



**Agenda Item No. 13a.**

**Staff Report**

**Date:** July 14, 2022

**To:** Mayor Kuhl and Council Members

**From:** Rebecca Markwick, Planning & Building Director

**Subject:** 18 Madrona Avenue

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**Recommendation**

It is recommended that the Town Council consider adoption of Resolution No. 2260 (**Attachment 1**) approving Design Review for the subject project as described below.

**Property Address:** 18 Madrona Avenue  
**A.P.N.:** 072-232-37  
**Applicant:** Sean Bailey  
**Property Owner:** Madrona 18 LLC  
**Zoning:** R-1 B:10 Single Family Residential  
**General Plan:** ML (Medium Low)  
**Flood Zone:** X (Minimal risk area)

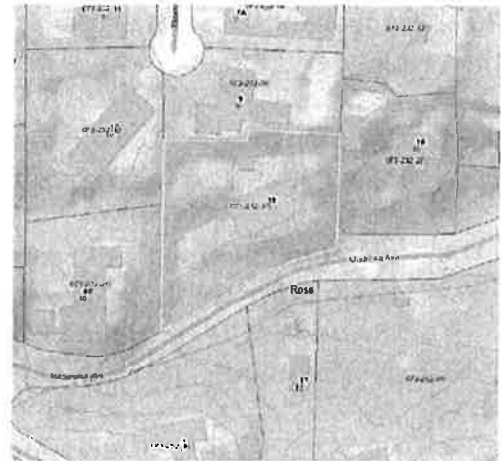
**Project Summary:** The applicant is requesting approval of Design Review for a major renovation and additions to the existing single-family residence. The project includes new landscaping throughout the property, widen the driveway and a new roof on the existing single-family home. The projects conforms to the allowable lot coverage, height and floor area for the zoning district.

**Project Data**

|                                    | <b>Code Standard</b>                       | <b>Existing</b>         | <b>Proposed</b>                                    |
|------------------------------------|--|-------------------------|--|
| <b>Lot Area</b>                    | 10,000 SF                                  | 24,539 SF               | No change  |
| <b>Floor Area (FAR)</b>            | 4,908 (20%)                                | 2,877 SF (12%)          | 4,860 SF (19%)                                     |
| <b>Building Coverage</b>           | 15%  | 3,464 SF (14%)          | 4,460 SF (18%)                                     |
| <b>Front Setback</b>               | 25 feet                                    | 46'                     | 41'1"  |
| <b>Left Side Setback</b>           | 15'  | 61'3.5"                 | 54'6.5"  |
| <b>Right Side Setback</b>          | 15'  | 31'9"                   | 28'2"  |
| <b>Rear Setback</b>                | 40'  | 36'11"                  | No Change  |
| <b>Building Height</b>             | 30'  | 18'3"                   | 25.5'  |
| <b>Off-street Parking Spaces</b>   | 3 off street (1 covered)                   | 3 off street, 2 covered | 3 off street, 2 covered                            |
| <b>Impervious Surface Coverage</b> | Minimize and/or mitigate for any increase. | 9,366 SF                | 10,155 SF<br>Required area of bioretention 63.1 SF |

### **Background**

The project site is a 24,539-square-foot lot on the north side of Madrona Avenue. The lot has an average slope of approximately 16.67%. The property is not designated a hillside lot because the slope is less than 30%. The property contains an existing single-family residence with attached carport, a pool house, barn, and a swimming pool. The east and west side of the property contain a 8 foot utility access easement.



### **Project Description**

The project proposes to add 1,983 square feet to the existing single-family home. The project includes renovation and remodel of the existing 2,877 square foot home, including landscaping throughout the property, and a new roof. The project includes retaining the existing dwellings footprint and adding onto the existing structure on the first and second stories, creating a home that is more modern in appearance. The existing pool and trellis will remain, and new patios, a deck over the garage and outdoor dining areas are proposed. The existing home is outdated and will essentially receive a "face lift," to appear to modern in design. The house design includes large eaves, natural toned sandstone masonry walls, cedar siding and metal railings. The driveway is proposed to be widened slightly at the bottom and repaved, if necessary, after construction. The colors and materials proposed are intended to blend into the natural surroundings and include stained cedar siding, limestone masonry veneer and beige cementitious plaster.

The existing rear, right corner of the home encroaches into the rear yard setback by 3'1". Section 18.52.030 Alterations of Nonconforming structures states that a nonconforming structure may be expanded so long as the expansion complies with all zoning regulations, including parking. In this case the existing portion of the nonconforming structure will remain in the same location and will not be expanded, therefore conforming to section 18.52.030 of the Municipal Code.

Project Plans are included in **Attachment 2** and project application materials as **Attachment 3**.

### **Discussion**

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

#### ***Demolition Permit***

The "small town" quality and feel of the town are heavily shaped by the attributes, integrity, historical character and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of structures with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character. The Town Council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross.

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

If Council intends to approve a Demolition Permit, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community. (Section 18.50.060 (a) (1))**
- **The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town. (Section 18.50.060 (a) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.50.060 (a) (3))**
- **The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood. (Section 18.50.060 (a) (4))**

### ***Design Review***

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per Section 18.41.100 are included as **Attachment 1**.

Pursuant to Town Council Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions to Attics, a Hillside Lot Permit, Variance, and/or ADU Permit Exception.

Pursuant to Section 18.41.20 (a), the proposed project requires a Design Review Permit for exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area; and for an increase to the existing roof height.

If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

#### **Advisory Design Review**

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

The Advisory Design Review (ADR) Group reviewed the project on June 21, 2022. The ADR Group received information from the applicant, received public comments, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Ross Municipal Code Section 18.41.100 and the Town of Ross Design Guidelines.

On June 21, 2022, two of the members supported to the project as proposed and recommended that project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review. Two other members supported the project, however thought that the proposed street façade was imposing over the street. The front façade, given the roof form created more bulk and mass, and the roof overhang over the garage was too large. One of the other members was concerned about the “looming” edge of the roof line from the street perspective. Based on the comments made, the ADR determined that the applicants could work with the two members of ADR who were concerned with the roof height. Subsequently, the applicant amended the plans, and communicated with the two ADR members, and now they are in support of the project. The changes are summarized in Attachment 3 in a memo from Sean Bailey, dated July 5, 2022. Given the proposed changes, the two members that were concerned with the roof lines over Madrona Avenue are now in support of the project.

Minutes of the June 21, 2022 ADR meeting are included as Attachment 5.

### ***Design Review***

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. The Town Council may adopt by resolution standard conditions for all projects to meet.

Pursuant to Section 18.41.20 (a), the proposed project requires a Design Review Permit for exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area; and for an increase to the existing roof height.

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan. The proposed project is not monumental or excessively large size and is compatible with others in the neighborhood and do not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

### **Fiscal, Resource and Timeline Impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed

at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

**Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

**Environmental Review**

The project has been reviewed under the provision of the California Environmental Quality Act (CEQA) and the CEQA Guidelines, California Code of Regulations. On June 9, 2022, the proposed project was determined to be categorically exempt from CEQA pursuant to Section 15301 because the proposed project consists of the project consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use.

**Public Comment**

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date pursuant to the Ross Municipal Code. No comments were received prior to the finalization of this report. Comments were received in support of the project prior to the June 21, 2022, ADR meeting, including 10, 14, 15 and 16 Madrona Avenue.

**Attachments**

1. Resolution No. 2260
2. Project Plans
3. Application Materials
4. ADR Group Meeting Minutes, June 21, 2022 (draft)
5. Correspondence

# ATTACHMENT 1



# **TOWN OF ROSS**

## **RESOLUTION NO. 2260**

### **A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW AND DEMOLITION FOR EXTERIOR RENOVATIONS AND REMODEL TO THE EXISTING SINGLE FAMILY HOME AND CARPORT LOCATED AT 18 MADRONA AVENUE, A.P.N. 072-232-37**

**WHEREAS**, applicant Sean Bailey, on behalf of property owners Madrona 18 LLC has submitted an application requesting approval of Design Review and Demolition Permit to renovate and remodel the exterior of the existing single family home and carport at 18 Madrona Avenue, A.P.N. 072-232-37 (herein referred to as "the Project").

**WHEREAS**, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use; and

**WHEREAS**, on July 14 2022, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review, Demolition and Nonconformity Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 14<sup>th</sup> day of July 2022, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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P. Beach Kuhl, Mayor

**ATTEST:**

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Linda Lopez, Town Clerk

**EXHIBIT "A"**  
**FINDINGS**  
**18 MADRONA AVENUE**  
**A.P.N. 072-232-37**

- I. In accordance with Ross Municipal Code Section 18.41.070 (b), Design Review is approved based on the following mandatory findings:

**(1) The project is consistent with the purpose of Design Review as outlined in Section 18.41.010.**

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan.

**(2) The project is in substantial compliance with the design criteria of Section 18.41.100.**

Lot coverage and building footprints are minimized, and development clustered, to minimize site disturbance. New structures and additions avoid monumental or excessively large size. Buildings are compatible with others in the neighborhood and do not attract attention to themselves. Buildings use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Good access, circulation and off-street parking is provided. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Decks, balconies and other outdoor areas are sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping protects privacy between properties. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

**(3) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, and the Hillside Lot regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance. Consistent with Chapter 18.48, findings are recommended to support the requested variance to allow for the proposed minor setback encroachments on a Hillside Lot.

- II. In accordance with Ross Municipal Code Section 18.50.060 (a), Demolition Permit is approved based on the following mandatory findings:

**(1) The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level.

- (2) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.**

The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located.

- (3) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance.

**EXHIBIT "B"**  
**CONDITIONS OF APPROVAL**  
**18 MADRONA AVENUE**  
**A.P.N. 072-232-37**

1. This approval authorizes Design Review and Demolition for a remodel and renovations to the existing single-family dwelling and carport located at 18 Madrona Avenue A.P.N. 072-232-37 (herein referred to as "the Project").
2. The building permit shall substantially conform to the plans prepared by Sean Baily Design entitled, "18 Madrona Avenue Planning Town Council Hearing Set-July 5, 2022", dated July 5, 2022; and reviewed and approved by the Town Council on July 14, 2022.
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:

- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of

their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
  - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
  - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department



of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

## ATTACHMENT 2



#### PROJECT DIRECTORY

**OWNER**  
Madrona 18, LLC  
18 Madrona Ave.  
Ross, CA 94957

18madrona@gmail.com

**ARCHITECT**  
Sean Bailey Design  
253 10th Avenue  
San Francisco, CA 94116

Sean Bailey, Principal  
Tel: 363.364.6152  
sean.bailey1514@gmail.com

**CIVIL ENGINEER**  
Prockers Engineering and  
Celebrations, Inc.  
13318 Old County Road  
Belmont, CA 94002

Travis Lutz, P.E., OGD/CEP  
Tel: 850.226.5040  
travis@prockers-inc.com

**LANDSCAPE ARCHITECT**  
Studio Green  
232 De France Drake Blvd  
San Anselmo, CA 94960

John Martin, Principal  
Tel: 415.721.1952  
john@studiogreen.com

A.P.N. 073-232-37

# 18 MADRONA AVENUE

PLANNING TOWN COUNCIL HEARING SET - JULY 5, 2022

Ross, California 94957

SEAN  
BAILEY  
DESIGN



[illegible]

|  |   |
|--|---|
|  | STRUCTURAL GRID                               |
|  | NORTH ARROW                                   |
|  | ROOM NAME / NUMBER / SQUARE FOOTAGE           |
|  | DETAIL<br>DRAWING 1, SHEET A1 (1)             |
|  | ELEVATION<br>DRAWING 1, SHEET A1 (1)          |
|  | SECTION<br>DRAWING 1, SHEET A1 (1)            |
|  | INTERIOR ELEVATION<br>DRAWING 1, SHEET A1 (1) |
|  | WORK / DATUM POINT                            |
|  | KEYNOTE                                       |
|  | REVISION NUMBER                               |
|  | WALL TYPE                                     |
|  | DOOR TYPE<br>[RE: DOOR SCHEDULE]              |
|  | WINDOW TYPE<br>[RE: WINDOW SCHEDULE]          |
|  | ALIGN   |
|  | DIMENSION                                     |

|   |  |
|---|--|
| <b>PROJECT DESCRIPTION</b>  |  |
| Construction of a 4,650 square foot two-story, single-family residence (removal and addition) and adjacent site and landscaping improvements at the 18 Madison Ave in Rose, CA. |  |
| <b>LOCATION</b>   | 18 Madison Ave, Rose, CA 94672           |
| <b>A.P.N.</b>   | 073-223-37                               |
| <b>ZONING</b>   | Single Family Residential (R-1 District) |
| <b>OCCUPANCY CLASSIFICATION</b>   | R-1-B10                                  |
| <b>DESCRIPTION OF USE</b>   | Single Family Residence                  |
| <b>CONSTRUCTION TYPE</b>  | Type VB                                  |
| <b>NUMBER OF STORIES</b>  | 2  |
| <b>SPRINKLERS</b>   | Yes                                      |
| <b>SEISMIC DESIGN CATEGORY</b>  | D  |

| LOT AREA                | 24,539 SQ. FT. ON 0.56 ACRES          | 24,539 SQ. FT. ON 0.56 ACRES | 24,539 SQ. FT. ON 0.56 ACRES |
|-------------------------|---------------------------------------|------------------------------|------------------------------|
| FLOOR AREA:             | 4,908 SQ. FT. ALLOWED                 | 2,877 SQ. FT.                | 4,908 SQ. FT.                |
| FLOOR AREA RATIO:       | 20%                                   | 12%                          | 20%                          |
| LOT COVERAGE:           | 4,908 SQ. FT. ALLOWED                 | 3,464 SF                     | 4,460 SF                     |
| LOT COVERAGE RATIO:     | 20%                                   | 14%                          | 18%                          |
| FRONT YARD SETBACK:     | 25' - 0"                              | 40' - 0"                     | 87' - 11"                    |
| LEFT SIDE YARD SETBACK  | 15' - 0"                              | 87' - 3 1/2"                 | 54' - 5 1/2"                 |
| RIGHT SIDE YARD SETBACK | 15' - 0"                              | 33' - 0"                     | 26' - 2"                     |
| REAR YARD SETBACK       | 40' - 0"                              | 30' - 11"                    | 36' - 11"                    |
| BUILDING HEIGHT         | 30' - 0" ABOVE (E) GRADE              | 19' - 2" ABOVE (E) GRADE     | 25' - 10" ABOVE (E) GRADE    |
| ON-STREET PARKING:      | 3 OFF-STREET PARKING SPOTS, 1 COVERED | 3 OFF-STREET, 2 COVERED      | 2 OFF-STREET, 3 COVERED      |

[illegible]

## ARCHITECTURAL:

- A01 COVER SHEET
- A02 PROJECT DATA AND INFORMATION
- A03 INTRODUCTION BOARD
- A04 2D HOUSEHOLD
- A05 3D HOUSEHOLD
- A06 3D HOUSEHOLD WITH LUSH PACE OVERHAUL
- A07 HOUSEHOLD
- A08 3D HOUSEHOLD
- A09 3D HOUSEHOLD
- A10 3D HOUSEHOLD
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- A12 3D HOUSEHOLD
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- A100 3D HOUSEHOLD

## LANDSCAPE:

- L01 COVER SHEET
- L02 PROJECT DATA AND INFORMATION
- L03 INTRODUCTION BOARD
- L04 2D LANDSCAPE
- L05 3D LANDSCAPE
- L06 3D LANDSCAPE WITH LUSH PACE OVERHAUL
- L07 LANDSCAPE
- L08 3D LANDSCAPE
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- L100 3D LANDSCAPE



18 madrona

AW 07/20/20

| NO. | DATE     | REVISION |
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| 1   | 07/20/20 | INITIALS |
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VALTERRA & BOWARD  
ARCHITECTS  
10000 15th St, Suite 100  
San Diego, CA 92161  
Tel: 619.594.1100  
www.valterraandboward.com

A0.2



1. WOOD MATERIAL, VERTICAL SLATS, 1/2" x 6" x 12' (1/2" x 6" x 12')



2. STONE MATERIAL, 1/2" x 6" x 12' (1/2" x 6" x 12')



3. METAL MATERIAL, 1/2" x 6" x 12' (1/2" x 6" x 12')



4. GLASS MATERIAL, 1/2" x 6" x 12' (1/2" x 6" x 12')



5. WOOD MATERIAL, VERTICAL SLATS, 1/2" x 6" x 12' (1/2" x 6" x 12')



6. SOLID MATERIAL, 1/2" x 6" x 12' (1/2" x 6" x 12')



7. SOLID MATERIAL, 1/2" x 6" x 12' (1/2" x 6" x 12')





18madrona  
San Jose, CA 95127

APR 17/2022

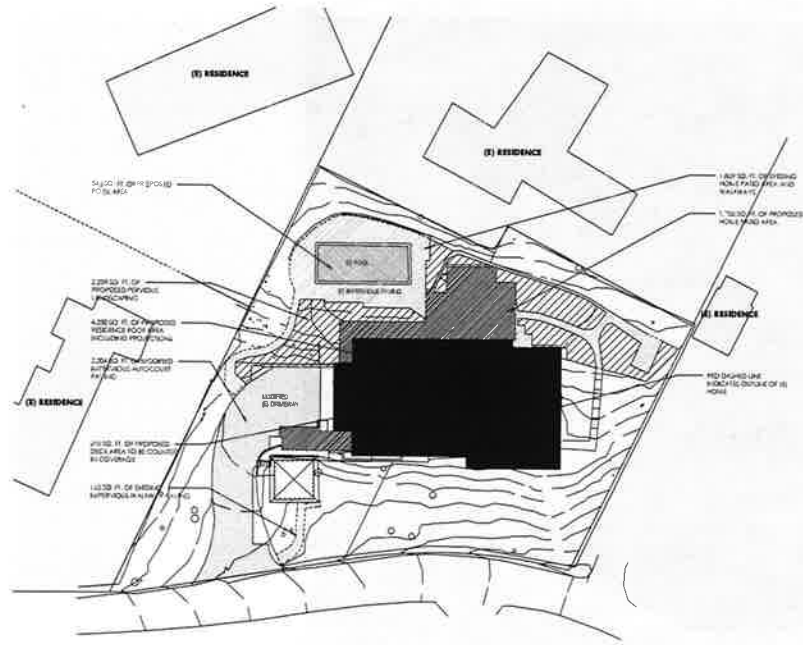
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18madrona  
San Jose, CA 95127

