.

Sam Livermore at 2 Ames Avenue expressed concerns about potential visual, aesthetic, and privacy impacts from downslope; specifically concerned about extended eaves, building heights, increased massing, and window locations.

Chair Kruttschnitt closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

Mark Kruttschnitt:

- The project adds a lot of mass and bulk from offsite/street views; not compatible with topography.
- Recommends designing to integrate better with natural topography and minimize visual impacts on the land.
- Existing roof is unobtrusive; new wings and supports would draw more attention.
- Recommends redesigning for less new bulk and mass.
- Driveway gate is heavy in design; does not match proposed open fencing.

Stephen Sutro:

- Supports modern aesthetic.
- Project lacks compatibility between existing residence and new buildings; specifically, fenestration is not compatible between buildings.
- Not architecturally comfortable with new flat eaves “mashed on” to sloped eaves; also, results in too much mass from offsite views.
- Cabana roof is bulky.

Mark Fritts:

- Most concerned about main house renovation; lots of new massing added from downslope views.
- Does not see new eaves working on the main house; would exacerbate shadows on the residence.
- Cabana height exacerbates bulk and massing; cabana roof mass is excessive.
- Pool house fenestration should be reduced/minimized.
- Underground storage space should be reduced/minimized to not be visible at hillsides.

Laura Dewar:

- Concerned about bulk and mass impacts from downslope view; cumulative impacts of extended eaves, new accessory buildings, and canopies.
- Project should be more responsive to the site and the neighboring properties.
- Outfacing balconies are not necessary; should be avoided for privacy impacts.

Josefa Buckingham:

- Concurs with previous comments by ADR Group Members.
- Recommends pulling in the entire project design: smaller, shorter, less grand.
- Lower accessory building heights; reduce building profiles from street views.
- Minimize/reduce glazing around front entrance to avoid offsite light/glare impacts.
- Provide a more open driveway gate to match the open fencing.
- Supports modern aesthetic.

The ADR Group unanimously recommended revisions to the currently proposed project design and additional review by the ADR Group prior to consideration by the Town Council.

Chair Kruttschnitt closed the hearing.

**c. Fletcher Residence, 3 Willow Hill Road (A.P.N. 073-252-13)**

**Property Owner:** Scott Fletcher

**Applicant:** Fischer Architecture

**Project Summary:** The applicant requests approval of Design Review and Hillside Lot Permit to construct a new pool and new decks at the back of the existing single-family residential property. Variances are required to construct new building projections with nonconforming side and rear yard setbacks; and to increase nonconforming building area.

Planner Weintraub summarized the development standards and project characteristics.

Architect Andrew Fischer described the project.

Chair Kruttschnitt opened the public comment.

Adrian Liggett at 10 Madrona Avenue expressed concerns about potential negative impacts on downslope properties, including visual/privacy, noise, and slope stability; does not believe variance request for setback encroachment is justified.

Chair Kruttschnitt closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

Mark Fritts:

- Appreciates removing/renovating existing rear decks, which have a looming effect; supports building architecture.
- Questions ability of property to accommodate a pool with topographic limitations, although proposed location is most suitable location on the lot.
- Does not support pool as proposed on the sloped site; does not believe variance findings for setback encroachment or increased nonconforming building coverage can be made.

Mark Kruttschnitt:

- Agrees with Mark Fritts' comments.
- Supports building deck reorganization.
- Property is highly visible to downslope neighbors.



- Does not support a new pool on the sloped lot; does not support variances for setback encroachment or increased nonconforming building coverage.

Stephen Sutro:

- Lot is a victim of zoning; substandard small lot in a district meant for larger lots and more restrictive standards.
- Supports building deck reconfigurations.
- Could support a new pool proposal if revised to comply with the “appropriate” zoning standards for the small lot, including 15-foot minimum setback and 15% maximum building coverage; and lowered by approximately 4 feet to fit into topography. Recommends “endless pool” design that would not require fencing/screening.

Josefa Buckingham:

- Road easement provides some relief for setback encroachment.
- Findings cannot be made to support the variance request to increase nonconforming building coverage.
- Pool needs to be lowered to fit with topography.
- The site may not accommodate a new pool.
- Does not support project as proposed.

