



**Agenda Item No. 13.**

**Staff Report**

**Date:** September 8, 2022  
**To:** Mayor Kuhl and Council Members  
**From:** Nishant Seoni, Planner  
**Subject:** 189 Lagunitas Road

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**Recommendation**

Town Council approval of Resolution No. 2267 (**Attachment 1**) approving Design Review for the renovation of the existing residence and landscape for the property located at 189 Lagunitas Road.

**Property Address:** 189 Lagunitas Road  
**A.P.N.:** 073-211-38  
**Applicant:** Brooks McDonald  
**Property Owner:** Jennifer and Jeffrey Bogan  
**Zoning:** R-1:B-A  
**General Plan:** VL (Very Low Density)  
**Flood Zone:** X (Moderate Risk)

**Project Summary:** The applicant requests approval of Design Review for renovation of the exterior of the existing house; construction of a horizontal addition to the existing house, new fences, a pool and spa, and outdoor lounge areas; and modifications to existing landscaping. The projects meets the allowable lot coverage and floor area for the zoning district. A new ADU is proposed above the existing garage, however is not subject to Town Council approval.



### Project Data

	Code Standard	Existing	Proposed
<b>Lot Area</b>	Minimum 5,000 SF	39,428 SF	No change
<b>Floor Area (FAR)</b>	5,914 SF (15%)	5,350 SF (14%)	5,914 SF (15%)
<b>Building Coverage</b>	5,914 SF (15%)	3,717 SF (9%)	4,134 SF (10%)
<b>Front Setback</b>	25'	120'	No change
<b>Left Side Setback</b>	15'	6'6"	No change
<b>Right Side Setback</b>	15'	12'4"	No change
<b>Rear Setback</b>	40'	88'	No change
<b>Building Height</b>	30'	Residence: 25'6" Garage: 15'	No change
<b>Off-street Parking Spaces</b>	5, 2 covered	5, 2 covered	No change
<b>Impervious Surface Coverage</b>	Minimize and/or mitigate for any increase.	12,370 SF (31%)	13,549 SF (34%)

### Background

The project site is a developed 39,428 square foot lot on the south side of Lagunitas Road. The lot has an average slope of 20.1%. The lot is not a Hillside Lot as it has an average slope of less than 30%. A portion of a narrow strip of land extending from the south end of the lot is of a slope greater than 30%. Because this part of the property is not subject to or near the proposed development, Hillside Lot standards will not apply. The property contains an existing 4,241 square foot single-family residence with 748 square foot garage and a raised patio on the south side of the lot. A 394 square foot Accessory Dwelling Unit (ADU) is located in the basement of the existing home. The property has an existing 16-foot wide access and utility easement along its east side. Access is provided via Lagunitas Road, and outdoor parking is provided on an existing driveway. The existing home and garage are nonconforming with respect to the minimum required 15-foot side yard setbacks.





## Project Description

The project proposes to renovate the exterior of the residence, including siding and windows; construct a horizontal addition to the house to be used as a bedroom; construct new fencing, a pool, spa, and outdoor lounge and hardscape areas; and install drainage improvements. The proposed construction will not result in any new setback encroachments or deviations from applicable standards. The total impervious surface of the site will increase by approximately 1,200 square feet. The project includes a 200 square foot bio-retention basin to offset increases to runoff. Part of the project includes demolishing the existing basement ADU and construction of a new ADU above the existing garage. The ADU is not subject to Town Council review.

In response to comments provided at the June 21, 2022 Advisory Design Review (ADR) meeting, the applicant made the following changes to the original project design:

- The number of windows on the west façade of the second floor were reduced.
- Stone cladding was removed from the first floor and kept only along basement level of the home.
- The proposed pool and barbeque were moved out of setbacks
- A proposed wet bar was removed.
- A privacy hedge was added along the western property line.
- Plans were revised to include the following
  - A rendering of the rear façade of the home
  - Location of pool and air conditioning equipment was added
  - Materials for garage doors were labeled
  - Elevation details of a shade structure and the barbeque were added to elevations

Project application materials are included as follows: Project Application as **Attachment 2**; Project Plans as **Attachment 2**.

## Discussion



The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

The ADR group reviewed the project on June 21, 2022. The ADR Group received information from the applicant, received public comments, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Ross Municipal Code Section 18.41.100 and the Town of Ross Design Guidelines. One neighbor expressed concerns that the proposed horizontal addition would impede privacy; as a result, the applicant has reduced the number of windows on this addition and included a hedge on the western property line to increase privacy, as discussed above. The ADR group expressed concern that the proposed barbeque, wet bar, and pool were located in setbacks and requested that they be moved. The applicant stated that project plans would be revised and redesigned the project to eliminate these setback encroachments, as discussed above.

On June 21, 2022, the ADR group unanimously recommended that project be found consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review. The June 21, 2022, ADR group meeting minutes (draft) are included as **Attachment 4**.

### ***Design Review***

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development.

Pursuant to Town Council Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits.

Pursuant to Section 18.41.20 (a), the proposed project requires a Design Review Permit for an increase in impervious surface of over 1,000 feet, extensions of existing buildings exceeding two



hundred square feet of new floor, alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, and grading or filling in excess of 50 cubic yards.

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan. The proposed additions are not monumental nor excessively large size and are compatible with others in the neighborhood and do not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

#### **Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

#### **Environmental Review**

The project has been reviewed under the provision of the California Environmental Quality Act (CEQA) and the CEQA Guidelines, California Code of Regulations. On August 24, 2022, the proposed project was determined to be categorically exempt from CEQA pursuant to Section 15301 because the proposed project consists of the project consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use.

#### **Public Comment**

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date pursuant to the Ross Municipal Code. Staff received comments from three surrounding property owners in support of the proposed project.

#### **Attachments**

1. Resolution No. 2267
2. Project Application
3. Project Plans
4. ADR Group Meeting Minutes, June 21, 2022



# ATTACHMENT 1



# **TOWN OF ROSS**

## **RESOLUTION NO. 2267**

### **A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW TO RENOVATE AN EXISTING HOME AND LANDSCAPING LOCATED AT 189 LAGUNITAS ROAD, A.P.N. 073-211-38**

**WHEREAS**, applicant Brooks McDonald, on behalf of property owners Jennifer and Jeffrey Bogan, has submitted an application requesting approval of Design Review for renovation of the exterior of the existing house; construction of a horizontal addition to the existing house, new fences, a pool and spa, and outdoor lounge areas; and modifications to existing landscaping at 189 Lagunitas Road, A.P.N. 073-211-38 (herein referred to as “the Project”).

**WHEREAS**, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use; and

**WHEREAS**, on September 8, 2022, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review to allow the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 8<sup>th</sup> day of September, 2022, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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P. Beach Kuhl, Mayor



**ATTEST:**

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Linda Lopez, Town Clerk



**EXHIBIT "A"**  
**FINDINGS**  
**189 LAGUNITAS ROAD**  
**A.P.N. 073-211-38**

- I. In accordance with Ross Municipal Code Section 18.41.070 (b), Design Review is approved based on the following mandatory findings:**

**(1) The project is consistent with the purpose of Design Review as outlined in Section 18.41.010.**

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan.

**(2) The project is in substantial compliance with the design criteria of Section 18.41.100.**

Lot coverage and building footprints are minimized, and development clustered, to minimize site disturbance. New structures and additions avoid monumental or excessively large size. Buildings are compatible with others in the neighborhood and do not attract attention to themselves. Buildings use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Good access, circulation and off-street parking is provided. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Decks, balconies and other outdoor areas are sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping protects privacy between properties. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

**(3) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance. Consistent with Chapter 18.48, findings are recommended to support the requested variance.



**EXHIBIT "B"**  
**CONDITIONS OF APPROVAL**  
**189 LAGUNITAS ROAD**  
**A.P.N. 073-211-38**

1. This approval authorizes Design Review for renovation of the exterior of the existing house; construction of a horizontal addition to the existing house, new fences, a pool and spa, and outdoor lounge areas; and modifications to existing landscaping at 189 Lagunitas Road, A.P.N. 07-211-38 (herein referred to as "the Project").
2. The building permit shall substantially conform to the plans prepared by Brooks McDonald, entitled, "189 Lagunitas Road", dated 7/8/22; and reviewed and approved by the Town Council on September 8, 2022.
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.



9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
  - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
  - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
  - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
  - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
  - f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
  - g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
  - h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material



storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the



expense of the property owner prior to allowing any further grading and/or construction activities at the site.

- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
- i. The existing vegetation shall not be disturbed until landscaping is installed or erosion



control measures, such as straw matting, hydroseeding, etc., are implemented.

- ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.

10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.



# ATTACHMENT 2





## Town of Ross

### Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

#### PLANNING APPLICATION FORM

##### Type of Application (check all that apply):

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception                    |
| <input type="checkbox"/> Appeals                           | <input type="checkbox"/> Non-conformity Permit              |
| <input type="checkbox"/> Basement and Attics Exception     | <input checked="" type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance         | <input type="checkbox"/> Tentative Map                      |
| <input type="checkbox"/> Demolition Permit                 | <input type="checkbox"/> Tentative Map Amendment            |
| <input checked="" type="checkbox"/> Design Review          | <input type="checkbox"/> Time Extension                     |
| <input type="checkbox"/> Design Review- Amendment          | <input type="checkbox"/> Use Permit                         |
| <input type="checkbox"/> Final or Parcel Map               | <input type="checkbox"/> Variance                           |
| <input type="checkbox"/> General Plan Amendment            | <input type="checkbox"/> Zoning Ordinance                   |
| <input type="checkbox"/> Hillside Lot Permit               | <input type="checkbox"/> Amendment Other:                   |
| <input type="checkbox"/> Lot Line Adjustment               | <input type="checkbox"/> Other:                             |

##### To Be Completed by Applicant:

Assessor's Parcel No(s): 073-211-38

Project Address: 189 LAGUNITAS ROAD

Property Owner: JENNIFER AND JEFFREY BOGAN

Owner Mailing Address (PO Box in Ross):

City/State/Zip: ROSS, CA 94957

Owner's Phone: 404-290-2789

Owner's Email: jeff.t.bogan@gmail.com, jencohenbogan@gmail.com

Applicant: BROOKS MCDONALD, ARCHITECT

Applicant Mailing Address: 1615 BRIDGEWAY

City/State/Zip: SAUSALITO, CA 94965

Applicant's Phone: 415-350-8011

Applicant's Email: BROOKS@BROOKSMCDARCHITECTURE.COM

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

##### To Be Completed by Town Staff:

Date Received:

Application No.:

Zoning:

Planning 5300

Tree Permit 5305

Fee Program Administration 5315-05

Record Management 5316-05

Record Retention 5112-05

Technology Surcharge 5313-05

TOTAL FEES:

Date paid:

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.



**SUBDIVISION INFORMATION ONLY**Number of Lots: N/A**LOT LINE ADJUSTMENT ONLY**

Describe the Proposed Lot Line Adjustment:

N/A

Existing Parcel Size(s)

Parcel 1:

Parcel 2:

Adjusted Parcel Size(s)

Parcel 1:

Parcel 2:

**PARCEL ONE****PARCEL 2**

Owners Signature:

Owner's Signature:

Date:

Date:

Owner's Name (Please Print):

Owner's Name (Please Print):

Assessor's Parcel Number:

Assessor's Parcel Number:

\* If there are more than two affected property owners, please attach separate letters of authorization.

**REZONING OR TEXT AMENDMENT ONLY**

The applicant wishes to amend Section \_\_\_\_\_ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel \_\_\_\_\_ from the \_\_\_\_\_ Zoning District to \_\_\_\_\_.

**GENERAL OR SPECIFIC PLAN AMENDMENT ONLY**


Please describe the proposed amendment:

**CERTIFICATION AND SIGNATURES**

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

→ Owner's Signature: Jeffrey BoganDate: 04 / 06 / 2022

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Architect/Agent: Signature: Date: 4.6.2022



**SIGNATURE:**

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

*I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at*

**County of Marin**, California on **4/6/2022**



*Jeffrey Bogan*



Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

**Notice of Ordinance/Plan Modifications**

- ☒ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

**Alternate Format Information**

*The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.*



**Consultant Information**

The following information is required for all project consultants.

