



**Agenda Item No. 19.**

**Staff Report**

**Date:** December 8, 2022  
**To:** Mayor Kuhl and Council Members  
**From:** Rebecca Markwick, Planning & Building Director  
**Subject:** 196 Lagunitas Road

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**Recommendation**

It is recommended that the Town Council consider adoption of Resolution No. 2286 (**Attachment 1**) approving Demolition, Design Review and Nonconformity Permit for the subject project as described below.

Owner:	Cameron and Elizabeth Breitner
Applicant:	Sean Bailey Architects
Street Address:	196 Lagunitas Avenue
Assessor Parcel Number:	073-171-11
Zoning:	R-1:B-10
General Plan:	ML (Medium Low)
Flood Zone:	X

**Project Summary**

The project proposes Demolition, Design Review and a Nonconformity permit to demolish the three existing structures on the site and construction of a new single-family dwelling.

**Project Data**

<b>Project Item</b>	<b>Code Standard</b>	<b>Existing</b>	<b>Proposed</b>
Lot Area	10,000 SF	32,482 SF	No change
Floor Area	6,496 SF (20%)	7,375 SF (22.7%)	6,901 SF (21.2%)
Building Coverage	6,496 (20%)	6,299 SF (19.4%)	6,294 SF (19.4%)
Front Yard Setback	25'	38'2"	37'4.5"
Side Yard Setback (Left)	15'	1'5"	15'8.5"
Side Yard Setback (Right)	15'	8'4.5"	25'4"
Rear Yard Setback	40'	5'10"	107'1"
Building Height	30'	32'6"	26'8"
Off-street Parking Spaces	2 Off Street (1 covered)	3 (2covered and 1 uncovered)	3 Covered
Impervious Surfaces	Minimize and/or reduce **	18,175 SF	15,924 SF Project is reducing the total impervious surfaces

\*\*Impervious coverage guideline per Low Impact Development (LID) for Stormwater Management, Design Review criteria and standards, RMC Section 18.41.100 (t).

**Background**

The project site is located on the upper portion of Lagunitas Road across from Duff Lane. The property is a large lot, far exceeding the 10,000 square foot minimum lot size. The lot is a flat lot in the "X" flood zone, which is minimal risk for flooding.



### Project Description

The project proposes to demolish the three existing dwelling units on the property, all of which are non-conforming in nature. The existing dwelling units total 7,375 square feet and the property also includes a pool and 2 car detached garage. The project proposes to demolish all three dwelling units and construction of a 6,901 square foot home, including a new pool, lawn area, a trellis for outdoor dining, and new landscaping. The proposed home will be consolidated towards Lagunitas Road, and conforms to all of the development requirements for the R1:B-10 zoning. The project requires a Nonconformity permit to match the existing floor area of the homes on the property. The total existing floor area is 7,375 SF and the project proposes 6,901 SF. The primary exterior materials include cedar siding, bronze anodized steel for fascia and windows, synthetic wood louvers, basalt pavers, stone, and masonry veneers. New landscaping and hardscape are proposed throughout the property.

The architect has provided a thorough project description that is included in attachment 3.

The proposed project is subject to the following permit approvals:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for new buildings exceeding 200 square feet of new floor area; fences and gates greater than 48" in height adjacent to the street right-of-way; retaining walls greater than 48" in height; an activity or project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscaping over 2,500 square feet.
- **Demolition is required pursuant to Section 18.50.20** the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

- **Nonconformity Permit pursuant to Sections 18.32.050 and 18.32.060**, which establish development standards in the R-1:B-10 district for maximum allowed floor area. The existing property exceeds the 20% maximum floor area allowed in the district. Pursuant to Section 18.52.030, the project requires a Nonconformity Permit to enlarge, extend, reconstruct, and/or structurally alter the existing residential structures which are nonconforming with respect to the maximum allowed floor area, and resulting in no net increase to the total existing nonconforming floor area on the property.

### **Advisory Design Review**

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On November 16, 2022, the ADR Group unanimously recommended that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review. The ADR discussed the project, and all recommended approval with a few recommendations. The ADR members agreed that that the height of the home should be lowered by two feet, and to remove the second story balcony at the bedroom at the east side property line. The project architect has submitted revised plans in response to the ADR comments, the height has been lowered by two feet and the balcony has been removed.

Draft Minutes of the November 16, 2022, ADR meeting are included as Attachment 4.

### **Discussion**

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

#### ***Design Review***

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. The Town Council may adopt by resolution standard conditions for all projects to meet.

If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The proposed project is not monumental or excessively large size and is compatible with others in the neighborhood and do not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

#### ***Demolition Permit***

The "small town" quality and feel of the town are heavily shaped by the attributes, integrity, historical character, and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of structures with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character. The Town Council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross.

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more

than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Staff recommends approval of the Demolition permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level. The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located.

The project is consistent with the allowed uses and general development standards associated with the Medium Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to found consistent with the Ross General Plan and Zoning Ordinance. The project is required to comply with all applicable provisions, measures, and safeguards of the Town's building and safety codes, such that it would not cause detriment or injury to the health, safety, and general welfare of persons residing or working in the neighborhood.

***Nonconformity Permit***

Many residential structures in the town do not conform to the requirements of this Zoning Code because they were established before the adoption of zoning or before residential floor area limits were established in 1967. The purpose of this section is to allow for the continued existence, reconstruction and modification of nonconforming residential structures, subject to limitations set forth in this section. The intent of these regulations is to protect historic buildings and those that contribute to the Town's small-town character; to permit floor area nonconformities to be retained on site redevelopment where the design is appropriate; and to allow other nonconformities to be maintained when reasonable and where they create the same or fewer impacts than strict conformance with town regulations.

Pursuant to Sections 18.32.050 and 18.32.060, which establish development standards in the R-1:B10 district for maximum allowed floor area, the existing property exceeds the 20% maximum floor area allowed in the district. Pursuant to Section 18.52.030, the project requires a Nonconformity Permit to enlarge, extend, reconstruct, and/or structurally alter the existing residential structures which are nonconforming with respect to the maximum allowed floor area, and resulting in no net increase to the total existing nonconforming floor area on the property.

Staff recommends approval of the Nonconformity permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical,

architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community. The project conforms to the design review standards, and the floor area does not exceed the existing floor area. The project will comply with all Flood regulations, and the site has adequate parking.

#### **Fiscal, Resource and Timeline Impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

#### **Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

#### **Environmental Review**

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) Guidelines 15303 New Construction, which exempts the construction of new single-family homes.

#### **Public Comment**

Public Notices were mailed to property owners within 300 feet of the project site prior to the meeting date pursuant to the Ross Municipal Code. No comments were received prior to the finalization of this report. Prior to the November 15, 2022, ADR meeting ten emails were received in support of the project. The adjacent neighbor to the east, Susan Molinari Giorgi, was supportive of the project, however, was concerned about privacy. In her email she indicated that she is trusting that the ADR members to use their expertise to issue a recommendation based on the Design Review criteria.

#### **Attachments**

1. Resolution No. 2286
2. Project Plans
3. Application Materials
4. ADR Group Meeting Minutes, November 15, 2022 (draft)
5. Correspondence

# ATTACHMENT 1



# **TOWN OF ROSS**

## **RESOLUTION NO. 2286**

### **RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, DEMOLITION, AND NONCONFORMITY PERMIT FOR CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE INCLUDING ATTACHED GARAGE AND LANDSCAPING IMPROVEMENTS LOCATED AT 196 LAGUNITAS ROAD, A.P.N. 073-171-11**

**WHEREAS**, applicant Sean Bailey Architects, on behalf of property owners Cameron and Elizabeth Breitner has submitted an application requesting approval of Design Review, Demolition and Nonconformity Permit to demolish the existing structures on the site and for construction of a new 6,901-square-foot, two-story single-family residence including garage; and landscape and hardscape including a new pool at 196 Lagunitas Road APN 072-171-11 (herein referred to as "the Project").

**WHEREAS**, the Project is determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) Guidelines 15303 (New Construction), because it consists of the construction and location of limited numbers of new, small facilities or structures, including one single-family residence in a residential zone; and

**WHEREAS**, on December 8, 2022, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review, Demolition and Nonconformity Permit subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 8<sup>th</sup> day of December 2022, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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P. Beach Kuhl, Mayor

**ATTEST:**

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Linda Lopez, Town Clerk

**EXHIBIT "A"**  
**FINDINGS**  
**196 LAGUNITAS ROAD**  
**A.P.N. 072-071-11**

**A. Findings**

**I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:**

**a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.**

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

**b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.**

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. New buildings constructed on sloping land are designed to relate to the natural landforms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site. Buildings would use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Good access, circulation would be provided consistent with the natural features of the site. Open fencing would be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by providing bioretention facilities to offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.

**c) The project is consistent with the Ross General Plan and zoning ordinance.**

The Project is consistent with the allowed uses and general development standards associated with the Medium Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

**II. In accordance with RMC Section 18.50.050, Demolition Permit is approved based on the following mandatory findings:**

- a) The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The existing single-family residence and accessory buildings do not possess historical, architectural, cultural, or aesthetic values.

- b) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.**

As recommended by the ADR Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross.

- c) The project is consistent with the Ross general plan and zoning ordinance.**

The Project is consistent with the allowed uses and general development standards associated with the Medium Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

- d) The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood**

The Project will avoid detriment to public welfare and material injury to properties in the vicinity by complying with the Design Review criteria and standards (RMC Section 18.41.100) and with the Hillside Lot Regulations (RMC Section 18.39.090).

**III. Non-Conformity Permit (RMC § 18.52.040) - Approval of a Non-Conformity Permit to allow for the continued existence, reconstruction and modification of nonconforming residential structures.**

The project is consistent with the purpose of the Nonconformity Permit chapter as outlined

in Ross Municipal Code Section 18.52.040:

- a) **The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.**

The existing was constructed circa 1909, prior to any Town zoning regulations and therefore considered to be legal nonconforming.

- b) **The town council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The project would not result in the demolition of a single family home that is considered a building of historical, architectural, cultural or aesthetic value. The project applicant has submitted a historic report prepared by Conor Turnbull that determines the home is not a historic resource under CEQA.

- c) **The project substantially conforms to the relevant design review criteria and standards in Section 18.41.100, even if design review is not required.**

As summarized in the staff report dated December 8, 2022, the scope of the project would be consistent with the design review criteria and standards relative to architectural design, materials, colors, and landscaping. Lastly, the project would address health and safety through the issuance of a building permit to ensure compliance with the building, public works, and fire code regulations.

- d) **Total floor area does not exceed the greater of the total floor area of the existing nonconforming and/or legal nonconforming structure.**

The project would not result in an increase in existing floor area.

- e) **Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties improvements in the vicinity.**

The project would be required to comply with the Town's Building Code and Fire Code requirements, therefore ensuring the health, safety, and general welfare of the residence residing in the vicinity.

- f) **The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.**

The project site is located outside of a designated flood plain and therefore not subject to a development permit pursuant to Section 15.36.130 of the Ross Municipal Code or other development related regulations associated with Chapter 15.36.

- g) The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.**

The Ross Valley Fire Department has indicated they would approve the project as presented to the Town Council.

- h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.**

Condition of approval number 10 would require the applicant to indemnify and hold harmless from any claim, action, or proceeding (“action”) against the Town, therefore the project would be consistent with this finding.

- i) The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered).**

The project would not only comply with the Town’s R-1 zoning district parking regulations.

**EXHIBIT “B”  
CONDITIONS OF APPROVAL  
196 LAGUNITAS ROAD  
A.P.N. 072-171-11**

1. This approval authorizes Design Review for construction of a new single-family residence including attached garage and landscaping improvements located at 196 Lagunitas Road, APN 072-171-11 (herein referred to as “the Project”).
2. The building permit shall substantially conform to the plans entitled, “196 Lagunitas” and dated 11/28/2022, and reviewed and approved by the Town Council on December 8, 2022
3. Except as otherwise provided in these conditions, the Project shall comply with the plans

submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.

4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
  - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
  - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
  - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
  - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed

statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a “back-up” system (i.e., temporary seeding and mulching or straw matting).

- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town’s stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.



- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.

- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
  - s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
  - t. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
  - u. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
  - v. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
    - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
    - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
    - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

## ATTACHMENT 2



PROJECT DIRECTORY

OWNER

Carmen and Elizabeth Graham  
63 Laurel Grove Ave.  
Ross, CA 94067

Tel: 917 226 4533  
carmengraham@gmail.com  
elizabethgraham@yahoo.com

ARCHITECT

Sean Bailey Design  
2609 Maguire Avenue  
Larkspur, CA 94032

Sean Bailey, Principal  
Tel: 303 364 6883  
sean.bailey@icloud.com

ENGINEER

Lee and Bross Engineers  
2495 Industrial Parkway West  
Hayward, CA 94545

Alvin Hansen, P.E.  
Tel: 650 226 8640  
ahansen@leebross.com

LANDSCAPE ARCHITECTS

Rhett Landscape Architecture  
126 Fifth Street  
San Francisco, CA 94103

Dustin Munn, Chief of A  
Tel: 415 431 3000 x101  
dmunn@rhettla.com

A.P.N. 073-171-11

196 LAGUNITAS ROAD

TOWN COUNCIL HEARING SET - NOVEMBER 28, 2022

Ross, California 94957

SEAN  
BAILEY  
DESIGN



## VICINITY MAP



	CODE	EXISTING	PROPOSED
LOT AREA:	32,482 SQ. FT. OR 0.75 ACRES	32,482 SQ. FT. OR 0.75 ACRES	32,482 SQ. FT. OR 0.75 ACRES
FLOOR AREA:	6,496 SQ. FT. (ALLOWED BY ZONING)	7,375 SQ. FT. (NON-CONFORMITY PERMIT APPLIED)	6,601 SQ. FT. (SEE SHEET A1.3 FOR DIAGRAMS)
FLOOR AREA RATIO:	20%	22.6%	20.2%
LOT COVERAGE:	6,496 SQ. FT. ALLOWED	6,299 SQ. FT. (SEE SHEET A1.3 FOR DIAGRAMS)	6,294 SQ. FT. (SEE SHEET A1.3 FOR DIAGRAMS)
LOT COVERAGE RATIO:	20%	19.4%	19.4%
PERMEABLE SURFACES:	=	14,737 SQ. FT. (SEE SHEET A1.3 FOR DIAGRAMS)	8,075 SQ. FT. (SEE LANDSCAPE AND CIVIL DRAWINGS) (REDUCTION OF 5,662 SQ. FT.)
FRONT YARD SETBACK:	25' ± 0"	38' ± 0"	34' ± 0.12"
LEFT SIDE YARD SETBACK:	15' ± 0"	1' ± 0"	15' ± 0.12"
RIGHT SIDE YARD SETBACK:	15' ± 0"	8' ± 0.12"	20' ± 0"
REAR YARD SETBACK:	40' ± 0"	5' ± 0"	107' ± 0"
BUILDING HEIGHT:	30' ± 0" ABOVE (S) ON (N) GRADE	32' ± 0" ABOVE (S) GRADE	30' ± 0" ABOVE (S) GRADE
ON-SITE PARKING:	2 OFF-STREET PARKING SPOTS, 1 COVERED	3 OFF-STREET, 2 COVERED	3 OFF-STREET, 3 COVERED

<b>CODE</b>	Present and comply with the 2018 California Building Code, 2018 California Residential Code, 2018 California Plumbing Code, 2018 California Mechanical Code, 2018 California Electrical Code, 2018 California Energy Code, 2018 California Fire Code and all Town of Rose local ordinances relating to building construction.
<b>SPRINKLER SYSTEM</b>	NFPA 13D per County Regulations
<b>GEO/TECHNICAL REPORT</b>	Prepared by a Specialized Engineers required by Geotechnical Engineer
<b>WILDLAND URBAN INTERFACE</b>	Project is located in Unincorporated State Responsibility Area & Local Responsibility Area and shall comply with all applicable codes. Modesto Hazard Severity Zone, See Notes

## ARCHITECTURAL:

- A&0 COVER SHEET
- A&1 PROJECT INFORMATION
- A&2 EXISTING SITE PHOTOS
- A&3 MATERIALS BOARD
- A10 SITE PLAN
- A11 SITE SURVEY
- A12 SITE SUMMARY
- A13 FLOOR PLANS AND LOT COVERAGE DIAGRAMS
- A20 FLOOR PLAN - BASEMENT/COMMON SPACE - MECH.
- A21 FLOOR PLAN - MAIN LEVEL
- A22 FLOOR PLAN - UPPER LEVEL
- A23 ROOF PLAN & STORMWATER PLAN
- A24 EXTENDING LIGHTING PLANS
- A30 EXTERIOR ELEVATIONS
- A40 BUILDING SECTIONS
- A41 BUILDING SECTION

1.1	BASE PROTECTION PLAN AND DEMOLITION
1.2	EROSION CONTROL
1.3	PLANTING PLAN
1.4	PLANS AND SPECIFICATIONS
<b>2.0</b>	
2.1	TITLE SHEET
2.2	GRADING AND DRAINAGE PLAN
2.3	UTILITY PLAN
2.4	EROSION CONTROL PLAN
2.5	EROSION CONTROL DETAILS
2.6	SEEDING/MULCH CONTROL PLAN



(I) 3-STORY MAIN DWELLING UNIT: 4,115 SQ. FT.  
F.A. ROOF @ +517.58'

(II) 2-STORY ACCESSORY DWELLING UNIT: 1,340 SQ. FT.  
F.A. ROOF @ +505.8'



(II) 2-STORY DWELLING UNIT: 1,213 SQ. FT.  
F.A. ROOF @ +512.63'

SITE AERIAL VIEW SHOWING ALL THREE (I) DWELLING UNITS



(E) CARRIAGE HOUSE IN NORTHEAST PART OF PROPERTY



(I) GUEST COTTAGE AND MAIN RESIDENCE ON SOUTH SIDE PART OF PROPERTY LOCATED CLOSEST TO LAGUNITAS RD.