Laura Dewar:

- Project needs to take into topography of the site.
- Difficult to support setback encroachments and increased nonconforming building coverage.
- Project would have significant impacts on downslope neighbors; looming appearance/presence.
- Does not support project as proposed.

The ADR Group unanimously recommended revisions to the currently proposed project design and additional review by the ADR Group prior to consideration by the Town Council.

Chair Kruttschnitt closed the hearing.

**5. Conceptual Advisory Design Review.**

None.

**6. Information and Discussion.**

ADR Group discussion on potential for returning to in-person meetings. The ADR Group recommended holding a videoconference meeting in May and further discussion at the May meeting to discuss potential for returning to in-person meetings in June. (Director Woltering)

**7. Communications.**

The Town's consultant for the Housing Element Update, Dyett & Bhatia, requests a "Key Informant Interview" with the ADR Group at the regular meeting of May 17, 2022. The Key Informant Interview will be structured as informal discussion meant to elicit candid input on planning issues and provide a broad sense of the community, major issues of concern, preferences, and practical constraints that may emerge during the preparation of the Housing Element Update. (Director Woltering)

**8. Adjournment.**

Chair Kruttschnitt adjourned the meeting at 9:36 p.m.

**Next scheduled regular meeting date and time: May 17, 2022 at 7:00 PM.**

# ATTACHMENT 7

## Matthew Weintraub

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**From:** Ken Catton <ken@cattondesign.com>  
**Sent:** Monday, May 09, 2022 9:18 AM  
**To:** Matthew Weintraub  
**Subject:** 5 Ames\_ADR 2\_2022--05-05

Hi Matthew,

Please find the revised drawings which incorporate the changes suggested at the last ADR meeting:

**POOL HOUSE and CABANA:** The height of the pool house has been lowered another foot as suggested along with the corresponding heights in the Cabana. The Pool House is now 3 feet lower than the original story poles, and is now just 1 foot higher than the existing Pool House. The Pool House doors and windows facing Ames have been reduced in width. The roof eaves of the Cabana have been reduced to 3.5 feet at the ends and 2.5 feet on the long sides.

**MAIN HOUSE PORCH:** The proposed flat porch roof over the existing covered porch has been lowered to match the eave of the existing porch roof. The new extension and supporting columns have been reduced 2 feet each to be 7 feet, and 5 feet respectively. The four corners of the porch roof have been removed, creating less mass at the porch roof line.

**MAIN HOUSE WINDOWS:** The lower floor windows on Ames are proposed to be replaced with taller sliding windows to better match the new windows at the Pool House. Additionally, exterior louvered wood screens (which match those proposed at the Pool House) have been added to the upper windows of the new Main House entry to provide better screening and privacy but still allow natural light into the space.

**BASEMENT STORAGE AT CABANA:** The majority of the Cabana basement storage has been relocated to the underground basement level on the west side of the Garage. The remaining downhill pool deck retaining wall has been moved 5 feet back/uphill so that it recedes better from view from Upper Ames, and breaks up the length of the continuous solid wall. Additional plant screening below this area has been added (please see landscape drawings).

The Project Data on the cover sheet has been updated to reflect the revisions.

Thank you,  
Ken Catton

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**CATTON DESIGN LLC**  
415.385.8778

 [5 Ames Design Review Resubmittal 2022-05-05 ADR...](#) 

# ATTACHMENT 8



## MINUTES

Regular Meeting of the  
Ross Advisory Design Review Group  
7:00 PM, Tuesday, May 17, 2021

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](https://townofross.org/meetings).

### 1. 7:00 p.m. Commencement

ADR Group Chair Mark Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Laura Dewar, and Stephen Sutro.

Absent: Josefa Buckingham and Mark Fritts

Director Rebecca Markwick and Planner Matthew Weintraub were present representing staff.

### 2. Approval of Minutes.

The ADR Group unanimously approved the April 19, 2022 minutes.

### 3. Open Time for Public Comments

No comments were provided.

### 4. Housing Element Update :

The Town's consultant for the Housing Element Update, Andrew Hill, Principal, Dyett & Bhatia, requests a "Key Informant Interview" with the ADR Group at the regular meeting of May 17, 2022. The Key Informant Interview will be structured as informal discussion meant to elicit input on planning issues and provide a broad sense of the community, major issues of concern, preferences, and practical constraints that may emerge during the preparation of the Housing Element Update.