**Landscape Architect**

Firm IMPRINTS LANDSCAPE ARCHITECTURE  
 Project Landscape Architect BRAD EIGSTI  
 Mailing Address 202 ROSEMONT AVE  
 City MILL VALLEY State CA ZIP 94941  
 Phone 415.380.0755 Fax \_\_\_\_\_  
 Email BRAD@IMPRINTSGARDENS.COM  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Civil/ Geotechnical Engineer**

Firm Miller Pacific Engineering Group - Geotechnical  
 Project Engineer Monica Thornton  
 Mailing Address 1360 Redwood Way, Suite B  
 City Petaluma State CA ZIP 94954  
 Phone 707-765-6140 Fax \_\_\_\_\_  
 Email MThornton@millerpac.com  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Arborist**

Firm \_\_\_\_\_  
 Project Arborist \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_  
 Email \_\_\_\_\_  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant GLENN DEARTH LTD ENGINEERING, INC. - CIVIL  
 Mailing Address 1050 NORTHGATE DRIVE, SUITE 450  
 City SAN RAFAEL State CA ZIP 94903  
 Phone 415.717.8719 Fax \_\_\_\_\_  
 Email GDEARTH@LTDENGINEERING.COM  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_  
 Email \_\_\_\_\_  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_



**Written Project Description – *may be attached.***

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

The proposed project does not require or request a variance. The scope of work includes an interior remodel of the house on 3 floors, with a horizontal addition to the rear, which is not visible from the street, no changes to roof height. An existing ADU at the basement level of the main house is to be converted to a guest bedroom, and the ADU relocated to an existing space above the garage. This space will be expanded by reconstructing the dormer over the garage to create more habitable space. All windows, siding, and other finishes are to be replaced, which includes the logs at the 1st floor of the front of the home. These are in disrepair and have been a source of many construction-related issues. The objective is to maintain the overall "Marin hiker's lodge" look and feel to the home while updating the exterior finishes with a stone waterable along the base, new stained cedar siding in board-and-batten profile, and black/bronze windows. This project also incorporates landscaping changes which include a new pool with integrated spa and cover, outdoor lounge areas, changes to hardscape and planted areas, new 6' wood fences, and drainage upgrades.



---

**Mandatory Findings for Variance Applications**

*In order for a variance to be granted, the following mandatory findings must be made:*

**Special Circumstances**

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

N/A

**Substantial Property Rights**

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

N/A



**Public Welfare**

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

N/A

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<b>TITLE</b>	Ross Application
<b>FILE NAME</b>	189 Lagunitas pla...lication_form.pdf
<b>DOCUMENT ID</b>	f470c73ead3d2f495ed1c78fa758c4cb18109883
<b>AUDIT TRAIL DATE FORMAT</b>	MM / DD / YYYY
<b>STATUS</b>	• Signed

## Document History

 <b>SENT</b>	<b>04 / 06 / 2022</b> 19:27:44 UTC	Sent for signature to Jeffrey Bogan (jeff.t.bogan@gmail.com) from jeff.t.bogan@gmail.com IP: 67.169.14.105
 <b>VIEWED</b>	<b>04 / 06 / 2022</b> 19:27:56 UTC	Viewed by Jeffrey Bogan (jeff.t.bogan@gmail.com) IP: 67.169.14.105
 <b>SIGNED</b>	<b>04 / 06 / 2022</b> 19:28:10 UTC	Signed by Jeffrey Bogan (jeff.t.bogan@gmail.com) IP: 67.169.14.105
 <b>COMPLETED</b>	<b>04 / 06 / 2022</b> 19:28:10 UTC	The document has been completed.



# ATTACHMENT 3



DESIGN REVIEW SET REVISED 7/8/22 FOR TOWN COUNCIL

## A0.1

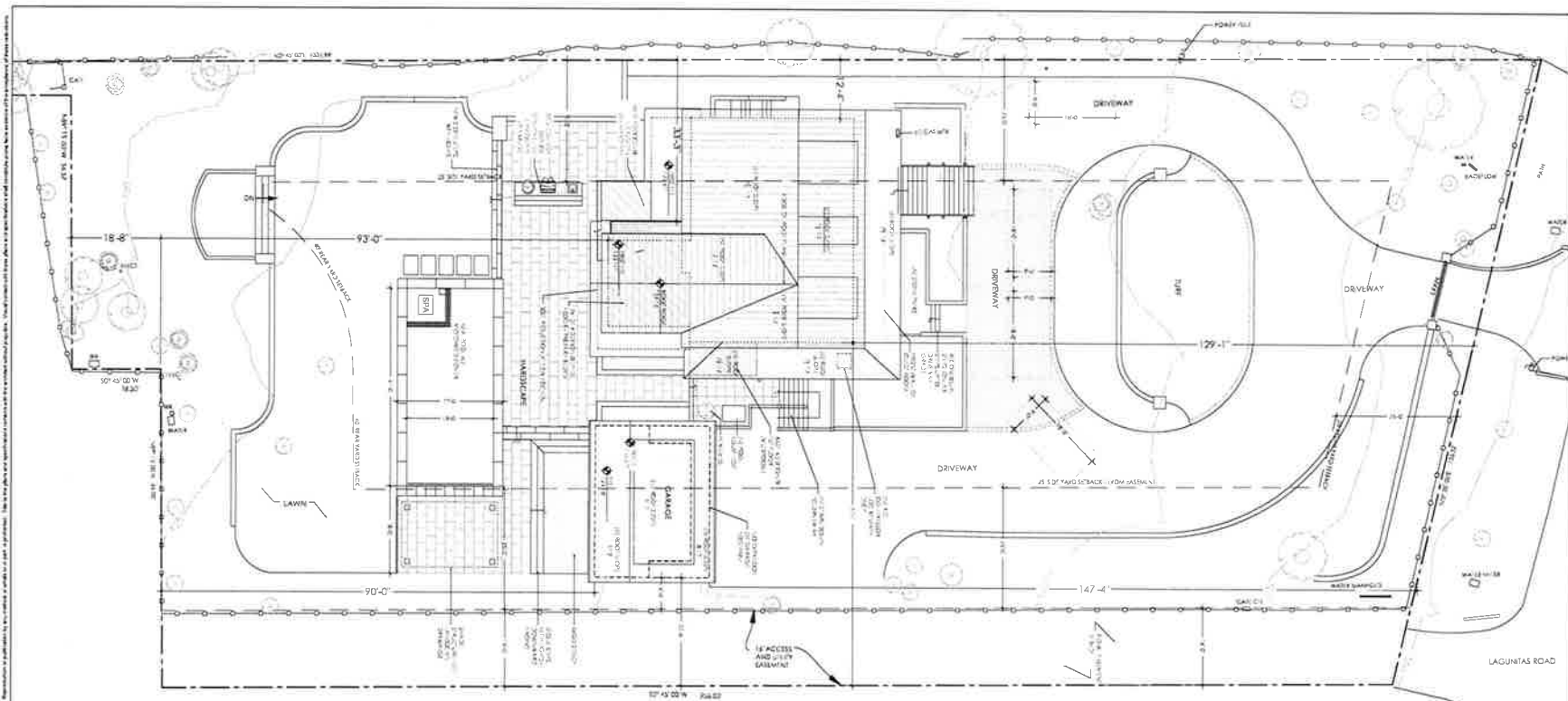












# 1 PROPOSED SITE PLAN 3/32" = 1'-0"

## TREE PROTECTION MEASURES

1. PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING DEMOLITION OR GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED A MINIMUM OF TWO FEET BEYOND THE CANOPY DRILLINES THAT CREATE THE TPZ (TREE PROTECTION ZONE). THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIFTLINE ENCROACHMENT OF ANY TYPE BY CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, AND PERSONNEL.
2. FENCING SHALL BE A MINIMUM FOUR FOOT HEIGHT AT ALL LOCATIONS, AND SHALL FORM A CONTIGUOUS BARRIER WITHOUT ENTRY POINTS AROUND THE TPZ. BARRIER TYPE FENCING SUCH AS CHAIN LINK OR TENSAR PLASTIC FENCING IS SUGGESTED, BUT ANY FENCING SYSTEM THAT ADEQUATELY PREVENTS THE ENTRY OF EQUIPMENT AND ACTIVITY IS ACCEPTABLE. FENCING SHALL BE INSTALLED IN A PROFESSIONAL MANNER WITH ADEQUATE UPRIGHTS AND APPROPRIATE ATTACHMENTS, ANY ENCROACHMENTS INTO THE DRIFTLINE FOR FENCING OR CONSTRUCTION PURPOSES SHALL BE DISCUSSED WITH THE PROJECT ARBORIST IN ADVANCE.
3. CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREAS AT ALL TIMES UNTIL THE PROJECT IS COMPLETE, AND SHALL INSTRUCT PERSONNEL AND SUBCONTRACTORS ABOUT THE IMPORTANCE OF TREE PRESERVATION.
4. FENCING SHALL REMAIN IN PLACE AND NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED, THIS SHALL INCLUDE GRADING AND CORRECTION ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES, AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED PRIOR TO LANDSCAPE INSTALLATION, THERE

MAY BE OCCASION WHEN ACCESS IS REQUIRED, AND FENCING MAY TEMPORARILY BE MOVED TO FACILITATE THE WORK. ROOTS OF SINGLE STANDING TREES OFTEN EXTEND TWO TO THREE TIMES THE DISTANCE OF THE ACTUAL TREE AND FUNCTION PRIMARILY IN THE UPTAKE OF NUTRIENTS AND WATER, AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE BEYOND THE DRIFTLINE SHOULD HAVE MINIMUM INTRUSION TO FURTHER ENSURE TREE SURVIVAL AND HEALTH.

## DEMOLITION NOTES

1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION (C&D) WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN EASY METHOD.
2. C&D MATERIALS SHALL BE SELF-HAULED OR HAVE YOUR DEBRIS BOX HAULER DELIVER C&D MATERIALS TO A CERTIFIED FACILITY FOR RECYCLING. RECEIPTS SHALL BE COLLECTED FROM CERTIFIED FACILITIES FOR ALL LOADS, STAPLED TO THE "POST CONSTRUCTION RECYCLING DOCUMENTATION" FORM (SEE SHEET CG HEREIN), AND TURNED IN WITH THE COMPLETED FORM PRIOR TO FINAL INSPECTION.

## VICINITY MAP



DIRECTIONS FROM SIR FRANCIS DRAKE:  
1. HEAD NORTH ON SIR FRANCIS DRAKE FROM HWY 101  
2. TURN LEFT (WEST) ONTO LAGUNITAS ROAD  
3. DRIVE 0.5 MILES, THE HOUSE IS ON THE LEFT.

## PARCEL INFORMATION

PARCEL:  
PROPERTY ADDRESS:

189 LAGUNITAS RD

189 LAGUNITAS RD

PROPOSED 189 LAGUNITAS RD

ALLOWED PER RMC: 15.22.000

PROPOSED AREA: 01

ATTENTIONAL DISTURBANCE:

EXISTING PARKING:

PROPOSED PARKING:

5 X 10 CLUSTED PER RMC: 18.22.040

EXISTING INFORMATION

FENCING: 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

1.0' x 1.0' x 1.0'

## SPRINT FOR

189 LAGUNITAS RD

189 LAGUNITAS RD

189 LAGUNITAS RD

189 LAGUNITAS RD

189 LAGUNITAS RD

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189 LAGUNITAS RD

BROOKS MCDONALD  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN 8073-211-38

BROOKS MCDONALD  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN 8073-211-38