(II) GUEST COTTAGE IN SOUTHEAST PART OF PROPERTY

196  
LAGUNITAS RD  
NO. 2, LAGUNITAS

NO.	DATE	REVISION
1	10/1/18	1.00
2	10/1/18	2.00
3	10/1/18	3.00
4	10/1/18	4.00
5	10/1/18	5.00
6	10/1/18	6.00
7	10/1/18	7.00
8	10/1/18	8.00
9	10/1/18	9.00
10	10/1/18	10.00

EXISTING SITE  
PHOTOGRAPH  
10/1/18

2017.02  
A0.2





196  
LAGUNITAS RD

APR 2025-10-25

NO.	DESCRIPTION
1	FOUNDATION
2	FOUNDATION
3	FOUNDATION
4	FOUNDATION
5	FOUNDATION
6	FOUNDATION
7	FOUNDATION
8	FOUNDATION
9	FOUNDATION
10	FOUNDATION

MATERIALS BOARD

2025.10.25

A0.3

2025.10.25



○ LIGHT WOOD SLATS (SEE SPECIFICATIONS FOR MATERIALS)



○ DARK COLORED STONE OR CONCRETE BLOCKS



○ LIGHT COLORED CONCRETE OR STONE BLOCKS



○ DARK COLORED STONE OR CONCRETE BLOCKS



○ DARK COLORED STONE OR CONCRETE BLOCKS



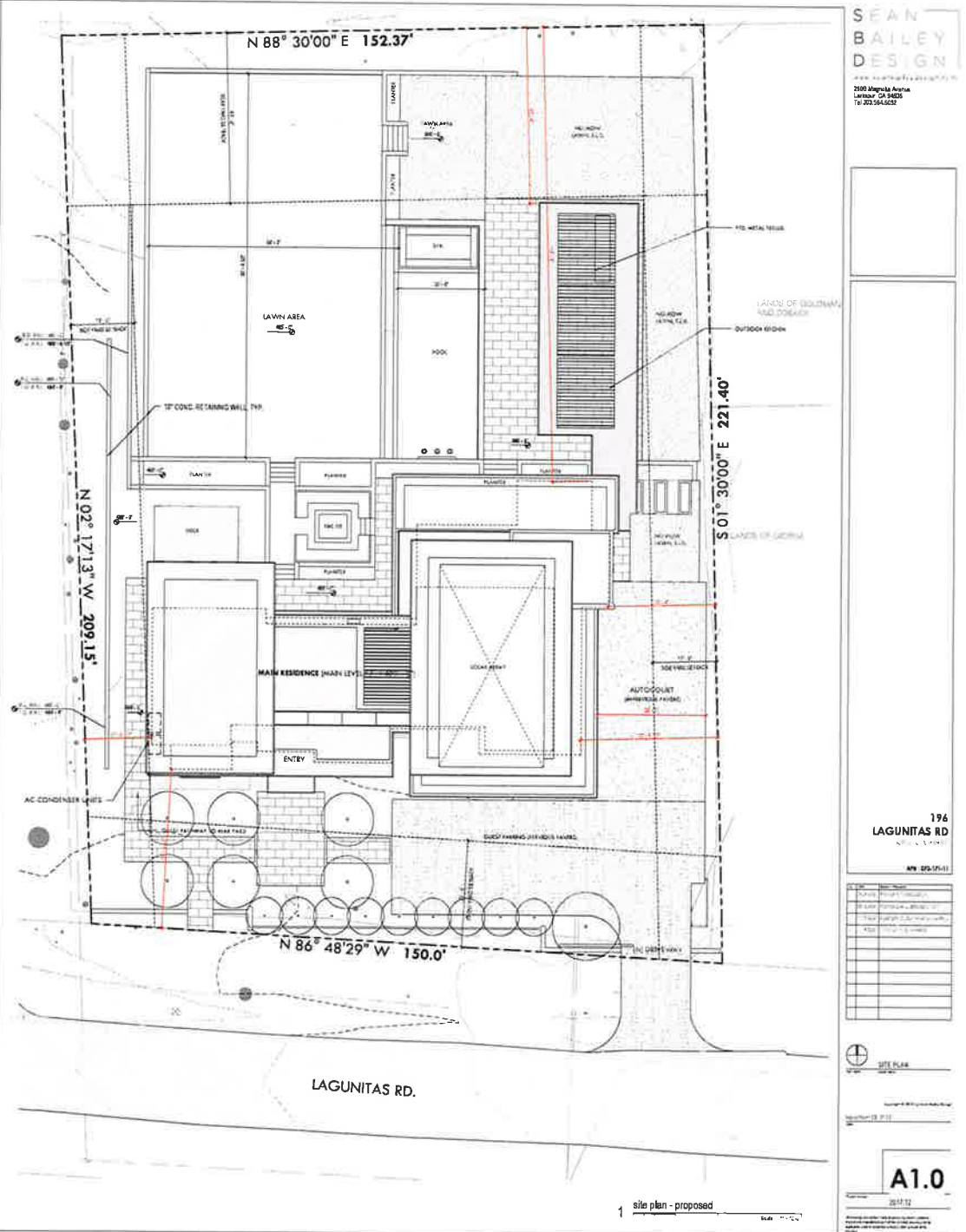
○ DARK COLORED STONE OR CONCRETE BLOCKS



○ DARK COLORED STONE OR CONCRETE BLOCKS

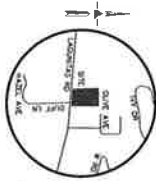


○ DARK COLORED STONE OR CONCRETE BLOCKS





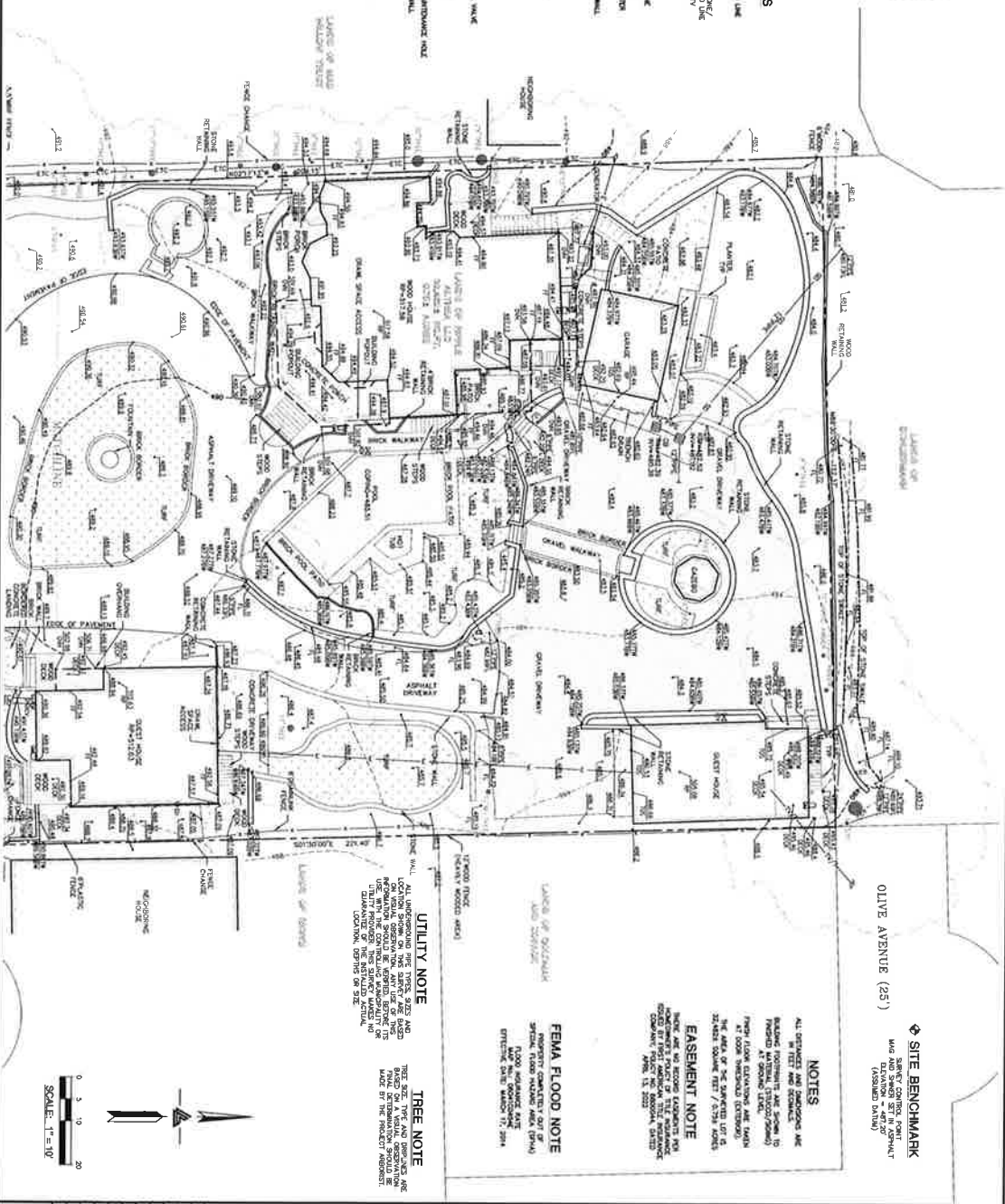




VICINITY MAP  
NO SCALE

LEGEND AND NOTES

- ELECTRICAL LINE
- GAS LINE
- CABLE TV / FIBER OPTIC LINE
- TELEPHONE LINE
- FENCE LINE
- FLOW LINE
- SANITARY SEWER LINE
- BACKFLOW PREVENTOR
- SEWAGE PUMP
- CITY
- CATCH BASIN
- CLEAN-OUT BOX
- FIRE HYDRANT
- FIRE ALARM
- GAS METER
- INVERT
- MANHOLE
- ROOF PEAK
- PLUMBING SYMBOL
- TOP OF RETAINING WALL
- TOP OF SLAB
- WATER METER
- SPRINKLER
- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- LAWN
- POOL
- STONE
- WOOD



OLIVE AVENUE (25)

◆ SITE BENCHMARK  
SURVEY CONTROL POINT  
MAD AND SHOWN SET IN ASPHALT  
(ASSUMED DATA)

NOTES

ALL DIMENSIONS AND DIMENSIONS ARE  
IN FEET AND DECIMALS  
FRACTIONS SHALL BE SHOWN TO  
THREE DECIMAL PLACES  
FRACTIONAL DIMENSIONS ARE TO BE  
ROUNDED UP TO THE NEXT WHOLE  
NUMBER  
ALL DIMENSIONS ARE TO BE  
TAKEN FROM THE SURVEY POINT  
UNLESS OTHERWISE NOTED  
DATE: APRIL 11, 2008

FEMA FLOOD NOTE

PROPERTY LOCATED OUT OF  
FLOOD ZONE (FLOOD MAP 17044)  
DATE: APRIL 11, 2008

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND  
LOCATIONS ARE BASED ON THE SURVEY DATA  
AND FIELD OBSERVATIONS. THE SURVEY DATA  
AND FIELD OBSERVATIONS ARE THE BASIS FOR  
THESE NOTES. THE SURVEY DATA AND  
FIELD OBSERVATIONS ARE THE BASIS FOR  
THESE NOTES. THE SURVEY DATA AND  
FIELD OBSERVATIONS ARE THE BASIS FOR  
THESE NOTES.

TREE NOTE

ALL TREES ARE TO BE PRESERVED  
UNLESS OTHERWISE NOTED  
DATE: APRIL 11, 2008

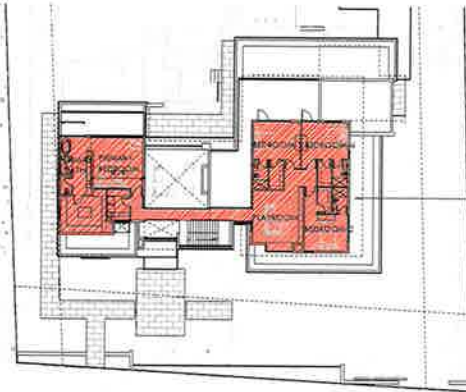
196 LAGUNITAS ROAD  
ROSS  
CALIFORNIA

LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS AND SURVEYORS

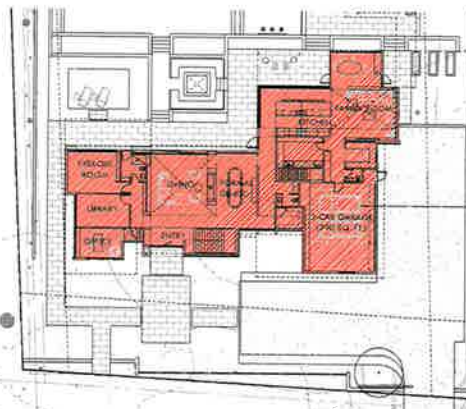
TOPOGRAPHIC SURVEY

1 OF 2 SHEETS

FLOOR AREA TOTALS  
MAIN RESIDENCE  
MAIN LEVEL FLOOR AREA: 4,533 SQ. FT.  
UPPER LEVEL FLOOR AREA: 2,348 SQ. FT.  
TOTAL: 6,881 SQ. FT.  
(EXCLUDING PORCH AND DRIVEWAY COVERAGES)



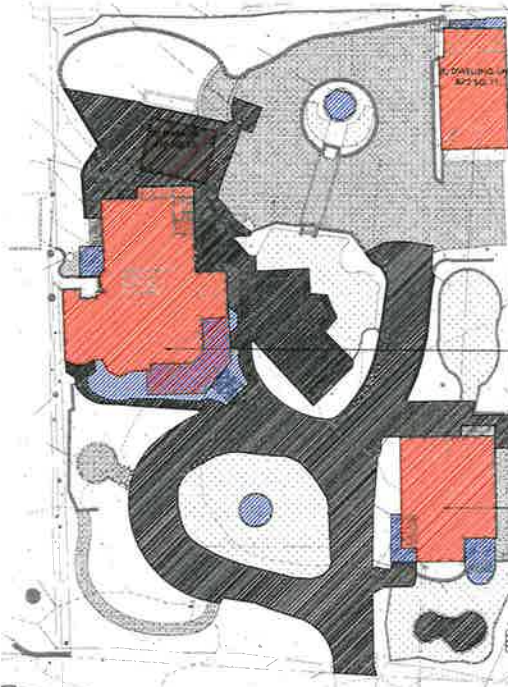
UPPER LEVEL FLOOR AREA = 2,348 SQ. FT.



MAIN LEVEL FLOOR AREA = 4,533 SQ. FT.

4 floor area plan - upper level

3 floor area plan - main level

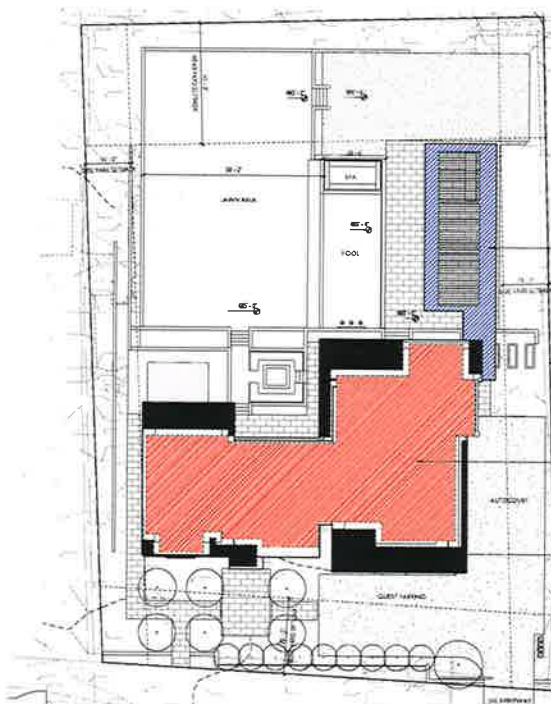


EXISTING LOT COVERAGE CALCULATION  
LOT COVERAGE AREAS  
EXISTING MAIN RESIDENCE: 4,533 SQ. FT.  
EXISTING UPPER LEVEL: 2,348 SQ. FT.  
TOTAL: 6,881 SQ. FT.  
EXISTING DRIVEWAY: 1,140 SQ. FT.  
TOTAL: 8,021 SQ. FT.  
EXISTING PORCH: 754 SQ. FT.  
TOTAL: 8,775 SQ. FT.  
EXISTING DRIVEWAY: 1,140 SQ. FT.  
TOTAL: 9,915 SQ. FT.

(1) MAIN DWELLING UNIT: 2,644 SQ. FT.

(2) DWELLING UNIT: 1,140 SQ. FT.

2 lot coverage - existing



PROPOSED LOT COVERAGE CALCULATION  
LOT COVERAGE AREAS  
PROPOSED MAIN RESIDENCE: 4,533 SQ. FT.  
PROPOSED UPPER LEVEL: 2,348 SQ. FT.  
TOTAL: 6,881 SQ. FT.  
PROPOSED DRIVEWAY: 1,140 SQ. FT.  
TOTAL: 8,021 SQ. FT.  
PROPOSED PORCH: 754 SQ. FT.  
TOTAL: 8,775 SQ. FT.  
PROPOSED DRIVEWAY: 1,140 SQ. FT.  
TOTAL: 9,915 SQ. FT.

COVERED ROOF AT OUTDOOR KITCHEN AREA: 754 SQ. FT.

PROPERTY TOTAL AREA: 32,482 SQ. FT. (MAX LOT COVERAGE: 20% = 6,497 SQ. FT.)

MAIN RESIDENCE BUILDING COVERAGE: 4,320 SQ. FT.

MAIN RESIDENCE ROOF COVERAGE OF EAVES BEYOND 24": 1,014 SQ. FT.

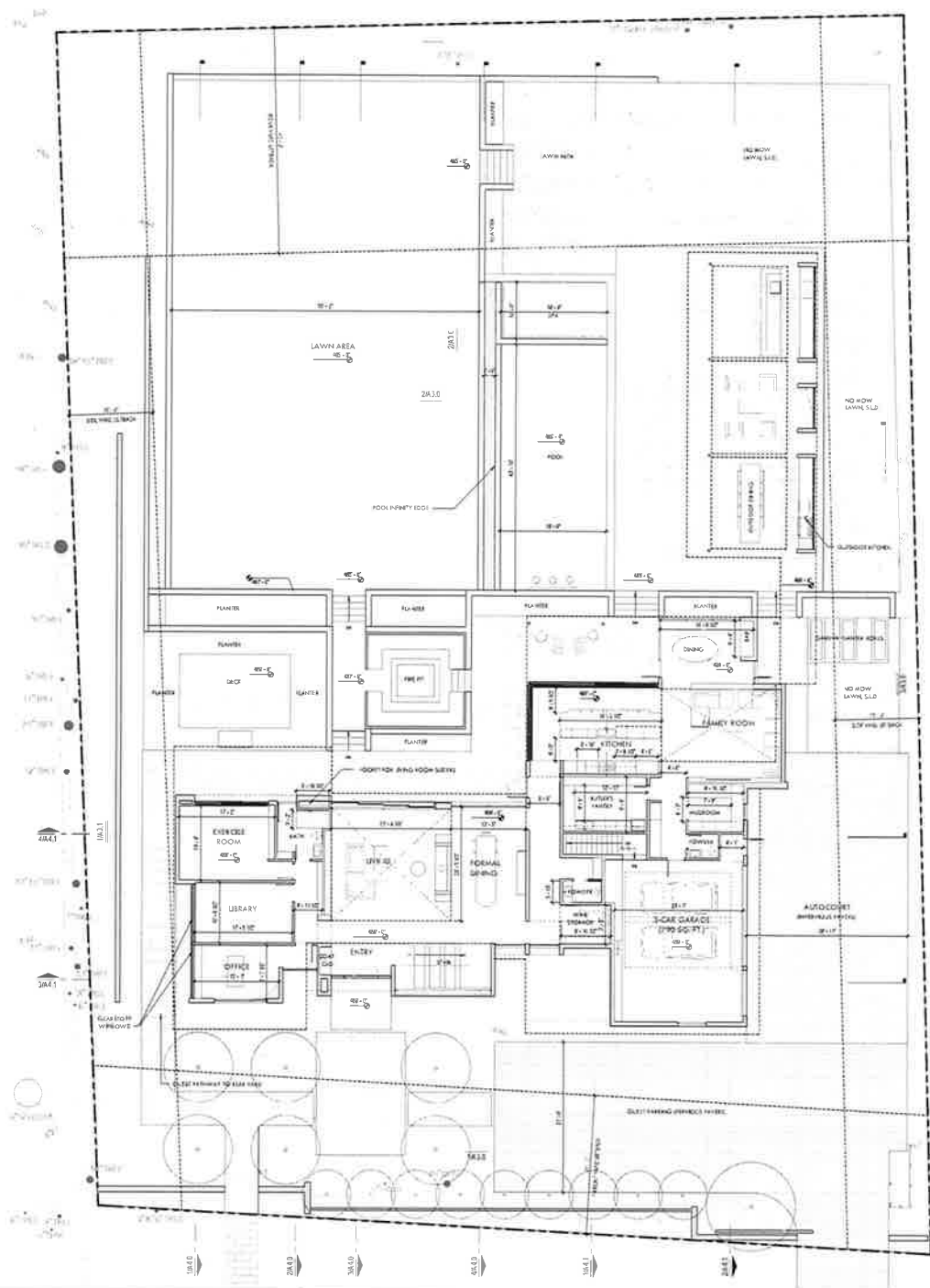
1 lot coverage - proposed

NO.	DATE	DESCRIPTION
1	2017.12	ISSUED FOR PERMITTING
2	2017.12	REVISION: 1.0
3	2017.12	REVISION: 2.0
4	2017.12	REVISION: 3.0
5	2017.12	REVISION: 4.0
6	2017.12	REVISION: 5.0
7	2017.12	REVISION: 6.0
8	2017.12	REVISION: 7.0
9	2017.12	REVISION: 8.0
10	2017.12	REVISION: 9.0



## sheet notes

2017.02



1 floor plan - main level

general notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND INFORMATION FROM THE APPROPRIATE SOURCES.
4. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENGINEERING AND SPECIALTY CONSULTANT SERVICES.
5. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTOR AND SUBCONTRACTOR INFORMATION.
6. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIAL AND LABOR PRICES.
7. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING AND CONSTRUCTION INFORMATION.
8. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINANCIAL AND BUDGET INFORMATION.
9. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGAL AND TITLE INFORMATION.
10. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BOND INFORMATION.

legend

- 1. 1/4" = 1'-0" SCALE
- 2. 1/8" = 1'-0" SCALE
- 3. 1/16" = 1'-0" SCALE
- 4. 1/32" = 1'-0" SCALE
- 5. 1/64" = 1'-0" SCALE
- 6. 1/128" = 1'-0" SCALE
- 7. 1/256" = 1'-0" SCALE
- 8. 1/512" = 1'-0" SCALE
- 9. 1/1024" = 1'-0" SCALE
- 10. 1/2048" = 1'-0" SCALE

sheet notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

SEAN  
BAILEY  
DESIGN

2000 Laguna Avenue  
Lagunitas, CA 94026  
Tel: 415.456.1234

196  
LAGUNITAS RD  
SAN ANTONIO, TX

NO.	DATE	DESCRIPTION
1	10/1/17	ISSUED FOR PERMIT
2	10/1/17	ISSUED FOR PERMIT
3	10/1/17	ISSUED FOR PERMIT
4	10/1/17	ISSUED FOR PERMIT
5	10/1/17	ISSUED FOR PERMIT
6	10/1/17	ISSUED FOR PERMIT
7	10/1/17	ISSUED FOR PERMIT
8	10/1/17	ISSUED FOR PERMIT
9	10/1/17	ISSUED FOR PERMIT
10	10/1/17	ISSUED FOR PERMIT