Andrew Hill, principal at Dyett and Bhatia gave a presentation on the housing element update and the process that the Town of Ross is engaging on.

### 5. Planning Applications.

#### a. 5 Ames Avenue (A.P.N. 073-181-19)

**Property Owner:** Stephen Swire & Jacqueline Neuwirth-Swire

**Applicant:** Catton Design

**Project Summary:** The applicant requests approval of Design Review to construct a new two-story accessory structure containing an accessory dwelling unit at the lower floor and an open-air cabana at the upper floor; remodel and expand an existing pool house above an existing garage; renovate the exterior of the existing main residence; construct new front yard fence and gates; and rehabilitate the landscape. Request for Accessory Dwelling Unit (ADU) Permit to construct a new detached accessory dwelling unit is ministerial in nature and subject to administrative approval. Demolition Permit is required to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence

Planner Weintraub summarized the development standards and project characteristics of the revised project.

Architect Ken Catton described the revised project. ADR member Sutro asked about the logic of not changing the roof on the main house. Architect Ken Catton indicated that because the roof is not seen and the cost to replace is a lot.

Chair Kruttschnitt opened the public comment.

Sam Livermore, concerned about the topography as his house is lower than 5 Ames, and the proposed project will be visible from their downhill property. He understands that the project height was reduced, however the new structures will be very visible and will create more mass. Appreciates the Swires addressing their concerns.

Chair Kruttschnitt closed the public comment.

Laura Dewar:

- Great improvements have been made, reduction of eaves, and lowered the pool house roof.
- Material palette and colors have changed, concerned about the white color will stand out more.
- Pool house balcony could create privacy concern for the neighbors.
- Cabana makes the property seem built up creating more bulk and mass, however since it is not in the setback, she supposes it is okay
- Main house roof is okay if it meets the applicant's budget.

Mark Kruttschnitt:

- Mark read comments received by Josefea Buckingham provided written comments regarding the roof at the main house. She indicated that the house on the main roof should be changed to match the modern architecture of the cabana and the pool house. Peaked roof should come off in the main house as a modern aesthetic is desired.
- Juxtaposition of both architectural styles do not work.
- Cabana project from the hillside, is visible from the road, suggests removing the cabana roof.

Steve Sutro:

- Design is nice, ADU is really nice, changes are nice
- The roof line of the cabana is too tall. Lowering the cabana roof would help, or removal of the cabana roof.
- Has trouble with the projection of the roof over the streetscape.
- The main house eave changes are great, supports the size of the eaves. Wishes the roof of the main house would change to match, does not meet the criteria of "excellence of design."
- If the roofline were to change on the main house he could fully support the project. Supports the balcony on the ADU, lowering the cabana roof would be great.

**b. 3 Willow Hill Road (A.P.N. 073-252-13) 📄**

**Property Owner:** Scott Fletcher

**Applicant:** Fischer Architecture

**Project Summary:** The applicant requests approval of Design Review and Hillside Lot Permit to construct a new pool and new decks at the back of the existing single-family residential property. Variances are required to construct new building projections with nonconforming side and rear yard setbacks; and to increase nonconforming building area.

Planner Weintraub introduced the project.

Andrew Fischer described the changes made to the project. Reduced the width of the pool, reduced the walkway around the pool, keeping the terrace planter wall to help mitigate the construction into the hillside. Reduced the rear setback, the pool matches the existing deck.

The public hearing was open.

Scott Fletcher, property owner introduced himself.

Adrienne LaBonte Ligett, concerned with the privacy impacts of the deck and pool. Opposes the project.

Alex Uihlein, supports the project

Michael Rosenbaum does not support the project, the pool near them is very noisy and they are concerned about the noise level given the acoustically situation of the canon. Difficult to mitigate the noise.

Scott Grace, 7 Willow Hill. Fully supports the project.

Stephen Sutro:

- Appreciates design changes, shape of retaining wall and height make it contextually appropriate in turns of topography
- Reduction of deck is appreciated
- Setbacks given the topography is very tricky.

Mark Kruttschnitt:

- Concurs with everything Steven said.