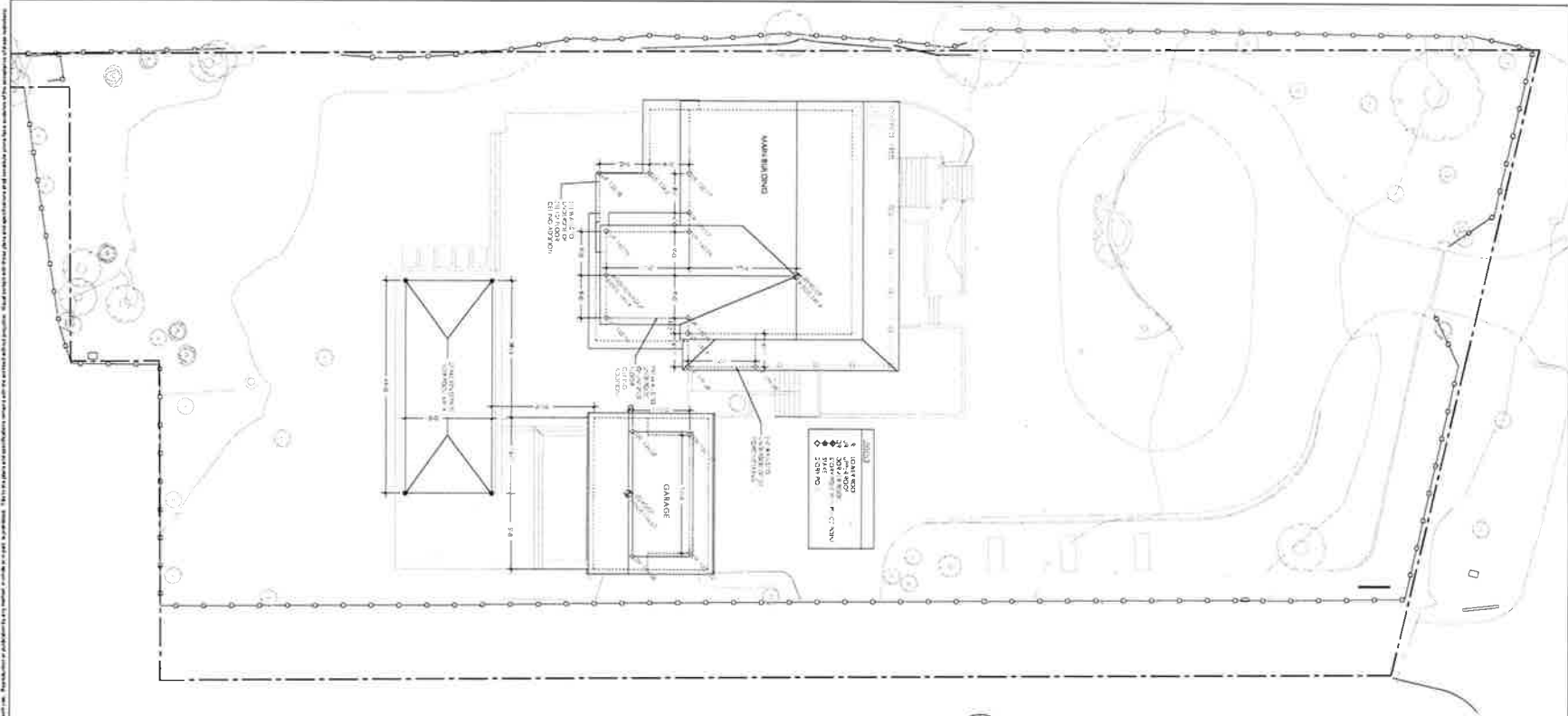
808 U  
811 TOWN COUNCIL  
7-6-2022

PROPOSED SITE PLAN

3/32" = 1'-0"

A1.1





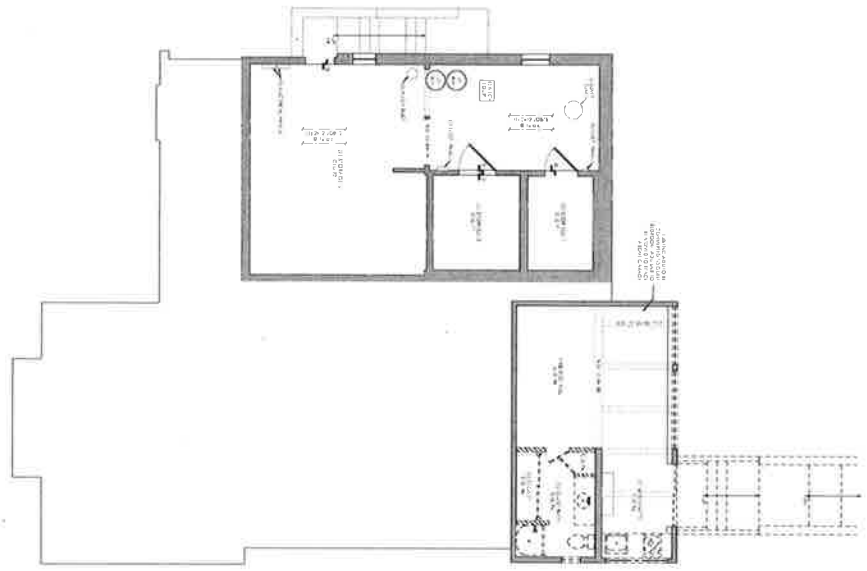
1 STORY POLE DIAGRAM  
1/32" = 1'-0"



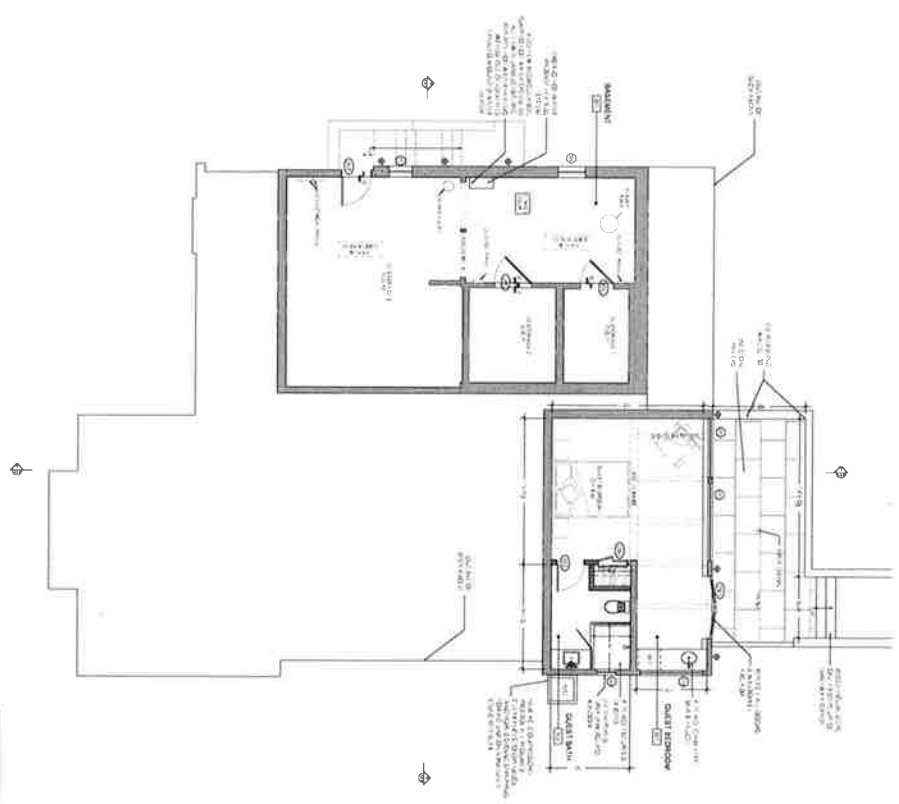


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1 LOWER FLOOR DEMO PLAN  
3/16" = 1'-0"



2 LOWER FLOOR PROPOSED PLAN  
3/16" = 1'-0"



**WALL LEGEND:**

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	EXISTING ELEMENTS TO BE REMOVED
	NEW TYPE INDICATED WALL
	1-HOUR RATED WALL
	1-HOUR TYPE X-5 GYM EACH SIDE

A2.0

DATE	1/18/2023
BY	ARCHITECT
REVISION	
NO.	
DATE	
BY	
REVISION	
NO.	
DATE	
BY	
REVISION	
NO.	



BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN #073-211-38

BROOKS MCDONALD  
ARCHITECTURE  
10000 LAGUNITAS ROAD, SUITE 100  
ROSS, CA 94960  
TEL: 707.278.1111  
WWW.BROOKSMCDONALD.COM





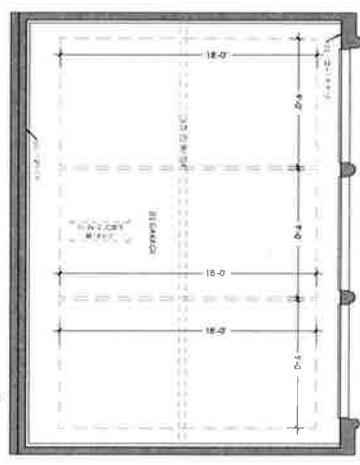




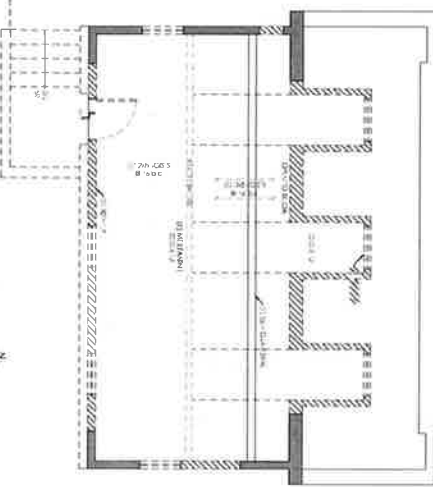


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1 EXISTING GARAGE PLAN (NO WORK - FOR REFERENCE ONLY)  
1/4" = 1'-0"

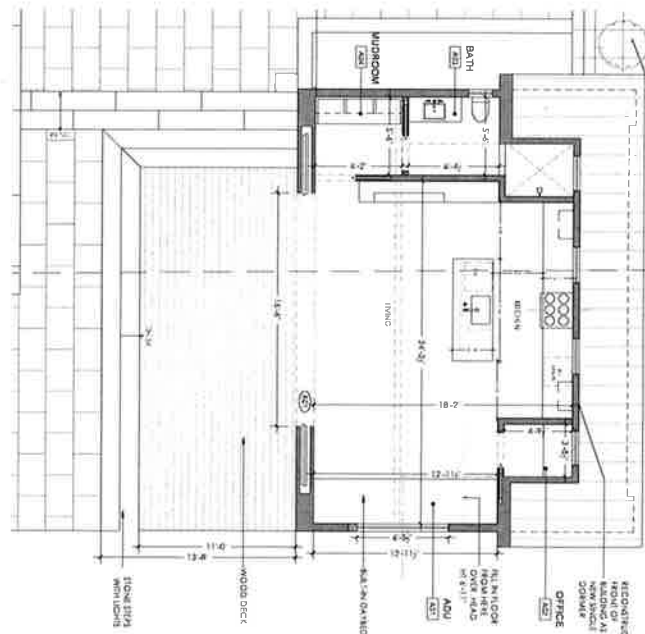


2 DEMO ABOVE GARAGE PLAN  
1/4" = 1'-0"



EXISTING LINEAR DISTANCE OF EXTERIOR WALLS:  
121 LINEAR FT.  
EXISTING LINEAR DISTANCE OF EXTERIOR WALLS TO BE DEMOLISHED:  
49 LINEAR FT. (40% = 2.5%)

3 PROPOSED ABOVE GARAGE (ADU) PLAN  
1/4" = 1'-0"



- FLOOR PLAN NOTES:
1. ADD OR REPLACE R-10 CEILING INSULATION AT ALL CEILING EXTERIOR WALLS PER THE 2019 CALIFORNIA ENERGY CODE.
  2. BATH INSULATION: ALL INTERIOR WALLS AND FLOOR JOISTS WHERE ALL EXPOSED WALL AREAS ARE NEW GLASS LOCATED IN-WALLS OF THE BATH SHALL BE INSULATED WITH GLASS FIBER C-100 INSULATION AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLASS IN ALL OTHER UNFURNISHED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLASS IS LESS THAN 1/2" FROM THE BOTTOM OF THE DOOR, THE BOTTOM EXPOSED EDGE OF THE GLASS IS LESS THAN 1/2" FROM THE BOTTOM OF THE DOOR.
  3. ALL NEW WINDOWS AND GLASS DOORS TO COMPLY WITH THE 2019 CALIFORNIA ENERGY CODE.
  4. DISPOSITION OF EXISTING FRAMES SHOWN BY DASHED LINE.
  5. SHOWER AND TUB SHALL BE NON-CALCULATED. SHOWERHEADS 1.0 GPM, LAVATORY FAUCETS 1.2 GPM, KITCHEN FAUCETS 1.8 GPM, TOILETS 1.28 GPM.
  6. SHOWER AND TUB SHALL BE NON-CALCULATED. SHOWERHEADS 1.0 GPM, LAVATORY FAUCETS 1.2 GPM, KITCHEN FAUCETS 1.8 GPM, TOILETS 1.28 GPM.
  7. SHOWER AND TUB SHALL BE NON-CALCULATED. SHOWERHEADS 1.0 GPM, LAVATORY FAUCETS 1.2 GPM, KITCHEN FAUCETS 1.8 GPM, TOILETS 1.28 GPM.
  8. GLASSING USED IN DOORS AND PANELS OF SHOWERS AND TUBS ENCLOSURES SHALL BE SAFETY TEMPERED GLASS.
  9. ALL GLASSING SHALL BE LABELED WITH AN ADVISORY WARNING LABEL TO A HEIGHT OF 72" ON GLASSING ABOVE 72" IN HEIGHT.