APR 17/2022

A0.3

2022



1 Site Plan - Lot Coverage Plan  
Scale: 1" = 20'

#### Site Area Calculations

| LOT COVERAGE CALCULATIONS:             |  |
|--|--|
| LOT COVERAGE AREAS:                    |  |
| RESIDING COVERAGE                      | MAIN RESIDENCE 4,320 SQ. FT.             |
| HARDSCAPE COVERAGE                     | EXCEPT AREAS 10' ABOVE GRADE 310 SQ. FT. |
| LANDSCAPE COVERAGE                     | EXCEPT AREAS 10' ABOVE GRADE 310 SQ. FT. |
| TOTAL RESIDING + AREAS 10' ABOVE GRADE | 4,630 SQ. FT.                            |
| TOTAL LANDSCAPE COVERAGE               | 3,340 SQ. FT.                            |

UNCONDITIONED FLOOR AREA  
2-CAR GARAGE: 665 SF  
CONDITIONED FLOOR AREA  
MAIN RESIDENCE LOWER LEVEL: 1,517 SF

2 floor area plan - lower level proposed  
Scale: 1/8" = 1'-0"

UNCONDITIONED FLOOR AREA  
POOL EQUIP. AND STORAGE: UNDER 4' IN HT. AND NOT COUNTED IN F.A.E.  
CONDITIONED FLOOR AREA  
MAIN RESIDENCE UPPER LEVEL: 2,478 SF

3 floor area plan - upper level proposed  
Scale: 1/8" = 1'-0"

#### Floor Area Calculations

| FLOOR AREA CALCULATIONS:                  |          |
|---|----------|
| UNCONDITIONED SPACE                       |          |
| 2-CAR GARAGE LOWER LEVEL                  | 665 SF   |
| 2-CAR GARAGE UPPER LEVEL                  | 2,478 SF |
| TOTAL UNCONDITIONED                       | 3,143 SF |
| CONDITIONED SPACE                         |          |
| MAIN RESIDENCE LOWER LEVEL                | 1,517 SF |
| MAIN RESIDENCE UPPER LEVEL                | 2,478 SF |
| TOTAL CONDITIONED                         | 3,995 SF |
| TOTAL AREA PER TOWN OF BOSE PLANNING CODE | 6,838 SF |

| NO. | DATE     | REVISION          |
|-----|----------|-------------------|
| 1   | 04/20/12 | ISSUED FOR PERMIT |
| 2   | 04/20/12 | ISSUED FOR PERMIT |
| 3   | 04/20/12 | ISSUED FOR PERMIT |
| 4   | 04/20/12 | ISSUED FOR PERMIT |
| 5   | 04/20/12 | ISSUED FOR PERMIT |
| 6   | 04/20/12 | ISSUED FOR PERMIT |
| 7   | 04/20/12 | ISSUED FOR PERMIT |
| 8   | 04/20/12 | ISSUED FOR PERMIT |
| 9   | 04/20/12 | ISSUED FOR PERMIT |
| 10  | 04/20/12 | ISSUED FOR PERMIT |

FLOOR AREA AND LOT  
COVERAGES FOR LOT 18

APR 20, 2012

A0.4



LOWER THE SHED ROOF OVER THE  
MAIN LIVING SPACES BY 18" SO  
BACK TOP PLATE IS SET AT +9'-6"

REMOVE 3' 7 1/2" OF THE  
CANTILEVERED ROOF  
FACING DRIVEWAY

LOWER THE SHED ROOF OVER THE  
BEDROOMS BY 6" SO BACK TOP  
PLATE IS SET AT +7'-10"

REMOVE 1 - 6" OF THE CANTILEVERED  
ROOF PRIMARY BEDROOM FACING  
MADRONA AVE.



PUSH PRIMARY  
BEDROOM WALL 6"  
TOWARDS REAR YARD  
AND AWAY FROM  
MADRONA AVE.

PUSH EDGE OF DECK  
AND SCREENING  
LOUVERS 1' - 2"  
TOWARDS REAR YARD  
AND AWAY FROM  
MADRONA AVE.

PROPOSED CHANGES FOR ADRG MEMBERS

18 madrona  
A00.000000

REV. 07/20/21

| NO. | DATE     | DESCRIPTION       |
|-----|----------|-------------------|
| 1   | 07/20/21 | ISSUED FOR PERMIT |
| 2   | 07/20/21 | ISSUED FOR PERMIT |
| 3   | 07/20/21 | ISSUED FOR PERMIT |
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| 9   | 07/20/21 | ISSUED FOR PERMIT |
| 10  | 07/20/21 | ISSUED FOR PERMIT |

SEAN BAILEY DESIGN

2600 Magnolia Avenue  
Lafayette, CA 94503  
Tel: 925.564.9032

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18 madrona

A0.5

07/20/21

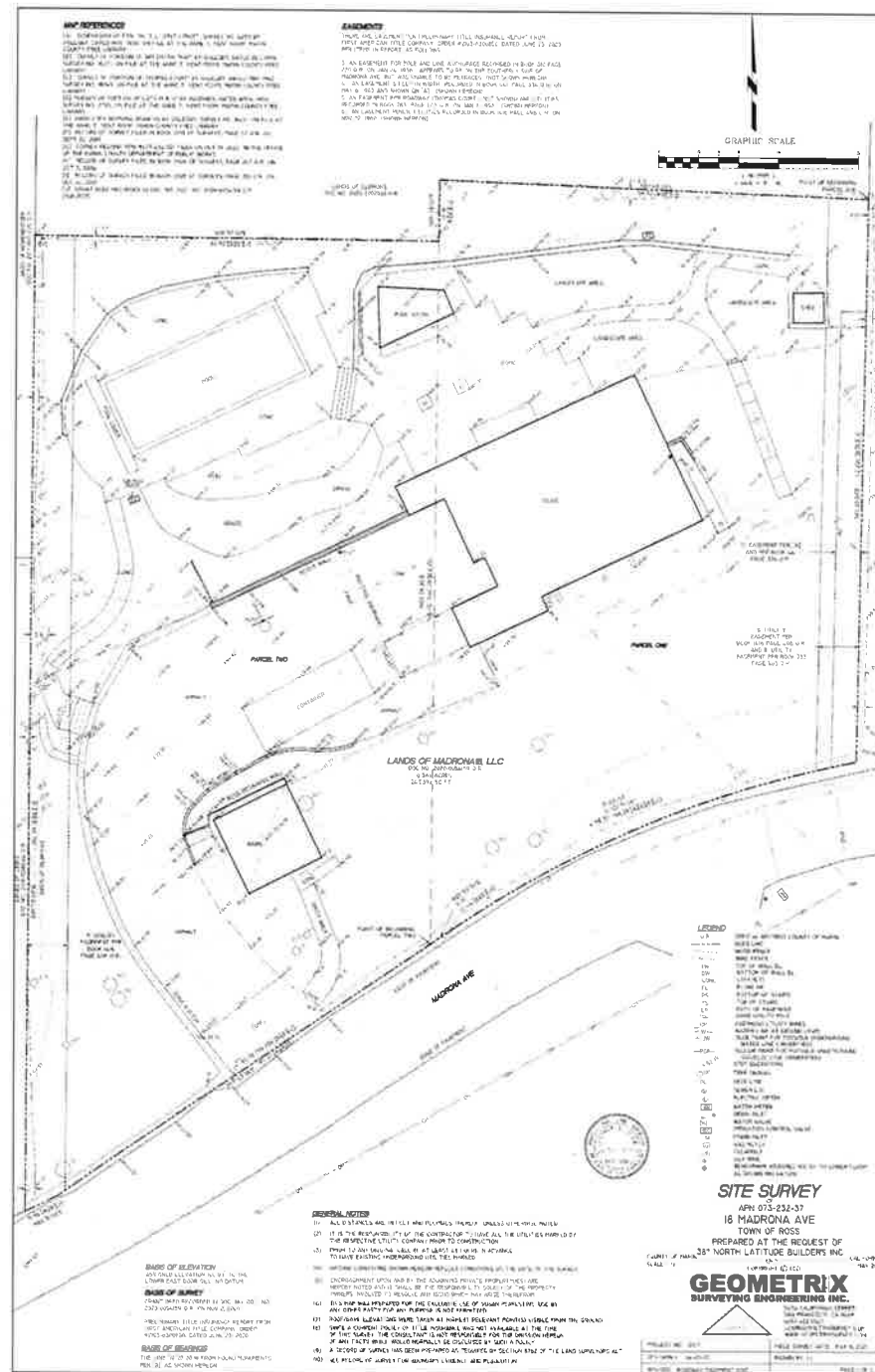
18 madrona

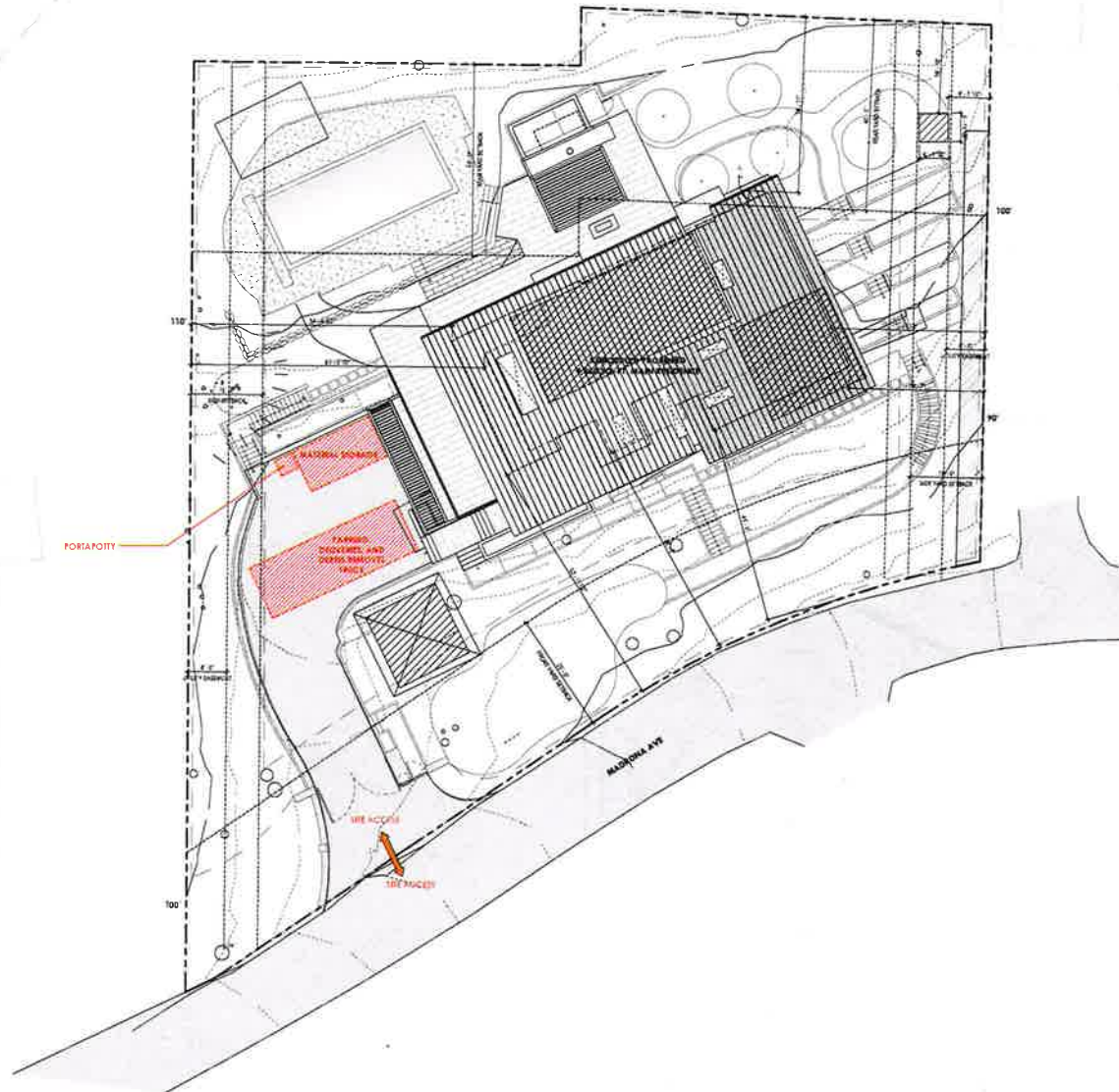
2600 Magnolia Avenue  
Lafayette, CA 94503  
Tel: 925.564.9032











- Job Site Rules:**
- Hours of operation listed below will be strictly adhered to as follows:
    - Construction hours are limited by the local noise code to weekdays from 7:00 AM to 6:00 PM.
    - Construction hours are not allowed before 8:00 AM or after 5:00 PM.
    - Construction not allowed on Sundays, holidays or holidays.
    - Project deliveries are limited to MON-FRI 10:00 AM to 4:00 PM on weekdays between 9:00 AM and 4:00 PM.
  - The property owner will provide a vehicle for the contractor to use on each day with hours on site and work on site.
  - All vehicles are responsible to park up their own truck and trailer.
  - All debris from day's activities will be picked up and the area brown swept and properly disposed of or recycled.
  - Radio volume to be minimal and restricted to the immediate work area.
  - There will be no use of alcohol or substances used on or near the property or from the site.
  - Smoking is prohibited on site and within 10 feet of any building.
  - No talking with obscenely language or gestures are allowed.
  - Subcontractors are responsible to secure their own tools and equipment.
  - Any injury, no matter how small, must be reported to the superintendent immediately.
  - All subcontractors are required to have their own first aid kit, properly supplied on the job site at all times.

**Vehicle Parking:**  
Project vehicles shall park at the project site. Any project-related vehicles, contractors or subcontractors unable to park at the site will be required to use an accessible vehicle to arrive to the site.

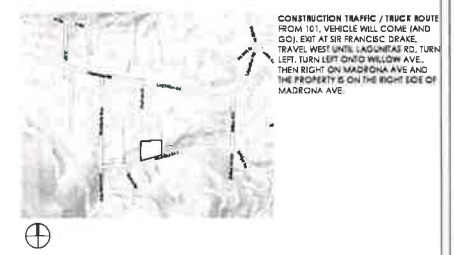
**Road Impacts (Road or Lane Closures, Lane Shift or Traffic Control):**  
Shall only be permitted with prior notification from the Department of Public Works consistent with the City's road impact policy. Requests wanting to close the road are required to obtain a Road Impact Permit from the Department of Public Works and to provide written notification to affected property owners and neighbors, and post the road closure 48 hours in advance of work.

**Material Storage:**  
All construction materials, debris and equipment shall be stored on site. Portable toilets and job sheds will not be permitted to be placed in the public right-of-way. Portable toilets shall utilize a secondary containment system.

**Submittals:**  
It shall be the responsibility of the project architect or their designated representative to submit the City of any submittals to the City to verify the neighboring property owners of modifications to the CDM and to post any modifications of the CDM to the job site.

**Location of any items on the approved Construction Management Plan or other applicable construction management requirement only result in a "Stop Work" order. The "Stop Work" order will be lifted only after the City has sufficient assurance that the repeated violation will cease through the remainder of the project.**

- This plan shall be a binding document, failure to adhere to the plan may result in closure of the project. This plan shall be updated as project conditions change. Updates to plan shall be provided to the Department of Public Works.
- Consent must be obtained from the Department of Public Works to obtain a lane closure, road closure and/or a transportation permit if construction vehicles exceeding 25 feet in length are required at any time during the construction period.