Laura Dewar:

- All changes have made the design less dominant
- All property owners should be able to enjoy their properties, putting restrictions on noise is difficult.
- Design is improved and she supports the design.

c. **15 Skyland Way (A.P.N. 072-201-16)** 🖨

**Property Owner:** Horatio LLC

**Applicant:** Polsky Perlstein Architects

**Project Summary:** The applicant is requesting approval of Design Review and Hillside Lot Permit to construct new first-story and second-story additions to an existing attached garage at the west wing of the existing single-family residence. Variance is required to construct new building additions with a nonconforming south side yard setback for the Hillside Lot. (Weintraub) Staff report attached.

Planner Weintraub introduced the project.

Jared Polsky summarized the project.

The public hearing was opened.

Mr. and Mrs. Scially, property owners introduced themselves.

ADR Group Members discussed the merits of the project and provided the following comments:

Mark Kruttschnitt:

- Likes the project as designed, likes the trellis above the windows.

Laura Dewar:

- No comments regarding the design, supports the project.

Stephen Sutro:

- Agrees, and supports the project as designed.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval.

**6. Conceptual Advisory Design Review.**

Ken Instead summarized the project located at 40 Madrona Avenue.

**7. Communications**

**a. Staff**

Discussion of in person meetings. ADR would like to conduct hybrid meetings.

**b. ADR Group Members**

Mark Kruttschnitt discussed how to make recommendations clear to planning staff and the public.

**8. Adjournment**

Chair Kruttschnitt adjourned the meeting at 9:08 PM.

# ATTACHMENT 9



**Mr. and Mrs. Samuel M. Livermore**  
**2 Ames Avenue #973**  
**Ross, CA 94957**  
**415-457-9019**

April 16, 2022

RE: 5 Ames Avenue Project

Dear Ross Town Advisory Design Review Group and Ross Town Council:

We would like to go on record as requesting certain design changes to the Swire's proposed remodeling project at 5 Ames Avenue. The Swires very kindly shared with us their initial plans some time ago, and in response, we commented on their exterior lighting plans and the size of the new windows in their proposed remodeled pool house that directly faces our property at 2 Ames Avenue. In response, they agreed to use dark sky exterior lighting that will minimize the outcast light, and include exterior sliding lattice screens to cover those windows. We hope these measures will mitigate the lighting and privacy impacts on us, and appreciate the Swire's cooperation in this regard. We assume these measures will be included in their final design and permit conditions.

Unfortunately, when the story poles went up just recently, we saw just how high the new pool house roof is proposed to be, as well as the raised eave line around their main house. Since the Swires are proposing to raise the pool house roof and convert it from sloped to flat and since their garage/pool house building already stands high up the slope of their property, the pool house will appear from our perspective as a very tall and substantial tower looming above the corner of Ames Avenue and Upper Ames Avenue as well as over our backyard and master bedroom. Even if the building technically will be below the permitted height limits, due to the grade it will appear much higher from the street and from our and other neighboring properties on Ames Avenue. While it is hard to interpret the Swire's plans for the interior of their remodeled pool house, it seems (from reverse engineering the given dimensions) that that room will have an inordinately high ceiling of something like 16'. So the exterior height being added to this building appears to have no function, and just seems excessive - gratuitous height that serves no purpose but impacts the neighbors adversely. We and at least several other of our neighbors share the same concern about raising the eave line of their main house, which again serves no functional purpose but adds gratuitous height that adversely impacts the neighbors and the neighborhood.

Promptly after we saw the story poles, we contacted the Swires again to raise these concerns with them directly, trying to be good neighbors, but we have not yet heard back from them, so felt compelled to submit this letter.

Accordingly, we request that the Advisory Design Review Group and the Town Council, as appropriate, direct the Swires to modify their design to lower the roof over their proposed pool house remodel, perhaps to the level of the roof over their proposed remodeled cabana adjacent to it on the Upper Ames side, and to not raise the eave line of their main house.

In addition, we would also like to address the issues of construction work, noise, traffic and parking on Ames Avenue with regard to this proposed project. Specifically, we would like the Council to remind the Swires and their construction team, and especially their project manager/foreman, of the "rules" that exist in Ross, and include those rules in their permit conditions and then make sure they are enforced.