WALL LEGEND:

EXISTING WALLS TO REMAIN	ADU EXISTING WALLS TO REMAIN
EXISTING WALLS TO BE REMOVED	ADU EXISTING WALLS TO BE REMOVED
NEW WALLS TO BE REMOVED	ADU NEW WALLS TO BE REMOVED
NEW WALLS TO BE REMOVED	ADU NEW WALLS TO BE REMOVED















2 PROPOSED SOUTH (SIDE) ELEVATION  
1/4" = 1'-0"



1 EXISTING SOUTH (SIDE) ELEVATION  
1/4" = 1'-0"

- NOTES:
1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (E) FOR EXISTING TO REMAIN.
  2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD.
  3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN C.V.G. CEDAR.
  4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



3 MATERIAL RENDERING AT REAR



Notes: 1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (B) FOR EXISTING TO REMAIN. 2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD. 3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN CYG CEDAR. 4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



2 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



1 EXISTING EAST ELEVATION  
1/4" = 1'-0"

**BROOKS McDONALD ARCHITECT**  
 189 LAGUNITAS ROAD, ROSS CA 94960  
 APN #073-211-38

**BOGAN RESIDENCE**  
 189 LAGUNITAS ROAD, ROSS CA 94960  
 APN #073-211-38

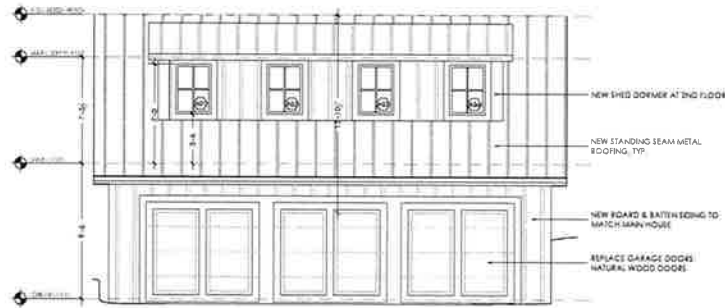
**ARCHITECT**  
 189 LAGUNITAS ROAD, ROSS CA 94960  
 APN #073-211-38

**EXTERIOR ELEVATIONS**

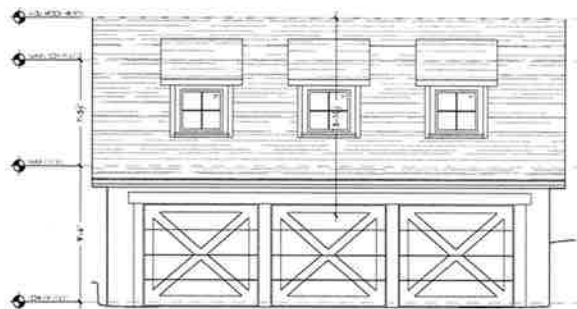
**A4.3**



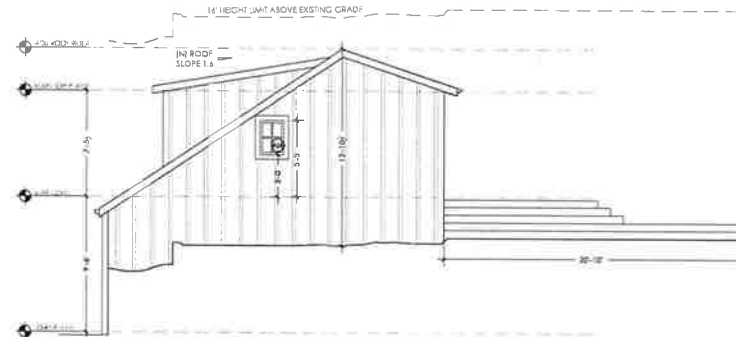
- NOTES:
1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (B) FOR "EXISTING TO REMAIN".
  2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD.
  3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN CVO CEDAR.
  4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



3 PROPOSED NORTH ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



2 EXISTING WEST ELEVATION - GARAGE/ADU  
1/4" = 1'-0"

BROOKS McDONALD  
ARCHITECT  
1100 LAGUNITAS ROAD, SUITE 100  
SANTA RITA, CA 94960  
APN 8073-211-38

BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN 8073-211-38



ISSUED  
BY TOWN COUNCIL  
7/8/2022

EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.4



Technical drawing of a window assembly. The drawing shows a cross-section of a window with four panes, each marked with an 'X'. Dimensions are indicated with arrows and numbers. The total width of the window assembly is 2745. The height of the window frame is 1310. The distance between the panes is 1310. The drawing also shows the window's position relative to the building structure, with dimensions for the window's height and the building's structure.

[illegible]

**NOTES:**

1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (E) FOR EXISTING TO REMAIN.
2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD
3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN CVG CEDAR
4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



BROOKS MCDONALD  
APN #073-211-38  
BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960

BOARD  
OF TRUSTEES  
JANUARY

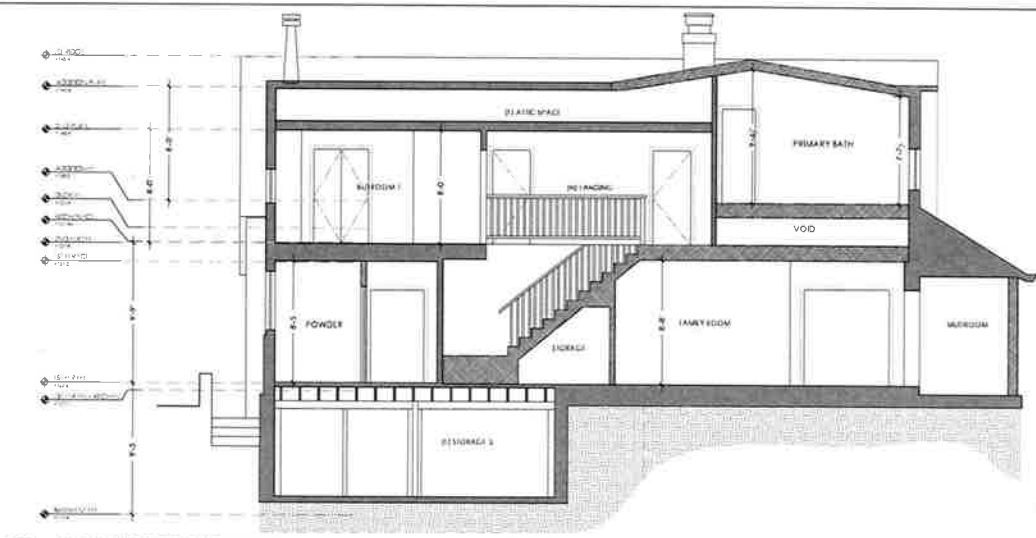
## EXTERIOR ELEVATIONS

 $1/4 = 1-0'$ 

A4.5

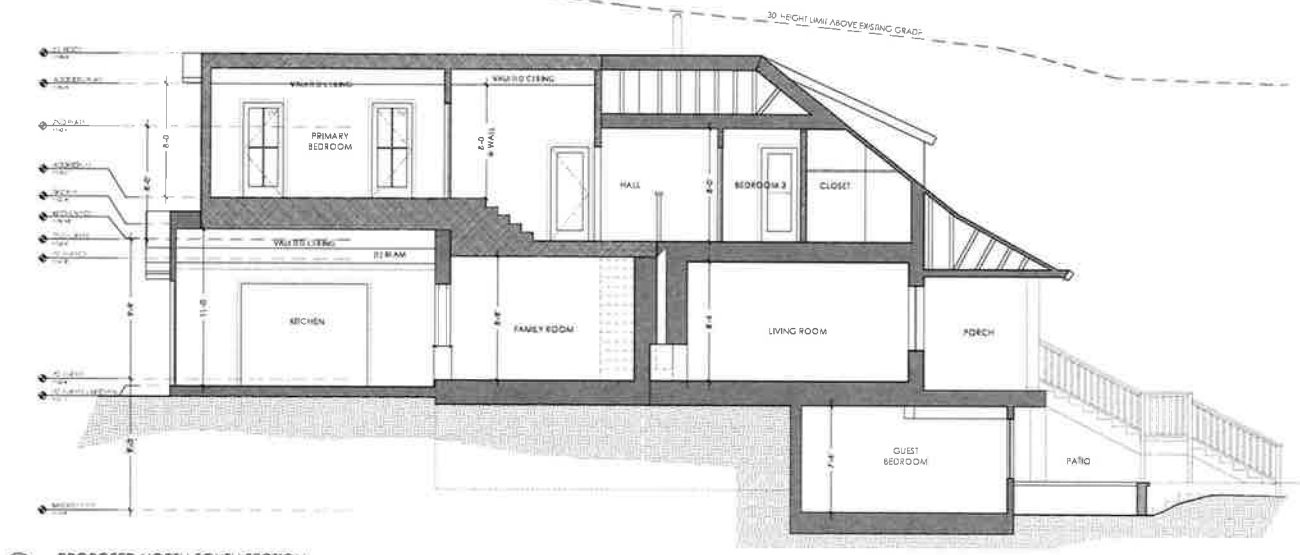


USE OF THESE DRAWINGS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF BROOKS MCDONALD ARCHITECTURAL IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THESE DRAWINGS.



2 PROPOSED EAST-WEST SECTION  
1/4" = 1'-0"

- NOTES:
1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (E) FOR EXISTING TO REMAIN.
  2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD.
  3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN CVD CEDAR.
  4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



1 PROPOSED NORTH-SOUTH SECTION  
1/4" = 1'-0"

BROOKS MCDONALD  
ARCHITECTURAL

BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN: 8073 211-38

DATE: 01/11/2023  
BY: JRM

REVISIONS

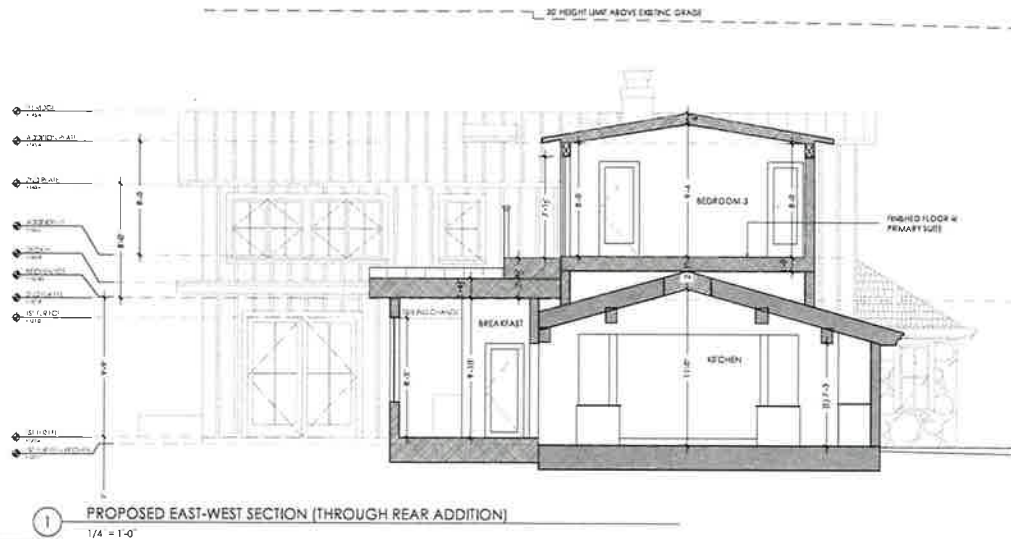
1/4" = 1'-0"

**A5.0**





2 CONCEPTUAL RENDERING



1 PROPOSED EAST-WEST SECTION (THROUGH REAR ADDITION)  
1/4" = 1'-0"

- NOTES:
1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (E) FOR EXISTING TO REMAIN.
  2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD.
  3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN CVD CEDAR.
  4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