### CONSTRUCTION SCHEDULE/INFO:

TOTAL PROJECT DURATION: 30 MONTHS

| SCHEDULE PHASE             | DURATION  | START    |
|----------------------------|-----------|----------|
| MOBILIZATION               | 1 MONTH   | 07/01/22 |
| DEMOLITION                 | 1 MONTH   | 06/01/22 |
| ROUGH FRAMING/CONSTRUCTION | 10 MONTHS | 07/01/22 |
| INTERIOR FINISH WORK       | 7 MONTHS  | 06/01/23 |
| LANDSCAPING                | 1 MONTH   | 04/01/24 |
| COMPLETION/OCCUPANCY       | 5 DAYS    | 04/01/24 |



18 madrona  
KOLLA SAMPST

[illegible] FLDWY PLAN - LOWER  
LEVEL F/51100 /  
0000

June 29, 2012

**A2.0**

Altruism is also moral agency over common goods and resources and it is, of course, not only to be understood and is influential in the lives of the

legend

 (1) 图中所示的电路，当开关 S 闭合时，电路中的电流 I 与电阻 R 的关系是：

 (2) 图中所示的电路，当开关 S 闭合时，电路中的电流 I 与电阻 R 的关系是：

 (3) 图中所示的电路，当开关 S 闭合时，电路中的电流 I 与电阻 R 的关系是：

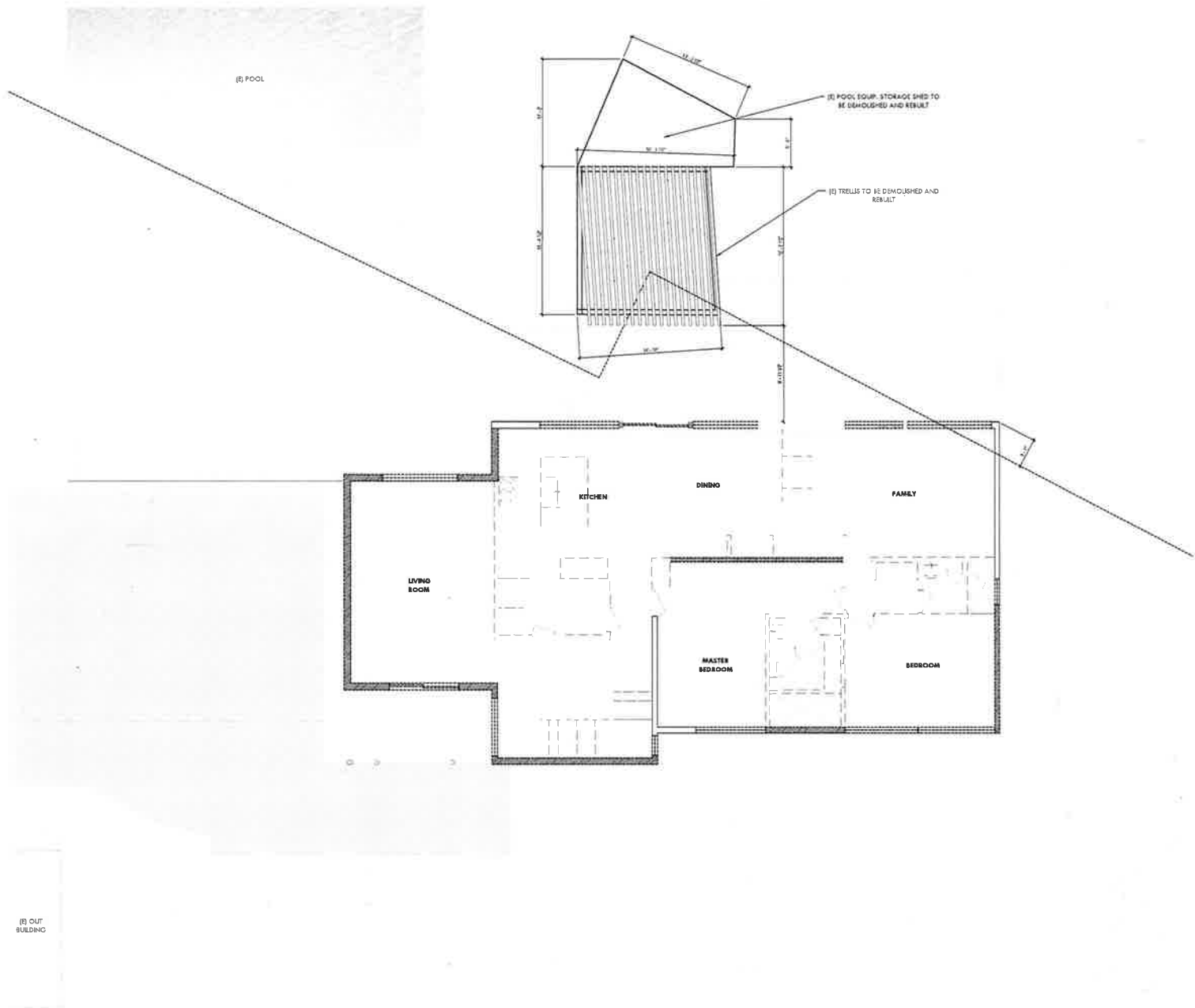
 (4) 图中所示的电路，当开关 S 闭合时，电路中的电流 I 与电阻 R 的关系是：

sheet piles

OUR BUILDING

1 floor plan - lower level existing / demo

**A2.0**



general notes

legend

- EXISTING FLOORING
- EXISTING FLOORING TO BE DEMOLISHED
- DEMOLITION PER CLAYTON & CLAYTON

sheet notes

SEAN  
BAILEY  
DESIGN  
www.seanbaileydesign.com  
2880 Maple Avenue  
Larkspur, CA 94032  
Tel 360.564.0252

18 madrona

Roll: CA 94937

APR 17/2012

| Rev | Description                  | Date     |
|-----|------------------------------|----------|
| 1   | Initial Design               | 04/17/12 |
| 2   | Revised Design               | 04/17/12 |
| 3   | Final Design                 | 04/17/12 |
| 4   | Construction Documents       | 04/17/12 |
| 5   | Final Construction Documents | 04/17/12 |
| 6   | Final Construction Documents | 04/17/12 |
| 7   | Final Construction Documents | 04/17/12 |
| 8   | Final Construction Documents | 04/17/12 |
| 9   | Final Construction Documents | 04/17/12 |
| 10  | Final Construction Documents | 04/17/12 |



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04/17/12

18 madrona

A2.1

1 floor plan - upper level existing / demo





general notes

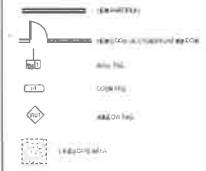
FLOOR AREA SUMMARY:

|                         |               |
|-------------------------|---------------|
| LOWER LEVEL CONDITIONED | 1,517 SQ. FT. |
| LOWER LEVEL GARAGE      | 845 SQ. FT.   |
| UPPER LEVEL CONDITIONED | 2,678 SQ. FT. |
| UPPER LEVEL POOL EQUIP. | 46 SQ. FT.    |

TOTAL (PER T.O.P. STANDARDS) 4,906 SQ. FT.

ALLOWABLE FLOOR AREA PER ZONING:  
4,100 SQ. FT.

legend



sheet notes

- 1. ALL FINISHES TO BE AS SHOWN ON THE PLAN.
- 2. ALL FINISHES TO BE AS SHOWN ON THE PLAN.
- 3. ALL FINISHES TO BE AS SHOWN ON THE PLAN.
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18 madrona  
K.S. 66044

APR 17, 2013

| NO. | DATE    | DESCRIPTION       |
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| 10  | 4/17/13 | ISSUED FOR PERMIT |

FLOOR PLAN - UPPER  
LEVEL PROPOSED

Scale: 1/8" = 1'-0"

DATE: 4/17/13

BY: SEAN BAILEY

2013

2013

2013

2013

2013

2013

A2.3

1/8" = 1'-0"

DATE: 4/17/13

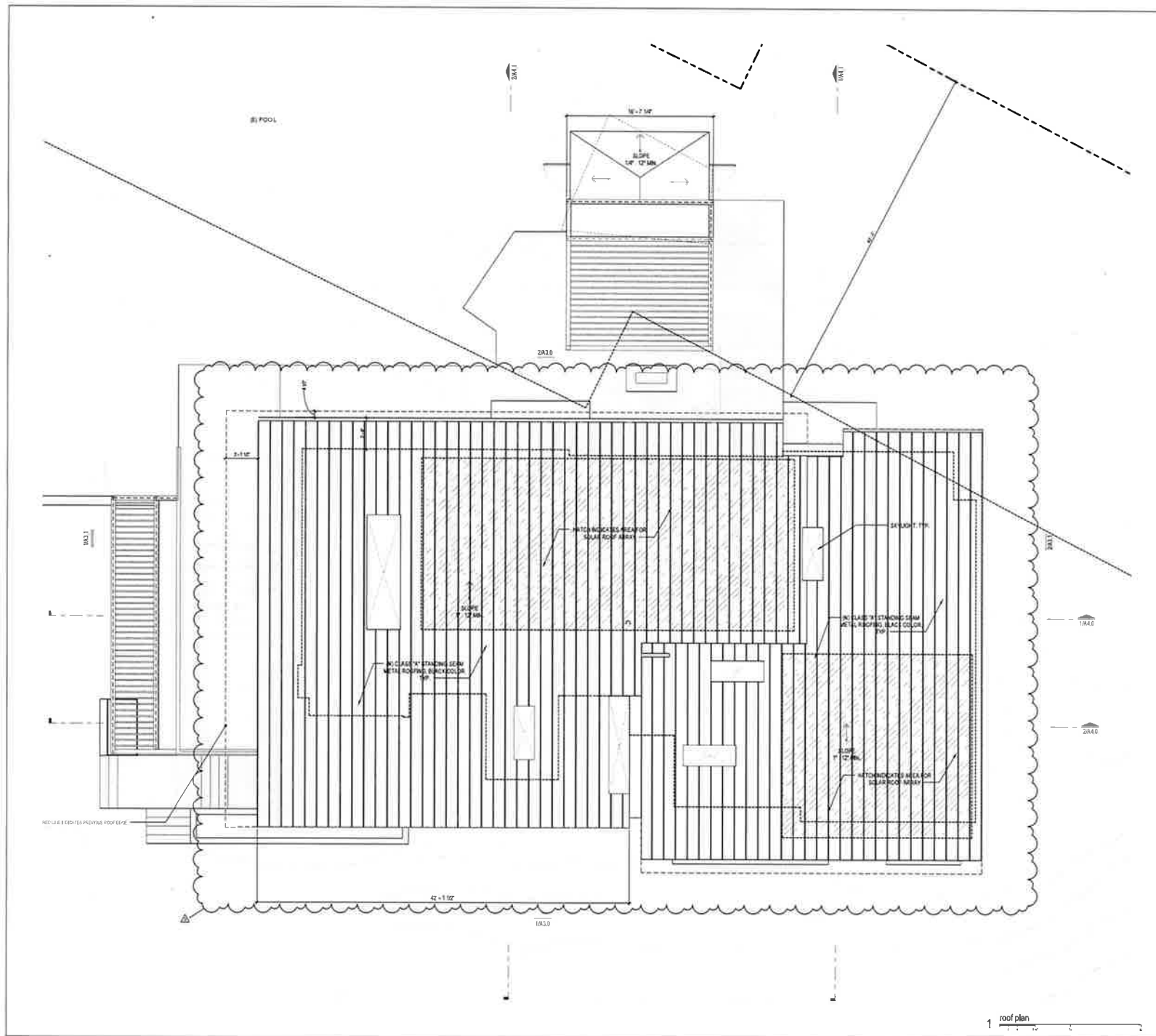
BY: SEAN BAILEY

2013

2013

1 floor plan - upper level proposed





general notes

legend

sheet notes

SEAN  
BAILEY  
DESIGN  
www.seanbaileydesign.com  
2608 Magnolia Avenue  
Lorain, CA 94029  
708.970.5432

18madrona

APR 17, 2017

| NO. | DESCRIPTION |
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18madrona

18madrona

A2.4

2017.12

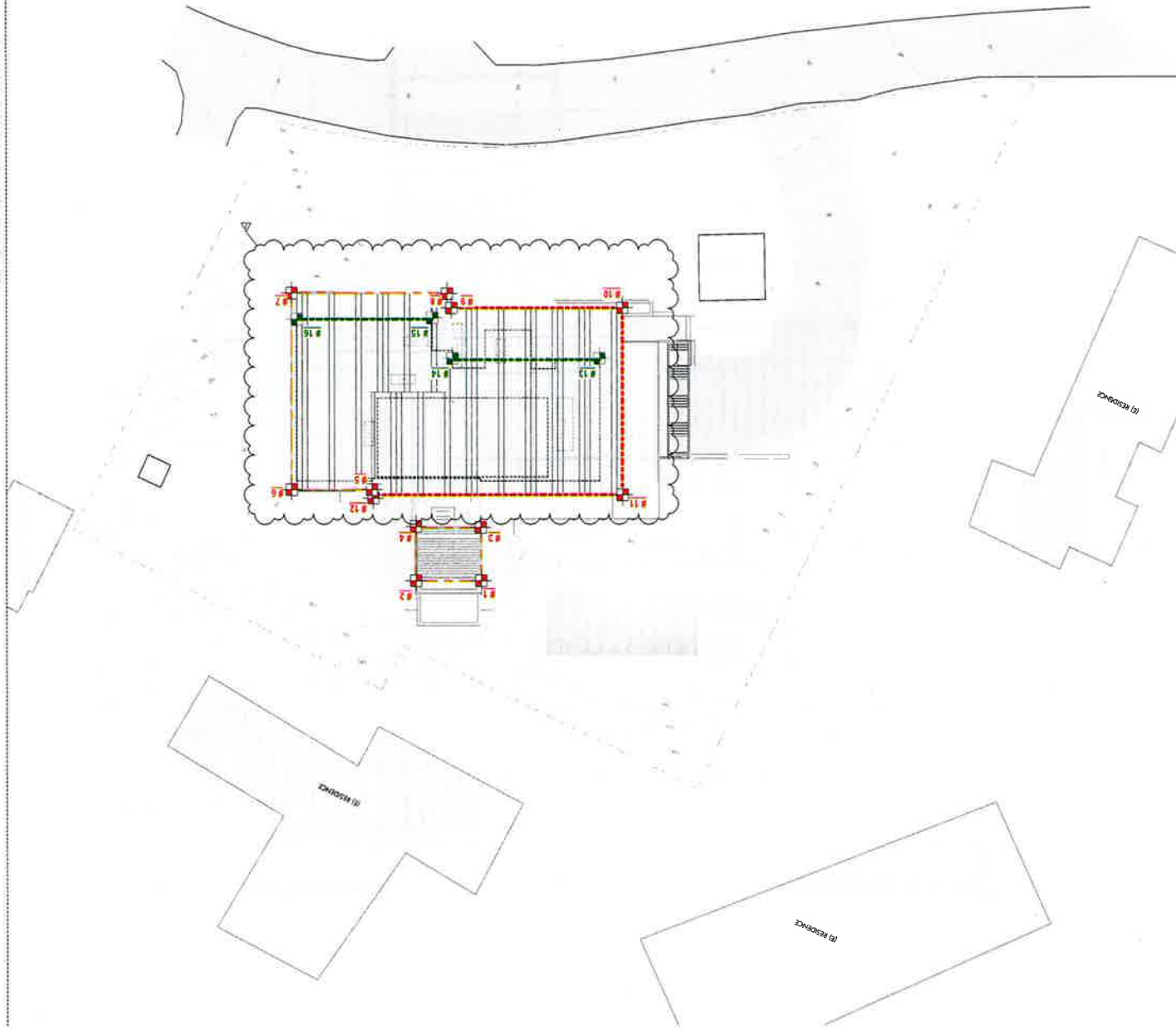
18madrona

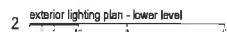
story-pole plan

| Year | Population | Population | Population |
|------|------------|------------|------------|
| 1970 | 1,000,000  | 1,000,000  | 1,000,000  |
| 1975 | 1,100,000  | 1,100,000  | 1,100,000  |
| 1980 | 1,200,000  | 1,200,000  | 1,200,000  |
| 1985 | 1,300,000  | 1,300,000  | 1,300,000  |
| 1990 | 1,400,000  | 1,400,000  | 1,400,000  |
| 1995 | 1,500,000  | 1,500,000  | 1,500,000  |
| 2000 | 1,600,000  | 1,600,000  | 1,600,000  |
| 2005 | 1,700,000  | 1,700,000  | 1,700,000  |
| 2010 | 1,800,000  | 1,800,000  | 1,800,000  |
| 2015 | 1,900,000  | 1,900,000  | 1,900,000  |
| 2020 | 2,000,000  | 2,000,000  | 2,000,000  |

[illegible]

LEGEND:





**DELTA LIGHT**

**DELTAIGHT**                

© 2006 The Authors  
Journal compilation © 2006 Blackwell Publishing Ltd

sheet notes

## A2.6

| Q. No. | Ans. Notes                      |
|--------|---------------------------------|
| 1      | 1. $\frac{1}{2} \times 10 = 5$  |
| 2      | 2. $\frac{1}{2} \times 10 = 5$  |
| 3      | 3. $\frac{1}{2} \times 10 = 5$  |
| 4      | 4. $\frac{1}{2} \times 10 = 5$  |
| 5      | 5. $\frac{1}{2} \times 10 = 5$  |
| 6      | 6. $\frac{1}{2} \times 10 = 5$  |
| 7      | 7. $\frac{1}{2} \times 10 = 5$  |
| 8      | 8. $\frac{1}{2} \times 10 = 5$  |
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| 10     | 10. $\frac{1}{2} \times 10 = 5$ |
| 11     | 11. $\frac{1}{2} \times 10 = 5$ |
| 12     | 12. $\frac{1}{2} \times 10 = 5$ |
| 13     | 13. $\frac{1}{2} \times 10 = 5$ |
| 14     | 14. $\frac{1}{2} \times 10 = 5$ |
| 15     | 15. $\frac{1}{2} \times 10 = 5$ |
| 16     | 16. $\frac{1}{2} \times 10 = 5$ |
| 17     | 17. $\frac{1}{2} \times 10 = 5$ |
| 18     | 18. $\frac{1}{2} \times 10 = 5$ |
| 19     | 19. $\frac{1}{2} \times 10 = 5$ |
| 20     | 20. $\frac{1}{2} \times 10 = 5$ |



June 29, 2022

### A3.0

17.12

<sup>14</sup> Examples are: either second monetary base currency is used, or gold/silver/ruby is used; the second currency is in abundance, and it contains either a few pieces of the system.