As the neighbors who will be living here through the construction while the Swires are likely living off-site, we would really appreciate everyone involved in the project being aware from the outset that work is only allowed Monday-Friday 8AM-5PM, and that NO construction work is allowed on weekends or holidays. We believe the workers need to adhere to these rules, and that the Town needs to be willing to enforce them. While some might think it's ok to work late under pressure to complete the project, 5PM means 5PM! Similarly, while the contractors may be tempted to begin assembling workers, trucks and deliveries early (beginning as early as 6AM in our experience), we do not appreciate trucks backing up while beeping and then idling, radios blaring and loud outdoor conversations and laughter among the workers before the 8AM start time. Ames Avenue usually is a very quiet street (or at least it used to be before nearly every house has now been remodeled over the last 9 years with no break!), and while we all understand that construction is noisy, the project team should remember to be respectful of the neighbors and comply with the permitted noise/construction hours.

Also, because Ames Avenue and Upper Ames Avenue are very narrow, it is important to address worker vehicle parking so that neighbors are inconvenienced as little as possible and safety concerns are kept in mind. We believe that the trucks and worker vehicles involved with this project should ALWAYS be parked "on site" rather than all over our narrow neighborhood street. The Swire's driveway is very large and long, so all their workers should be able and directed to park right on their property. If that space is not sufficient, they should be directed to park somewhere else in town, but not along Ames or Upper Ames. We note that the project at 7 Upper Ames has never had a vehicle parked for the day on the street from the outset, and that driveway is much smaller than the 5 Ames driveway, so we think that parking off Ames Avenue is not an unreasonable request or expectation. From past neighborhood projects, we also have learned that when vehicles are parked everywhere willy nilly, that creates significant problems for landscaping adjacent to the road which often is thoughtlessly driven over or smashed, as well as for neighbors trying to drive home. Parking on the street also can be especially unsafe and problematic for fire trucks and emergency vehicles, which we have learned require 12' of roadway to access their destinations. Many young school age children also walk to and from school from the cul-de-sac end of Ames Avenue, and vehicle parking all along the side of the road makes it very difficult to assure their safety as approaching vehicles have to go into the center of the road to pass parked vehicles. We also note the fire hydrant at the southwest end of our property, as CA rules require no parking within 15' of hydrants. Finally, the Swires ideally should be directed to provide the neighbors with a contact person in charge of the job/construction team so that if anything goes awry, we can contact them immediately for assistance.

Thank you very much for your consideration of all these points.

Respectfully submitted,

Sam and Cindy Livermore

[slivermore@cooley.com](mailto:slivermore@cooley.com) – 415-706-0625 mobile

[cslivermore@gmail.com](mailto:cslivermore@gmail.com) – 415-706-0697 mobile

Cc: Stephen Swire and Jacqueline Neuwirth-Swire

**Matthew Weintraub**

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**From:** Kathleen Nunan <knunan@comcast.net>  
**Sent:** Sunday, April 17, 2022 9:45 PM  
**To:** designreview  
**Subject:** Swire remodel project at 5 Ames Ave

Dear Design Review Group,

Bill and I very much object to raising the Swires roof line at all. The house already hovers over the other houses on Ames Ave and has a huge impact on privacy of its neighbors.

I was in the Berrys back yard recently (4 Ames Ave) and was horrified about how almost all of their property in the back is negatively impacted by the Swires house. I believe that the same is true for 2 Ames Ave.

We ask that you simply direct the Swires to remodel their house without raising their rooflines.

Thank you,

Kathy and Bill Nunan  
6 Ames Ave

## Matthew Weintraub

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**From:** Livermore, Sam <slivermore@cooley.com>  
**Sent:** Tuesday, April 19, 2022 10:57 AM  
**To:** sswire@gmail.com  
**Cc:** Cindy Livermore; Ken Catton; Matthew Weintraub; designreview; jlneuwirth@gmail.com  
**Subject:** RE: Swire Project - 5 Ames Avenue

Thanks, Steve – we understand that, but the point is that the eaves over the entire length of your porch would be raised as you note, which then would raise the profile of the entire roofline as seen from our perspective – the visible front (east) façade/elevation of your house will appear even higher above us and more imposing and massive than it already is now . . . I understand how raising the eaves over the porch would be more consistent architecturally with what you are proposing for your pool house, but that is part of the problem/issue from our vantage point - we would prefer to see more traditional sloped roofs than block towers such as the box you propose for your pool house – I guess the blocky look is more in vogue these days architecturally, even if it seems to clash with the more traditional architecture of Ross - thanks - Sam