BOARD & BATTEN VERTICAL CEDAR SIDING IN LIGHT GREY SEMI-TRANSPARENT STAIN



STONE AT BASEMENT WALLS ONLY

BROOKS McDONALD  
ARCHITECTS  
1700 S. GATEWAY AVE., SUITE 200  
SANTA ANA, CA 92705  
TEL: 949.441.1314  
WWW.BROOKSMCDONALD.COM

BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN #073-211-38



SSA 10  
SSA TOWN COUNCIL  
F.A. 2020

SECTION

12' x 14'

A5.1



WAC  
LANDSCAPE LIGHTING



SP2C/SP2C & P/SP2C

[illegible]

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Journal compilation © 2006 Blackwell Publishing Ltd

<p><b>Author's Declaration of Interest</b></p> <p>I declare that I have no conflict of interest.</p>	<p><b>Author's Declaration of Conflicts</b></p> <p>I declare that I have no conflict of interest.</p>
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WAC LIGHTING  
Responsible Lighting®

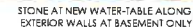


## SPECIFICATIONS

[illegible]

Single-headed brackets (SFB) [10] (see Figure 1) are pairs of related

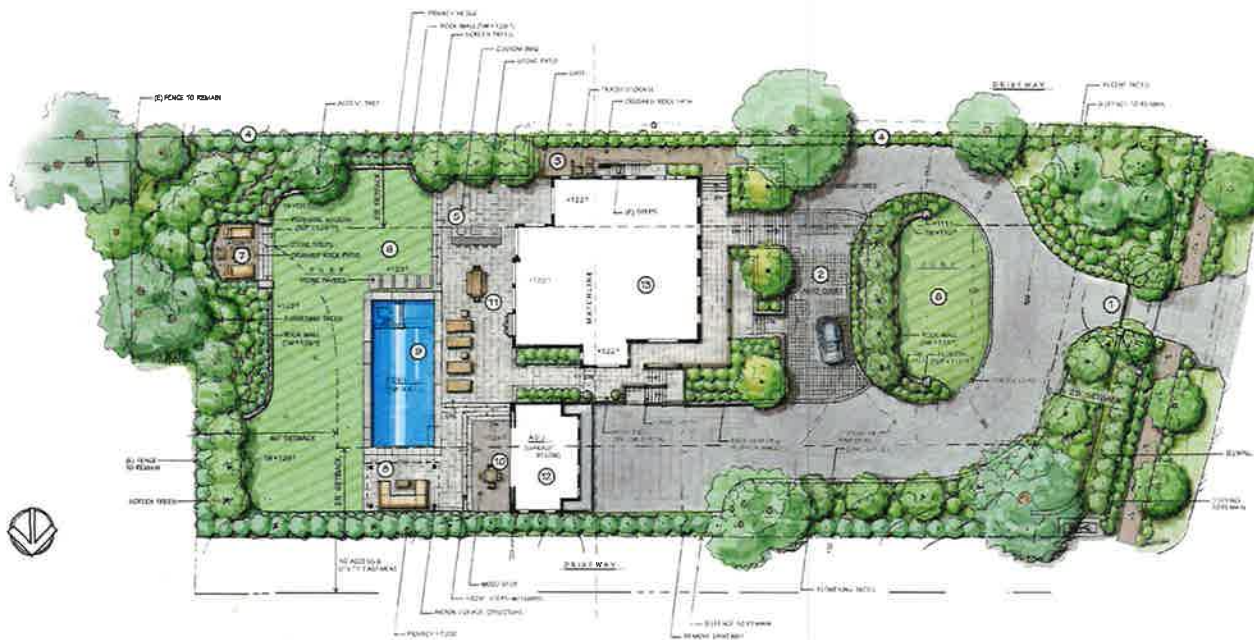
- Crew**











## LEGEND

- 1 AUTO GATE AND PEDESTRIAN GATE  
(EXISTING TO REMAIN)
- 2 AUTO COURT  
(REMOVE EXISTING ASPHALT DRIVEWAY AND REPLACE WITH NEW PERMEABLE PRECAST CONCRETE PAVERS, WIDEN DRIVEWAY AS SHOWN)
- 3 SIDE YARD  
(REMOVE BRICK AND REPLACE WITH CRUSHED ROCK)
- 4 6' WOOD FENCE WITH PRIVACY HEDGE  
(REMOVE AND REPLACE WOOD FENCE TO THE PROPERTY LINE, INCLUDING SCREEN PRIVACY HEDGING)
- 5 CUSTOM BBQ  
(REPLACE EXISTING BBQ AND BRICK PATIO WITH NEW BBQ)
- 6 ARTIFICIAL TURF  
(REPLACE LAWN WITH ARTIFICIAL TURF)
- 7 OVERLOOK  
(REPLACE EXISTING GARDEN OVERLOOK AREA)
- 8 SHADE ARBOR  
(PROPOSED WOOD SHADE STRUCTURE - 9' MAXIMUM IN HEIGHT)
- 9 SWIMMING POOL  
(PROPOSED SWIMMING POOL WITH INTEGRAL SPA AND COVER)
- 10 WOOD DECK WITH BAR  
(PROPOSED WOOD DECK WITH BAR COUNTER)
- 11 PERMEABLE STONE PATIO  
(REMOVE AND REPLACE EXISTING BRICK PATIO AND REPLACE WITH NEW PERMEABLE STONE PATIO AS SHOWN)
- 12 GARAGE / ADU  
(SEE ARCHITECTURAL DRAWINGS)
- 13 EXISTING MAIN HOUSE  
(SEE ARCHITECTURAL DRAWINGS)

## PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS TO UPGRADE THE EXISTING LANDSCAPE IN CONJUNCTION WITH PROPOSED ARCHITECTURAL IMPROVEMENTS

THE FRONT YARD IS PROPOSED TO HAVE A NEW DRIVEWAY SURFACE THAT CLOSELY FOLLOWS THE EXISTING DRIVEWAY. THE EXISTING ROCK WALL IS TO BE REPLACED AND NEW TURF INSTALLED TO REPLACE THE EXISTING LAWN. PLANTING IS IMPROVED TO CONFORM TO WATER USE AND FIRE DEPARTMENT REQUIREMENTS

THE GOAL OF THE REAR YARD IS TO INSTALL A NEW SWIMMING POOL, WOOD DECK, OUTDOOR KITCHEN, WET BAR, SHADE ARBOR, PERMEABLE STONE PATIO TO REPLACE THE EXISTING BRICK PATIO. NEW ROCK WALLS ARE PROPOSED TO REPLACE THE EXISTING ROCK WALLS AND A RAISED OVERLOOK PATIO PROPOSED TO REPLACE THE EXISTING PATIO. PLANTING IS IMPROVED TO CONFORM TO WATER USE AND FIRE DEPARTMENT REQUIREMENTS

NEW FENCES ARE PROPOSED TO REPLACE THE FAILING WIRE FENCING AS SHOWN. NEW FENCES ARE TO BE 6' MAXIMUM IN HEIGHT. NEW FENCES ARE TO BE GRAPE STAKE TO MATCH EXISTING FENCES

IRRIGATION SYSTEM IS TO REMAIN, WITH REPAIRS MADE AS NECESSARY.

EXTERIOR LIGHTING IS LIMITED TO DOWN-LIGHTS MOUNTED UNDER THE BBQ BACKPLASH CAP, STEP LIGHTS, PATH-LIGHTS AND WALL LIGHTS

## DESIGN REVIEW NOTES

### GENERAL NOTES

1. THE LANDSCAPE PLAN IS BASED ON DRAWINGS PROVIDED BY THE OWNER, SITE MEASUREMENTS AND A PROFESSIONALLY SURVEY. ANY MAJOR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY
2. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND UNIFORM CONSTRUCTION STANDARDS (UCS) OF THE COUNTY OF MARIN AND THE TOWN OF ROSS.
3. THESE DRAWINGS ARE FOR DESIGN REVIEW APPLICATION PURPOSES ONLY. THIS DRAWING IS NOT INTENSIVELY DETAILED AND IS NOT TO BE USED FOR PERMIT APPLICATION AND / OR CONSTRUCTION.
4. SWIMMING POOL IS TO MEET ALL POOL SAFETY CODES AND REQUIREMENTS.

### CONSTRUCTION NOTES

1. ALL PATIOS, STEPS AND POOL COPING IS TO BE ITALIAN BLUESTONE. ALL NEW PATIOS ARE TO BE PERMEABLE

### IRRIGATION NOTES

1. ALL PLANTING TO BE BRIGATED IN ACCORDANCE TO THE PROVISIONS OF ORDINANCE 421 OF THE MARIN MUNICIPAL WATER DEPARTMENT. ALL PLANTING AREAS ARE TO BE IRRIGATED UTILIZING DRIP METHODS.

### PLANTING NOTES

1. ALL EXISTING PLANT MATERIAL IS TO BE REMOVED AND REPLACED AS SHOWN
2. NO PYROPHYTIC PLANT MATERIAL IS PROPOSED FOR THIS PROJECT
3. ALL PLANTING IS TO CONFORM TO MMWD AND RVPD VEGETATION MANAGEMENT ORDINANCES AND REQUIREMENTS

## LIGHTING LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION	NOTES
1	DAVIDSON	WALL LIGHT	12" x 12" x 12" H
2	DAVIDSON	WALL LIGHT	12" x 12" x 12" H
3	DAVIDSON	WALL LIGHT	12" x 12" x 12" H
4	DAVIDSON	WALL LIGHT	12" x 12" x 12" H
5	DAVIDSON	WALL LIGHT	12" x 12" x 12" H

WWW.FLUXUS.COM



# Bogan Residence

189 Lagunitas

Ross, CA.

Date: 1 / 27 / 2022

Scale: 1/16" = 1' - 0"