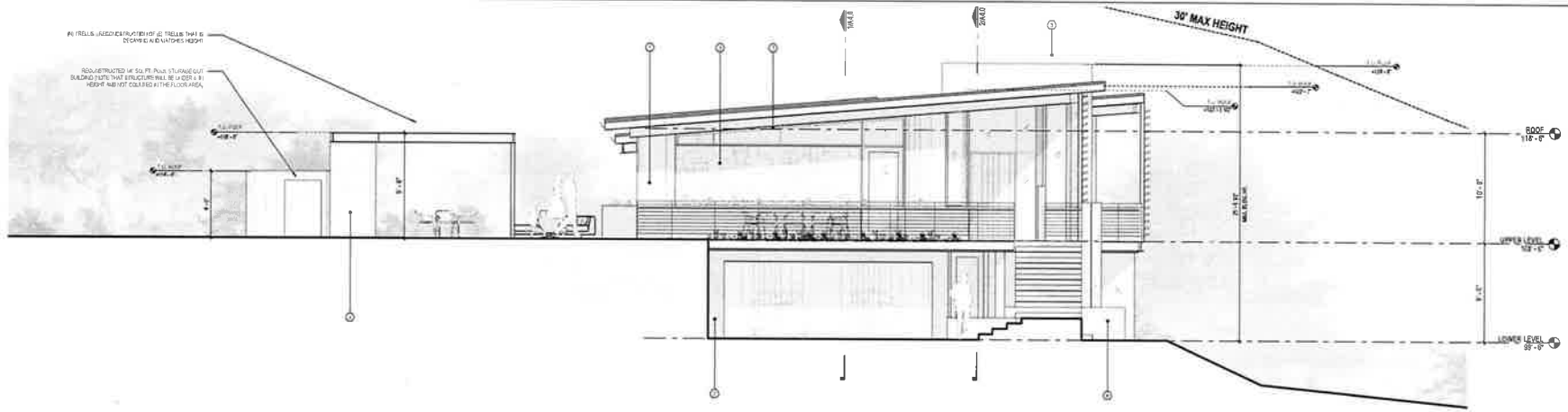


|      |   |
|------|---|
| 2.01 | 4" GLASS RAILING WITH PTD. METAL POSTS AND 1/2" WOOD OF P, TYP.                             |
| 2.02 | EXTERIOR PURPLE ANVIL FAVOR LANDSCAPE STEPS. SEE SPECS. AND LANDSCAPE DRAWINGS FOR DETAILS. |
| 2.03 | COLD POLISHED STEEL PLATE (MIN. 5/8")   |
| 2.04 | EXTERIOR PERFORATED METAL STAIR UP TO OFFICE DECK   |
| 2.05 | WATERFALL EDGE OF 8' FINITE POOL. SEE DETAILS.  |

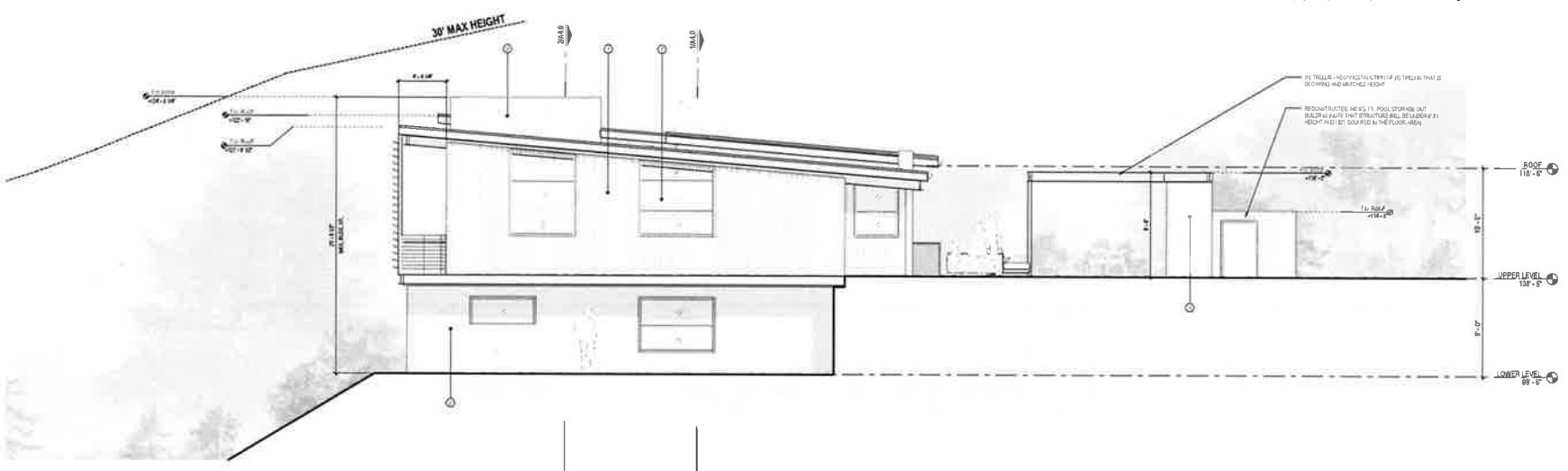
- ① **STAINLESS STEEL** - **RESISTANT TO CORROSION** - **MAINTAINS ITS LUSTER FOR YEARS**
- ② **HEAVY DUTY** - **DESIGNED TO WITHSTAND THE HARSH WEATHER CONDITIONS**
- ③ **ANTI-RUST TREATMENT** - **PREVENTS RUSTING**
- ④ **WEATHER RESISTANT** - **PERFECT FOR OUTDOOR USE**
- ⑤ **BLAZED GRILL** - **CLASSIC**
- ⑥ **THE STAINLESS STEEL** - **PERFECT FOR OUTDOOR USE**
- ⑦ **STAINLESS STEEL** - **PERFECT FOR OUTDOOR USE**
- ⑧ **STAINLESS STEEL** - **PERFECT FOR OUTDOOR USE**
- ⑨ **STAINLESS STEEL** - **PERFECT FOR OUTDOOR USE**
- ⑩ **STAINLESS STEEL** - **PERFECT FOR OUTDOOR USE**

تولید کننده: شرکت پارس پلاستیک

### A3.0



1 building elevation - west proposed



2 building elevation - east proposed

sheet notes

- 1. 4" GALV. RAILING WITH P.O.C. METAL POSTS AND PIPE WOOD GRIP, TYP.
- 2. EXTERIOR PORCELAIN FLOOR UNDER W/TE STEPS. SEE EXTERIOR AND LANDSCAPE DRAWINGS FOR DETAILS.
- 3. 60-LB POLYESTER PLASTER, ALL.
- 4. EXTERIOR WOOD FLOORING METAL LATH UP TO OFFICE DECK.
- 5. MATERIALS LIST OF SUPPLY POOL, SEE DETAIL 5.

legend

- 1. THE RECONSTRUCTED 160 SQ. FT. POOL STORAGE OUT BUILDING TO MATCH EXISTING STRUCTURE AND BE UNDER 11' HEIGHT WHEN COULDED IN THE FLOOR AREA.
- 2. 4" GALV. RAILING WITH P.O.C. METAL POSTS AND PIPE WOOD GRIP, TYP.
- 3. 60-LB POLYESTER PLASTER, ALL.
- 4. EXTERIOR WOOD FLOORING METAL LATH UP TO OFFICE DECK.
- 5. MATERIALS LIST OF SUPPLY POOL, SEE DETAIL 5.
- 6. 2" DIA. POLYESTER WOOD LATH, FOR ORIENTED.
- 7. EXTERIOR WOOD FLOORING METAL LATH UP TO OFFICE DECK.
- 8. 60-LB POLYESTER PLASTER, ALL.
- 9. 4" GALV. RAILING WITH P.O.C. METAL POSTS AND PIPE WOOD GRIP, TYP.

general notes

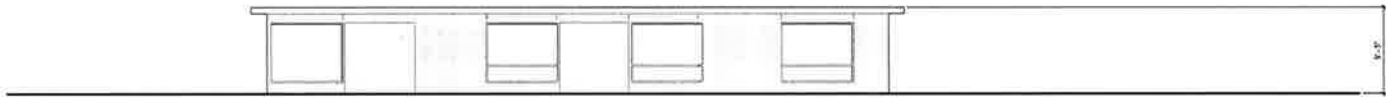
18 madrona  
Larkspur, CA 94937  
415.544.6272

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| 2   | 18 madrona  | 10/1/18 |
| 3   | 18 madrona  | 10/1/18 |
| 4   | 18 madrona  | 10/1/18 |
| 5   | 18 madrona  | 10/1/18 |
| 6   | 18 madrona  | 10/1/18 |
| 7   | 18 madrona  | 10/1/18 |
| 8   | 18 madrona  | 10/1/18 |
| 9   | 18 madrona  | 10/1/18 |
| 10  | 18 madrona  | 10/1/18 |

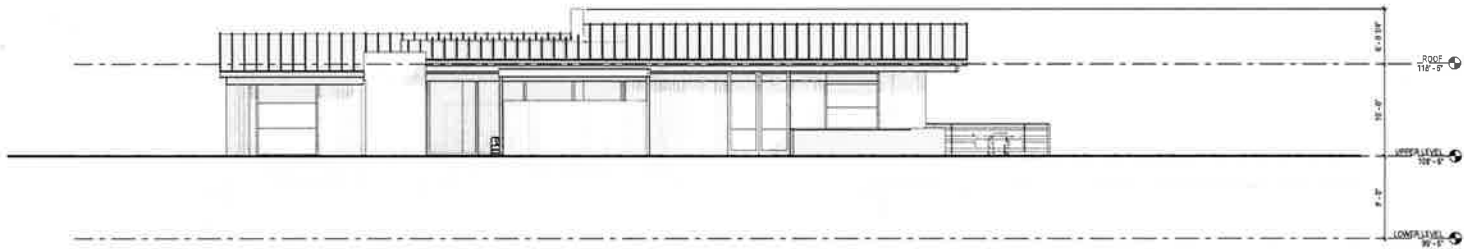
EXTERIOR  
ELEVATIONS  
10/1/18

10/1/18

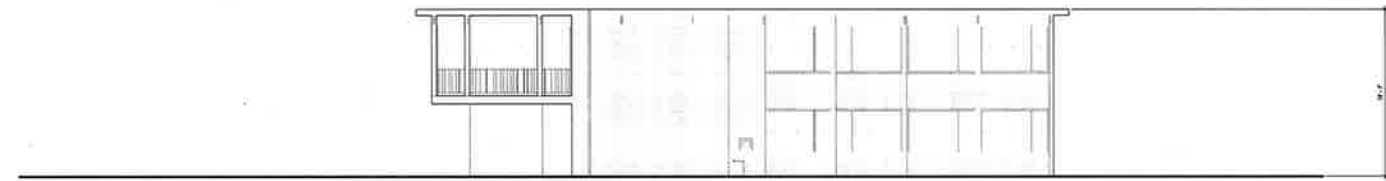
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10/1/18



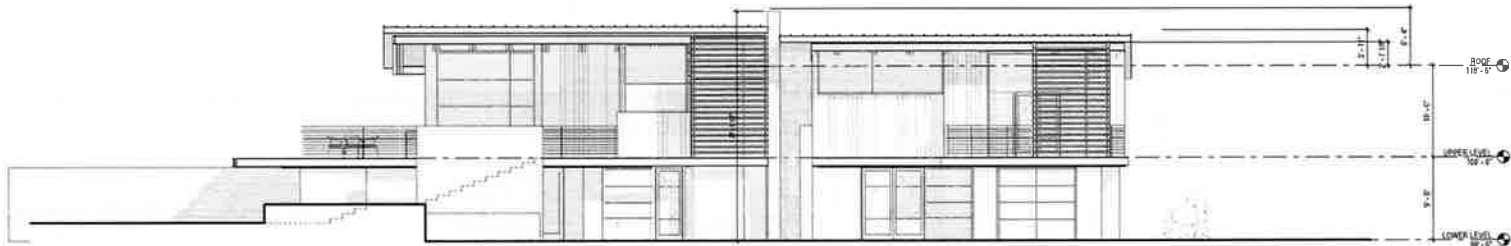
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

18madrona  
San, CA 94042

APN: 075-000-01

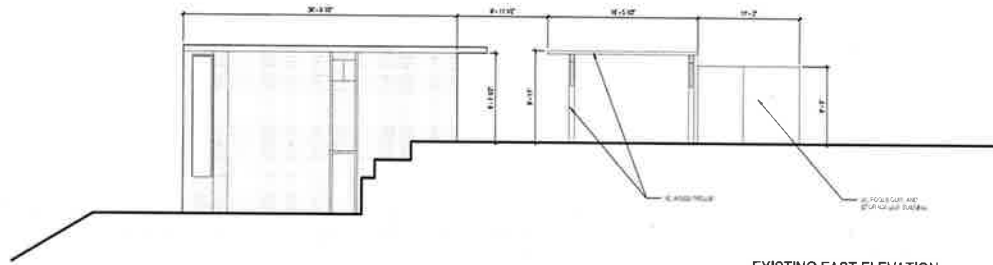
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| 5   | 10/1/11 | 18madrona   |
| 6   | 10/1/11 | 18madrona   |
| 7   | 10/1/11 | 18madrona   |
| 8   | 10/1/11 | 18madrona   |
| 9   | 10/1/11 | 18madrona   |
| 10  | 10/1/11 | 18madrona   |

SEAN BAILEY DESIGN  
18madrona  
San, CA 94042

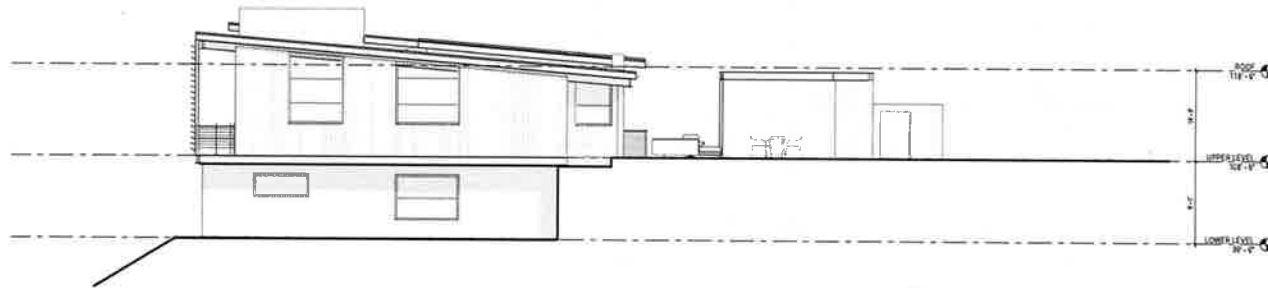
18madrona  
San, CA 94042

A3.2

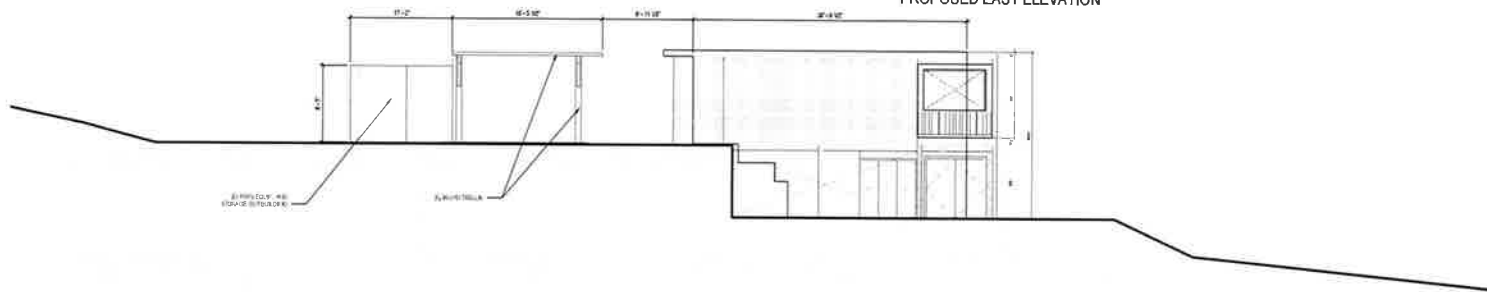
18madrona  
San, CA 94042



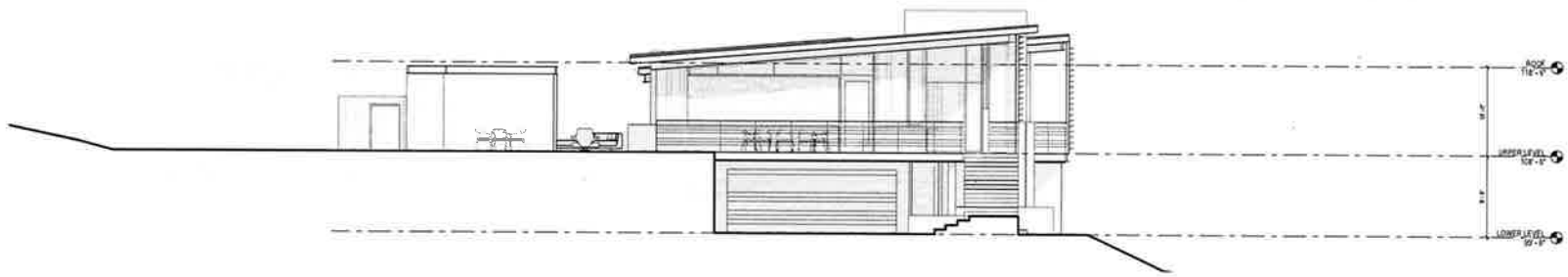
EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

18 madrona  
NO. 1 CA 94047

DATE: 07/20/17

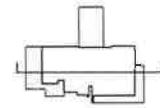
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|-----|----------|--------------------|
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| 3   | 07/20/17 | REVISED FOR PERMIT |
| 4   | 07/20/17 | REVISED FOR PERMIT |
| 5   | 07/20/17 | REVISED FOR PERMIT |
| 6   | 07/20/17 | REVISED FOR PERMIT |
| 7   | 07/20/17 | REVISED FOR PERMIT |
| 8   | 07/20/17 | REVISED FOR PERMIT |
| 9   | 07/20/17 | REVISED FOR PERMIT |
| 10  | 07/20/17 | REVISED FOR PERMIT |