FLOOR PLAN - MAIN LEVEL

10/1/17

10/1/17

10/1/17

10/1/17

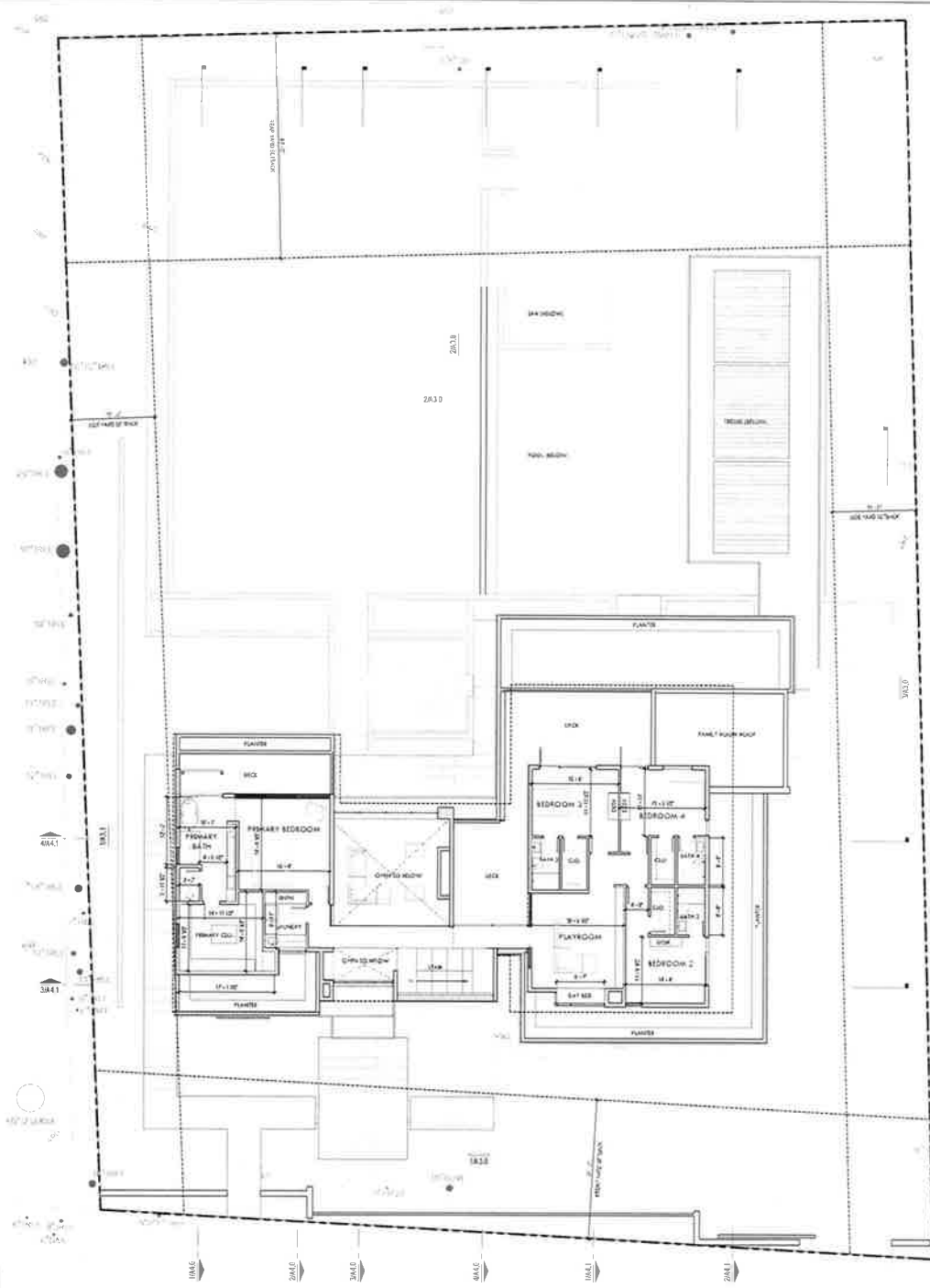
10/1/17

10/1/17

10/1/17

10/1/17

10/1/17



1 floor plan - upper level

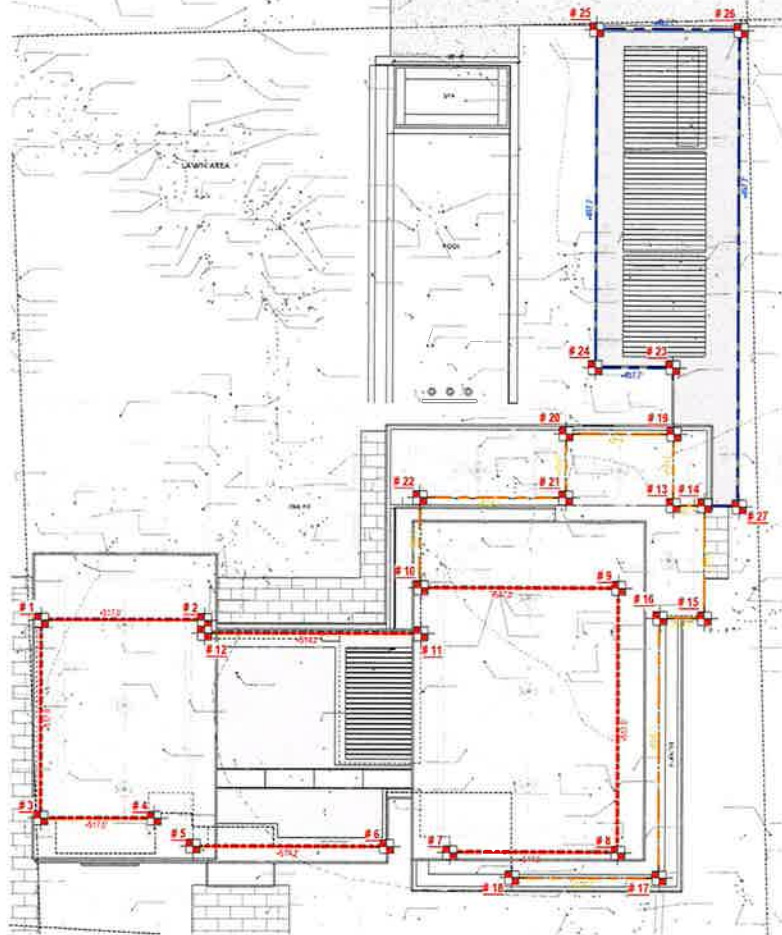
- general notes**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE ORDINANCES.
  2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**legend**

1/2"
 1/4"
 1/8"
 1/16"
 1/32"
 1/64"
 1/128"
 1/256"
 1/512"
 1/1024"
 1/2048"
 1/4096"
 1/8192"
 1/16384"
 1/32768"
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2	FOR REVIEW AND APPROVAL	04/11/17
3	FOR REVIEW AND APPROVAL	04/11/17
4	FOR REVIEW AND APPROVAL	04/11/17
5	FOR REVIEW AND APPROVAL	04/11/17
6	FOR REVIEW AND APPROVAL	04/11/17
7	FOR REVIEW AND APPROVAL	04/11/17
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9	FOR REVIEW AND APPROVAL	04/11/17
10	FOR REVIEW AND APPROVAL	04/11/17

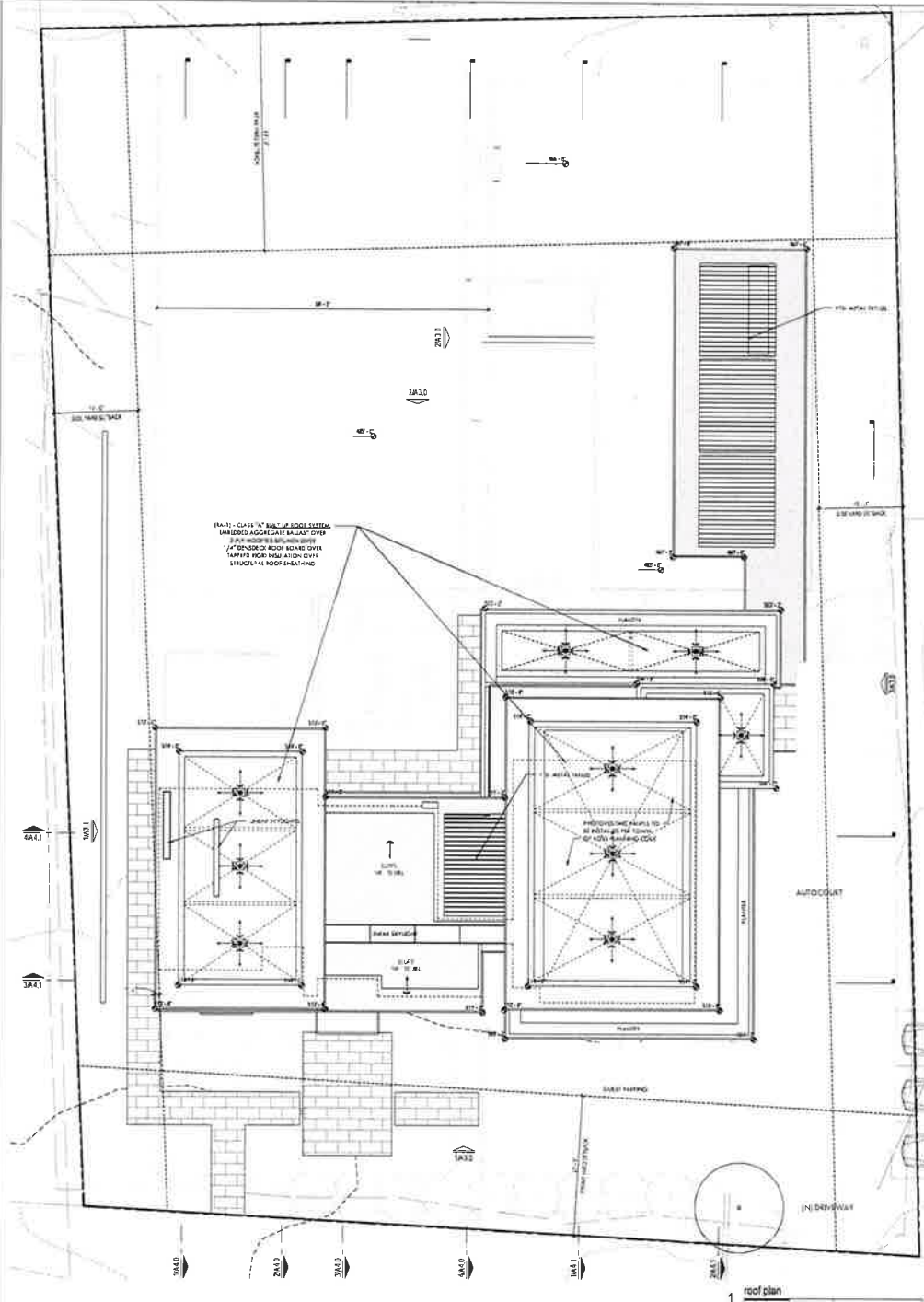


BUILD. CORNER & EDGE HEIGHTS		
MARK	MARK TYPE & EXISTING DATA	HEIGHT MARKING
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#2	EXISTING CORNER	10.0
#3	EXISTING CORNER	10.0
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#14	EXISTING CORNER	10.0
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#17	EXISTING CORNER	10.0
#18	EXISTING CORNER	10.0
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#25	EXISTING CORNER	10.0

STORY-POLE LEGEND:

- RED TAPES INSTALLED TO OUTLINE UPPER LEVEL VOLUMES
- ORANGE TAPES INSTALLED TO OUTLINE LOWER LEVEL VOLUMES
- BLUE TAPES INSTALLED TO OUTLINE TOWER AT 110' L

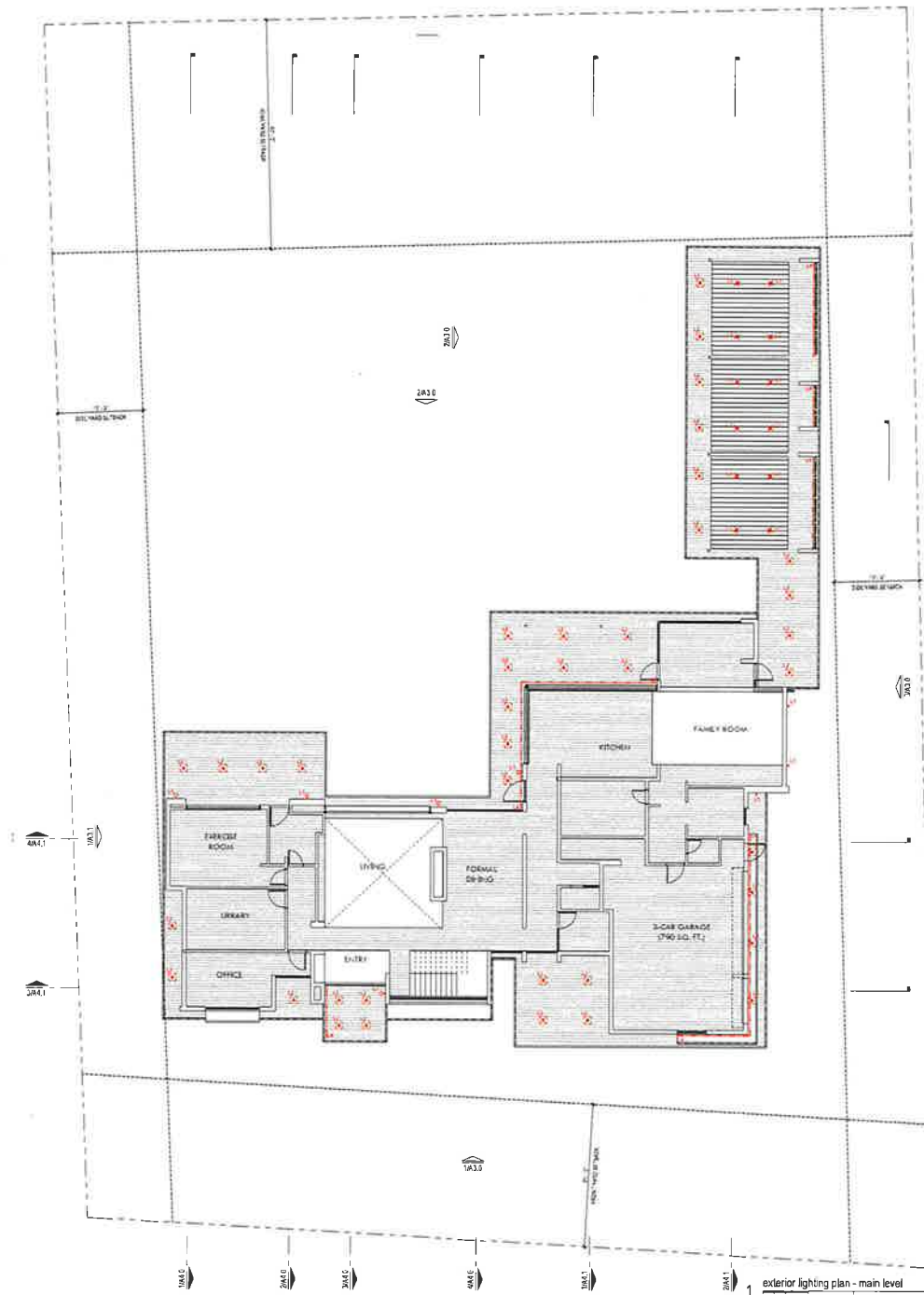
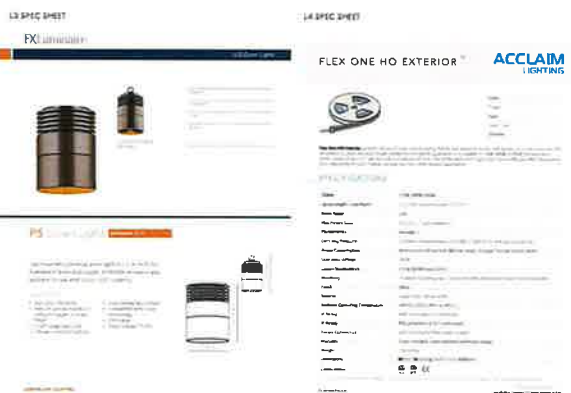
2 story-pole plan



1 roof plan

## LI SPEC SHEET

## LI SPEC SHEET



SEAN  
BAILEY  
DESIGN  
www.seanbaileydesign.com

2609 Magnolia Avenue  
Larkspur, CA 94939  
Tel 302.564.0052

196  
LAGUNITAS RD

0000-0001-9350-3511

Q	Ans.
1. What is the difference between a function and a procedure?	
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10. What is the difference between a function and a procedure?	

 EXTERIOR LIGHTING  
PLANS

Copyright © 2012

**A2.4**





general notes

legend

- 1. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
- 2. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
- 3. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
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- 10. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM

sheet notes

- 1. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
- 2. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
- 3. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
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- 9. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM
- 10. ALL ROOFING SHALL BE 30 YEAR WEATHER RESISTANT ROOFING SYSTEM

196  
LAGUNITAS RD  
CA 94026  
REV: 05/15/17

NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMIT	05/15/17
3	ISSUED FOR PERMIT	05/15/17
4	ISSUED FOR PERMIT	05/15/17
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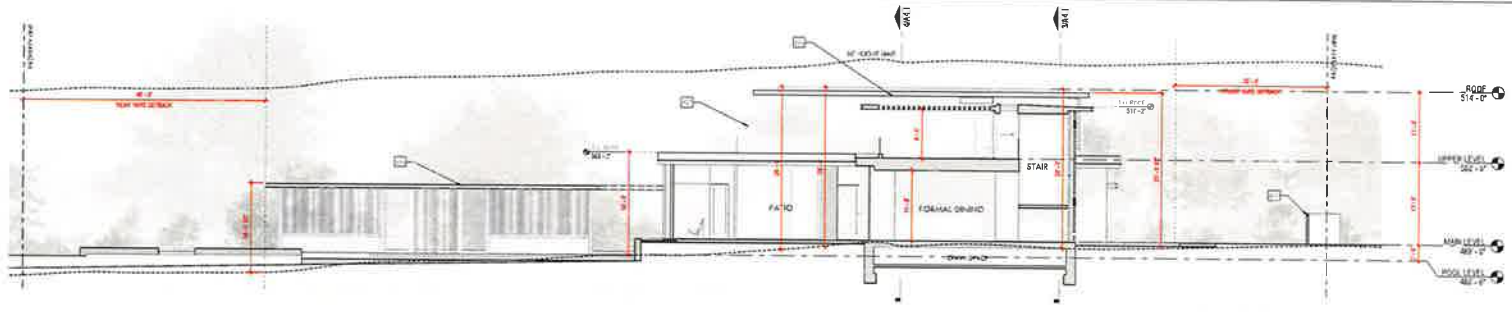
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2. SECTION B  
3. SECTION C  
4. SECTION D

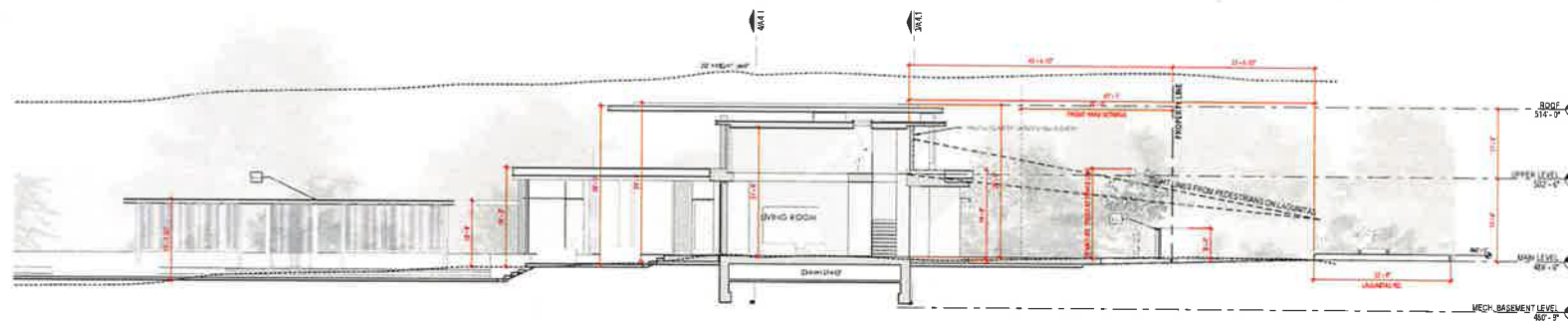
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LAGUNITAS RD  
CA 94026  
REV: 05/15/17