## L1 Landscape Concept Plan



REVISED: 6 / 29 / 2022

202 Broomfield Mill Valley, CA 94041  
(415) 380-0715  
brian@imprintslandscape.com





189 LAGUNITAS ROAD  
ROSS, CA 94957  
AP #: 073-211-38

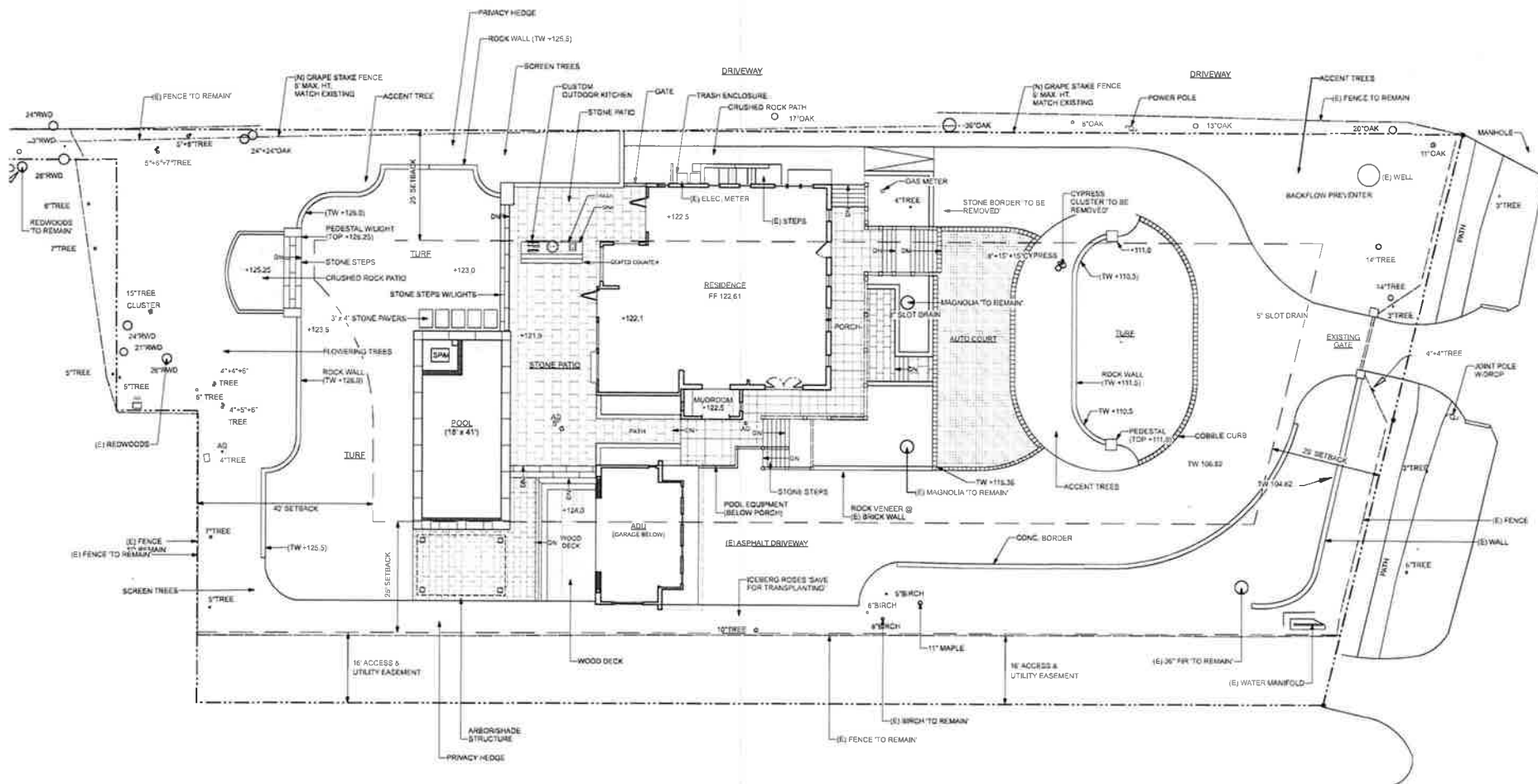


436

## L1.1











SCALE: 10" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



DOI: 10.1002/for









EX	NM				EX	NM
		ASPHALT PAVING (IMPERVIOUS)		PROPERTY LINE		CONC. RETAINING WALL
		CONCRETE PAVING (IMPERVIOUS)		EASEMENT LINE		SUBDRAIN (PERFORATED PIPE)
		NEW FLAGSTONE PAVING (IMPERVIOUS)		EX. WOODEN RET. WALL		STORM DRAIN PIPE
		NEW CONCRETE PAVERS (SEMI-PERMEABLE)		DRAINAGE DITCH (30-INCH WIDE)		ELLIPTICAL OVERHEAD LINE
		NEW WOOD DECK (PERMEABLE)		UNDISTURBED SOIL		ELECTRICAL UNDERGROUND
		PERMEABLE PAVING		COMPACTED FILL MATERIAL		COMMUNICATION OVERHEAD LINE
		PLANTED/LANDSCAPED AREA		GEOTEXTILE		COMMUNICATION UNDERGROUND
		GRAVEL OR DECOMPOSED GRANITE (PERMEABLE)		EROSION CONTROL BLANKET		JOINT TRENCH
		EROSION CONTROL BLANKET		TURF REINFORCING MAT		SANITARY SEWER
		BUILDING ADDITION		STREAM MATTRESS		WATER LINE
		AREA DRAIN		RUNOFF FLOW DIRECTION		GAS LINE
		DRAINAGE INLET		SHALLOW FLOW DIRECTION		EDGE OF ROAD
		ROOF LEADER		STORMWATER LEVEL SPREADER		ROOT LAVAL
		FIRE HYDRANT		BUBBLE-UP DRAINAGE EMITTER		EX FENCE
		JOINT POLE		POP-UP DRAINAGE EMITTER		NEW XRF FENCE
		GAS METER, ELLIPTICAL METER		SUBDRAIN END CAP		NEW WOOD FENCE
		WATER METER		SUBDRAIN OR STORMWATER CLEANOUT		EXISTING GRADE ELEVATION CONTOUR
		EX. TREE		SUBDRAIN OUTLET		FINISHED GRADE ELEVATION CONTOUR
		EX. TREE OUTLINE		WOODEN FOUNDATION OR RETAINING WALL		FINISHED GRADE ELEVATION CONTOUR
				TREE PROTECTION FENCE		855 x 855 x 855 x 855

Diagram illustrating the correct use of section and detail callouts:

- SECTION:** A circle containing the section letter 'C' and the detail number 'C-2' is used to call out a section. Labels indicate: 'SECTION LETTER' (pointing to 'C'), 'SECTION ON WHICH SECTION IS SHOWN' (pointing to the section line), and 'SHEET ON WHICH SECTION IS CALLED ON' (pointing to the circle).
- DETAIL:** A circle containing the detail number '2' and the section letter 'C-2' is used to call out a detail. Labels indicate: 'DETAIL NUMBER' (pointing to '2'), 'DETAIL ON WHICH DETAIL IS SHOWN' (pointing to the detail line), and 'SHEET ON WHICH DETAIL IS CALLED ON' (pointing to the circle).

THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.

- WATER: MARIN MUNICIPAL WATER DISTRICT

SEWER: ROSS VALLEY SANITARY DISTRICT NO. 1

ELECTRIC POWER, PACIFIC GAS AND ELECTRIC (PG&amp;E)

GAS: PACIFIC GAS AND ELECTRIC (PG&amp;E)

TELEPHONE: A4T

CABLE COMCAS-

3. INSTALL NEW FLOOR SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. 5/2" THE WATER SERVICE PIPE FOR THE REQUIRED FLOW RATE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FLOW SPRINKLER FLOW RATE.
4. CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. 1 STANDARDS.

EXCAVATION	410 CY
PILE	20 CY
PAVING	390 CY
MAX. EXCAVATION DEPTH	6 FT
MAX FILL DEPTH	2 FT
DISBURSED AREA	0.26 AC

1. QUANTITIES ARE IN-PLACE ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR MEASURING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
2. LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
3. SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 5 AND APRIL 5 UNLESS PERMITTED IN WRITING BY THE BUILDING DEPARTMENT DIRECTOR OF PUBLIC WORKS.

1. THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
2. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

DRAWING NO.	DESCRIPTION
5-1	COVER SHEET
5-2	GRAZING AND DRAINAGE PLAN (1 OF 2)
5-3	GRAZING AND DRAINAGE PLAN (2 OF 2)
5-4	DETAILS

AB	AGGREGATE BASE
AC	ASPH.: CONCRETE
AD	AREA DRAIN
ADA	AMERGAS WITH D SABLITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTHM	ASTHMA
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CHP	CORROATED METAL PIPE
CO	CULVERT
COM	COMMUNICATION
COMM- COMMOS	COMMUNICATION OVERHEAD
CONC	CONCRETE UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
ELEC	ELECTRICAL OVERHEAD
LAG	LAGGED GROUND
EX	EXISTING GROUND
FL	FLOOR ELEVATION
FL	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOOR LINE
FO	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
H	HOSE BIB
-DOL	HIGH DENSITY POLYETHYLENE PIPE
P	1/2 IN. POINT
IN	INVERT ELEVATION
J	JOINT UTILITY POLE
J	JOINT UTILITY TROUGH
LF	LOWER LEVEL FINISHED FLOOR ELEV
LF	LOWER LEVEL FINISHED FLOOR LEVEL
MAX	MAXIMUM
MIN	MINIMUM

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	17,310 SF	3,540 SF
CONCRETE - AVERAGES (PERVIOUS)	0 SF	1,040 SF
LANDSCAPE PERVIOUS	3,186 SF	28,408 SF
TOTAL LOT AREA	43,506 SF	43,506 SF

1. IMPERVIOUS SURFACES INCLUDE: ROOF, DRIVEWAY, WALKWAYS, POOL AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
2. CONCRETE PAVERS INCLUDE PART OF DRIVEWAY.
3. NEW OR REPLACEMENT IMPERVIOUS AREA IS 3600 SQ.

APN 073-211-38  
559 LAGUNITAS ROAD  
ROSS, CALIFORNIA

REVISIONS		
NO	DATE	DESCRIPTION
△	4/8/22	RAWD FOR REVIEW
△		
△		
△		
△		

DESIGNED BY:	B. DEARTH
DRAWN BY:	J. HARTEN
APPROVED BY:	
SCALE:	AS
DATE:	REQUEST NO.
4/8/2022	105-000

REVISION	<b>0</b>
SHEET NO	<b>1 OF 4</b>
DRAWING	<b>C-1</b>







## DESIGN REVIEW NOTES

### STORMWATER DRAINAGE PLAN

- THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
- THE EXISTING DEVELOPMENT ON THE SITE TOTALS 12,570 SQUARE FEET (61,171 SF) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS DRIVEWAYS AND DRIVEWAYS. THE TOTAL LOT AREA IS 43,250 SQ. FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 28 PERCENT OF THE TOTAL LOT AREA.
- THE PROPOSED DEVELOPMENT PLAN ADDS 170,500 SF OF NON-IMPERVIOUS AREA, BRINGING A TOTAL OF 135,440 SF OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 31 PERCENT OF THE LOT AREA.
- THE PROPOSED DEVELOPMENT PLAN MINIMIZES THE USE OF IMPERVIOUS HARDSCAPE. PERVIOUS PAVING CONCOURSE DRIVEWAYS WILL BE USED FOR THE PART OF THE DRIVEWAY.
- ROOFS FROM 2,110 TO 50 FT OF THE PROPOSED IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO AN ON-SITE BIO-RETENTION BASIN. THE IMPERVIOUS AREA DIRECTED TO THE BIO-RETENTION BASIN INCLUDES THE ENTIRE NEW PATIO AT THE REAR OF THE HOUSE, THE ADU ROOF AND PART OF THE HOUSE ROOF. RUNOFF FROM REMAINING IMPERVIOUS AREA WILL SHEET FLOW TO LANDSCAPE AREAS OR DISCHARGE THROUGH THE EXISTING DRAINAGE SYSTEM TO THE SHALE ALONG LAGUNITAS ROAD.
- THE INCREASE IN STORMWATER RUNOFF DUE TO CONSTRUCTION OF ADDITIONAL IMPERVIOUS SURFACES WILL BE MITIGATED BY INSTALLING A BIO-RETENTION BASIN. A PIPED STORMWATER DRAINAGE SYSTEM WILL BE USED TO CONNECT ROOF LEADERS AND AREA DRAINS TO A BIO-RETENTION BASIN LOCATED NEXT TO THE DRIVEWAY. THE BIO-RETENTION BASIN WILL SLOW THE RUNOFF RATE, ALLOW STORMWATER TO INFILTRATE AND PROVIDE STORMWATER TREATMENT. ANY OVERFLOW FROM THE BIO-RETENTION BASIN WILL BE DIRECTED TO THE EXISTING DRAINAGE SYSTEM SHALE ALONG LAGUNITAS ROAD.
- AREA DRAINS IN LANDSCAPE AND HARDSCAPE ARE LIMITED TO LOCATIONS WHERE THEY ARE NECESSARY TO PREVENT WATER POOLING THAT COULD DAMAGE THE HOUSE. RUNOFF FROM MOST OF THE HARDSCAPE AREAS WILL BE ALLOWED TO SHEET FLOW TOWARD LANDSCAPED AREAS WHERE IT CAN INFILTRATE OR SLOWLY RUNOFF TOWARD THE STREET DRAINAGE SYSTEM.
- THE BIO-RETENTION BASINS ARE DESIGNED TO CAPTURE THE 2-YEAR STORM AND INFILTRATE IT INTO THE GROUND IN ACCORDANCE WITH MCDSTORM GUIDELINES. THE SURFACE AREA OF THE BASINS AND DETAILS OF CONSTRUCTION COMPLY WITH MCDSTORM GUIDELINES.
- A FOUNDATION DRAINAGE AND RETAINING WALL BACK DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

### EXCAVATION & GRADING PLAN

- SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN.
- EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

### EROSION CONTROL

- EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAIN NATILES WILL BE PLACED AROUND THE CONSTRUCTION PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL SLOPES WILL BE COVERED WITH PLASTIC TARP TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BARRIERS AND STRAIN NATILES.
- PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLAN.