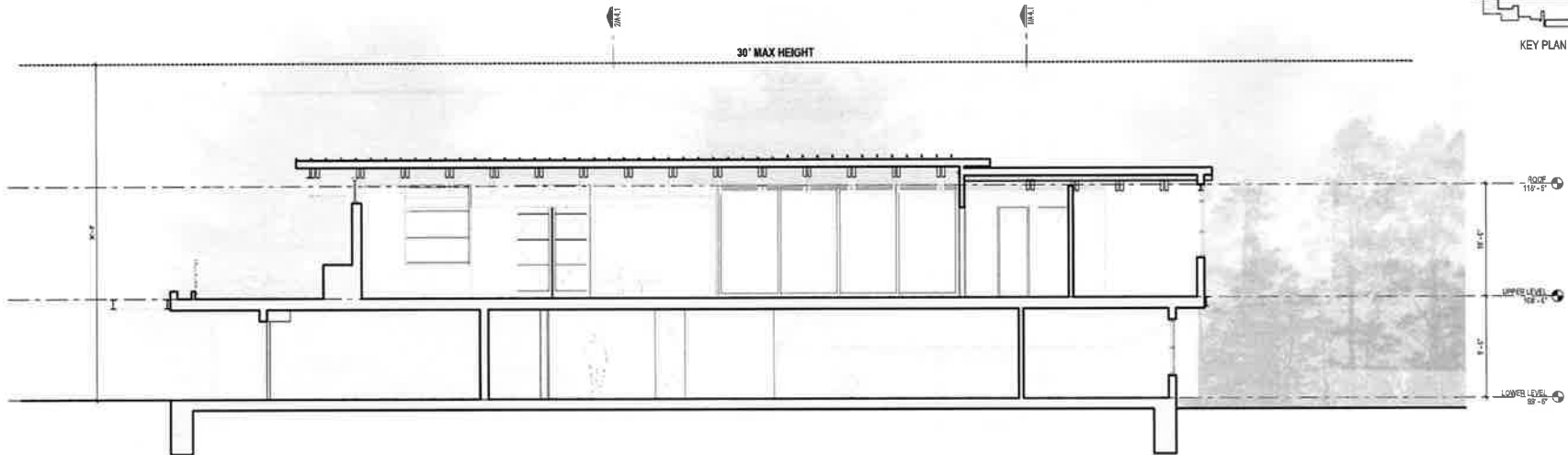
APPROVED BY: [Signature]  
DATE: 07/20/17

A3.3

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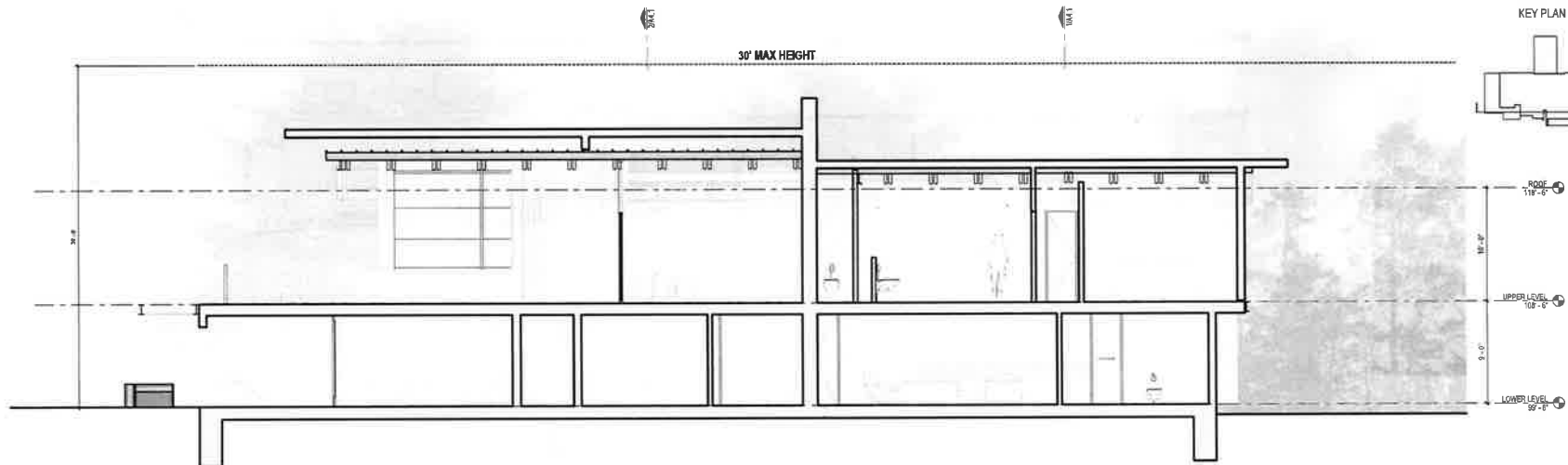
KEY PLAN



1 building section A



KEY PLAN



2 building section B

18madrona

2001 Magenta Avenue

LAFAFETE, CA 94501

| NO. | DATE    | DESCRIPTION           |
|-----|---------|-----------------------|
| 1   | 2017.05 | ISSUED FOR PERMITTING |
| 2   |         |                       |
| 3   |         |                       |
| 4   |         |                       |
| 5   |         |                       |
| 6   |         |                       |
| 7   |         |                       |
| 8   |         |                       |
| 9   |         |                       |
| 10  |         |                       |

SEAN BAILEY DESIGN  
ARCHITECTS

JUNE 28 2022

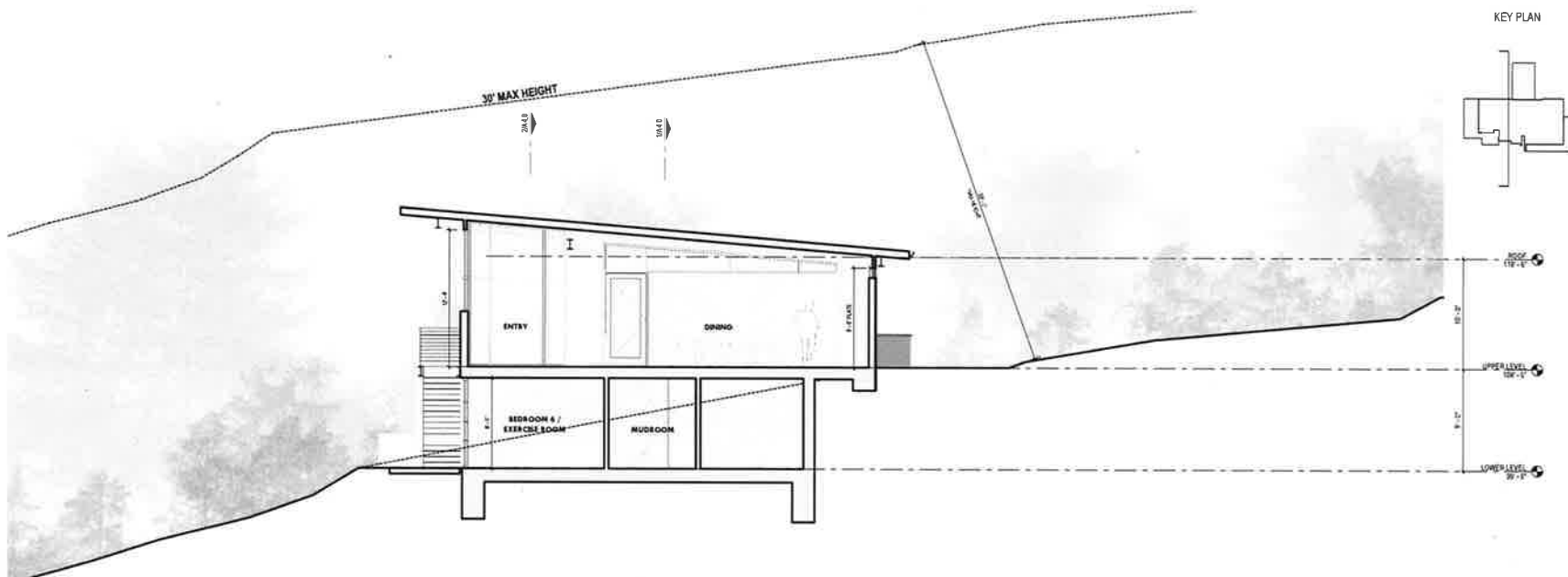
DATE

A4.0

2017.05

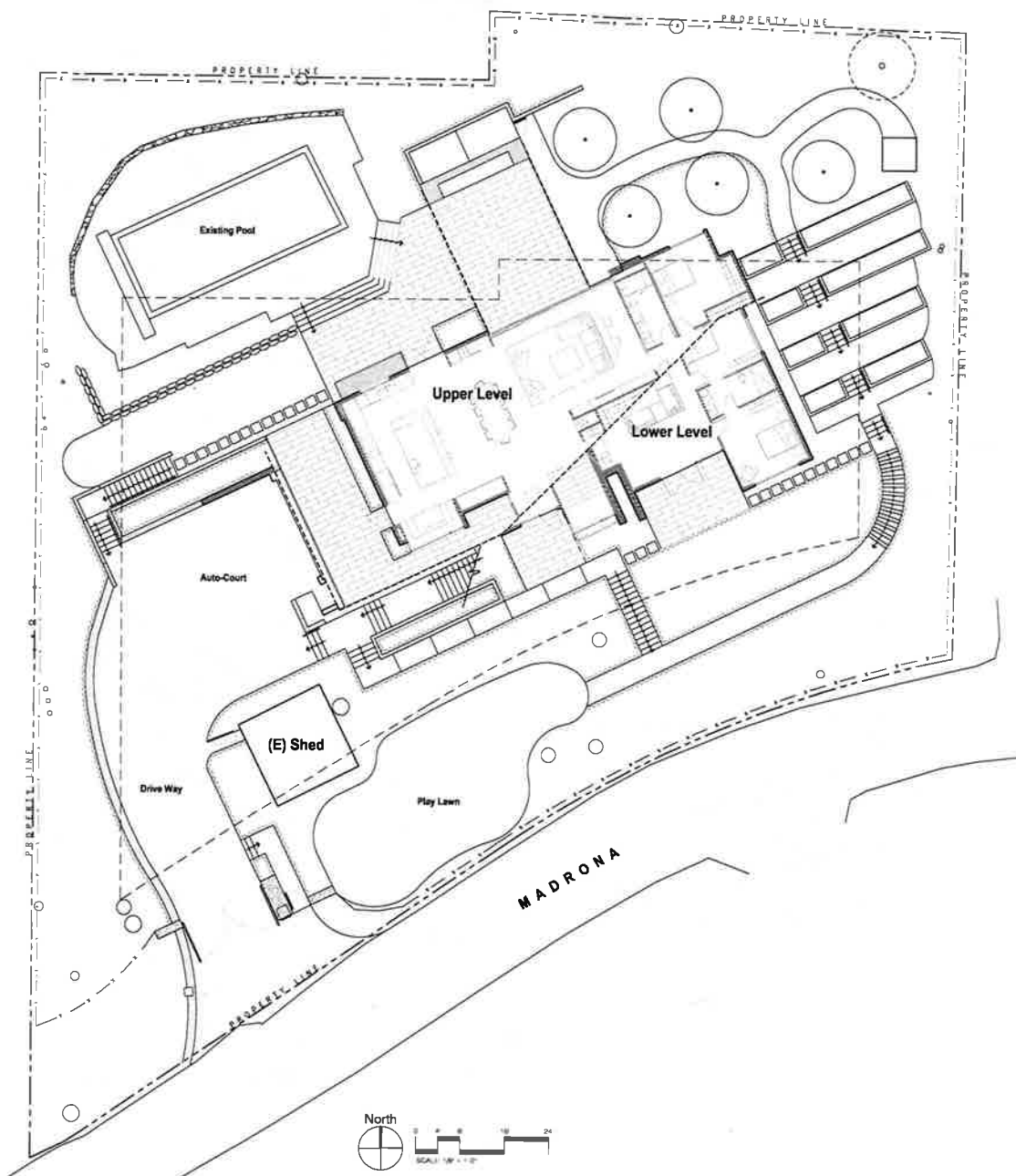
Drawings are not valid for construction  
without the approval of the architect and/or  
engineer, and a professional registration seal  
(PDS)





2 building section D





#### SHEET INDEX

|       |                                       |
|-------|---------------------------------------|
| L0 00 | COVER SHEET                           |
| L0 01 | ILLUSTRATIVE PLAN                     |
| L1 00 | MATERIALS, LIGHTING AND CALLOUTS PLAN |
| L2 00 | VEGETATION MANAGEMENT PLAN            |
| L3 00 | PLANTING PLAN                         |
| L4 00 | LANDSCAPE DETAIL                      |
| C-1   | TYPE SHEET                            |
| C-2   | GRADING PLAN                          |
| C-3   | UTILITY PLAN                          |

#### LEGEND

|                  |          |                         |
|------------------|----------|-------------------------|
| Center Line      | (500)    | EXISTING ELEVATION      |
| Property Line    | 500      | PROPOSED ELEVATION      |
| Planting Area    | (+101.7) | EXISTING SPOT ELEVATION |
| Existing Contour | +101.7   | PROPOSED SPOT ELEVATION |
| Proposed Contour | 5%       | % SLOPE AND DIRECTION   |
| Setback          | 2'-10'   | DIMENSION/DISTANCE      |

#### VICINITY MAP



#### CONSULTANT INFORMATION

|           |  |                     |  |
|-----------|--|---------------------|--|
| Architect | Seis Bailey Design<br>280 Tenth Ave<br>San Francisco, CA 94111<br>333 544 8827 | Landscape Architect | Studio Green<br>233 56 Fresno Drive<br>San Francisco, CA 94105<br>415 721 3885 |
|-----------|--|---------------------|--|

STUDIO GREEN

Landscape Architecture  
233 56 Fresno Drive  
San Francisco, CA 94105  
Phone: (415) 721-3885  
Fax: (415) 721-3886  
www.studiogreen.com  
info@studiogreen.com



**18 MADRONA**

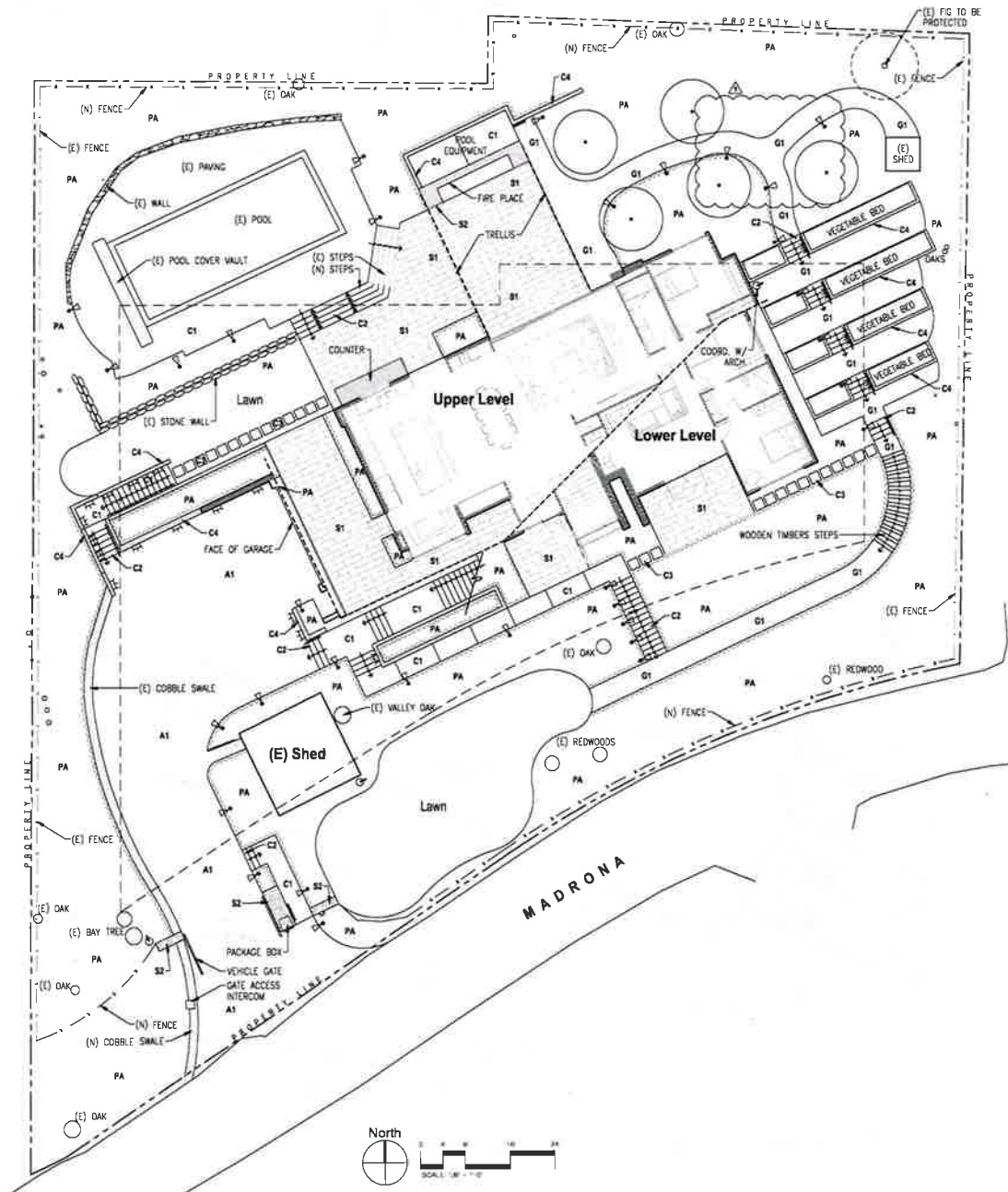
Reas, CA 94057  
APN: 073 235-37

Date: 10/28/21  
Issue: Design  
05/03/22 Review  
Plan  
Check

**Cover Sheet**

Drawn by: TVP  
Checked by: JM

**L0.00**



STEP LIGHT



DIRECTIONAL PATHWAY LIGHT



IN-WALL LIGHT

### LIGHTING SCHEDULE

- DIRECTIONAL PATHWAY LIGHT**  
WAC 8061 Path Light  
COLOR: Bronze
- IN-WALL LIGHT**  
WAC 4011 Step Light  
COLOR: Dark Bronze
- STEP LIGHT**  
FX Luminaire PO Series  
MODEL: SG Series  
COLOR: Dark Bronze
- ADDRESS LIGHT**  
Model: TBC
- OFCI**  
Include Water Protective Cover  
12" Above Grade