2017.12

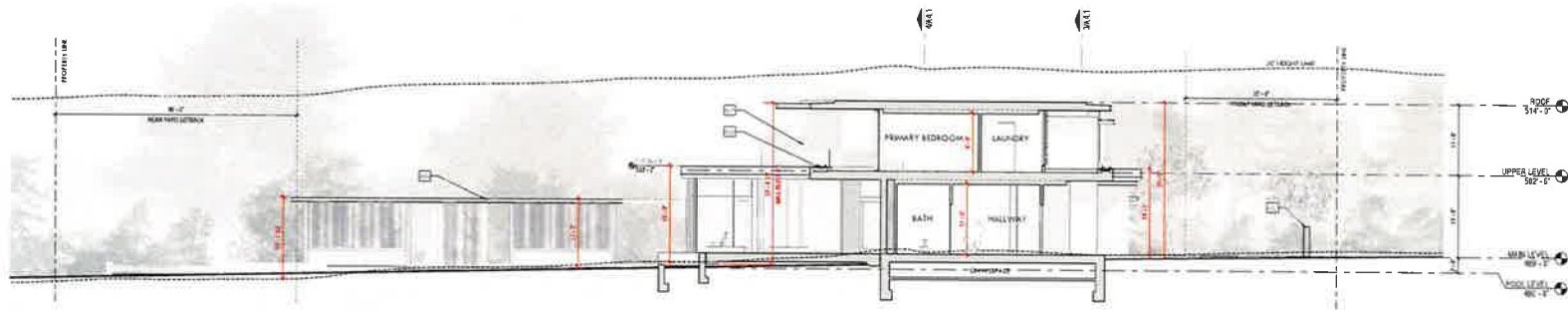
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LAGUNITAS RD  
CA 94026  
REV: 05/15/17



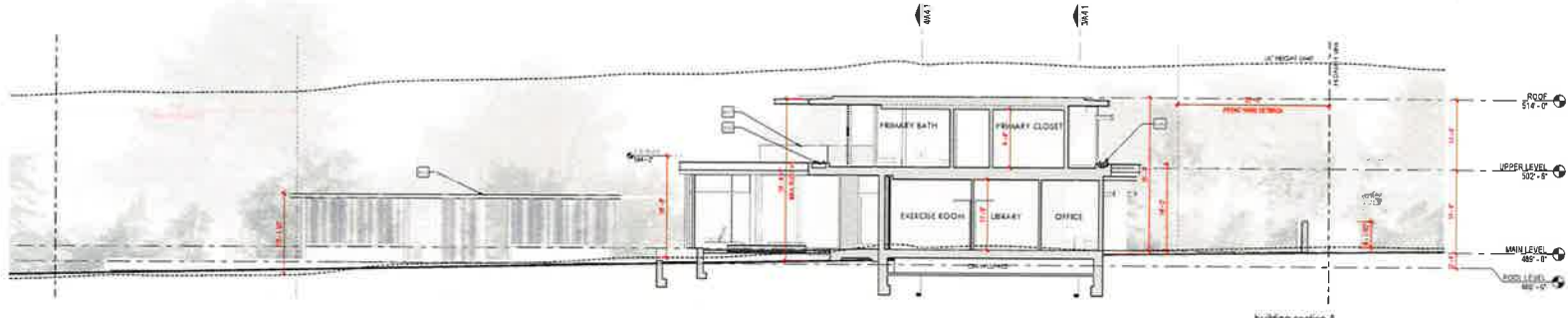
4 building section D



3 building section C



2 building section B



1 building section A

general notes

legend

- 1. All dimensions are in feet and inches unless otherwise noted.
- 2. All dimensions are to the centerline of the wall or the centerline of the window or door unless otherwise noted.
- 3. All dimensions are to the finished floor unless otherwise noted.
- 4. All dimensions are to the finished ceiling unless otherwise noted.
- 5. All dimensions are to the finished exterior grade unless otherwise noted.
- 6. All dimensions are to the finished interior grade unless otherwise noted.
- 7. All dimensions are to the finished exterior finish unless otherwise noted.
- 8. All dimensions are to the finished interior finish unless otherwise noted.
- 9. All dimensions are to the finished exterior finish unless otherwise noted.
- 10. All dimensions are to the finished interior finish unless otherwise noted.

sheet notes

- 1. All dimensions are in feet and inches unless otherwise noted.
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- 4. All dimensions are to the finished ceiling unless otherwise noted.
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- 6. All dimensions are to the finished interior grade unless otherwise noted.
- 7. All dimensions are to the finished exterior finish unless otherwise noted.
- 8. All dimensions are to the finished interior finish unless otherwise noted.
- 9. All dimensions are to the finished exterior finish unless otherwise noted.
- 10. All dimensions are to the finished interior finish unless otherwise noted.

196  
LAGUNITAS RD

APR 2017-11

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04/11/17
2	ISSUED FOR CONSTRUCTION	04/11/17
3	ISSUED FOR CONSTRUCTION	04/11/17
4	ISSUED FOR CONSTRUCTION	04/11/17
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8	ISSUED FOR CONSTRUCTION	04/11/17
9	ISSUED FOR CONSTRUCTION	04/11/17
10	ISSUED FOR CONSTRUCTION	04/11/17

BUILDING SECTIONS

1. Building Section E

2. Building Section F

3. Building Section G

4. Building Section H

5. Building Section I

6. Building Section J

7. Building Section K

8. Building Section L

9. Building Section M

A4.1

2017.12

2017.12

2017.12

2017.12

2017.12

2017.12

2017.12

2017.12

2017.12

2017.12

## ATTACHMENT 3





## Town of Ross

### Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

#### PLANNING APPLICATION FORM

##### Type of Application (check all that apply):

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception                  |
| <input type="checkbox"/> Appeals                           | <input checked="" type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception     | <input type="checkbox"/> Accessory Dwelling Unit          |
| <input type="checkbox"/> Certificate of Compliance         | <input type="checkbox"/> Tentative Map                    |
| <input type="checkbox"/> Demolition Permit                 | <input type="checkbox"/> Tentative Map Amendment          |
| <input type="checkbox"/> Design Review                     | <input type="checkbox"/> Time Extension                   |
| <input type="checkbox"/> Design Review- Amendment          | <input type="checkbox"/> Use Permit                       |
| <input type="checkbox"/> Final or Parcel Map               | <input type="checkbox"/> Variance                         |
| <input type="checkbox"/> General Plan Amendment            | <input type="checkbox"/> Zoning Ordinance                 |
| <input type="checkbox"/> Hillside Lot Permit               | <input type="checkbox"/> Amendment Other:                 |
| <input type="checkbox"/> Lot Line Adjustment               | <input type="checkbox"/> Other:                           |

##### To Be Completed by Applicant:

Assessor's Parcel No(s): 073-171-11

Project Address: 196 Lagunitas Road

Property Owner: Cameron and Elizabeth Breitner

Owner Mailing Address (PO Box in Ross): 80 Laurel Grove Avenue

City/State/Zip: Ross/CA/94957 Owner's Phone: 917-226-4533

Owner's Email: cameronbreitner@gmail.com / elizabeth.breitner@yahoo.com

Applicant: Sean Bailey

Applicant Mailing Address: 260B Magnolia Ave.

City/State/Zip: Larkspur/CA/94939 Applicant's Phone: 303 564 6052

Applicant's Email:

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

##### To Be Completed by Town Staff:

Date Received: \_\_\_\_\_

Application No.: \_\_\_\_\_

Zoning: \_\_\_\_\_

Planning 5300

Tree Permit 5305

Fee Program Administration 5315-05

Record Management 5316-05

Record Retention 5112-05

Technology Surcharge 5313-05

Date paid: \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

**SIGNATURE:**

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

*I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at*

**Ross**

, California on

**9/2/2022**



Signature of Property Owner(s) and Applicant(s)



Signature of Plan Preparer

**Notice of Ordinance/Plan Modifications**

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

**Alternate Format Information**

*The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.*

**Consultant Information**

The following information is required for all project consultants.

**Landscape Architect**

*Firm* Strata Landscape Architecture

*Project Landscape Architect* Dustin Moore

*Mailing Address* 136 Freelon Street CA

*City* San Francisco *State* CA *ZIP* 94107

*Phone* 415.431.9200 x101

*Fax* \_\_\_\_\_

*Email* dmoore@strata-inc.com

*Town of Ross Business License No.* \_\_\_\_\_ *Expiration Date* \_\_\_\_\_

**Civil/ Geotechnical Engineer**

*Firm* Lea and Braze Engineering, Inc.

*Project Engineer* Alex Henson

*Mailing Address* 2495 Industrial Parkway West

*City* Hayward *State* CA *ZIP* 94545

*Phone* 510-887-4086 x.130

*Fax* \_\_\_\_\_

*Email* ahenson@leabraze.com

*Town of Ross Business License No.* \_\_\_\_\_ *Expiration Date* \_\_\_\_\_

**Arborist**

*Firm* \_\_\_\_\_

*Project Arborist* \_\_\_\_\_

*Mailing Address* \_\_\_\_\_

*City* \_\_\_\_\_ *State* \_\_\_\_\_ *ZIP* \_\_\_\_\_

*Phone* \_\_\_\_\_

*Fax* \_\_\_\_\_

*Email* \_\_\_\_\_

*Town of Ross Business License No.* \_\_\_\_\_ *Expiration Date* \_\_\_\_\_

**Other**

*Consultant* \_\_\_\_\_

*Mailing Address* \_\_\_\_\_

*City* \_\_\_\_\_ *State* \_\_\_\_\_ *ZIP* \_\_\_\_\_

*Phone* \_\_\_\_\_

*Fax* \_\_\_\_\_

*Email* \_\_\_\_\_

*Town of Ross Business License No.* \_\_\_\_\_ *Expiration Date* \_\_\_\_\_

**Other**

*Consultant* \_\_\_\_\_

*Mailing Address* \_\_\_\_\_

*City* \_\_\_\_\_ *State* \_\_\_\_\_ *ZIP* \_\_\_\_\_

*Phone* \_\_\_\_\_

*Fax* \_\_\_\_\_

*Email* \_\_\_\_\_

*Town of Ross Business License No.* \_\_\_\_\_ *Expiration Date* \_\_\_\_\_

September 28, 2022

## **196 Lagunitas – PROJECT NARRATIVE**

196 Lagunitas is a .75 acre property that currently has 3 dwelling units, all of which are non-conforming to current setbacks and planning code, and create mass and bulk that encroach on neighboring properties on three of four of the property sides. The existing dwelling units total a floor area of 7,375 sq. ft. and the property also includes an existing pool and a 2-car detached garage. The project scope proposes to demolish all three existing dwelling units and create a 6,901 sq. ft. new residence that conforms to setbacks and meets all planning code without any variance requests, as well as a pool, lawn area, and new landscaping. Through the use of a non-conformity permit, the proposal would be allowed to include floor area up to the current area of 7,375 sq. ft. but is requesting just 6,901 sq. ft. and also comes in at very similar values for both impervious surface and lot coverage.

### **NEIGHBOR ENGAGEMENT:**

The property owners engaged in thorough neighbor outreach early in the design process and worked carefully with the design team to develop a proposal that considers all potential neighbor concerns and will actually improve privacy and impact for all neighbors since the existing three structures that currently sit in setbacks will be demolished and the new residence sits further back from all property lines and neighboring homes. The neighbor feedback to date has been overwhelmingly supportive, without a single neighbor registering a complaint or issue. In fact, the project has received over a dozen letters of support from members of the community and neighboring property owners.

### **RESIDENCE PLACEMENT ON SITE:**

The residence footprint has been placed thoughtfully on the site with neighbor affects in mind and pushed towards the south side of the site to limit mass and bulk on the east neighbor's patio and pool area at 194 Lagunitas. The residence at 194 Lagunitas is just a few feet away from the property line and sits in the side yard setback and has 5 windows that look out toward 198 Lagunitas property guest house that is currently just a little over 8' from property line. The siting of the house is held back substantially from the setback line on the east side adjacent to the 194 Lagunitas neighbor and the driveway and garage is placed on that side of the site to give more space from the neighbor's home and existing windows. The façade of the garage is proposed to be approx. 32' from the property line, which will be a dramatic improvement from the 8' setback of the existing guest house and let more natural light and views to be enjoyed from the neighbor's home. Glass looking out from the proposed residence's east façade was kept minimal and is compromised primary of clearstory windows that will limit privacy sightlines to the 194 Lagunitas neighbor's home.

### **FAÇADE DESIGN AND LANDSCAPE SCREENING ON LAGUNITAS RD:**

The proposed residence south façade that faces Lagunitas Rd. has been thoughtfully designed to limit visibility from the many cars and pedestrians/bicyclists that enjoy the road. While the house placement is pushed towards the south side of the overall property to preserve outdoor lawn area for the owners' young children and limit neighbor impacts on the south and east side, it still sits back from the front yard setback line and proposes substantial landscape screening all along the property line that runs parallel to Lagunitas Rd. The renderings and landscape drawings depict a 15' high screening of Bay Laurels just south of the fence line, as well as 6 Olive Trees and a large Myrtle Tree in front of the entire façade length that will reach 20-30' in ht. when mature. The façade design limits expansive glass that may omit light at night facing Lagunitas Rd. and also includes both horizontal wood and metal louvers that would provide substantial privacy and light screening at the areas of glass that surround the main entry.



**ARCHITECTURAL DESIGN THAT MEETS THE ROSS DESIGN GUIDELINES:**

The design and architecture of the residence creates a warm and modern vocabulary that meets all the design guidelines of the Town and incorporates a material palette that is grounded in natural elements and complements the surrounding site and landscape.

**DESIGN EXCELLENCE and NEIGHBORHOOD CONTEXT:**

The home's proposed design is modern and forward thinking, but approachable, integrated with landscape and site topography, and creates a complementary addition to the rich architectural heritage and history of Lagunitas Rd. It fits within the neighborhood character and creates a positive addition to the community.

**STREET CONNECTION:**

The proposed design creates a strong street connection and creates an elegant façade design that is complemented by beautiful landscape architecture and planting screening in front to soften the edge and create privacy.

**NATURAL MATERIALS:**

The home's design is contemporary in style and the exterior materials are a mix of synthetic and natural materials with a color palette that is natural and subdued. The façade materials are comprised of beige limestone masonry tiles, dark grey basalt masonry, and alaskan yellow cedar siding with black painted metal fascia and window frames.

**LANDSCAPE DESIGN AND OPEN SPACE:**

The landscape architecture provides a lush and varied landscape experience and includes a very large rear yard for lawn area and landscaping that preserves most of the site to open space that will keep neighbor's views across the property uninterrupted and open to the natural setting and foliage.

**SUSTAINABLE DESIGN:**

The design is grounded in sustainable design practices that intend to reduce energy consumption through the use of solar power and other sustainable design technologies and utilize sustainable materials. The proposal includes landscape and civil engineering design that aims to conserve resources and minimize environmental impact by incorporating low impact development principles to mitigate stormwater impacts and preserve open space.

Best,

**Sean Bailey, Architect**

**Planning Staff,**

Between September 15-28, the property owners reached out and spoke with all adjacent neighbors shown in the drawing below in red and made them aware of the project plans, emailed or dropped off hard copies of preliminary project plans, and provided answers for any questions that came up. As of now, all neighbors that have been contacted have been supportive and have had no issues raised with the project as designed. The attached pages to this pdf are a copy of the project plans that were provided to the neighbors for the planning dept.'s records.

Thank you,

Sean Bailey, Architect  
License Number C35283



196 LAGUNITAS ROAD APN: 073-171-11



DESIGN REVIEW OUTREACH PLANNING NEIGHBOR PACKAGE

SEAN  
BAILEY  
DESIGN

Dear Neighbor,

We are developing preliminary plans for a project at 196 Lagunitas Rd.

The project scope will consist of demolishing the existing three non-conforming dwelling units and constructing a new 6,901 sq. ft. single-family residence.

We have included an existing and proposed site plan, a few conceptual renderings, and building elevations in this packet to provide further project details and if you have any questions and/or are interested in viewing additional project drawings, please contact the Architect or Owners:

**Architect:**

Sean Bailey Design  
260B Magnolia Ave, Larkspur, CA 94939  
Tel. 303-564-6052  
Email: sean.bailey1014@gmail.com

**Owners:**

Cameron and Elizabeth Breitner  
Tel. 917-226-4533 & 917-647-6951  
Email: cameronbreitner@gmail.com & elizabeth.breitner@yahoo.com

Email: sean.bailey1014@gmail.com

The purpose of this notice is to engage with and any receive preliminary comments from the neighbors regarding the proposed project prior to review by the Ross Advisory Design Review Board and Town Council. We have submitted our planning package and it is currently under completeness review by the planning dept.

If the planning dept.'s comments are positive and the completeness review is obtained, the owners will submit a formal application for the Advisory Design Review Board to consider in a public hearing. You will receive an official notice of the public hearing from the Town.

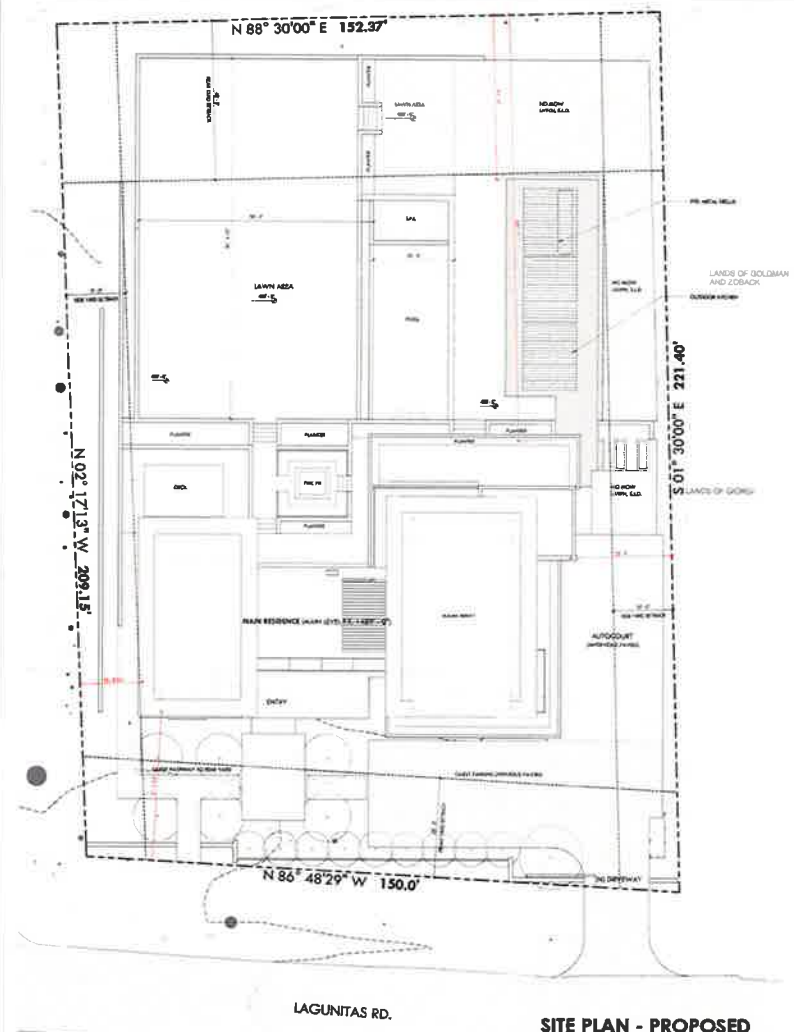
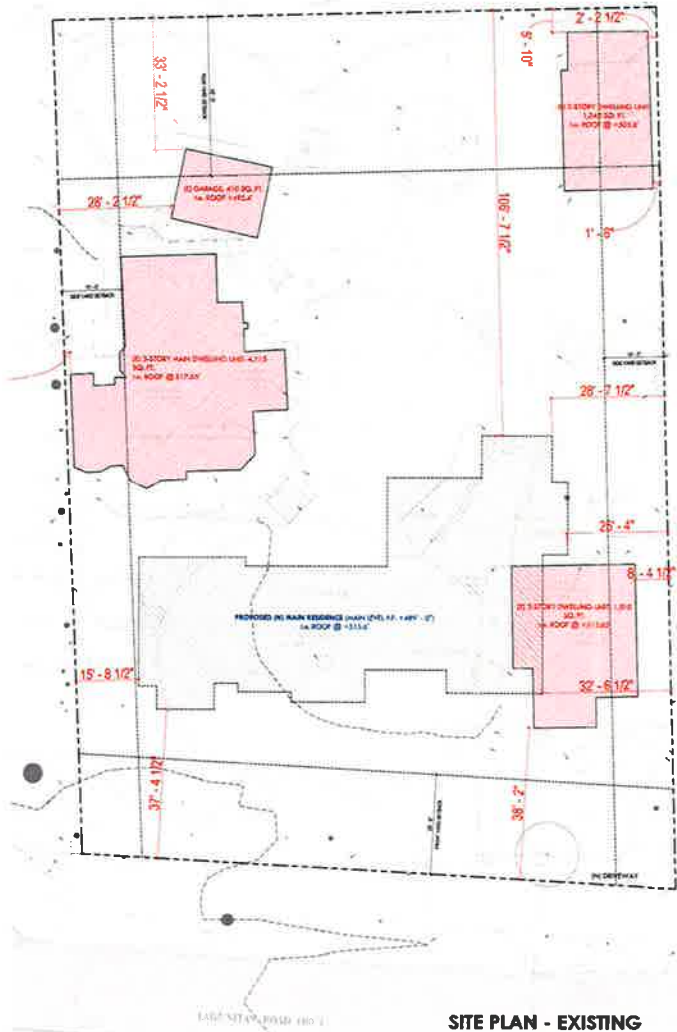
At this time, all comments and questions about the project should be directed to the property owners or project architect.