### STORMWATER POLLUTION PREVENTION

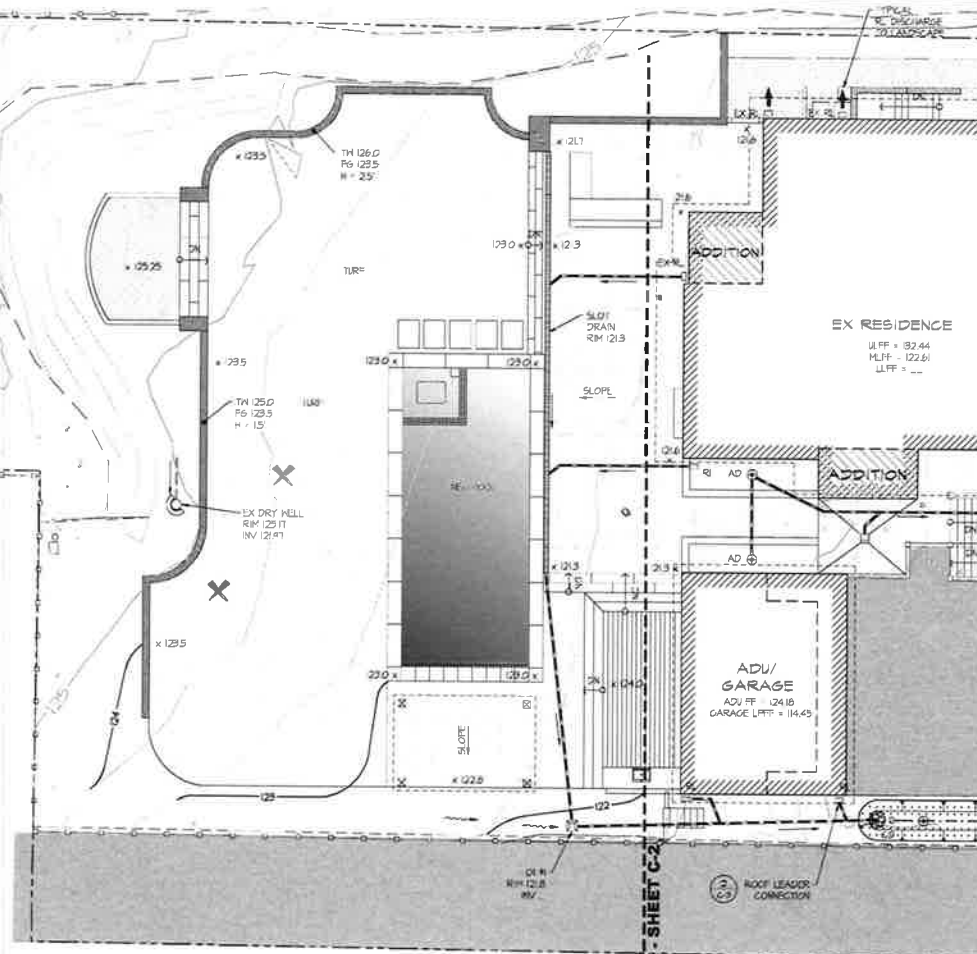
- SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL, PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

### UTILITY PLAN

- ALL UTILITY SERVICES WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE. NO NEW CONNECTIONS TO SERVICE MAINS ARE PLANNED.

### RETAINING WALL CONSTRUCTION NOTES

- ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION SUPPORTED BY SPREAD FOOTINGS OR DRILLED PIERS AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.





Calculation method based on:  
BASMAA Post-Construction Manual  
(January, 2019)

G. Dearth  
April 6, 2022

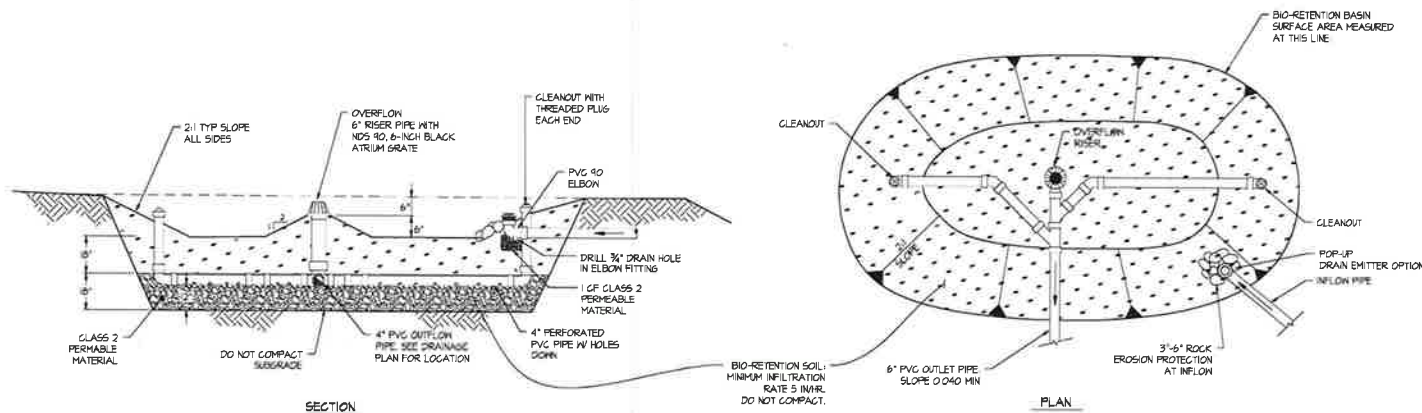
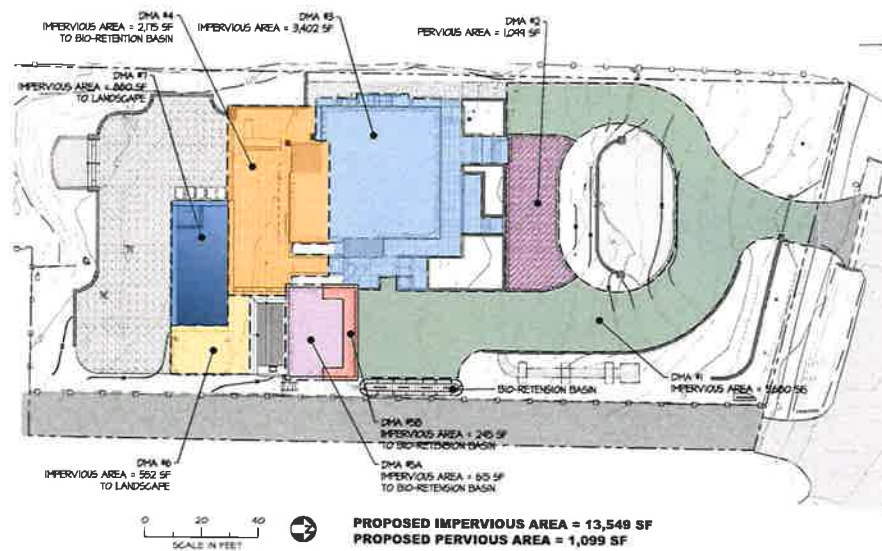
Area Name	Area (sq ft)	Surface Type	Runoff Factor	Area x Runoff Factor (sq ft)
DMA #4	2 175	Imperious	1.0	2,175
DMA #5A	615	Imperious	1.0	615
DMA #5B	245	Imperious	1.0	245
<b>TOTAL</b>	<b>3.035</b>			<b>3.035</b>

Standard Required Bio-retention Basin Area (sq ft)	121
Town of Ross Required Bio-retention Basin Area (sq ft)	243
Proposed Design Bio-retention Basin Area (sq ft)	200

Roots and paving	1.0
Landscape trees	0.1
Bricks or solid pavers - grouted	1.0
Bricks or concrete pavers on sand base	0.2
Pervious concrete or asphalt	0.1
Turblock or gravel (min 6" thickness)	0.1
Open or porous pavers	0.1
Artificial turf	0.0

0.04

0.08



NO SCALE

**LTD Engineering, Inc.**  
1050 Northgate Drive, Suite 450  
San Rafael, CA 94903  
Tel. 415.444.7402 Cell 415.717.8719  
gdc@rnhltdengineering.com

OWNER
CHARLIE BOSAN
189 LAGUNITAS ROAD
ROSS, CALIFORNIA
CONTACT :

NOT PROCEED

ISSUED FOR  
REVIEW  
NOT FOR  
CONSTRUCTION

These documents and the ideas and designs incorporated herein are an instrument of professional service and the property of LTD Engineering Inc. None of these documents for any other project, in whole or in part, is not allowed without written authorization from LTD Engineering Inc.

**BOGAN RESIDENCE  
REMODEL**

**APN 073-211-38  
189 LAGUNITAS ROAD  
ROSS, CALIFORNIA**

REVISIONS		
NO	DATE	DESCRIPTION
1	4/8/22	ISSUED FOR REVIEW
2		
3		
4		
5		

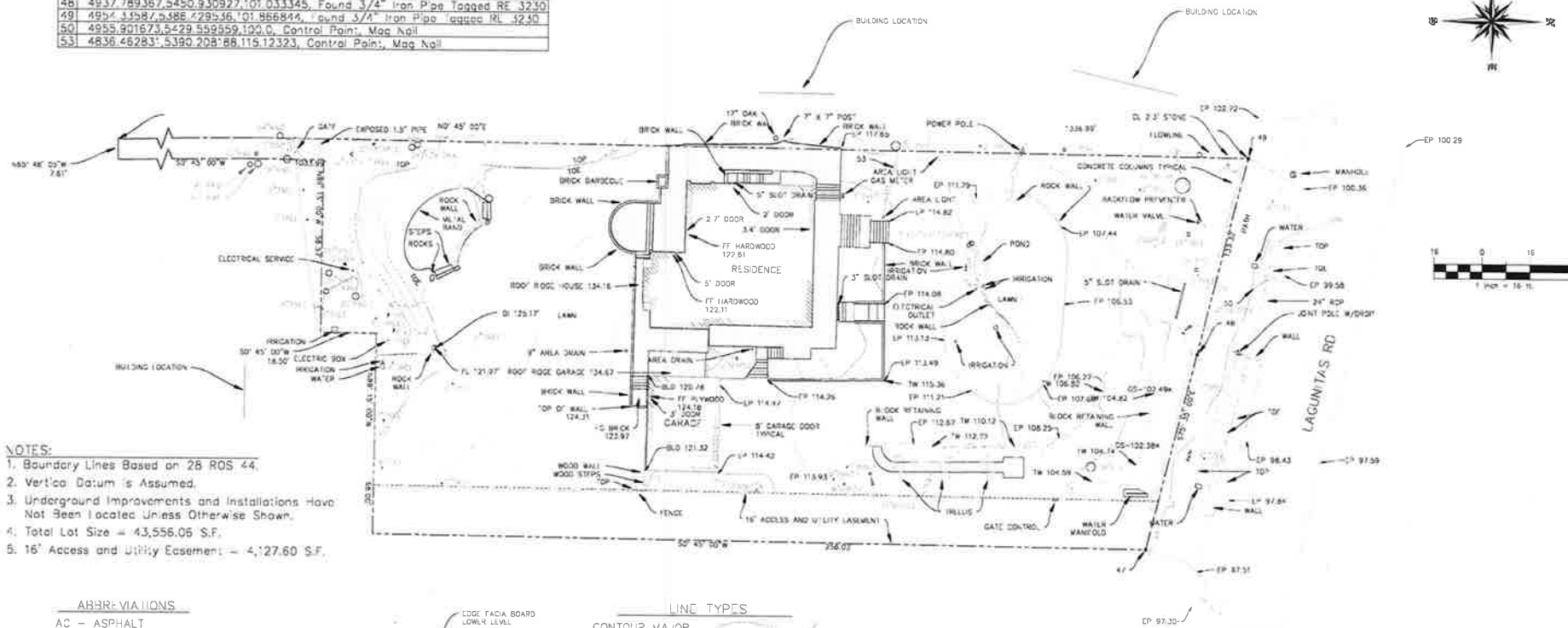
DESIGNED BY: G. DEARTH	
DRAWN BY: E. HAYDEN	
APPROVED BY:	
SCALE:	AS SHOWN
DATE:	PROJECT NO.
4-8-2002	105001

## DETAILS

REVISION	0
SHEET NO.	4 OF 4
DRAWING	C-4



CONTROL BOUNDARY AND COORDINATE VALUES	
47	4921.156072, 5515.501554, 100.17242', Found 3/4" Iron Pipe Tagged RE 3230
48	4937.789367, 5450.930927, 101.033345, Found 3/4" Iron Pipe Tagged RE 3230
49	4954.15587, 5486.429546, 101.866844, Found 3/4" Iron Pipe Tagged RE 3230
50	4955.901673, 5429.559559, 100.0, Control Point, Mag Nail
53	4836.462837, 5390.20888, 115.12323, Control Point, Mag Nail



- NOTES:**
1. Boundary Lines Based on 28 ROS 44.
  2. Vertical Datum is Assumed.
  3. Underground Improvements and Installations Have Not Been Located Unless Otherwise Shown.
  4. Total Lot Size = 43,558.05 S.F.
  5. 16' Access and Utility Easement = 4,127.60 S.F.