### MATERIAL SCHEDULE

- C1** CAST-IN-PLACE CONCRETE  
COLOR: TAN  
FINISH: SANDBLAST
- C2** CONCRETE STEPS  
MATCH: C1
- C3** PRE-CAST CONCRETE PADS  
MATCH: C1
- C4** BOARDFORM WALLS  
COLOR: WARM GRAY
- S1** STONE PAVING  
COLOR: WARM GRAY  
FINISH: FLAMED
- S2** STONE WALL VENEER  
COLOR: WARM GRAY  
FINISH: CHISELED
- G1** GRAVEL PAVING  
COLOR: EARTH TONES  
SIZE: 1/2"
- M1** METAL  
FINISH: PAINTED
- A1** ASPHALT CONCRETE

### LEGEND

- PA** PLANTING AREA

STUDIO GREEN

Landscape Architecture  
220 S. Francis Drive Blvd.  
San Antonio, CA 94901  
Phone: (415) 721-8800  
Fax: (415) 721-2818  
www.studiogreen.com  
info@studiogreen.com



**18 MADRONA**

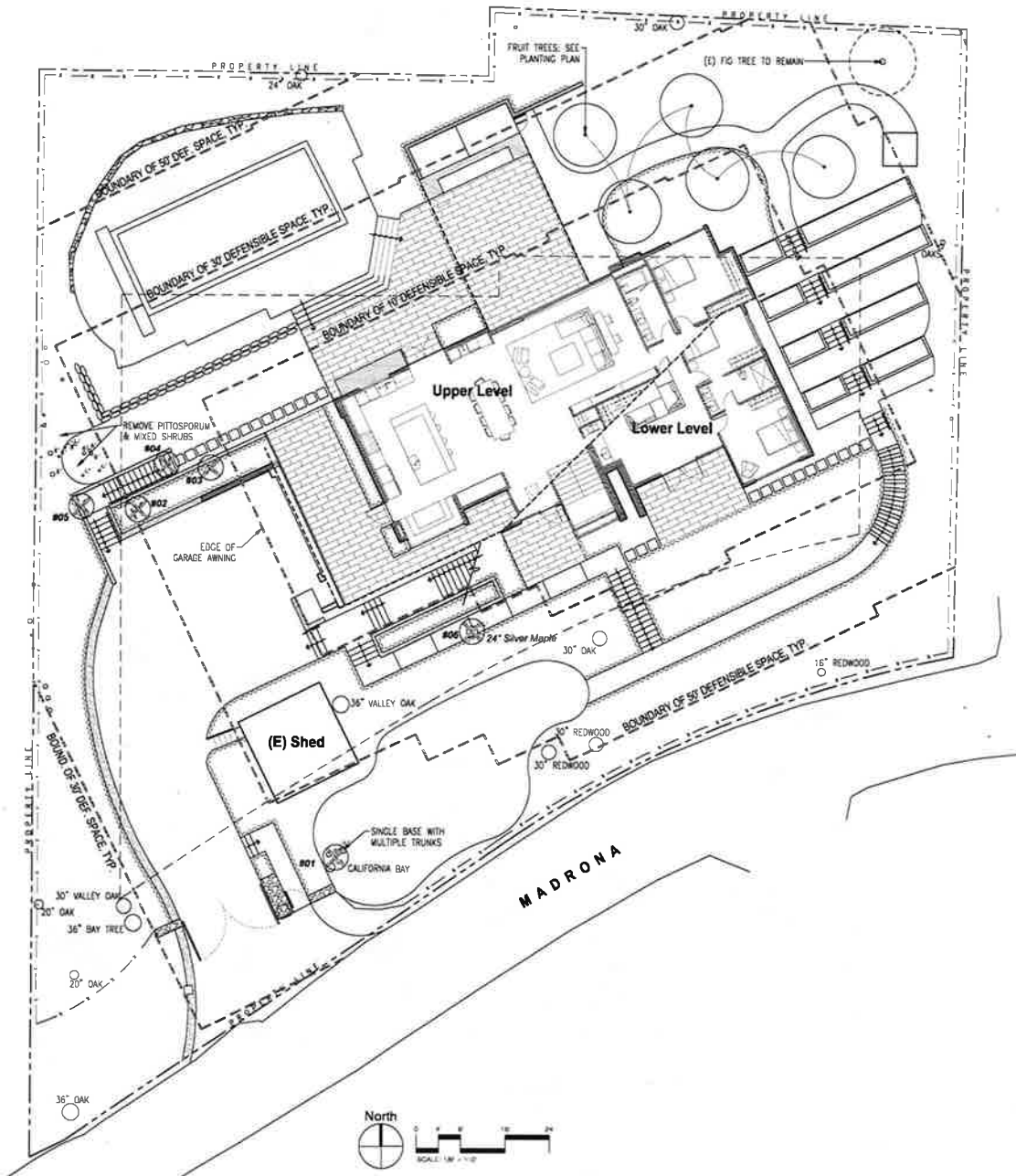
Room: CA 94957  
APN: 075-232-37

Date: 10/28/21  
Issue: Design  
05/03/22 Review  
Plan  
Check

**Materials,  
Lighting &  
Callouts  
Plan**

Drawn by: TVP  
Checked by: JM

**L1.00**



## VEGETATION MANAGEMENT PLAN COMPLIANCE STRATEGIES:

REFERENCE: SANJO COUNTY FIRE PROTECTION STANDARD 200  
TIA FINAL 121 OF 2019 PROPHYLACTIC AND NON-PROPHYLACTIC PLANT SPECIES

The following plants, when used on the property, shall be deemed as intended for use:

1. No prophylactic plants within 10 ft. of house
2. Trees less than 10 ft. from the edge of driveway for 300 degrees
3. Maintain the roof and deck area of any structure on the property free of leaves, needles, or dead vegetation growth
4. Remove or cut to combustible vegetation such as: dead trees, and all dead vegetation
5. Remove all flammable materials from your yard
6. Clear debris area of combustible material
7. Regular maintenance of plant selection: shrubs should be spaced so that no continuity exists between the ground level and tree canopy
8. Individual existing non-prophylactic trees may be allowed to remain on a site by clear space if proper crown reduction can be maintained

When 11 to 50' of the house the following measures will be taken:

1. Remove dead and dying grass, shrubs, and trees
2. Remove the canopy of vegetation and dead limbs
3. Cut grasses to 2 inches in height above the ground
4. Remove all shrubs, vines, and dead limbs that are within a distance of 10 feet from the edge of the driveway
5. Individual existing non-prophylactic trees may be allowed to remain on a site by clear space if proper crown reduction can be maintained
6. Individual existing trees shall have a minimum crown reduction of 20 feet
7. Remove or cut to dead vegetation
8. Remove or cut to dead vegetation
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47. Remove or cut to dead vegetation
48. Remove or cut to dead vegetation
49. Remove or cut to dead vegetation
50. Remove or cut to dead vegetation

When 51 to 100' of the house the following measures will be taken:

1. Trees less than 10 ft. from the edge of driveway for 300 degrees
2. Maintain the roof and deck area of any structure on the property free of leaves, needles, or dead vegetation growth
3. Remove or cut to combustible vegetation such as: dead trees, and all dead vegetation
4. Clear debris area of combustible material
5. Regular maintenance of plant selection: shrubs should be spaced so that no continuity exists between the ground level and tree canopy
6. Individual existing non-prophylactic trees may be allowed to remain on a site by clear space if proper crown reduction can be maintained

## SITE MANAGEMENT NOTES

- A. Trees and maintain vegetation back from the edge of required fire separation access roads and driveway, public streets, and private roads so they do not reduce the width of the driveway.
- B. Trees less than 10 ft. from the edge of driveway for 300 degrees
- C. Trees less than 10 ft. from the edge of driveway for 300 degrees
- D. Trees less than 10 ft. from the edge of driveway for 300 degrees
- E. Trees less than 10 ft. from the edge of driveway for 300 degrees
- F. Trees less than 10 ft. from the edge of driveway for 300 degrees
- G. Trees less than 10 ft. from the edge of driveway for 300 degrees
- H. Trees less than 10 ft. from the edge of driveway for 300 degrees
- I. Trees less than 10 ft. from the edge of driveway for 300 degrees
- J. Trees less than 10 ft. from the edge of driveway for 300 degrees
- K. Trees less than 10 ft. from the edge of driveway for 300 degrees
- L. Trees less than 10 ft. from the edge of driveway for 300 degrees
- M. Trees less than 10 ft. from the edge of driveway for 300 degrees
- N. Trees less than 10 ft. from the edge of driveway for 300 degrees
- O. Trees less than 10 ft. from the edge of driveway for 300 degrees
- P. Trees less than 10 ft. from the edge of driveway for 300 degrees
- Q. Trees less than 10 ft. from the edge of driveway for 300 degrees
- R. Trees less than 10 ft. from the edge of driveway for 300 degrees
- S. Trees less than 10 ft. from the edge of driveway for 300 degrees
- T. Trees less than 10 ft. from the edge of driveway for 300 degrees
- U. Trees less than 10 ft. from the edge of driveway for 300 degrees
- V. Trees less than 10 ft. from the edge of driveway for 300 degrees
- W. Trees less than 10 ft. from the edge of driveway for 300 degrees
- X. Trees less than 10 ft. from the edge of driveway for 300 degrees
- Y. Trees less than 10 ft. from the edge of driveway for 300 degrees
- Z. Trees less than 10 ft. from the edge of driveway for 300 degrees

## ADJACENT TO ROADWAYS

- A. Trees and maintain vegetation to within 10 feet of roadway as required for vehicular access
- B. Trees less than 10 ft. from the edge of driveway for 300 degrees

## FIRE HAZARD ASSESSMENT

1. Site slope: the site is a downhill slope, sloping downward to the east
2. Site aspect: east slope
3. Site slope: ~10%
4. Long-term maintenance: The project will include an automatic irrigation system and routine maintenance by professional gardeners
5. Plants to be removed: California redwood, Monterey cypress, and trees will be removed if they are within 10 feet of the driveway

## FUEL TYPES:

**Residential: Garden (R-30)**  
A well-maintained, irrigated, ornamental garden. Trees and shrubs are well spaced or clustered. (Trimmed and free of deadwood). The lawn is mowed and clean. No prophylactic plants within 10 ft. of house

**Medium Density (R-1.5)**  
Grass and tree reproduction occupies 1/3 of the area. Includes young ornamental, coastal scrub and broad stands

## LEGEND

- Existing Tree to be removed

## TREE REMOVAL MATRIX

| TREE #  | DBH (") | SCIENTIFIC NAME          | COMMON NAME                              | HEALTH STATUS  |
|---------|---------|--------------------------|--|--|
| 1       | 10"     | Umbellularia californica | California Bay                           | • single base with multiple trunks<br>• fair to weak health, thin, open canopies |
| 2,3,4,5 | 4"-6"   | Mix Shrubs               | Pittosporum undulatum & low mixed shrubs | • non-natives shrubs<br>• good health, highly pruned back                        |
| 6       | 24"     | Acer glaberrimum         | Silver Maple                             | • fair condition, dense, open  |

## STUDIO GREEN

Landscape Architecture  
228 St. Francis Drive Suite 200  
San Antonio, CA 94805  
Tel: (415) 771-0805  
Fax: (415) 771-0805  
www.studiogreen.com  
info@studiogreen.com



**18 MADRONA**  
Roses, CA 94857  
APN: 079-232-37

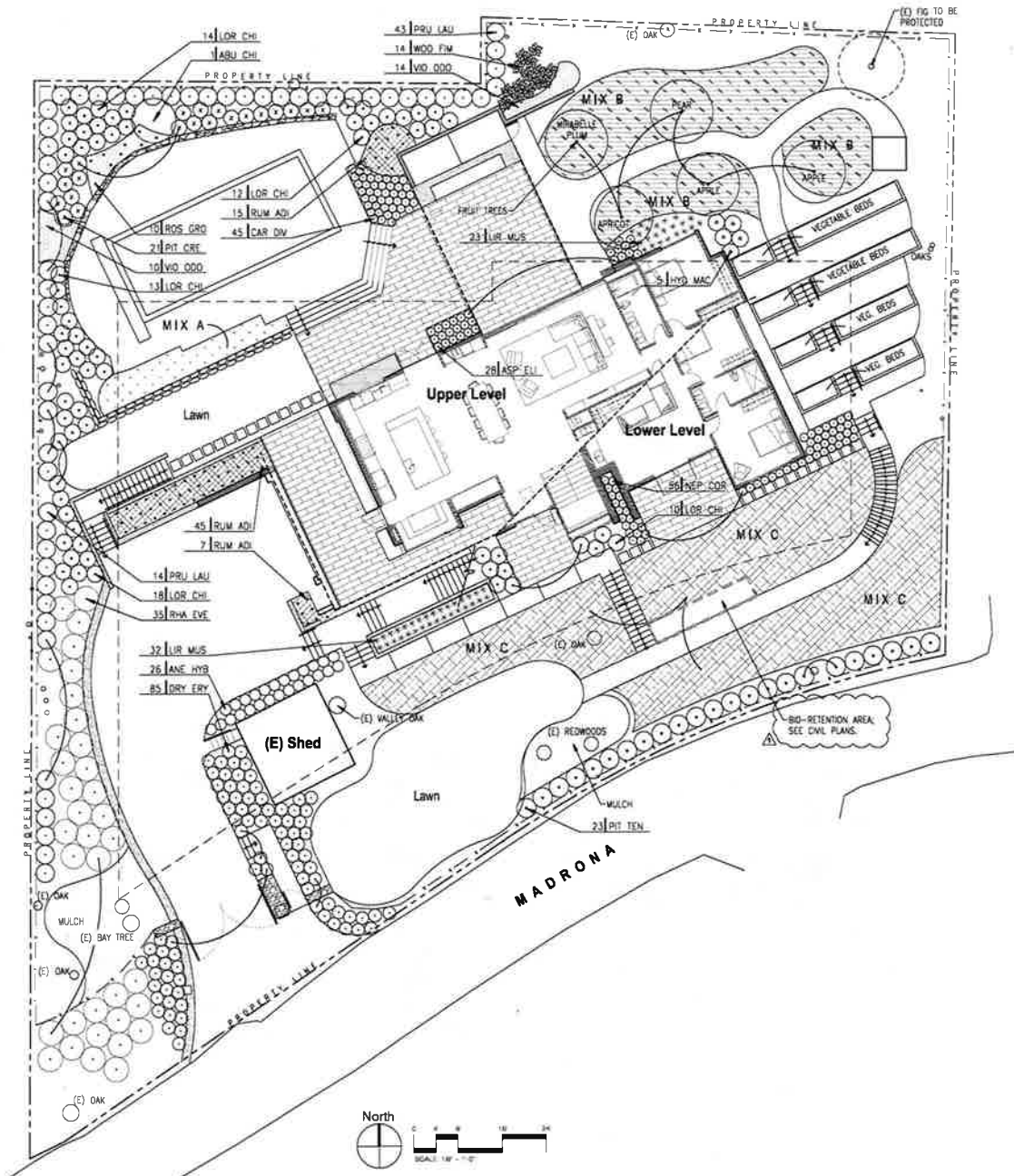
Date: 10/28/21  
05/03/22  
Issue: Design Review Plan Check

**Vegetation  
Mgmt.  
Plan**

Drawn by: TYP  
Checked by: JM

**L2.00**





| SHRUBS, GRASSES AND PERENNIALS |                                  |                  |         |
|--------------------------------|----------------------------------|------------------|---------|
| SYMBOL                         | SCIENTIFIC NAME                  | COMMON NAME      | SIZE    |
| ASU CHI                        | Asplenium 'Chinese Lantern'      | Chinese Lantern  | 15 gal  |
| ANE HYB                        | Anemone hybrid 'White'           | White Anemone    | 1 gal   |
| ASP ELI                        | Aspidistra elatior               | Cast Iron Plant  | 1 gal   |
| CAR DIV                        | Carex divisa                     | Carex            | 1 gal   |
| DRY ERY                        | Dryopteris erythrosora           | Autumn Fern      | 1 gal   |
| HYD MAC                        | Hydrangea macrophylla            | Hydrangea        | 5 gal   |
| LUR MUS                        | Liriodendron muscicola           | Liriodendron     | 1 gal   |
| LOR CHI                        | Liriodendron chinensis           | Liriodendron     | 5 gal   |
| NEP COR                        | Nepenthes corollata              | Beard Fern       | 1 gal   |
| PIT CRE                        | Pittosporum 'Cream de Mint'      | Cream de Mint    | 5 gal   |
| PIT TEN                        | Pittosporum tenuifolium          | Silver Sheen     | 15 gal  |
| PRU LAU                        | Prunus laurocerasus              | English Laurel   | 24" box |
| RHA EVE                        | Rhamnus californica 'Eve Caesar' | Coffeeberry      | 5 gal   |
| ROS GRO                        | Rosa - Ground Cover              | Carpet Rose      | 1 gal   |
| RUM ADI                        | Rumex adansonioides              | Leathernut Fern  | 1 gal   |
| VIO DOD                        | Viola odorata                    | Viola            | 1 gal   |
| WOO FIM                        | Woodwardia fimbriata             | Giant Chain Fern | 1 gal   |

| MIX A: Succulents |                 |             |       |
|-------------------|-----------------|-------------|-------|
| SYMBOL            | SCIENTIFIC NAME | COMMON NAME | SIZE  |
|                   | Aeonium spp     | Aeonium     | 1 gal |
|                   | Echeveria spp   | Echeveria   | 1 gal |
|                   | Aloe vera       | Aloe        | 1 gal |
|                   | Sedum           | Stone Crop  | 1 gal |
|                   | Coriaria        | Beard's Paw | 1 gal |

| MIX B: Orchard |                        |               |       |
|----------------|------------------------|---------------|-------|
| SYMBOL         | SCIENTIFIC NAME        | COMMON NAME   | SIZE  |
|                | Levinsia               | Levinsia      | 1 gal |
|                | Dymalis                | Silver Carpet | 1 gal |
|                | Hesperis               | Conch Bell    | 1 gal |
|                | Carex divisa           | Carex         | 1 gal |
|                | Anemone hybrid 'White' | White Anemone | 1 gal |

| MIX C: Slope |                                  |                   |       |
|--------------|----------------------------------|-------------------|-------|
| SYMBOL       | SCIENTIFIC NAME                  | COMMON NAME       | SIZE  |
|              | Hydrangea spp                    | Hydrangea         | 5 gal |
|              | Helleborus orientalis            | Lenten Rose       | 1 gal |
|              | Pittosporum 'Cream de Mint'      | Cream de Mint     | 5 gal |
|              | Rhamnus californica 'Eve Caesar' | Coffeeberry       | 5 gal |
|              | Sarcococca ruscifolia            | Fragrant Sweetbox | 1 gal |
|              | Viburnum dohdi                   | Viburnum          | 5 gal |
|              | Woodwardia fimbriata             | Giant Chain Fern  | 1 gal |