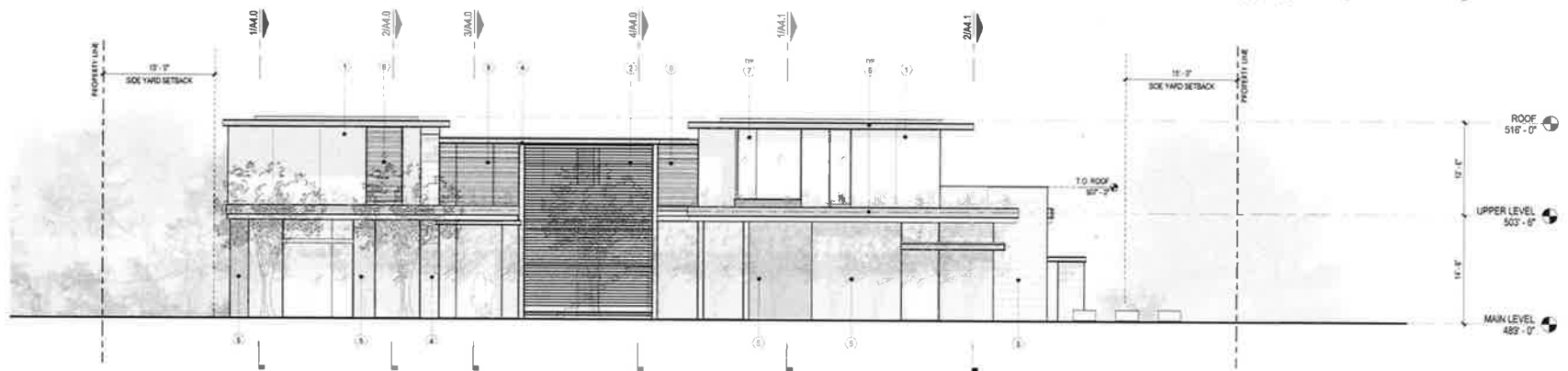
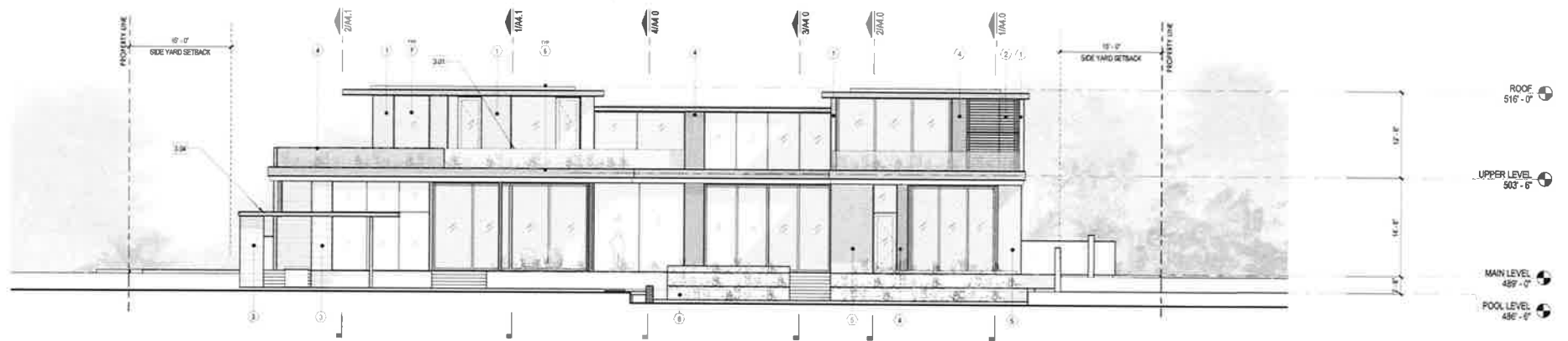
For additional information about the Town's design review process, please contact the project architect Sean Bailey or the Town Planning dept.

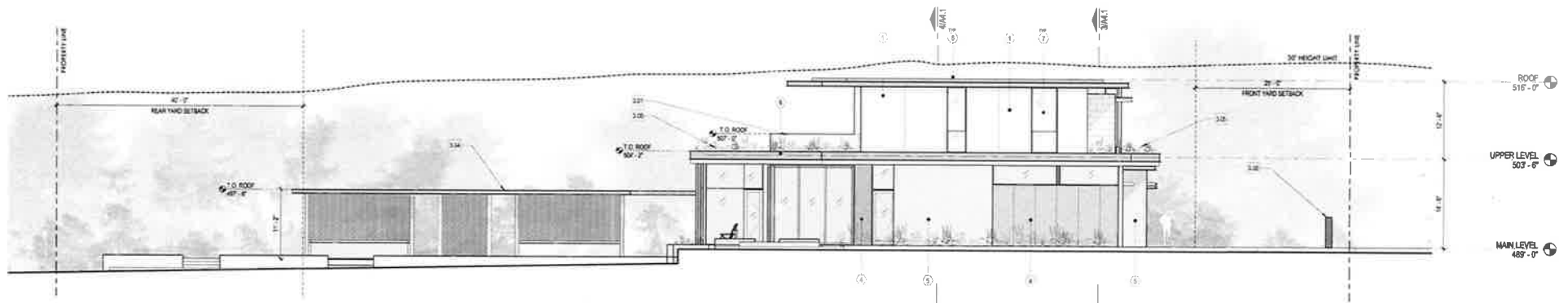
Thank you,

Sean Bailey, Architect  
License Number C35283

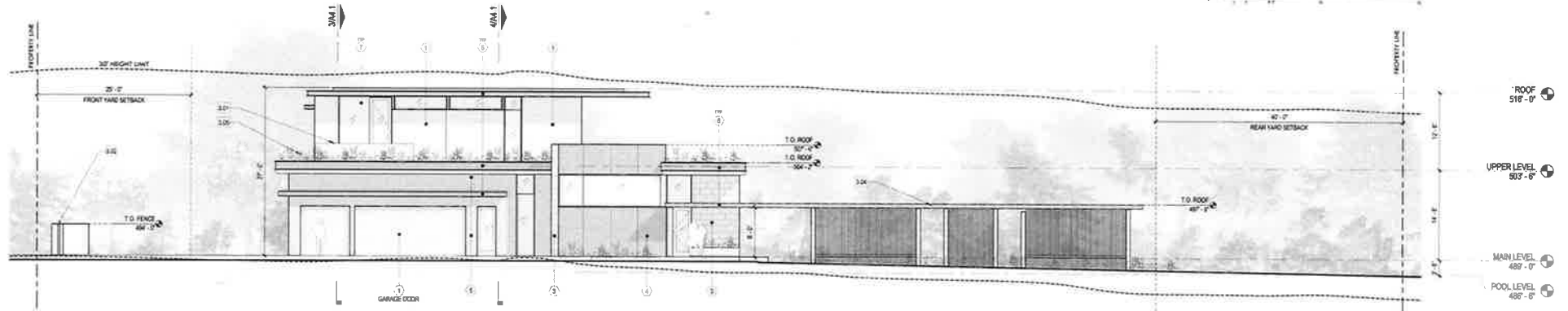








4 west elevation



3 east elevation



CONNOR TURNBULL  
PRESERVATION CONSULTING

## Historic Resource Evaluation

196 Lagunitas Road  
Ross, CA

August 2022

**Prepared for:**  
Althea Ripple LLC

**Submitted by:**  
Connor Turnbull, Preservation  
Consulting  
106 Summit Dr  
Corte Madera CA  
[connor@turnbullpreservation.com](mailto:connor@turnbullpreservation.com)





## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### I. Introduction

This historic resource evaluation was prepared by Connor Turnbull, Preservation Consulting at the request of the Althea Ripple LLC, to determine whether the structure at 196 Lagunitas Road in Ross, California (APN 073-171-11) qualifies for listing on the California Register of Historical Resources (CRHR) in accordance with Article 5, § 15064.5 of the California Environmental Quality Act (CEQA) Guidelines. Properties that are greater than 45 years in age and are proposed for either major alteration or demolition require research to determine whether they meet the California Register criteria and qualify as “historical resources” under the California Environmental Quality Act (CEQA). The Town of Ross and Marin County do not have a current historical register, nor do they have established procedures for the evaluation or designation of properties as historic resources. As a result, 196 Lagunitas Road is not included in any local register.

Marin County Assessor records estimate that the subject property was constructed in c.1925; however, research indicates that 196 Lagunitas Road was likely constructed c.1909 for the larger residence (building #1) and car bar. The smaller residence (building #2) date of construction is unknown but based on Sanborn maps and visual reconnaissance it likely dates from c.1925. The subject property has not been previously evaluated under any local state, or national criteria. 196 Lagunitas Road is not listed on the National Register of Historic Places (National Register) or in the California Register of Historical Resources (California Register).

Based on the findings of this report, the house 196 Lagunitas Road in Ross, California does not individually meet the California Register of Historical Resources criteria. It is the professional opinion of Connor Turnbull, Preservation Consulting that the residence is not an individual historical resource under CEQA. Connor Ishiguro Turnbull meets the Secretary of the Interior’s Professional Qualification Standards.

### *Methodology*

The methodological approach to this historic resource evaluation consisted of a site visit to the subject property and the surrounding neighbourhood on August 19<sup>th</sup>, 2022. The

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

site visit included photographing the existing conditions. Google street maps and images, and historical maps were referenced for current and historical views.

Research of the property and associated persons and events was undertaken through the collections of the Marin County Assessor-Recorder-County Clerk Office, the Town of Ross Planning and Building Departments, the Jose Moya del Pino Library -Ross Historical Society (Moya-Ross Historical Society), the Lucretia Little History Room at the Mill Valley Public Library, and the Marin County Free Library, Anne T. Kent California Room. Online research through ancestry.com, stevenmorse.org, newspapers.com, the California Digital Newspaper Collection of the University of California, Riverside Center for Bibliographical Studies and Research, Library of Congress digital collections, and the San Francisco Public Library digital collections was utilized to examine United States Census records, historical newspaper records and maps. Further research was conducted using the in-house library of Connor Turnbull, Preservation Consulting.

The research undertaken included a search of historical records and newspapers about the occupants and owners of 196 Lagunitas Road, Town of Ross architecture, or any references to the Town of Ross development. The Jose Moya del Pino Library -Ross Historical Society collections were also utilized. The Marin County Assessor-Recorder-County Clerk's Office provided original appraisal reports, and maps, of this property. The permit history at the Town of Ross was limited and therefore no early permits are available.

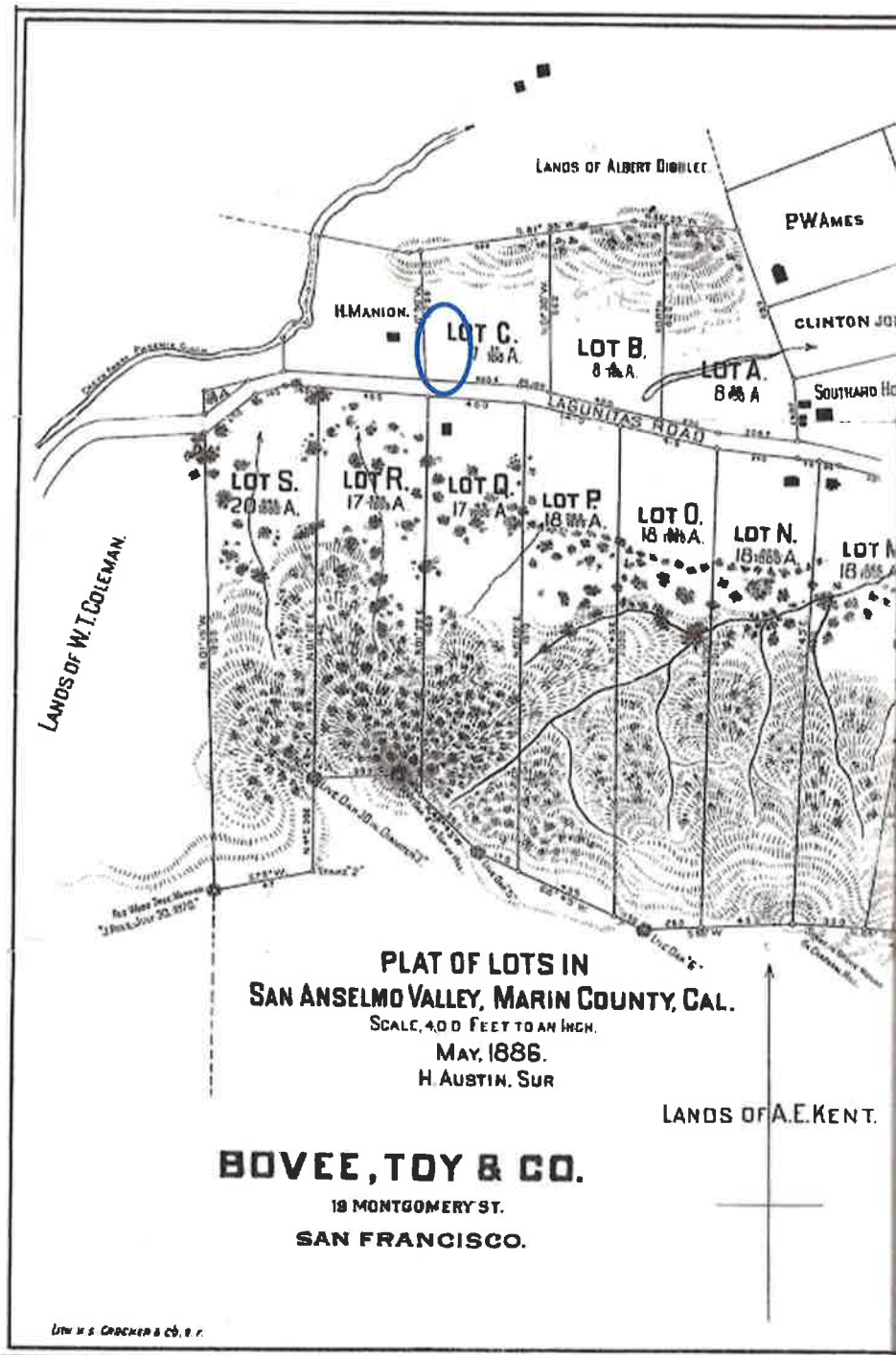
## II. Neighbourhood Context

### Town of Ross'

The Town of Ross is named for James Ross, a wealthy Scottish businessman who purchased a portion of the Rancho de Quentin from Benjamin Buckelew in July of 1857 to establish an estate. Soon after the purchase, James, Anne, and their children moved into Buckelew's home located on today's Redwood Avenue in Ross. Other prominent families chose to establish large estates within the Ross area throughout the latter half of the 19<sup>th</sup> century. In an 1886 map there are existing estate lands and large lettered tracts

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

of land. Several of these lettered tracts were subdivided in the early 1900s, including the Pearl Tract in former tract “C” where the subject property is located.

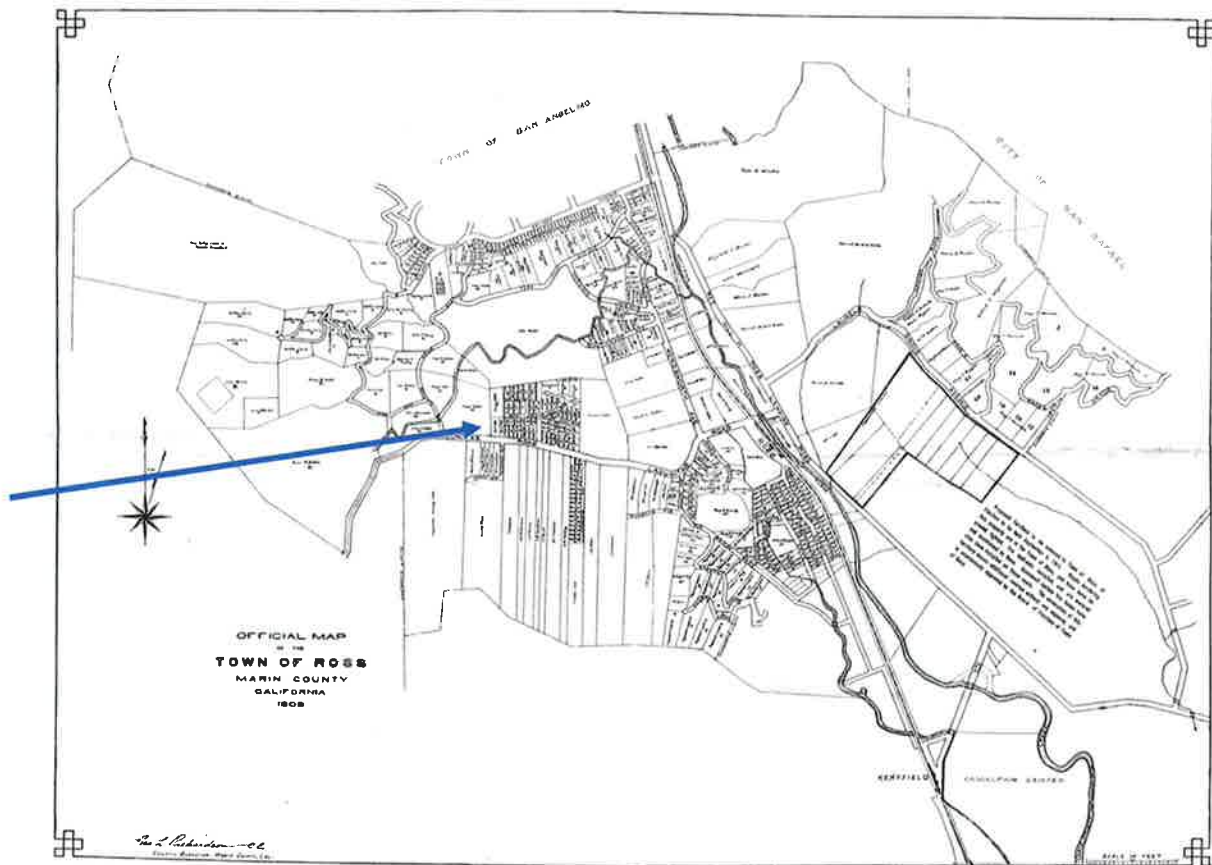


1886 Map of lots in the Ross area (Moya-Ross Historical Society collection)

### Historic Resource Evaluation – 196 Lagunitas Road, Ross

The Town of Ross incorporated on August 17<sup>th</sup>, 1908. The earthquake of 1906, as in many other summer cottage communities, increased the number of permanent Ross residents. In the 1909 Official Map of the Town of Ross many large estates are still visible, and some of the lettered tracts have been subdivided into long narrow lots or clustered into villa-size lots. By 1910 the town's population was 556 and in 1920 it was 727.<sup>2</sup>

The 1914 Sanborn Fire Insurance map of Ros shows a built environment that remains largely the same as the 1909 Official Map. By the 1942 Sanborn map there are considerably more dwellings but the organic irregularity of a country community.

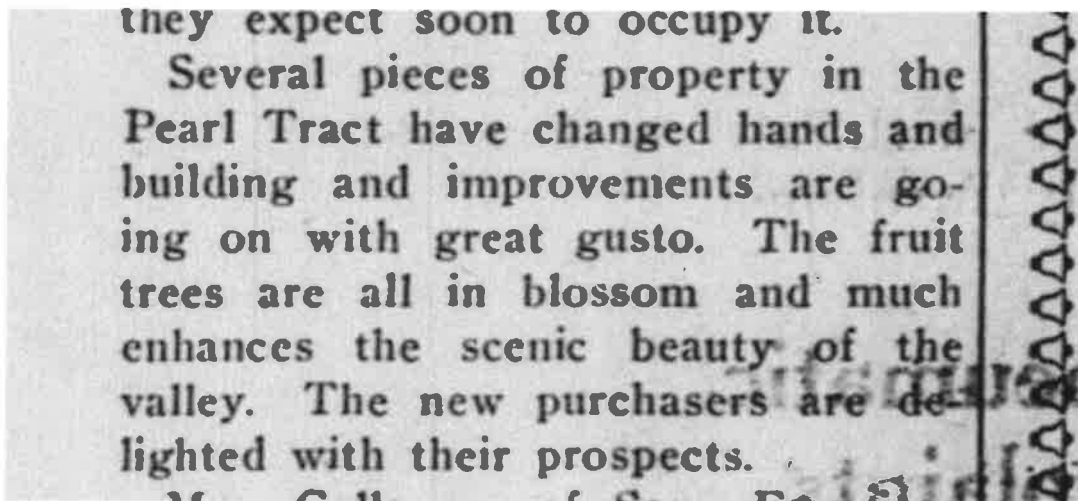


Official Map of Town of Ross (Moya-Ross Historical Society collection)

Historic Resource Evaluation – 196 Lagunitas Road, Ross

**Pearl Tract Subdivision**

On November 11<sup>th</sup>, 1904 Frederick Croker divided a large tract he owned along Lagunitas Road into 25 lots that he named the Pearl Tract.<sup>3</sup> This subdivision, along with its neighbours the Ross Lagunitas Tract (1910) and Fernhill Park (1915) and others, were opportunities for a different societal echelon to partake of the town's bucolic way of life.<sup>4</sup> In the 1909 Official Map of the Town of Ross, the Pearl Tract is a visible island of smaller villa lots along Lagunitas Road and other clusters are visible near the Ross Station and adjacent to the railroad tracks.<sup>5</sup> A 1908 *Marin County Tocsin* article provides a snapshot.