Samuel M. Livermore  
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+1 415 276 5743 efax  
[slivermore@cooley.com](mailto:slivermore@cooley.com)

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**From:** S H Swire <sswire@gmail.com>  
**Sent:** Tuesday, April 19, 2022 10:28 AM  
**To:** Livermore, Sam <slivermore@cooley.com>  
**Cc:** Cindy Livermore <cslivermore@gmail.com>; Ken Catton <ken@cattondesign.com>; Mweintraub@townofross.org; designreview@townofross.org; jlneuwirth@gmail.com  
**Subject:** Re: Swire Project - 5 Ames Avenue

[External]

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Hello Sam and Cindy

I realized there is an item that has not been addressed. We are not raising the roof of the main house, but rather reconfiguring the porch roof to extend out flat so that it better hides the existing roof and solar panels behind it, and so the facade of the main house better matches the architecture of the new pool house. This should be beneficial for those viewing the house from the neighborhood.

Thank you and please let me know if you have any questions,

Steve

On Sat, Apr 16, 2022 at 1:38 PM Livermore, Sam <[slivermore@cooley.com](mailto:slivermore@cooley.com)> wrote:

Thanks, Steve - I regret that we did not know you were planning adjustments and sending us a letter to respond to our further concerns when we submitted ours to the Town ... we will take a look at the lowered proposed roof lines and appreciate your willingness to adjust your plans - quick reaction: would it be possible to lower the roof another foot? Seems that a 10' ceiling in the pool house is still very generous? Thanks - Sam

Sent from my iPhone

On Apr 16, 2022, at 1:22 PM, S H Swire <[sswire@gmail.com](mailto:sswire@gmail.com)> wrote:

[External]

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For reference, here is Ken's letter to you:

Hello Sam and Cindy,

Steve and Jacqueline passed on your concerns about the proposed height of the Pool House remodel, and we have made some adjustments. We have revised the proposal to lower the roof by 2 feet. The updated lowered lines have already been added to the story poles, below the previous lines.

The ceiling height of the proposed Pool House is 11 feet. There is an additional 2 foot parapet wall above the roof to conceal solar panels. The updated proposed roof height is 2 feet above the existing roof ridge, and is 5.5 feet lower than what is permitted. We hope this adjustment, along with the added louvered panels on the Pool House windows will help you support our project.

If you have any other questions, please feel free to contact me directly.

Best,  
Ken Catton

On Sat, Apr 16, 2022 at 1:19 PM S H Swire <[sswire@gmail.com](mailto:sswire@gmail.com)> wrote:

Hello Sam and Cindy,

A letter has been prepared by our architect which we approved yesterday and you should be receiving shortly. Additionally, you will see a new lower red line which was installed on the story poles, in response to your letter.

Thank you  
steve

On Sat, Apr 16, 2022 at 12:49 PM Livermore, Sam <[slivermore@cooley.com](mailto:slivermore@cooley.com)> wrote:

Dear Design Review Group and Matthew Weintraub - Attached, please find our comments regarding the proposed construction project for the Swire project at 5 Ames Avenue.

Respectfully submitted, Cindy & Sam Livermore

Cynthia S. Livermore

2 Ames Ave #973



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415-457-9019

415-706-0697 (mobile)

csilvermore@gmail.com

Samuel M. Livermore

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Stephen Swire

[www.swirepropertygroup.com](http://www.swirepropertygroup.com)

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Stephen Swire

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**Linda Lopez**

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**From:** Lionel F. Conacher <lionelf@conacher.com>  
**Sent:** Friday, June 3, 2022 10:05 AM  
**To:** Rebecca Markwick  
**Cc:** Joan Dea; sswire@gmail.com  
**Subject:** 5 Ames

Dear Ms. Markwick- we are the owners at 3 Upper Ames, directly across from 5 Ames. We are supportive of the Swires' desire to add permanent cover over their existing outdoor dining area adjacent to their pool deck and don't understand why the ADR Committee would have had an issue with it.

Kind regards,

Lionel F. Conacher  
415-860-1915