STUDIO GREEN  
Landscape Architects  
2201 Pines Drive, Suite 100  
San Anselmo, CA 94960  
Phone: 415/331-8865  
Fax: 415/331-8810  
www.studiogreen.com  
info@studiogreen.com



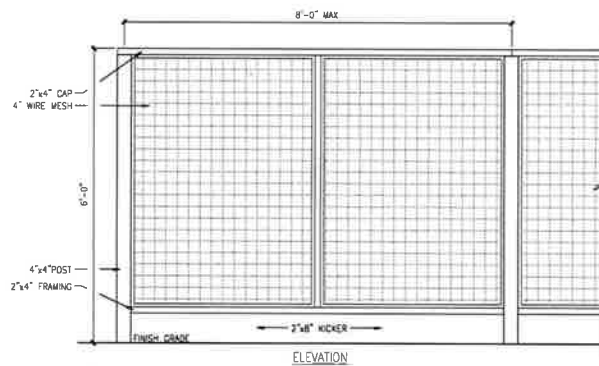
**18 MADRONA**  
Rose, CA 94957  
APN: 075-232-37

Date: 10/28/21  
Issue: Design  
10/03/22  
Revised  
Plan  
Check

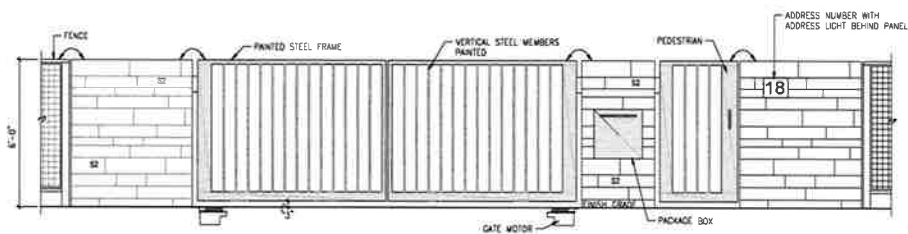
**Planting Plan**

Drawn by: TVP  
Checked by: JLM

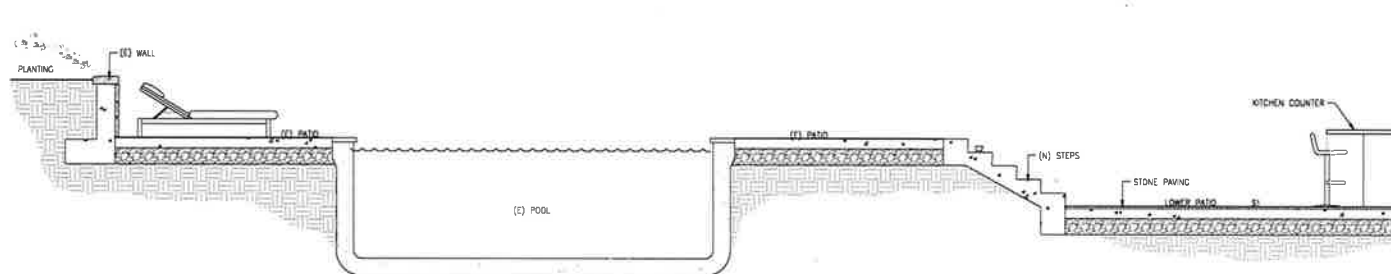
**L3.00**



① WOOD AND WIRE FENCE  
SCALE: 1/2" = 1'-0"



② VEHICULAR ENTRANCE GATE-ELEVATION  
SCALE: 1/2" = 1'-0"



③ POOL SECTION  
SCALE: 1/2" = 1'-0"

STUDIO GREEN

Landscape Architecture  
232 St. Francis Street, Suite 100  
San Anselmo, CA 94960  
Phone: (415) 771-0800  
Fax: (415) 771-0810  
www.studiogreen.com  
info@studiogreen.com



18 MADRONA

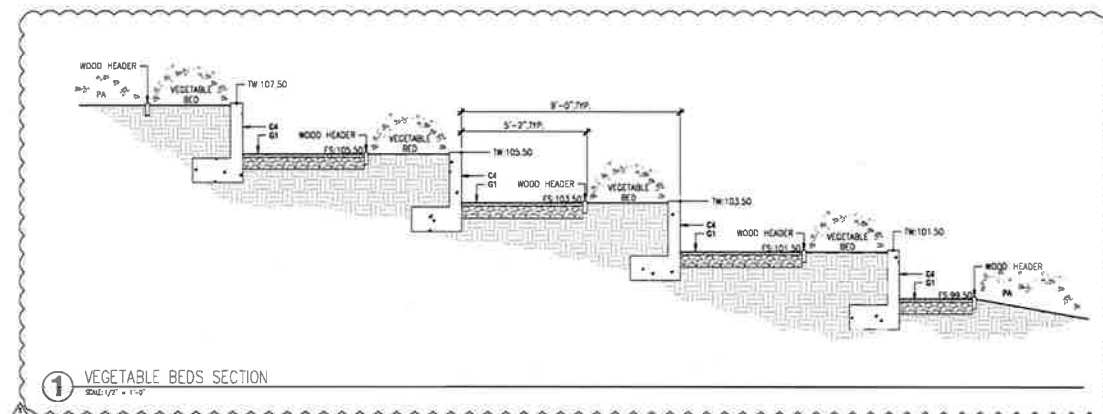
Project: CA 04057  
APN: 073-232-37

Date: 10/28/21 Issue: Design  
10/28/21 Review  
05/03/22 Plan  
Check

Details

Drawn by: TVP  
Checked by: JM

L4.00



STUDIO GREEN

Landscaping Architecture  
222 S. Francis Drive Bldg.  
San Antonio, CA 94903  
Phone: (415) 721-8855  
Fax: (415) 721-2818  
www.studiogreen.com  
info@studiogreen.com



**18 MADRONA**

Ross, CA 94957  
APN: 073-232-37

Date: 10/28/21  
Issue: Design  
Revised  
Plan  
Check  
05/03/22

Details

Drawn by: TVP  
Checked by: JM

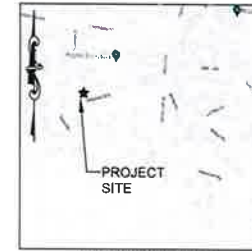
**L4.01**





VICINITY MAP  
N.T.S.

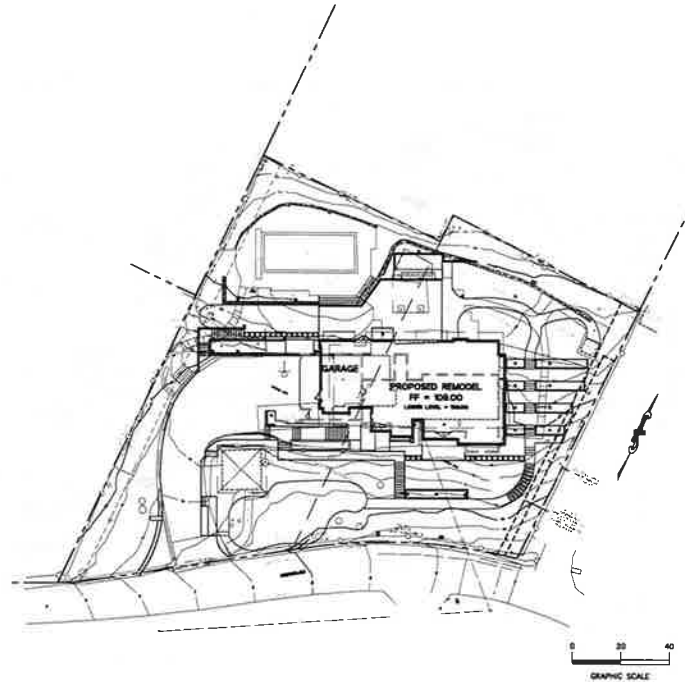
# SAUNDERS RESIDENCE 18 MADRONA AVENUE ROSS, CA 94957



LOCATION MAP  
N.T.S.

## ABBREVIATIONS:

|      |                             |
|------|-----------------------------|
| AB   | AGGREGATE BASE              |
| AC   | ASPHALT CONCRETE            |
| AD   | AREA DRAIN                  |
| ATD  | ATRIUM DRAIN                |
| BFP  | BACK FLOW PREVENTION DEVICE |
| BM   | BOTTOM OF WALL ELEVATION    |
| CB   | CATCH BASIN                 |
| CL   | CONCRETE                    |
| CS   | CRAWL SPACE ELEVATION       |
| CRP  | CAST IRON PIPE              |
| CCNC | CONCRETE                    |
| DS   | DRAIN                       |
| DDCV | DOUBLE DETECTOR CHECK VALVE |
| DC   | DITCH/POURED GRANITE        |
| DRP  | DUCTILE IRON PIPE           |
| DS   | ROOF DOWN SLOPE             |
| DMV  | DRIVEWAY                    |
| ED   | EXISTING                    |
| ELSC | ELECTRICAL                  |
| EM   | ELECTRICAL METER            |
| EP   | EDGE OF PAVEMENT            |
| FC   | FACE OF CURB ELEVATION      |
| FDC  | FIRE DEPARTMENT CONNECTION  |
| FF   | FINISHED FLOOR ELEVATION    |
| FG   | FINISHED GROUND ELEVATION   |
| FL   | FINISHED SURFACE ELEVATION  |
| FM   | FINISHED MAIN LINE          |
| FS   | FINISHED SURFACE ELEVATION  |
| FP   | FINISHED PAVEMENT ELEVATION |
| FR   | FIRE WATER LINE             |
| GB   | GRADE BREAK                 |
| GM   | GRATE METER                 |
| GR   | GRATE ELEVATION             |
| GV   | GRATE VALVE                 |
| HP   | HIGH POINT                  |
| HW   | HEATED WATER LINE           |
| INV  | PIPE INVERT ELEVATION       |
| JT   | JOINT TRENCH                |
| JP   | JOINT TRENCH                |
| LD   | LANDSCAPE DRAIN             |
| LF   | LANDSCAPE FEET              |
| LP   | LOW POINT                   |
| IN   | NEW                         |
| PH   | POST INDICATOR VALVE        |
| POC  | POINT OF CONNECTION         |
| RM   | ROOM ELEVATION              |
| S    | SLOPE                       |
| SAP  | SEE ARCHITECTURAL PLANS     |
| SD   | STORM SUB DRAIN             |
| SDCD | STORM SUB DRAIN CLEANOUT    |
| SD   | STORM DRAIN                 |
| SDCO | STORM DRAIN CLEANOUT        |
| SGR  | SEE GEOTECHNICAL REPORT     |
| SOB  | SEE INLET CATCH BASIN       |
| SLP  | SEE LANDSCAPE PLANS         |
| SP   | SEE PLUMBING PLANS          |
| SSD  | SANITARY SEWER CLEANOUT     |
| SSP  | SEE STRUCTURAL PLANS        |
| TW   | TOP OF WALL ELEVATION       |
| TV   | PIPE VERTICAL DROP          |
| W    | DOMESTIC WATER LINE         |
| WM   | WATER METER                 |



## LEGEND:

|   |   |
|---|---|
| PROPOSED                                | SANITARY SEWER                          |
| STORM DRAIN                             | STORM DRAIN                             |
| TRANSITION FROM FIRM PIPE TO SOLID PIPE | TRANSITION FROM FIRM PIPE TO SOLID PIPE |
| FORCE MAIN                              | FORCE MAIN                              |
| FIRE WATER LINE                         | FIRE WATER LINE                         |
| DOMESTIC WATER SERVICE                  | DOMESTIC WATER SERVICE                  |
| IRRIGATION SERVICE                      | IRRIGATION SERVICE                      |
| NATURAL GAS                             | NATURAL GAS                             |
| ELECTRIC                                | ELECTRIC                                |
| JOINT TRENCH                            | JOINT TRENCH                            |
| FENCE                                   | FENCE                                   |
| CLEAN OUT                               | CLEAN OUT                               |
| DOUBLE DETECTOR CHECK VALVE             | DOUBLE DETECTOR CHECK VALVE             |
| POST INDICATOR VALVE                    | POST INDICATOR VALVE                    |
| VALVE                                   | VALVE                                   |
| METER BOX                               | METER BOX                               |
| STREET LIGHT                            | STREET LIGHT                            |
| AREA DRAIN                              | AREA DRAIN                              |
| CATCH BASIN                             | CATCH BASIN                             |
| FIRE DEPARTMENT CONNECTION              | FIRE DEPARTMENT CONNECTION              |
| BRICK HOUSE                             | BRICK HOUSE                             |
| WINDMILL                                | WINDMILL                                |
| SKIN                                    | SKIN                                    |
| DOWNPOUT                                | DOWNPOUT                                |
| UPDRAIN/SLUICK                          | UPDRAIN/SLUICK                          |
| CONTOUR                                 | CONTOUR                                 |
| PROPERTY LINE                           | PROPERTY LINE                           |
| SETBACK                                 | SETBACK                                 |
| GRASS SWALE                             | GRASS SWALE                             |
| RETAINING WALL BUILDING STEMMALL        | RETAINING WALL BUILDING STEMMALL        |
| (S) FILL TO BE REMOVED                  | (S) FILL TO BE REMOVED                  |

## SHEET INDEX

| SHEET NO. | DESCRIPTION  |
|-----------|--------------|
| C-1       | TITLE SHEET  |
| C-2       | GRADING PLAN |
| C-3       | UTILITY PLAN |

| (S) IMPERVIOUS AREA | (S) IMPERVIOUS AREA | (S) DIFFERENCE | (S) REQUIRED AREA OF WORK/EXTRACTION |
|---------------------|---------------------|----------------|--------------------------------------|
| 6,300 SF            | 18,155 SF           | -7,855 SF      | 7,855 SF x 0.51 SF                   |

## EARTHWORK QUANTITIES

| GROSS QUANTITIES                              |                        | QUANTITY BREAKDOWN |          |
|---|------------------------|--------------------|----------|
| CUT   | AS C.Y.                | BUILDING           |          |
| FILL  | 360 C.Y.               | CUT                | 15 C.Y.  |
| TOTAL TO BE MOVED                             | 360 C.Y.               | FILL               | 36 C.Y.  |
| BALANCE                                       | 215 C.Y. FILL (IMPORT) | SPILL WORK         | 75 C.Y.  |
|   |                        | CUT                | 360 C.Y. |
|   |                        | FILL               |          |
| NET QUANTITIES (BUILDING AND SLOPING/GRADING) |                        |                    |          |
| CUT   | 200 C.Y.               |                    |          |
| FILL  | 200 C.Y.               |                    |          |
| TOTAL TO BE MOVED                             | 400 C.Y.               |                    |          |
| BALANCE                                       | 215 C.Y. FILL (IMPORT) |                    |          |

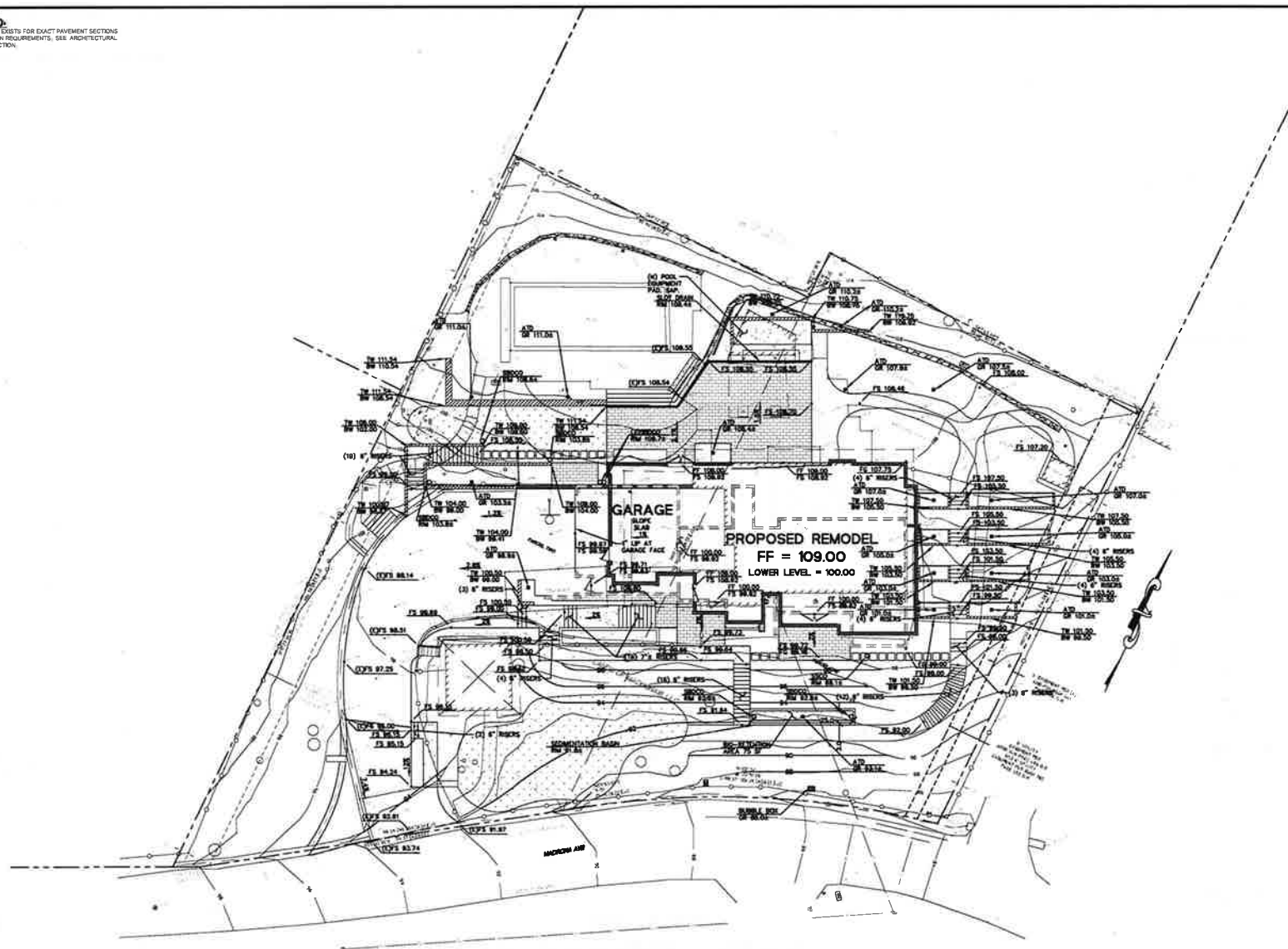
EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.