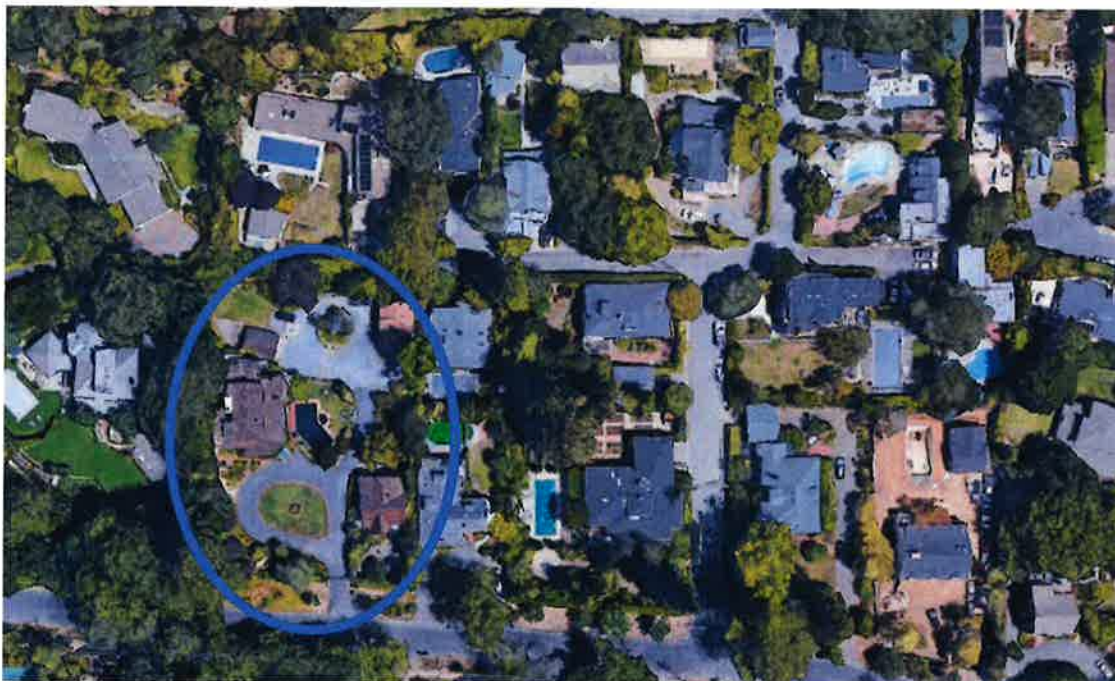
*Marin County Tocsin*, v.31, no.42, April 4, 1908 – detail (retrieved from <https://cdnc.ucr.edu/>)



## Historic Resource Evaluation – 196 Lagunitas Road, Ross



Pearl Tract Subdivision Map (Marin County Assessor-Recorder-County Clerk)



Pearl Tract Subdivision Map (courtesy of Google earth)



## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### III. History of Subject Property

#### *Construction History*

The property located at 196 Lagunitas Road in Ross includes two residences, an auto barn with a studio apartment, a detached garage structure, a gazebo and a pool. No information about the architect or builder of any of these structures was found in records located at the Town of Ross Planning and Building Department, Marin County Assessor-Recorder-County Clerk Office, Moya-Ross Historical Society, in historical newspapers, or local history publications. Additionally, the Town of Ross historically did not use street numbers, so references are associated with ownership, general street location, or if a property has a specific name. The following is what is known about the construction chronology of 196 Lagunitas Road.

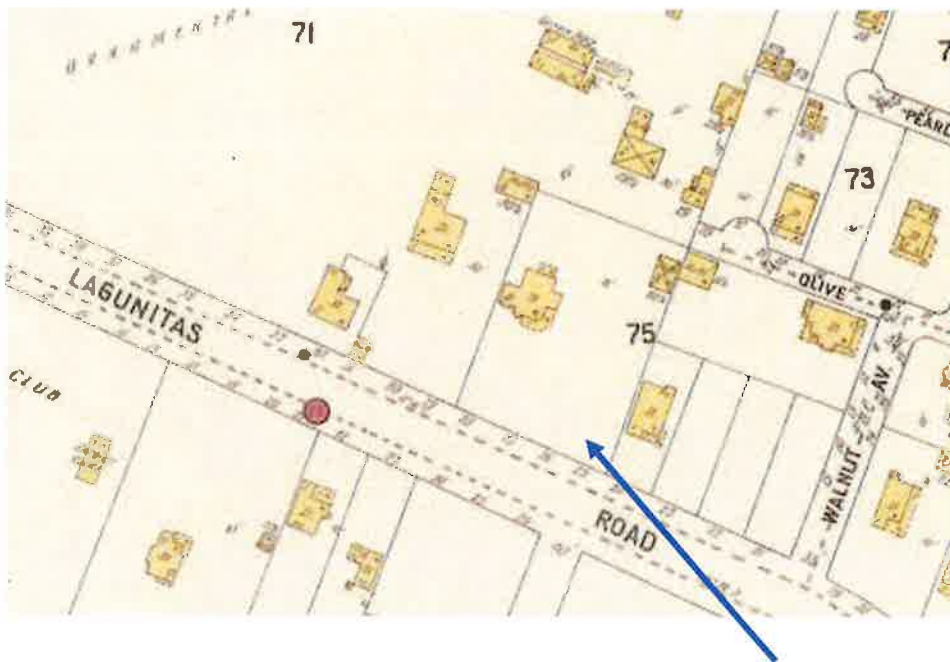
196 Lagunitas Road is located on the far southwestern edge of the Pearl Tract, a 25 lot subdivision created by Frederick Croker in 1904. Although the Marin Municipal Water District identifies a 1901 water tap for 196 Lagunitas Road, research places George G. and Marie Katz, the original owners, at the property in 1908. The Katz family including their son George F. are listed in the 1910 Census on Lagunitas Road in the Town of Ross. The 1914 Sanborn Fire Insurance Map shows one residence and an auto barn. This residence corresponds to the larger residence currently on the property (building #1) and the auto barn to the existing garage/studio apartment. The residence is identified as a one-story with basement, wood frame building featuring wood shingle roof cladding and a one-story corner porch (as it does currently), as well as a rear one-story porch. The auto barn is identified as a one-and-a-half story stable and is in the same location as the current garage/studio apartment. By the 1942 Sanborn map a second dwelling is shown (building #2) as well as a detached garage. Building #2 does not show either the rear porch and stair that it currently features. All structures on the property are identified with composition shingle roofing in 1942.<sup>6</sup>

According to newspaper records, George G. Katz died in 1934 and his son George F. Katz and his wife Dorothy divorced in 1935.<sup>7</sup> The subject property passed to Dorothy Katz after the divorce. Research indicates that from about this time period 196 Lagunitas Road supported rental units. Dorothy Katz married Henry Haberman in 1957 and they are listed at 433 Lagunitas Drive in Marin County Directories.<sup>8</sup> In 1958 Dorothy requested a variance for work on a cabana near Olive Avenue at the rear of the property which was granted on the condition that a retaining wall be constructed.<sup>9</sup> In the Town of

### Historic Resource Evaluation – 196 Lagunitas Road, Ross

Ross records for 196 Lagunitas Road a lot map dated November 19, 1965 shows building #1 with an additional deck at the east elevation, and another at the west elevation and building #2 has an rear stair at the north elevation and the main entry porch at the west elevation, and the side porch at the south elevation are both indicated.<sup>10</sup> Mrs. Dorothy Haberman requested variance no.319 in 1968 to allow for three separate units under Ordinance 153 and it was noted in the documents that in the present configuration one unit violated Ordinance 153, one unit predated the ordinance, and the apartment in building #1 violated Ordinance 101. However, the judgement was that it was “a unique parcel of a property, with three major buildings in rental use” and that it should be allowed as long as all apartments be brought up to safety code and with the intention to phase out the rental uses.<sup>11</sup>

In 1969 James and Maria Van Buskirk purchased 196 Lagunitas Road. In 1972, Variance no. 382 was granted to the Van Buskirk couple to add a kitchen remodel addition and deck at the northwest elevation.<sup>12</sup> In 1988, a use permit for a second unit that had “25 years of quiet existence” was approved; two previous units were approved in 1968.<sup>13</sup> Subsequent alterations and additions appear in permit records available at the Town of Ross Planning and Building Department (see construction table below).

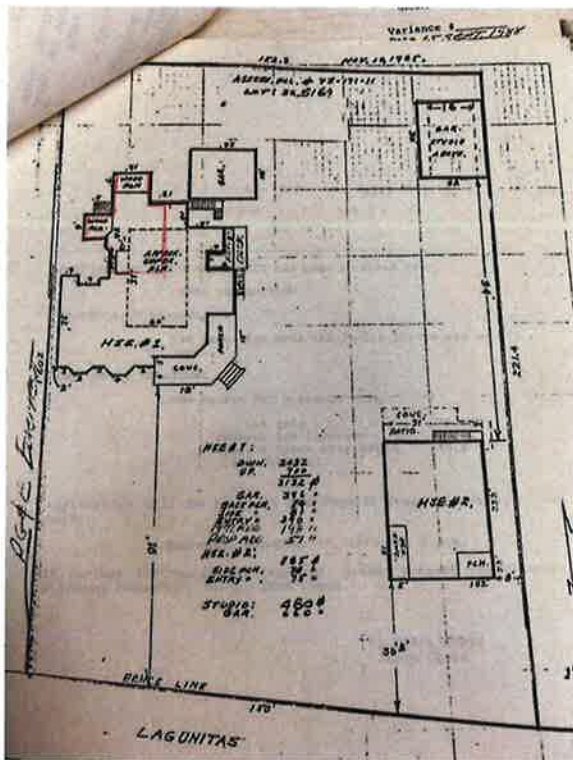


1914 Sanborn Map\_detail view (retrieved from LOC.gov)

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1942 Sanborn Map\_detail view (retrieved from LOC.gov)



Lot map from "196 Lagunitas Folder" (courtesy of the Town of Ross, Planning and Building)

Historic Resource Evaluation – 196 Lagunitas Road, Ross

*Construction History Table APN 073-171-11*

Date	Permit Number	Names	Cost/Description / Source
04-01-1901	No #	No names shown	Water tap (Marin Municipal Water District)
1914	No #	No names shown	Main building and barn/garage visible on lot (1914 Sanborn Map)
c.1925*	No #	No names shown	Dwelling (Assessor's Residential Building Record)
1942	No #	No names shown	All three buildings shown on lot (1942 Sanborn Map)
April 1962	1296	No names shown	\$2,000.00; foundation repairs (Assessor's Residential Building Record)
April 1967	1981	No names shown	\$5,000.00; TerCon (Assessor's Residential Building Record)
May 1971	4492	No names shown	\$3,600.00; pool (Assessor's Residential Building Record)
June 1972	6009	James Van Buskirk	\$8,500.00; alteration (Assessor's Residential Building Record & Town of Ross records)
10-08-1999	14529	No contractor; James & Maria Van Buskirk, owner	\$5,000.00; Upstairs closet small addition

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**

04-17-2000	14632	A.D. Electric, contractor; Maria Van Buskirk, owner	\$no amount shown; electrical work
05-22-2000	14654	Joe Vollmer, contractor; Jim & Maria Van Buskirk, owners	\$7,400.00; dormer addition for new closet at rear second story and replace second story windows
01-17-2002	14988	Ongaro & Sons, contractor; Jim Van Buskirk, owners	\$no amount shown; Replace furnace
09-25-2002	15145	Ongaro & Sons, contractor; Maria Van Buskirk, owner	\$no amount shown; repair boiler
12-23-2002	15184	Hicks & Sons, electric, contractor; Maria Van Buskirk, owner	\$3,000.00; Install generator
02-22-2003	15208	Vollmer Construction, contractor; Maria Van Buskirk, owner	\$10,000.00; Deck repair
07-11-2005	15761	Vollmer Construction, contractor; Pitcairn, owner	\$25,000.00; Two bath remodel
11-30-2006	16227	Petersen-Dean, Inc., contractor; John Pitcairn, owner	\$33,435.00; Re-roof Class A heavy cedar shakes
05-17-2007	16316	SF Fireplace, contractor; Maria Pitcairn, owner	\$6,000.00; install fireplace unit
08-22-2012	17576	Extra hand construction, contractor; John Pitcairn, owner	\$15,800; Re-roof

### Historic Resource Evaluation – 196 Lagunitas Road, Ross

09-15-2017	18843	Vollmer Construction, contractor; Maria Pitcairn, owner	\$20,000; Bath remodel
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\* Residential Property Appraisal Record note states that the owner doesn't know date of construction and therefore the appraiser estimates c.1925.

#### *Owners and Occupants*

Prior to the incorporation of the Town of Ross in 1908 it was already a popular area for large country estates, such as those of the Bothin, Coffin, Worn, Kittle and Ross families. In an 1886 map titled "Plats of Lots in San Anselmo Valley, Marin County, Cal" the lots are very large and some tracts are lettered. The area of the subject property falls within lot "C".<sup>14</sup> Around the period of incorporation smaller lots were created from subdivisions, including the Pearl Tract, and as in many parts of the Bay Area real estate speculation was also popular.

In the 1904 Pearl Track subdivision map, Lot 25 occupies the western edge, from Lagunitas Road up to the northern limit of the tract. Olive Avenue ends at the edge of Lot 25. The Pearl Tract subdivision owner, Frederick Croker, sold a 100' x 210' portion of lot 25 along Lagunitas Road to Marie Katz (wife of George G. Katz) in 1905.<sup>15</sup> In the same year Croker also sold a portion of lot 25 to Louise Macquaid, and the upper half of lot 25 to Henry Bothin.<sup>16</sup> Macquaid promptly sold the lot to Levitt H. Cox, a San Francisco contractor, for \$10 in 1906.<sup>17</sup> Cox in turn sold to Marie and George Katz in 1907.<sup>18</sup> In the 1909 Official Map of the Town of Ross adjacent lots along Lagunitas Road, within the original lot 25 are listed under Marie Katz while the upper half of lot 25 is owned by Henry Bothin, who also owns a large estate along the western and northern boundary of the Pearl Tract.<sup>19</sup>

George G. Katz was a wealthy San Francisco butcher and partner in the Katz Brothers Butchers.<sup>20</sup> The 1900 Census lists George Gottlieb Katz, born in 1858 in California, a meat provisions dealer, and his wife Marie B. Katz, born in 1870 in California and their residence is 2001 Oak Street in San Francisco. By the 1910 Census their residence is on Lagunitas Road in Ross and their son George F. is 11 years old.<sup>21</sup> During the following decade Marie Katz appears often in local papers in Ross social gatherings and as a host. In 1913 and 1914 George Katz experienced a severe bout of rheumatoid arthritis and



## Historic Resource Evaluation – 196 Lagunitas Road, Ross

the family returned to San Francisco but retained their summer home in Ross.<sup>22</sup> George G. Katz passed away in 1934.

George F. Katz partially grew up in Ross and served in World War I. He married Dorothy Vaughan sometime in the early 1920s. Dorothy Vaughan was born c.1903 in British Colombia to a German father and an American mother.<sup>23</sup> Her father Edward A. Vaughan was the Secretary of the Chamber of Commerce in Santa Rosa in 1920 and subsequently managed the Napa Soda Springs and Boyes Springs Hotel.<sup>24</sup> In Marin County Directories from 1915 to the early 1920s, George and Marie Katz are listed on Lagunitas Road. In 1925, George F. Katz, (salesman) also appears on Lagunitas Road. And in the 1929 Directory only George F. Katz appears on Lagunitas Road.<sup>25</sup> In the 1930 census George F. (31 yrs., oil distribution salesman) and Dorothy (26 yrs, wife) Katz live on Lagunitas Road and George is listed as the owner.<sup>26</sup> In George G. Katz's 1934 obituary Dorothy Katz is not included and a divorce action announcement is posted in 1935.<sup>27</sup> Marin County Directories are not available for all years but Dorothy Katz appears in the 1939-1940 Directory on Lagunitas Road as well as the 1940 Census. In 1957 Dorothy married Henry Haberman and is referred to as Dorothy Katz Haberman or Mrs. Haberman in records. It is about this time that Dorothy Katz presumably began renting out units on the subject property. In 1968, one year prior to the sale of 196 Lagunitas to Maria and James Van Buskirk, Dorothy Haberman requested a variance and in the Town of Ross records it notes three rental units on the property.<sup>28</sup>

Maria and James Van Buskirk purchased 196 Lagunitas Road in 1969. Maria Van Buskirk taught English at Redwood high school from 1968 to 1993. A *Daily Independent Journal* (San Rafael) article in 1974 describes her tenacious effort to break the glass ceiling to become a Redwood High School administrator which she managed to do in 1975 when she was appointed Dean of Students. James Buskirk died in 2001 and Maria remarried another Ross resident John Pitcairn.<sup>29</sup> When Maria Van Buskirk Pitcairn died in 2022 the subject property was sold to Althea Ripple LLC.

### *Occupant History Table*

Occupants researched in Marin County Directories, Census Records and newspapers.

Date / Source	Name(s)
1904 Pearl Tract Map (Moya-Ross Historical Society)	Frederick Croker owns Lot 25
1905 (9/28 Marin Journal v.46, No.30)	Marie Katz purchases lot on Lagunitas from

### Historic Resource Evaluation – 196 Lagunitas Road, Ross

	Frederick Crocker
1905-1908 Marin Directory	No listing for Katz
1909 (Official Map of Ross)* and ( <i>Marin County Tocsin</i> v.33, No.22, Nov 20)	Marie Katz owns multiple lots in area and a residence exists for Mrs. Katz to host a party
1910 Census	George and Marie Katz
1911 Marin Directory	No listing for Katz
1913 ( <i>Marin County Tocsin</i> )	George and Marie Katz in Ross
1914 City Directory ( <i>Marin Journal</i> v.52, No.44, October 28)	Katz on Scott Street in San Francisco but still using Ross home at weekends
1915 -1925 Marin County Directories	George and Marie Katz, Ross
1920 Census	No information found on census for George and Marie Katz in Ross
1923 Marin County Directory	Katz, Mrs. George
1925 Marin County Directory	Katz, George G. (meatctr) and Marie; Geo F. (clerk, salesman)
1929 Marin County Directory	Katz, George Jr.
1930 Census	Katz, George F. (owner, 31 yrs, salesman oil distribution) Dorothy K. (wife, 26yrs)
1935-1937 Marin County Directories	No listing for Katz
1939-1940 Marin County Directory	Katz, Dorothy K. clk r. Lagunitas Rd Ross
1940 Census	Katz, Dorothy (head, 36yrs)
1942-1943 Marin County Directory	Katz, Dorothy K. clk r. Lagunitas Rd, PO Box 432 Ross
1946-1947 Marin County Directory	unknown
1949-1950 Marin County Directory	Katz, Dorothy K Mrs. homkr PO Box 432 Ross
1950 Census	unknown
1952-1953 Marin County Directory	Katz, Dorothy K Mrs. homkr PO Box 432 Ross
1954-1955 Marin County Directory	Katz, Dorothy K Mrs. homkr PO Box 432 Ross
1962 Marin County Street Address Directory	No 196 Lagunitas listed
1966 Directory	unknown
1992 Town of Ross records	Shipley Interiors - cottage @ 196 Lagunitas

Research from Marin County Assessor-Recorder-County Clerk records, Town of Ross records, the Jose Moya del Pino Library -Ross Historical Society collections, and newspapers.com.