#### ABBREVIATIONS

AC - ASPHALT  
BLD - BUILDING  
CONC - CONCRETE  
DI - DRAIN INLET  
EOB - EDGE OF BRICK  
EOC - EDGE OF CONCRETE  
EP - EDGL OF PAVEMENT  
FL - FLOWLINE  
GB - GRADE BREAK  
RWD - RLDWOOD  
TOC - TOP OF BANK  
TOP - TOP OF BANK

#### LINE TYPES

CONTOUR MAJOR  
CONTOUR MINOR  
EASEMENT  
EDGE OF PAVEMENT  
EXISTING PPL  
FENCE - WIRE  
FENCE - WOOD  
FLOWLINE  
PROPERTY LINE  
TOE OF BANK  
TOP OF BANK

#### Boundary Notes:

On April 22-24, 2013 our firm conducted a field survey for the purpose of creating a topographical exhibit of 189 Lagunitas Road in Ross, Marin County. We located the northeast, northwest and an intermediate boundary corner as shown on 28 US 44 which were used to establish the boundary lines as shown on the 2013 topographical exhibit. These three Tagged Iron Pipes have been destroyed due to the construction of a pipe line. Our original control points 50 and 53, were located and held for the control in efforts of updating said 2013 topographical exhibit. See below coordinate values of found control and iron pipes found in 2013.

REV	DATE	DESCRIPTION	DRAWN	CHECKED
1	04/22/2013	FIELD SURVEY AND EXISTING TOPOGRAPHY		
2	04/22/2013	BOUNDARY LINES AND EASEMENTS		
3	04/22/2013	UTILITY LINES AND MANHOLES		
4	04/22/2013	TOPOGRAPHY AND ELEVATIONS		
5	04/22/2013	FINAL REVISIONS		



**R.W. DAVIS & ASSOCIATES**  
LAND SURVEYORS

CITY  
COUNTY  
STATE

30 LAGUNITAS ROAD  
EXISTING TOPOGRAPHY



Prepared under the  
Direction of  
SHEET  
SCALE  
DATE  
PROJECT NUMBER



# ATTACHMENT 4



**MINUTES**  
Regular Meeting of the  
Ross Advisory Design Review Group  
6:00 PM, Tuesday, June 21, 2022

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](https://townofross.org/meetings).

**1. 6:00 p.m. Commencement**

ADR Group Chair Mark Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Laura Dewar, Stephen Sutro, Josefa Buckingham, and Mark Fritts. Director Rebecca Markwick and Planner Nishant Seoni were present representing staff.

**2. Approval of Minutes.**

The ADR Group unanimously approved the May 17, 2022 minutes.

**3. Open Time for Public Comments**

No comments were provided.

**4. Planning Applications.**

**a. 1 Hillgirt Avenue**

**Property Owner:** Simon and Veronica Katz

**Applicant:** Steve Swearengen

**Project Summary:** The applicant requests approval of Design Review, Demolition, Variances, and a Nonconformity Permit to demolish the existing two-story residence, detached garage, and detached accessory structure and construction of a new single-family residence with an attached two car garages. The Variances are required to exceed the allowable lot coverage and to construct within the creek setbacks. The project also proposes new landscaping and hardscape throughout the property, including a new driveway, walkway and rear patio. (Markwick)

Director Markwick summarized the project.

Project architect Swearengen introduced and summarized the project and reviewed the advice that was given to the applicant.

Chair Kruttschnitt opened the public forum.

**Mark Fritts**

- House feels too big, keep it to the existing square footage
- Height is too tall at the front façade, terrace towards the back of the home
- House looms over the street
- Deck over the garage is unnecessary onus to the property to the north. Can not support the deck over the garage
- Minimize the interior head height, need substantive reduction in height.



Laura Dewar

- Lower height of the garage, no balcony on the garage
- Height of the home is too tall, and too close to the street. The massing is very large at the street frontage.
- Wants more naturalistic materials.
- Concerned with the window placement and privacy

Joey Buckingham

- The house as proposed looms over the street, out of character with the neighborhood, given the size of the home.
- Need to reduce the total FAR. It is not guaranteed that you get the existing FAR of the existing house if you are rebuilding.
- Numbers do not work for the FAR and the height of the house.
- Need to reduce the size of the home so that it fits into the context of the neighborhood.
- Need more natural materials that blend into the landscape

Steve Sutro

- Scale is too big for the streetscape
- Should not exacerbate non-conformities
- Agrees with all of the other comments regarding and specifically the FAR

**b. 189 Lagunitas Road (A.P.N. 073-211-38)**

**Property Owner:** Jennifer and Jeffrey Bogan

**Applicant:** Brooks McDonald

**Project Summary:** The applicant requests approval of Design Review and a Variance for renovation of the exterior of the existing house; relocation of a basement ADU to above the existing garage; construction of a horizontal addition to the existing house, new fences, a pool and spa, and outdoor lounge areas; and modifications to existing landscaping. (Seoni)

Nishant Seoni introduced the project.

Architect, Brooks McDonald introduced the project and answered questions from the ADR members. In response to questions from the ADR, the applicant clarified the location and height of the deck, that the garage door is made of wood, and that the house and garage roofs will be made of similar materials.

Chair Kruttschnitt opened the public forum

One neighbor at 193 Lagunitas stated that the proposed horizontal addition would be too close to their property and create privacy issues. One member of the ADR recused



themselves from the project. The ADR approved of the proposed design and materials with some recommendations. The ADR recommended that stone cladding around the home be terminated at porch height rather than higher; that the pool and patio be relocated to reduce or eliminate setback nonconformance, and that the applicant work with the neighbors to reduce privacy impacts of the horizontal addition by reducing the number of windows used. The ADR requested that the applicant clarify to Planning whether a wet bar will be located in a setback, and if so to relocate it.

Steve Sutro

- Project is well designed, the dormer is contextually appropriate. ADU needs to be recorded as an ADU.
- Sad to see the logs go, however new materials are beautiful.
- The balcony and windows are very far from the property line and are appropriate in their locations. Maybe remove or reduce size of the windows.
- Lower the band of stones.
- Suggests making the patio smaller so that it is 25 feet from the property line, even though that would still require a Variance.
- Do not exacerbate the non-conformity with new patios.
- Can support the project as designed.

Laura Dewar

- Really nice design, materials are great.
- Modest and proportional to the lot and consideration of neighbors
- Move the third window to accommodate the neighbors
- The shade structure is okay in the setback, given that there is an easement that the setback is taken from. Needs more detail on the wet bar.
- Supports the project

Mark Kruttschnitt

- Echo's the stone comment, lower the stone detail.
- Remove one window to accommodate the neighbors.
- The deck is small, it will not be a large gathering place so he can support the deck.
- Supports ADU
- Pool is in setback, so it appears that it needs a Variance, or move it so that it does not need a Variance. Thinks that the pool should be moved, and the wet bar needs more detail.
- There should not be any lighting in the trellis structure in the setback.
- Fully supports the project, specifically with one of the windows on the north being removed.

**c. 24 Allen Avenue (A.P.N. 073-261-38)**

**Property Owner:** Warren and Robin Luhnig



**Applicant:** Imprints Landscape Architecture

**Project Summary:** The applicant requests approval of Design Review to remodel and relocate an existing deck; construct a new in-ground pool; construct a patio, arbor, fire pit, pool equipment room, and recreation court; and install new landscaping. A Variance is required to allow the proposed renovation and new construction to deviate from setback standards. The parcel has an approved permit for an Accessory Dwelling Unit (ADU) that is not part of the proposed project. (Seoni)

Nishant Seoni introduced the project.

The applicant summarized the project and existing conditions, and stated that they proposed a bio-retention basin to offset the proposed increase in impervious surface. The ADR stated that the increase to impervious surface was still too high and that the proposed pool was too far into the existing setback for necessary findings to be met. The ADR stated that as proposed they could not support the project.

**d. 98 Laurel Grove Avenue (APN 072-211-38)**

**Property Owner:** Dwinells Family Trust

**Applicant:** Polsky Perlstein Architects

**Project Summary:** The applicant requests approval of Design Review to remodel and expand the existing main residence at the front and south side; construct new attached trellis structures at the south side and rear building elevations; construct a new storage accessory building in the south side yard; construct a new pool and associated terrace and retaining wall in the south side yard; and renovate the south side yard and rear yard landscape. Variances are required to construct a new storage accessory building, new trellis projections, and a new pool and associated structures with nonconforming yard setbacks. (Seoni)

Nishant Seoni introduced the project. The applicant stated that recently modified plans removed a proposed storage shed, and that the proposed pool was in its location within a side yard setback because the land on the adjacent property was unusable and the pool's proximity to the property line was unlikely to affect the neighboring property. The ADR supported this. The ADR supported the design of the project with a recommendation that additional windows or articulation of some kind be placed on the east side of the garage to improve its visual character.

**e. 18 Madrona Avenue**

**Property Owner:** 18 Madrona LLC

**Applicant:** Sean Bailey

**Project Summary:** The applicant requests approval of Design Review to remodel the existing 2,877 square foot single family residence and an addition of 1,983 square feet. The project includes a new roof and new landscaping throughout the property. The existing pool and patio will remain. (Markwick)

Laura Dewar



- Likes the design and can support the project.

Steven Sutro

- Design and material are great, the contemporary design is also great
- The story poles read that the project is very tall at the street.
- The roof line needs to be minimized.
- Wants a roof modification before he can fully endorse it to the council

Mark Fritts

- Likes the architecture and symmetry of the project, however the roof over the street is somewhat looming. The shed roof does not do the site justice.
- Likes the red cedar, has a concern about the amount of glass and lighting.
- The mass of the roof is too large.
- Likes the articulation, and mass of the structure except for the mass and front façade of the home.

Mark Kruttschnitt

- Can support the project as designed.
- Suggested that the project applicant work offline with the Steve and Mark F. to work on the roof line.

**Conceptual Advisory Design Review.**

**a. 3 Skyland Way (APN 072-211-12)**

**Property Owner:** Stephen and Hanna Ensley

**Applicant:** Historical Concepts Architecture and Planning

**Project Summary:** The applicant requests pre-application review and recommendation on preliminary design for demolition of the existing house, pool, pool pavilion, and drives. Proposed new construction for a single family-residence to include: main house with attached garage, detached garage, detached guest house, pool, drives, and gardens.

The design team presented the project at 3 Skyland.

The ADR had questions about whether any of the proposed house, pool and landscaping were proposed in the setbacks. There was a question about the seating area, and patios that are proposed in the setback, advised that the applicant should bring all the improvements out of the setbacks. They discussed that the project would be coming in with a non-conformity permit. The ADR discussed that that was probably okay, provided it was not noxious, and impactful to the neighbors. Some suggestions were made to convert the guest house to an ADU which would be mutually beneficial. The ADR asked that as the project goes forward to block out the adjacent neighbors so that it was clear



where they are on the site plan. The massing at the home near the sports court might appear large, depending on what is below it, however difficult to determine at this point, the architects agreed to address that. The basement was discussed, and stacking spaces is okay. The materials were discussed, they have not been determined, however will be natural in appearance. The ADR members thought that the project is beautiful, liked that it is out of the setbacks. The design looks in scale, and the massing is wonderful and can support the non-conformity permit. It was recommended that no Variances be asked for.

**b. 10 Southwood (APN 073-151-23)**

**Property Owner:** Ron and Allison Abta

**Applicant:** Julie M Jonson, AUA LEED

**Project Summary:** The property at 10 Southwood Avenue is a single-family residence approximately 2,341 SF currently under renovation. The project proposes to remove the existing carport and relocate to the west side of the house, this would also relocate the current driveway to the western side of the property. The current driveway is approximately 9 ft wide, located on the east side of the home; therefore, relocating to the west would allow much more generous space.

Additionally, there is an existing cottage in the rear of the property, the project proposes to install a dormer on the second floor, above the existing stair. The existing cottage is original and exists within the rear yard setback. The existing carport that bi-sects the rear yard (proposing to demolish) and the proposed relocation, exist in the side and rear setback.

The project architect introduced the project and the ADR discussed it. There were questions about whether a garage or carport is being proposed, the proposal is for a carport. The idea is that the existing carport be removed, and a new one be removed. A discussion about what the code requires in terms of covered parking, and what that means. The ADR was not favorable to carports. The ADR indicated that they can support the project going forward and it was recommended that the trees remain to construct the carport because they provide great screening.

**5. Communications**

**a. Staff**

**b. ADR Group Members**

**6. Adjournment**

Chair Kruttschnitt adjourned the meeting at 10:12 PM.