<b>Grantor / Seller</b>	<b>Grantee / To Whom Sold</b>	<b>Date</b>
Frederick Croker*	Marie Katz	09-11-1905
	Dorothy Katz**	1935?
Dorothy K. Haberman **formerly Dorothy Kathleen Hasslocher Katz	James and Maria B. Van Buskirk	02-19-1969
Maria Van Buskirk. (Tr)	Maria Pitcairn	03-11-2013
	Maria Pitcairn and Van Buskirk Survivors Trust	04-14-2014
	Van Buskirk Survivors Trust & Stern, Karen	02-02-2022
	Van Buskirk Survivors Trust & Pitcairn, Maria B. Est of	02-10-2022
	Ripple, Althea LLC	04-13-2022

**\*\* It is inferred that Dorothy Katz received the property in her 1935 divorce although no records are available. Dorothy Katz married Henry Haberman in 1957 (ancestry.com)**



Historic Resource Evaluation – 196 Lagunitas Road, Ross

#### IV. Architectural Analysis

##### *Site and Building Descriptions*

The subject property is an approximately 32, 516 square foot lot with two residential buildings, two ancillary garage buildings, a gazebo and a pool and is located on the north side of Lagunitas Road just west of Walnut Avenue. A stone wall encloses the property, and a decorative metal gate gives access to a circular drive. The site slopes towards the rear of the property and a gravel drive connects to a rear circular drive encircling the gazebo area. The property has mature trees and planters at the periphery, shrubs and smaller trees adjacent to the buildings, and all grassy areas feature artificial turf.

The larger residence (building #1) is located towards the southwest corner of the property and the smaller residence (building #2) at the southeast corner. A garage with a studio apartment above (auto barn/studio) is located at the far northeast corner closer to Olive Avenue, and a one-story detached garage stands just north of building #1. All the buildings feature painted wood shingle siding, wood shingle roof cladding and the majority of the fenestration are wood windows with painted wood trim.



Lagunitas Road entrance to property, building #2 (left), looking southeast  
(Turnbull site visit, August 2022)

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Lagunitas Road entrance to property, building #1 (left) & building #2 (right), looking northwest (Turnbull site visit, August 2022)**



**View beyond residential buildings to garage/studio apartment, looking northeast (Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**View from building #1, looking southeast over pool and drive connecting upper and lower circular drives (Turnbull site visit, August 2022)**



**Lower circular drive, view southwest towards pool (left), garage and building #1 (Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Lower circular drive, view northeast towards gazebo and garage/studio apartment  
(Turnbull site visit, August 2022)**

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***Building #1***

Building #1 is a raised two story over basement Shingle style bungalow. The hipped roof upper story steps back. The complex hipped roof continues over the main level that is characterized by multiple slanted bays and porches. The main entry is located within a deep corner porch with painted shingle square columns and brackets and is accessed from the circular drive by a set of painted wood stairs with turned balusters. There is an open porch to the west of the main entry, and a wooden deck at the building's east, north and west elevations. These are all accessed by wooden stairs. The fenestration is mainly multi-lite-over-one, double hung wood windows, except at the east elevation which features wood sliders and French doors, and at the upper elevation which features non-original casement windows.



**Building #1, south and east elevations, and main corner entry porch  
(Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Building #1, east elevation and pool (Turnbull site visit, August 2022)**



**Building #1, main corner entry porch with slanted bays and doors  
(Turnbull site visit, August 2022)**

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**Building #1, east porch with multi-lite wood doors and windows  
(Turnbull site visit, August 2022)**



**Building #1, southwest porch with slanted bays, multi-lite windows and doors  
(Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**west elevation, looking north (Turnbull site visit, August 2022)**



**Building #1, west porch with adjacent west elevation slanted bays and doors  
(Turnbull site visit, August 2022)**

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**

***Building #2***

The second residence is a simplified Storybook cottage with a cross gabled roof, combined with hipped gambrel roof lines at the north and south elevations, and a concave porch overhang with decorative brackets at the primary west elevation. The entry porch is accessed via wooden stairs at the southwest corner. A wood porch is located at the southeast corner. The site slopes down towards the rear of the dwelling and the main floor is accessed by a set of wooden stairs and a small rear deck. The north and east elevations feature single pane fixed or double hung wood windows. A wood panel and glazed door gives access at the basement and main levels at the north elevation. The windows at the west and south elevations are mostly multi-lite-over-one double hung wood windows and the fenestration at the primary west elevation also features decorative wooden shutters with diamond cut out patterns. The primary entrance is an arched wood panel and glazed door with a wide painted wood surround. Large square multi-lite wood windows flank the entry door. An arched slatted vent highlights the primary west gable end.



**Building #2, west elevation (Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Building #2, west elevation main entry porch (Turnbull site visit, August 2022)**



**Building #2, south elevation, entry porch stairs (right) (Turnbull site visit, August 2022)**

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Building #2, north elevation (Turnbull site visit, August 2022)**



**Building #2, east elevation (Turnbull site visit, August 2022)**



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*Ancillary Buildings*

The two-story, gable roof building at the property's northeast corner contains multiple panelled, painted wood garage doors at grade, and a studio apartment above. A set of wooden stairs leads to a large wood deck at the apartment level. The main entry door is a painted panelled wood with multi-lite glazing above and a small four-lite casement window is placed to the east side. A gable roof hood with painted wood brackets extends over the main entry just below the gable end above. The west elevation features a painted panelled wood garage next to the apartment stairs and fenestration. The ground floor fenestration includes both fixed and double hung wood windows. A flat roof dormer with paired single pane, wood windows is centred on the roof's west slope above. At the south elevation a large multi-lite double window fills the space between the south gable end and the double garage doors below.

The detached, one-story gable roof garage located just north of building #1 is accessed from the lower circular drive. The garage doors are panelled roll up. Multi-lite fixed windows are centred on each of the other three elevations.

The octagonal painted wood gazebo is centred on a raised landscaped circle enclosed by a rustic stone retaining wall. Access to the gazebo is via rustic stone stairs. Painted wood balusters and a two-tiered wood shingled roof characterize this decorative folly.



Gazebo and auto barn/studio, looking northeast (Turnbull site visit, August 2022)

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Auto barn/studio apartment west elevation (Turnbull site visit, August 2022)**



**Studio apartment entrance (Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**Garage and building #1 beyond, looking south (Turnbull site visit, August 2022)**



**Garage west elevation, looking east towards gazebo and auto barn (Turnbull site visit, August 2022)**

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### *Architectural Style – Shingle style bungalow and Storybook cottage*

This discussion of architectural styles does not discuss the ancillary buildings on the property. The garage, auto barn/studio apartment and gazebo are utilitarian or vernacular structures. They all feature painted shingle cladding.

#### *Shingle Style Bungalow<sup>30</sup>*

Building #1 can be characterized as a Shingle style bungalow. The Shingle style was predominant between 1880 and c.1910. It was most common in the seaside resorts of the eastern United States but was published in architectural journals and can be found in other areas of the country. Shingle buildings do not emphasize detailing but focus instead on creating a uniform appearance through the shingle cladding. Shingle style is an American form that borrows elements from Queen Anne, Colonial Revival and Richardson Romanesque. It is a free form style that is hard to categorize if it did not have the consistent cladding. Common elements include irregular and asymmetrical forms; wide porches, often with massive shingled supports; bay windows or windows curving into walls that feature simple surrounds and multiple panes; and tower forms that appear as bulges or half-towers.

#### *Storybook Cottage<sup>31</sup>*

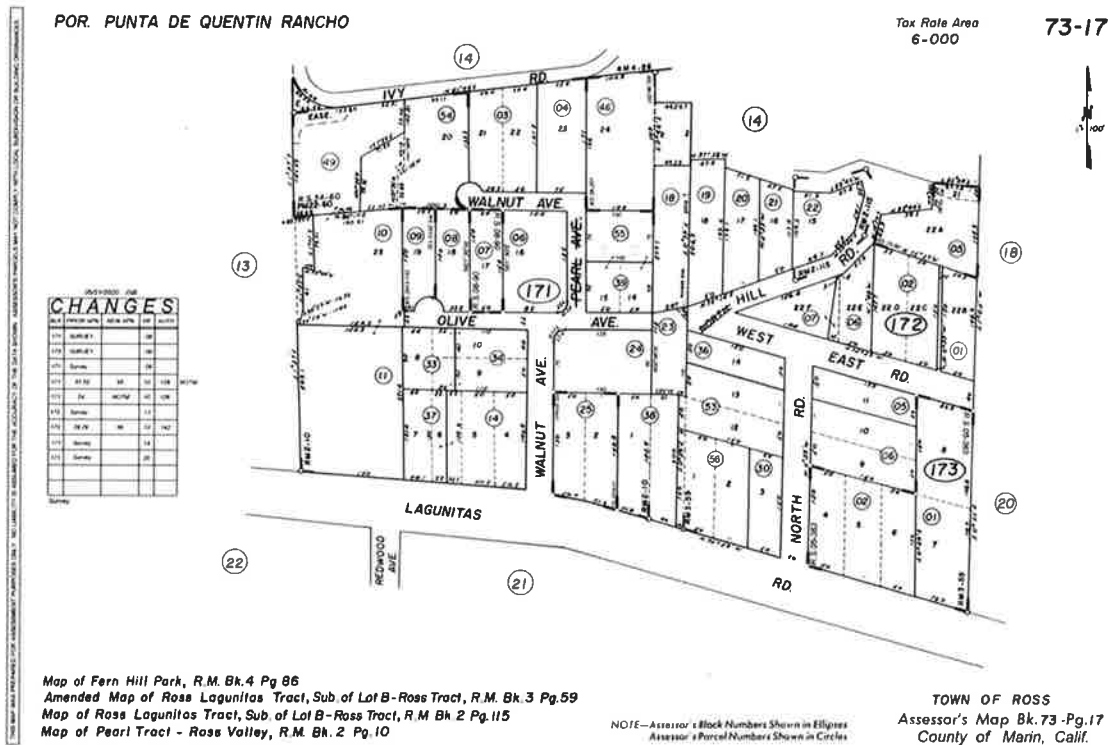
Building #2 can be characterized as a simplified Storybook cottage. Although the use of shingle cladding, as with the other ancillary buildings, creates a more cohesive group of buildings on one property, the elements of this residence differ from building #1. The Storybook style cottage, sometimes called the Hansel and Gretel style, is a reference to a romantic architectural style that was popular in the 1920s. The Los Angeles area produced many Storybook buildings. In addition, the exposure of Americans to European architecture during WWI created an interest in an idealized romantic version of the Old World architecture. Building #2 does not go to the extremes of hobbit-like Storybook houses but it does exhibit elements such as the swooping entry porch, folktale shutters and arched front door, and general sense of a woodsy cottage.





CONNOR TURNBULL  
PRESERVATION CONSULTING

## Historic Resource Evaluation – 196 Lagunitas Road, Ross



Assessor's parcel map (courtesy of Marin County Assessor-Recorder-County Clerk)

### *196 Lagunitas Road - Vicinity*

The homes in the vicinity of 196 Lagunitas Road are often not visible from Lagunitas Road. To the west and south of the subject property are large estates with homes that are set back from the road. The homes to the east and north of 196 Lagunitas Road are situated on smaller lots and the homes range from early twentieth century to contemporary architecture. The Lagunitas Country Club is located to the west of the subject property.

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**196 Lagunitas Road entrance (Turnbull site visit, August 2022)**



**Across street from 196 Lagunitas Road entrance (Turnbull site visit, August 2022)**



**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**196 Lagunitas Road west neighbour (Turnbull site visit, August 2022)**



**196 Lagunitas Road looking west (Turnbull site visit, August 2022)**

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### V. Application of California Register Criteria<sup>32</sup>

Under the California Environmental Quality Act (CEQA) resources that meet the criteria of the California Register of Historical Resources are considered historical resources for the purposes of CEQA. Determinations of historical significance require that several factors are considered including: the property's history (both construction and use); the history and context of the surrounding community; an association with important persons or uses; the number of resources associated with the property; the potential for the resources to be the work of a master architect, builder, craftsman, landscape gardener or artist; the historical, architectural or landscape influences that have shaped the property's design and its pattern of use; and alterations that have taken place, and lastly how these changes may have affected the property's historical integrity.

These issues must be explored thoroughly before a final determination of significance can be established. To be eligible for the California Register historic resources must possess both historic significance and retain historic integrity. The following are the four significance criteria of the California Register. Upon review of the criteria, if historic significance is identified, then an integrity analysis is conducted. The California Register Criteria are modelled on the National Register criteria. A historical resource must be significant at the local, state, or national level under at least one of the following criteria:

#### **California Register Criterion 1: Event or Pattern of Events**

It is associated with events or patterns of events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

#### **California Register Criterion 2: Important Persons(s)**

It is associated with the lives of persons important to local, California or national history.

#### **California Register Criterion 3: Design/Construction**

It embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master, or possesses high artistic values.

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### California Register Criterion 4: Information Potential

It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

#### Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it *also* must have integrity. Integrity is defined as “the authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s period of significance.” Historic integrity enables a property to illustrate significant aspects of its past. There are seven aspects of historic integrity – *location, design, setting, materials, workmanship, feeling and association*. All seven qualities do not need to be present as long as the overall sense of past time and place is evident.

#### ***Criterion 1: Event or Patterns of Events***

*It is associated with events or patterns of events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.*

Based on the research undertaken of the subject property it appears that 196 Lagunitas Road is not associated with historical events or patterns of development significance to the Town of Ross or the State of California that would rise to the level of individual significance or eligibility. The subject property is part of the Pearl Tract subdivision, one of multiple subdivisions created around the time of Ross’ incorporation. Like the earlier Ross estates, these smaller lots were intended primarily for seasonal residences. And, like many Marin County communities, after the 1906 earthquake some seasonal visitors established full-time residencies. In Census records and Marin County Directories members of the Katz family who owned 196 Lagunitas from 1905 to 1969 lived at the property full time at various periods their ownership. Around the time of George F. and Dorothy Katz’s divorce in 1935 the property appears to have transitioned into a multi-unit rental property until the Van Buskirk family purchased 196 Lagunitas Road in 1969. Maria and James Van Buskirk maintained at least one rental unit and this practice continued after Maria’s marriage to John Pitcairn. 196 Lagunitas Road is comparable to many Marin County properties that have adapted to the changing needs of its owners. However, this pattern of events does not rise to the

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

level of a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States and, as a result, this residence does not qualify individually under the California Register eligibility for Criterion 1 (Events).

### ***Criterion 2: Important Person(s)***

*It is associated with the lives of persons important to local, California or national history.*

Historical research has determined that the house at 196 Lagunitas Road in the Town of Ross, California is not associated with any individuals who have had an important role in local, California or national history. George Katz was a successful San Francisco butcher and proprietor of his own business Katz and Brothers. Marie Katz was active in the Ross community. George F. Katz fought in WWI and became a salesman. After his divorce from Dorothy Katz he is no longer associated with Ross. Dorothy remained in the Town of Ross and remarried another local named Henry Haberman. The second family to own 196 Lagunitas, the Van Buskirk couple, were also active members of the Town of Ross. Maria Van Buskirk was a popular teacher and administrator at Redwood High School. She continued to live at 196 Lagunitas after her first husband died and she remarried to John Pitcairn. Although the Katz family were original members of the Town of Ross at the time of incorporation their association does not rise to the level of local, California or national history. As a result, this residence does not qualify individually under the California Register eligibility for Criterion 2 (Persons).

### ***Criterion 3: Design/Construction***

*It embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master, or possesses high artistic values.*

196 Lagunitas Road in the Town of Ross, California is a collection of buildings that include two residences, two ancillary buildings, a gazebo and a pool. Building #1 is identifiable as a Shingle style bungalow home and building #2 exhibits characteristics of a Storybook style cottage. The residences, as well as the studio apartment, functioned as rental properties during the period of Dorothy Katz Haberman's ownership, and at least one unit remained a rental after the Van Buskirk purchase. Alterations have been minimal and their primary purpose appears to support this rental function, such as separate entrances and decks, or bathrooms. Because no



### Historic Resource Evaluation – 196 Lagunitas Road, Ross

existing permit is available, and no historical newspapers or architecture journals make any reference to the property's architect or builder, it cannot be said that either residence was designed or constructed by a master. As a result, this residence does not qualify individually under the California Register eligibility for Criterion 3 (Design/Construction).

#### ***Criterion 4: Information Potential***

*It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.*

Evaluation of archaeological resources was outside the scope of this report.

#### ***Integrity Analysis***

Since the property at 196 Lagunitas Road does not possess individual historical significance, an analysis of historic integrity or chronology of changes has not been undertaken.

Historic Resource Evaluation – 196 Lagunitas Road, Ross

VIII. Bibliography

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## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### *Town of Ross and 196 Lagunitas Road*

The Jose Moya del Pino Library – Ross Historical Society. Bob Battersby and Susan Nielsen, editors. *Ross, California: The People, The Places, The History*. Ross, California: The Jose Moya del Pino Library – Ross Historical Society, 2008. Photographs, maps, clipping files, local history archives.

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California Digital Newspaper Collection of the UCR Center for Biographical Studies and Research. Available at <https://cdnc.ucr.edu/>

*Marin County Tocsin* (1861-1918)

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**

*Marin Journal* (1861-1922)

*Mill Valley Independent* (1908-1910)

*Mill Valley Record* (1907-1963)

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*San Francisco Examiner*

*San Francisco Call* (1890-1913)

*San Francisco Chronicle* (1865-1923)

*The Recorder* (1901-1934)

## Historic Resource Evaluation – 196 Lagunitas Road, Ross

### IX. Endnotes

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- <sup>1</sup> The history of Ross is gleaned from various chapters of the local history book. Battersby, Bob and Susan Nielsen, editors. *Ross, California: The People, The Places, The History*. Ross, CA: The Jose Moya Del Pino Library-Ross Historical Society, 2008.
- <sup>2</sup> Ibid; p.186.
- <sup>3</sup> Marin County Assessor-Recorder-County Clerk historical map records.
- <sup>4</sup> Ibid
- <sup>5</sup> \_Ross Historical Society collection.
- <sup>6</sup> 1914 and 1942 Sanborn Fire Insurance Maps, retrieved from [https://www.loc.gov/resource/g4364rm.g4364rm\\_g007981942/?sp=1&st=image&r=0.092,0.177,0.492,0.214,0](https://www.loc.gov/resource/g4364rm.g4364rm_g007981942/?sp=1&st=image&r=0.092,0.177,0.492,0.214,0)
- <sup>7</sup> "George C. Katz, Rich Butcher, Dies" *San Francisco Examiner*, March 21, 1934; "Divorce Action" *San Anselmo Herald*, October 10<sup>th</sup>, 1935. Retrieved from newspapers.com
- <sup>8</sup> Mill Valley Public Library, Lucretia Little
- <sup>9</sup> Town of Ross Planning and Building Department "196 Lagunitas" folder.
- <sup>10</sup> Ibid
- <sup>11</sup> Ibid
- <sup>12</sup> Ibid
- <sup>13</sup> Ibid
- <sup>14</sup> Moya\_Ross Historical Society collection.
- <sup>15</sup> *Marin Journal*, vol 46, no. 30, September 28, 1905. Retrieved from <https://cdnc.ucr.edu/>
- <sup>16</sup> *Marin Journal*, vol 46, no. 31, October 5, 1905. Retrieved from <https://cdnc.ucr.edu/>
- <sup>17</sup> *Sausalito News*, vol 22, no. 33, August 18, 1906. Retrieved from <https://cdnc.ucr.edu/>
- <sup>18</sup> *Marin Journal*, vol 48, no. 17, April 25, 1907; *Marin County Tocsin*, vol.28, no.43, April 13, 1907. Retrieved from <https://cdnc.ucr.edu/>
- <sup>19</sup> Moya\_Ross Historical Society collection.
- <sup>20</sup> Advertisement in *San Francisco Examiner*, June 3, 1906, p.48. retrieved from newspapers.com
- <sup>21</sup> 1900 and 1910 Census. Retrieved from ancestry.com, Stephenmorse.org
- <sup>22</sup> *Marin County Tocsin*, vol.36, no.34, February 15, 1913. Retrieved from <https://cdnc.ucr.edu/>
- <sup>23</sup> 1920 Census. Retrieved from ancestry.com, Stephenmorse.org
- <sup>24</sup> *Press Democrat* (Santa Rosa) July 25, 1925, p.3; *San Francisco Examiner*, July 27, 1927, p.7. retrieved from newspapers.com
- <sup>25</sup> Although not substantiated by research it is possible the second dwelling was built for the younger Katz couple.
- <sup>26</sup> 1930 Census. Retrieved from ancestry.com, Stephenmorse.org
- <sup>27</sup> *San Anselmo Herald*, October 10, 1935, p.3. Retrieved from newspapers.com
- <sup>28</sup> Town of Ross Planning and Building Department "196 Lagunitas" folder.
- <sup>29</sup> Maria Van Buskirk obituary. Retrieved from <https://www.legacy.com/us/obituaries/marinij/name/maria-pitcairn-obituary?id=33076977>; Daily Independent Journal (San Rafael), December 30, 1974, p.12. Retrieved from newspapers
- <sup>30</sup> The text of this section is an extraction from McAlester, Virginia Savage. *A Field Guide to American House*. Alfred A. Knopf: New York, 2019, pp. 629-646.
- <sup>31</sup> Gellner, Arrol and Douglas Keister. *Storybook Style: America's Whimsical Homes of the Twenties*. New York: Viking Studio, 2001.
- <sup>32</sup> National Park Service, *How to Apply National Register Criteria for Evaluation*, accessed August 15, 2022. [https://www.nps.gov/subjects/nationalregister/upload/NRB-15\\_web508.pdf](https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf)



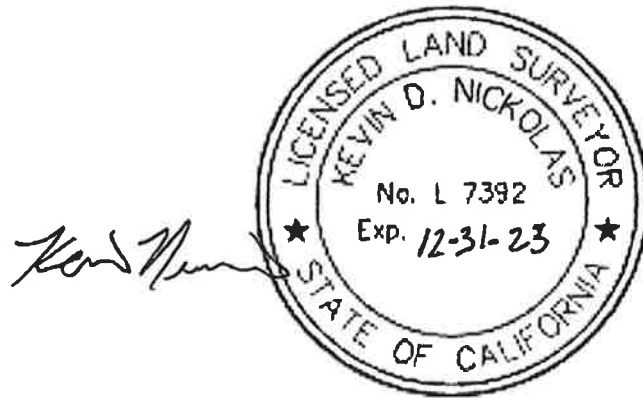
# GRANT LINE LAND SURVEYING

October 28, 2022

196 Lagunitas Road  
Ross, CA

The constructed story poles located at 196 Lagunitas Road were surveyed on October 27, 2022 and were found to be in conformance for location, heights and elevations to depict the silhouette for the proposed house ridgelines and features shown on the approved plans by Sean Bailey Design dated 9/28/2022.

Kevin Nickolas PLS  
L7392 Expires 12/31/23





# ATTACHMENT 4

## MINUTES

Regular Meeting of the  
Ross Advisory Design Review Group  
7:00 PM, Tuesday, November 15, 2022

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](https://townofross.org/meetings).

### 1. 7:00 p.m. Commencement

ADR Group Chair Kruttschnitt called the meeting to order.

Present: Laura Dewar, Stephen Sutro, Josefa Buckingham, and Mark Fritts.

Director Rebecca Markwick and Assistant Planner Alex Lopez-Vega were present representing staff.

### 2. Approval of Minutes.

The ADR Group approved the minutes, noting to staff the spelling of ADR members last names.

### 3. Open Time for Public Comments

No comments were provided.

### 4. Planning Applications.

#### a. 78 Shady Lane (A.P.N.) 073-101-41

**Project Summary:** The applicant is requesting approval of Design Review, Demolition and a Variance for a major renovation and remodel to the existing single-family dwelling. The project includes demolishing the existing 580 square foot carport. The project proposes construction of a new 391 square foot garage in the side and rear yard setbacks. Two separate additions are proposed on the second story, a 117 square foot addition is proposed above an existing first floor roof on the right side of the home, and a 19 square foot addition is proposed on the left side, also above a roof eave and a small addition on the second story.

Mark Fritts and Mark Kruttschnitt indicated that they are recused from the project. Staff presented the project, and there were no questions from ADR. The project applicant made a presentation and answered questions from the ADR members. The public hearing was opened, and Cheryl Untermann spoke about the landscape plan. Lisa Wight spoke about the garage and the design guidelines. Sean Swenson spoke in favor of the project.

#### Laura Dewar

- The ADR only asked for a landscape plan to be returned, no intention of reviewing the architectural plans, they have already been recommended for approval by the ADR.
- Since a landscape plan was submitted, she can support the project.

#### Joey Buckingham

- Agrees with Laura regarding the architectural plans, recommended approval at previous ADR meeting.
- Wanted a landscape plan, and the proposed plantings are not enough. Need larger, more robust plantings and carried down the property line to the street.
- Wants a deer fence included in the plans.
- Summarized the project, that one ADR member can approve the project as it proposed. One ADR member who can approve it if height of the hedge is specified. One ADR member who could work with applicant and staff to amend the landscape plan before the Town Council hearing.

Stephen Sutro

- Approved it as submitted if there is a condition about the plantings

**b. Property Address: 118 Winding Way**

**Project Summary:** The applicant is requesting approval of an Accessory Dwelling Unit (ADU), to construct a 788 square foot (ADU). Due to the natural grade, the ADU is over 16 feet in height, therefore requires an ADU Exception Permit. The project also proposes a new 250 square foot patio with a trellis, exterior work on the main house including a skylight above the stairs, replacement of a pair of French doors with a single door on the south elevation, and adding a small window on the east elevation.

Steven Sutro

- Sympathetically designed, windows are compatible with existing house.
- Height exception okay
- Approves as submitted

Joey Buckingham

- Supports the project as designed
- Agrees with Stephen 100 percent.

Lara Dewar

- Agrees and supports the project as designed.

Mark Fritts

- Supports the project
- Likes the lower portion stone blending into the home.

Mark Kruttschnitt

- Designed well, can support the project as designed.

**c. 196 Lagunitas Road (073-171-11)**

**Project Summary:** The applicant requests approval of Demolition, Design Review and Nonconformity Permit to demolish the existing single-family home and accessory structures. The project proposes to construct a new 6,901 SF two-story single-family home, attached garage, outdoor dining area and pool. The project also proposes new landscaping and hardscape throughout the property, including a new driveway, and guest parking.

The public hearing was open to the public. The property owner at 194 Lagunitas spoke about the project and wanted deer fence and fencing as shown on the plans.

Stephen Sutro

- Very well designed.
- Approves as submitted except the small balcony on the east.
- If they go solar, could they be flat.
- Contemporary design and materials are very successful. Fits into the context of the neighborhood, meets the design criteria.
- Can move the project forward with a condition that the small balcony be removed.
- Overall great project.

Mark Kruttschnitt

- Agrees with everything Stephen said.
- Loves that it is taking nonconforming structures and creating one conforming structure.

Joey Buckingham

- Discussed the materials and how well they fit into the neighborhood and Town.
- Recommends lowering the height one foot on each story, given the modern roof form.
- The trellis seemed tall when walking the property.
- East balcony should be removed.

Laura Dewar

- Agrees with the others
- Remove the balcony on the east.
- Glazing should be reviewed at the east side bedroom as well
- Neutral on the height, given that it is really setback from the neighbor.
- Feels like there is a lot of glazing on the west side, perhaps increase the number of trees on that side.

Mark Fritts

- Overall height, given that it is a modern design the height should be lowered two feet overall.
- Trellis in the back seems taller than shown on the plans.
- There seems to be a lot of exterior lighting in the eaves, should review the number and reduce while keeping it safe.
- Would recommend an ADU application
- Appreciates the materials
- The front landscaping was discussed, and the trellis was discussed as well. The grade will be raised under the trellis so the trellis will not appear as tall.

The ADR members discussed the interior and exterior heights, and that they would be comfortable with the architect lowering the overall height by two feet. Additionally, the glazing needs to be addressed.

**d. 8 North Road (073-173-06)**

**Project Summary:** The applicant requests approval of Demolition, Design Review, Nonconformity Permit, and Accessory Dwelling Unit (ADU). The project proposes to demolish a portion of the front porch, two bay windows, and an attached garage with a roof deck. The project also proposes to construct a new two-car garage which will connect to the main house by a passageway. A new deck is being proposed above the passageway and will have painted wood guardrails. A new driveway gate, entrance gate, an outdoor kitchen is proposed in the backyard, new landscaping and hardscape is proposed throughout the property.

The public hearing was opened. Herb and Nancy Tully, 180 Lagunitas Road spoke. They are supportive of the project, specifically the ADU and the window placement.

Mark Fritts

- Appreciates the design and the modifications, supports the dormer and ADU and the overall project.
- Is okay with the tree removal if it is helpful for both properties.
- The ADU felt tall on site, but can support the overall project as designed.

Joey Buckingham

- At first site, thought that the ADU/garage was too tall, however now understands why it is tall, so that it matches the predominant gable pitch.
- The plate at the ADU is 9'9", recommends that it be reduced to 9' so that the pitches match the home.
- Beautifully designed.

Laura Dewar

- Recommends that the hedge continues the length of the lot line.
- Agrees with the roof pitch suggestions.

Mark Kruttschnitt

- Pitch on the garage should match the pitch of the house
- Hedge should run the length of the property line
- Reduce the height of the ADU.

5. **Conceptual ADR**
6. **Information and Discussion.**
7. **New Agenda Items.**
8. **Adjournment, 9:06 PM.**

**Next scheduled regular meeting date and time: December 13, 2022, at 7:00 PM.**

# ATTACHMENT 5



**From:** [Dick Schliesmann](#)  
**To:** [Rebecca Markwick](#)  
**Subject:** Fw: 196 Lagunitas Building Permit  
**Date:** Tuesday, November 29, 2022 10:49:10 AM  
**Attachments:** [12BF79BF-3278-424A-B8FF-912E1D09714E.png](#)  
[68310706-83BD-49F6-98B4-7E50084B7597.png](#)

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Town Council Members,

As recorded during the ADR process, Susan and I are in favor of the approval of the request submitted by Elizabeth and Cameron Breitner for 196 Lagunitas Ave which borders our property to the south.

While we support this project, we believe that the building envelope as detailed in the plans does not represent 196 Lagunitas' true northern lot line between our properties. The building envelope establishes a planter box built in the mid 1990's as the northern border and the creek as undefined ownership. Prior to the planter being built the creek was at grade with the property and as shown in the pictures below the lot line was a continuation of the southern edge of Olive Ave.

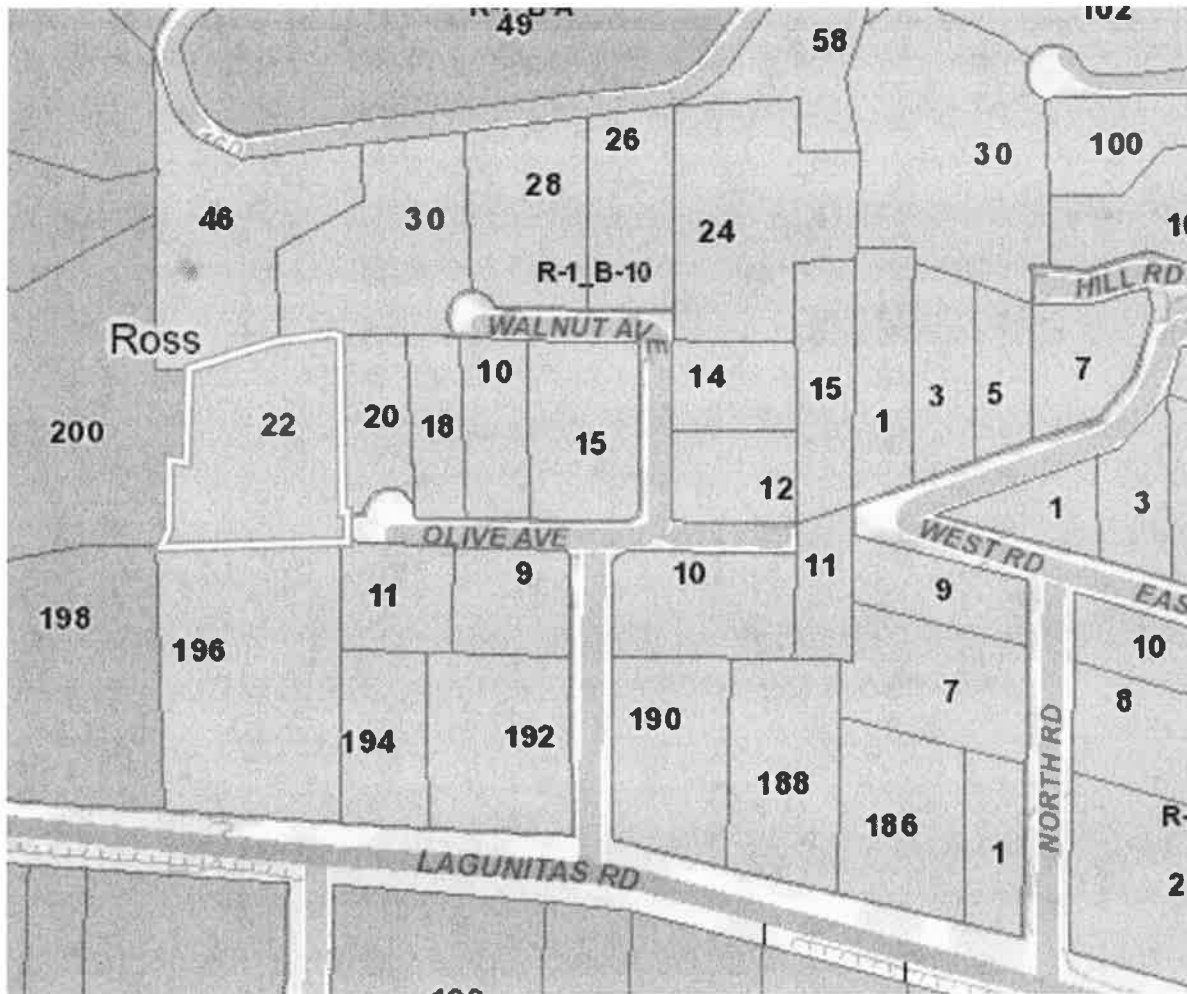
Cameron and I have had many discussions regarding the true lot line and we have agreed that the Breitners will complete a full lot line survey to determine the lot line and the ownership of the drainage creek that runs through this section of our adjoining properties. Cameron has agreed to make this a condition of your approval.

Susan and I want to thank Elizabeth and Cameron for their cooperation in resolving this issue. We all agree that we need clarity of the lot line so we can develop a plan for the future maintenance of the creek which serves our areas residents.

Sincerely,

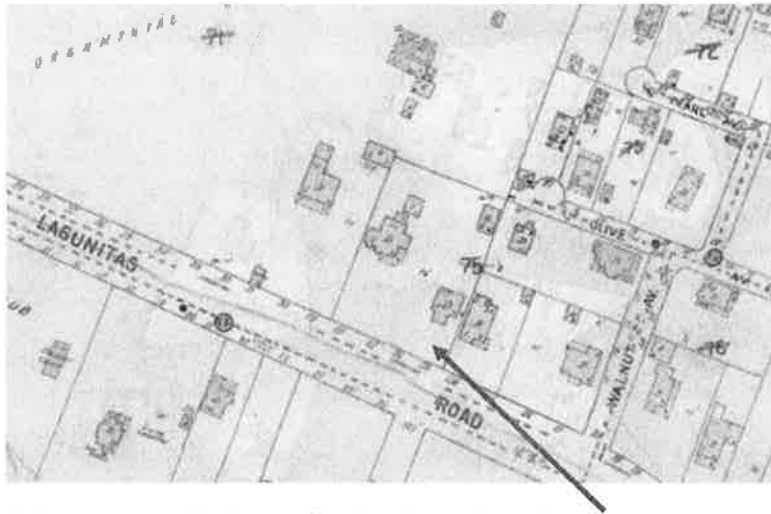
Susan and Dick Schliesmann

CURRENT MARIN COUNTY PLAT/PARCEL MAP

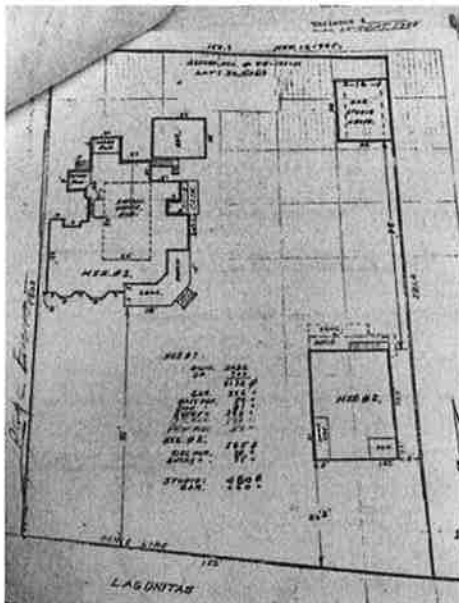


PAGE 34 OF THE 196 LAGUNITAS FULL PDF of Proposal      Source: Ross town archives.

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



**1942 Sanborn Map\_detail view (retrieved from LOC.gov)**



**Lot map from "196 Lagunitas Folder" (courtesy of the Town of Ross, Planning and Building)**

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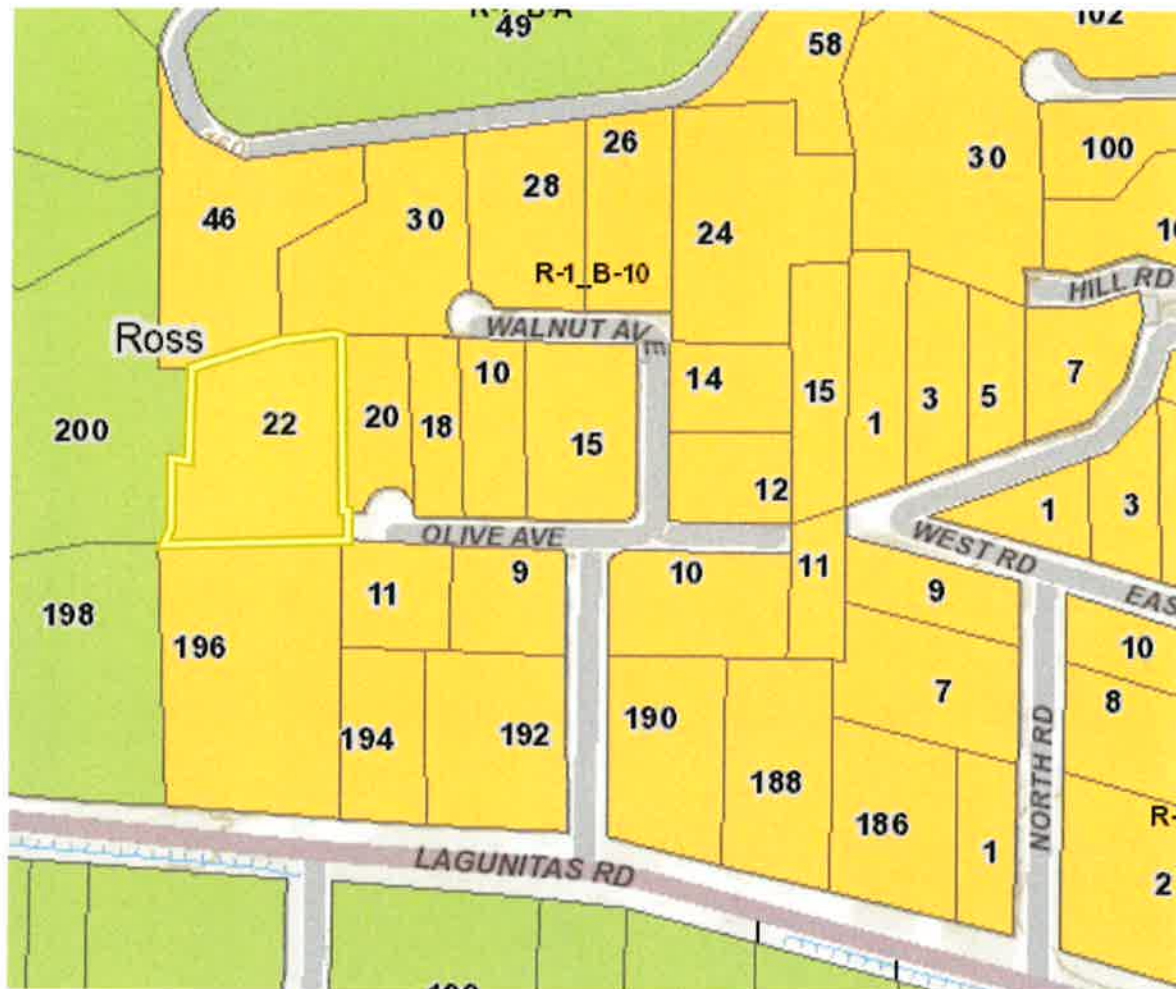
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Sincerely,

Susan and Dick Schliesmann

**CURRENT MARIN COUNTY PLAT/PARCEL MAP**



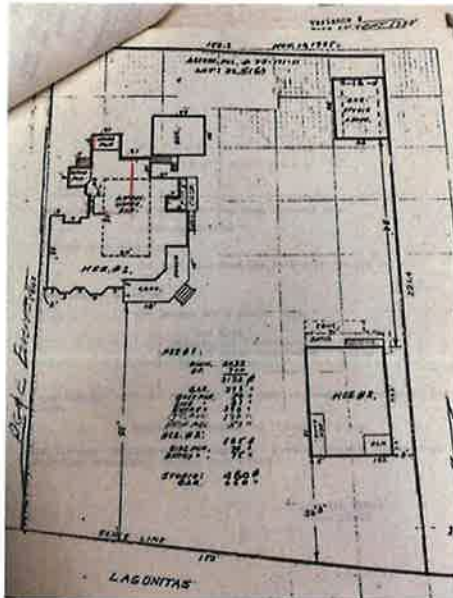


PAGE 34 OF THE 196 LAGUNITAS FULL PDF of Proposal      Source: Ross town archives.

**Historic Resource Evaluation – 196 Lagunitas Road, Ross**



1942 Sanborn Map\_detail view (retrieved from LOC.gov)



Lot map from "196 Lagunitas Folder" (courtesy of the Town of Ross, Planning and Building)