**PAYMENT LEGEND:**  
SEE GEOTECHNICAL REPORT IF ONE EXISTS FOR EXACT PAVEMENT SECTIONS  
OVER EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL  
PLAN(S) FOR EXACT MATERIAL SELECTION.

**PAYMENT LEGEND:**  
SEE GEOTECHNICAL REPORT IF ONE EXISTS FOR EXACT PAVEMENT SECTIONS  
OVER EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL  
PLAN(S) FOR EXACT MATERIAL SELECTION.



PRO-DIVINUM



0 10  
GRAPHIC SCALE



PACIFIC ENGINEERING  
AND  
CONSTRUCTION

1311 Ole County Road, Suite B  
Belmont, CA 94002

T 852 278 5810  
Tirel@earthlink.net



—



**GRADING PLAN**  
SAUNDERS RESIDENCE  
18 MADRONA AVENUE  
ROSS, CA 94957

05/06/2022

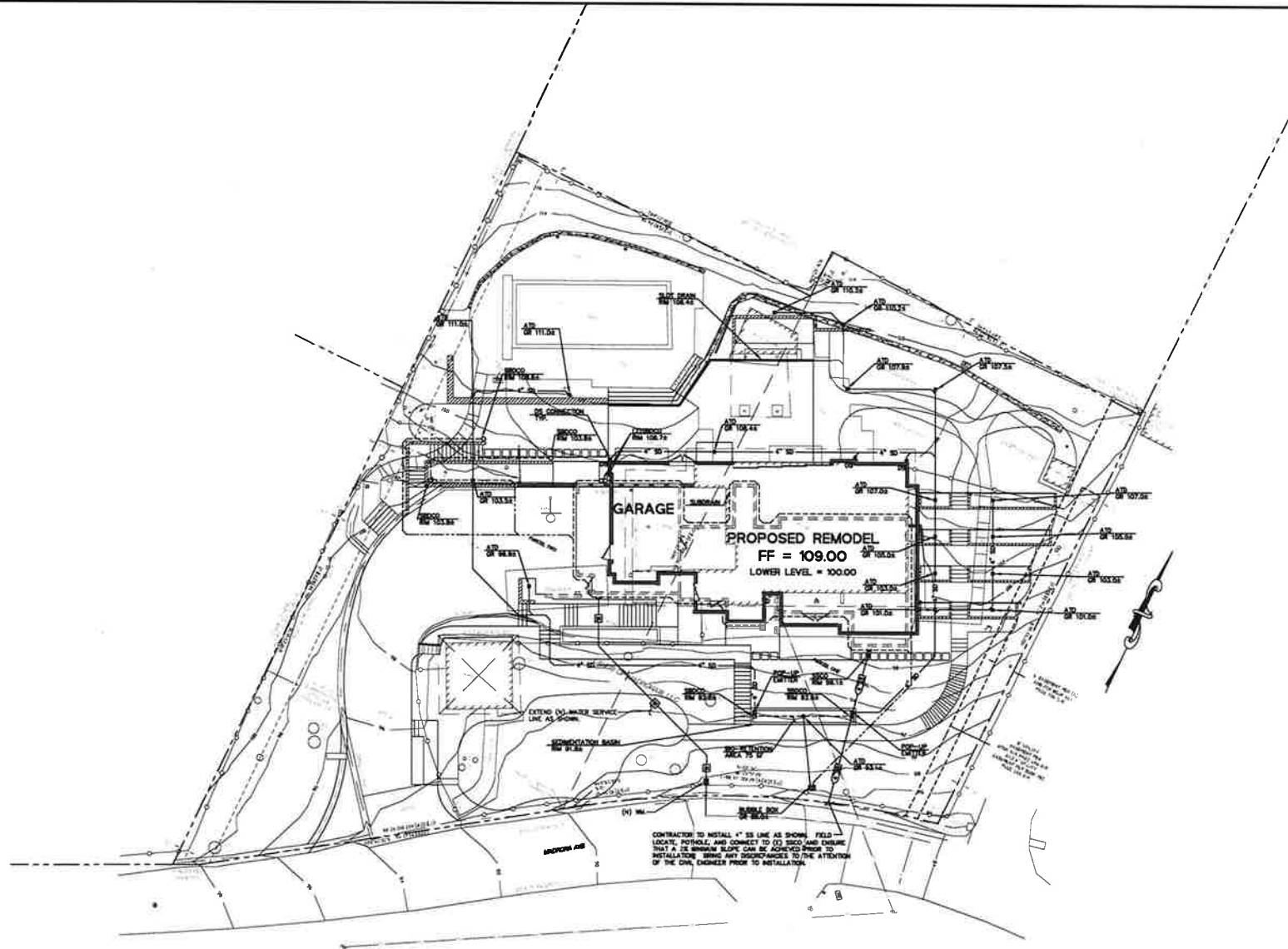
 $\tau = 10'$ 

AP

TRL

C-2

PEC 21-082



**UTILITY PLAN**  
**SAUNDERS RESIDENCE**  
**18 MADRONA AVENUE**  
**ROSS, CA 94957**

06/08/2022  
 1" = 10'  
 A.P.  
 TRL  
**C-3**  
 PEC 21-082

PRECISION ENGINEERING AND CONSTRUCTION  
 18100 Chino Avenue, Suite 8  
 Chino, CA 91710  
 (909) 410-1000  
 www.precisioneng.com



# ATTACHMENT 3



## Town of Ross

### Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

#### PLANNING APPLICATION FORM

##### Type of Application (check all that apply):

- |  |  |
|--|--|
| <input type="checkbox"/> Advisory Design Review        | <input type="checkbox"/> Minor Exception         |
| <input type="checkbox"/> Appeals                       | <input type="checkbox"/> Non-conformity Permit   |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance     | <input type="checkbox"/> Tentative Map           |
| <input type="checkbox"/> Demolition Permit             | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review      | <input type="checkbox"/> Time Extension          |
| <input type="checkbox"/> Design Review- Amendment      | <input type="checkbox"/> Use Permit              |
| <input type="checkbox"/> Final or Parcel Map           | <input type="checkbox"/> Variance                |
| <input type="checkbox"/> General Plan Amendment        | <input type="checkbox"/> Zoning Ordinance        |
| <input type="checkbox"/> Hillside Lot Permit           | <input type="checkbox"/> Amendment Other:        |
| <input type="checkbox"/> Lot Line Adjustment           | <input type="checkbox"/> Other:                  |

##### To Be Completed by Applicant:

Assessor's Parcel No(s): 073-232-37

Project Address: 18 Madrona Ave., Ross, CA 94957

Property Owner: Madrona18, LLC

Owner Mailing Address (PO Box in Ross): PO Box 1617

City/State/Zip: Ross / CA / 94957 Owner's Phone: 415.894.2374

Owner's Email: 18madrona@gmail.com

Applicant: Sean Bailey

Applicant Mailing Address: 260B Magnolia Ave.

City/State/Zip: Larkspur/CA/94939 Applicant's Phone: 303.564.6052

Applicant's Email: sean.bailey1014@gmail.com

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

sean.bailey1014@gmail.com

##### To Be Completed by Town Staff:

Date Received: \_\_\_\_\_

Application No.: \_\_\_\_\_

Zoning: \_\_\_\_\_

Planning 5300 \_\_\_\_\_

Tree Permit 5305 \_\_\_\_\_

Fee Program Administration 5315-05 \_\_\_\_\_

Record Management 5316-05 \_\_\_\_\_

Record Retention 5112-05 \_\_\_\_\_

Technology Surcharge 5313-05 \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_

Date paid: \_\_\_\_\_

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

**SUBDIVISION INFORMATION ONLY**

Number of Lots: \_\_\_\_\_

**LOT LINE ADJUSTMENT ONLY**

Describe the Proposed Lot Line Adjustment: \_\_\_\_\_

Existing Parcel Size(s)

Parcel 1:

Parcel 2:

Adjusted Parcel Size(s)

Parcel 1:

Parcel 2:

**PARCEL ONE****PARCEL 2**

Owners Signature: \_\_\_\_\_

Owner's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Owner's Name (Please Print): \_\_\_\_\_

Owner's Name (Please Print): \_\_\_\_\_

Assessor's Parcel Number: \_\_\_\_\_

Assessor's Parcel Number: \_\_\_\_\_

\* If there are more than two affected property owners, please attach separate letters of authorization.

**REZONING OR TEXT AMENDMENT ONLY**

The applicant wishes to amend Section \_\_\_\_\_ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel \_\_\_\_\_ from the \_\_\_\_\_ Zoning District to \_\_\_\_\_.

**GENERAL OR SPECIFIC PLAN AMENDMENT ONLY**

Please describe the proposed amendment: \_\_\_\_\_

**CERTIFICATION AND SIGNATURES**

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**SIGNATURE:**

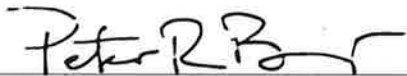
I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

*I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at*

Peter R. Berg, Managing Member of Mc \_\_\_\_\_ February 22, 2022  
\_\_\_\_\_, California on \_\_\_\_\_



\_\_\_\_\_  
Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

**Notice of Ordinance/Plan Modifications**

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

**Alternate Format Information**

*The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.*



**Consultant Information**

The following information is required for all project consultants.

**Landscape Architect**

Firm Studio Green

Project Landscape Architect John Merten

Mailing Address 232 Sir Francis Drake Blvd.

City San Anselmo State CA ZIP 94960

Phone 415.721.0905

Fax \_\_\_\_\_

Email john@studiogreen.com

Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Civil/ Geotechnical Engineer**

Firm Precision Engineering and Construction, Inc.

Project Engineer Travis Lutz

Mailing Address 1331B Old County Road

City Belmont State CA ZIP 94002

Phone 650.226.8640

Fax \_\_\_\_\_

Email travis@precision-ec.com

Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Arborist**

Firm \_\_\_\_\_

Project Arborist \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_

Phone \_\_\_\_\_

Fax \_\_\_\_\_

Email \_\_\_\_\_

Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_

Phone \_\_\_\_\_

Fax \_\_\_\_\_

Email \_\_\_\_\_

Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_

Phone \_\_\_\_\_

Fax \_\_\_\_\_

Email \_\_\_\_\_

Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

See attached page for project description

This image shows a single page of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page, leaving small margins at the top and bottom. There is no handwriting or other markings on the paper.

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**Mandatory Findings for Variance Applications**

*In order for a variance to be granted, the following mandatory findings must be made:*

**Special Circumstances**

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

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**Substantial Property Rights**

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

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**Public Welfare**

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

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February 12, 2022

Town of Ross Planning Dept.  
ATTN: Matthew Weintraub

**18 Madrona – Project Description**

The proposed project consists of the construction of a 4,860 square foot two-story, single-family remodel and addition and all relevant site and landscaping improvements at 18 Madrona Ave in Ross, CA. The proposed project includes a remodel of the existing 2,877 sq. ft. residence, an addition of 1,983 sq. ft. and includes a new roof and new landscaping. The existing pool and pool patio will remain. The project is under the allowable coverage and floor area limits. The material palette is intended to blend into the natural surrounding site and consists of stained cedar siding, limestone masonry veneer, and beige cementitious plaster.

Thank you,

Sean Bailey, Architect

---

SEAN BAILEY DESIGN

303.564.6052

[sean.bailey1014@gmail.com](mailto:sean.bailey1014@gmail.com)



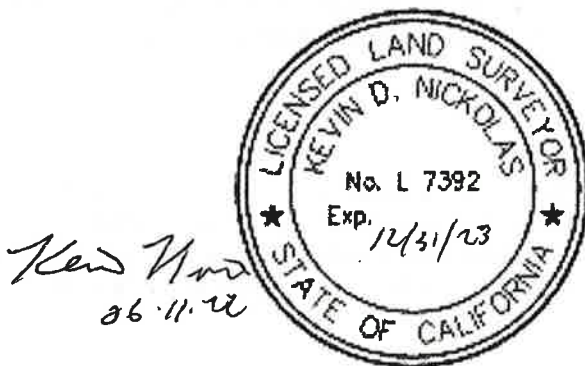
# GRANT LINE LAND SURVEYING

June 11, 2022

18 Madrona  
Ross, CA

The constructed story poles located at 18 Madrona were surveyed on June 11, 2022 and were found to be in conformance for location, heights and elevations shown on the approved plans by Sean Baily Design revision 2 dated 06/09/22.

Kevin Nickolas PLS  
L7392 Expires 12/31/23



July 5, 2022

**18 Madrona Design Changes in Response to ADRB comments for town council hearing:**

Hi Rebecca,

**Below is a summary of the changes that were made in response to the comments we received at the ADRB hearing. Please note that the commissioners Stephen Sutro and Mark Fritts are now in full support of the project.**

**Changes made to the main shed roof over the living spaces:**

1. Dropped the main shed roof ht. by 18" so that we now have a plate ht. of 9'-6" at the back of the shed instead of 11'-0". We feel this will make a big difference in the perception of mass and ht. and that the ceiling heights proposed are reasonable for the main living spaces of a home of this caliber and neighborhood context.
2. Took 3'-7 1/2" off of the roof overhang on the driveway side. Reducing this cantilever will drastically help with the perception of bulk and height from Madrona Ave.
3. Took 8 1/2" off of the roof at the rear yard side.
4. Lowered the ht. of the large masonry wall in the middle of the form that separates the two shed roofs by 18" so it drops in unison with the main living spaces shed roof.

**Changes made to the shed roof over the bedrooms:**

5. Pulled back the front overhang by 18". We accomplished this by reducing the depth of the deck to 4' and moved the louvers back accordingly, pushed back the wall of the master bedroom 6" toward the rear yard, and reduced the roof overhang by 18", which is as far back as we can possibly push it while maintaining the screening louvers so they have structure above them to have the posts attached to.

Please note that keeping the master deck and roof overhang allows us to keep the louvers on the front of the home. For both practical and aesthetic reasons keeping these louvers is important. They maintain symmetry with the louvers on the left side of the house, and they are intentionally angled to capture natural light while adding privacy and reducing any potential lantern effect for neighbors or the street below.

6. Reduced the overall roof height on the south side of the building where the bedrooms are by 6". This reduced the lowest point in the rear bedroom for the bottom of beam to 7' - 10" from its previous 8' - 4".
7. The slope of the shed is proposed at 1"/12" and going with less slope than that on a standing seam metal roof would cause substantial issues with waterproofing and roofing manufacturer warranties. We believe it is standard industry practice that shed roofs maintain 1"/12" slope at a minimum and we are forced to keep the upper level floor elevation at its current height due to budgetary reasons.

Please note that at this shed roof over bedrooms in your area of concern, we are now just +22' - 3" at max. ht., a good deal below our ht. limit



Best,

**Sean Bailey, Architect**

# ATTACHMENT 4

## MINUTES

Regular Meeting of the  
Ross Advisory Design Review Group  
6:00 PM, Tuesday, June 21, 2022

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](https://townofross.org/meetings).

### 1. 6:00 p.m. Commencement

ADR Group Chair Mark Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Laura Dewar, Stephen Sutro, Josefa Buckingham, and Mark Fritts.  
Director Rebecca Markwick and Planner Nishant Seoni were present representing staff.

### 2. Approval of Minutes.

The ADR Group unanimously approved the May 17, 2022 minutes.

### 3. Open Time for Public Comments

No comments were provided.

### 4. Planning Applications.

#### a. 1 Hillgirt Avenue

**Property Owner: Simon and Veronica Katz**

**Applicant: Steve Swearengen**

**Project Summary:** The applicant requests approval of Design Review, Demolition, Variances, and a Nonconformity Permit to demolish the existing two-story residence, detached garage, and detached accessory structure and construction of a new single-family residence with an attached two car garages. The Variances are required to exceed the allowable lot coverage and to construct within the creek setbacks. The project also proposes new landscaping and hardscape throughout the property, including a new driveway, walkway and rear patio. (Markwick)

Director Markwick summarized the project.

Project architect Swearengen introduced and summarized the project and reviewed the advice that was given to the applicant.

Chair Kruttschnitt opened the public forum.

#### Mark Fritts

- House feels too big, keep it to the existing square footage
- Height is too tall at the front façade, terrace towards the back of the home
- House looms over the street
- Deck over the garage is unnecessary onus to the property to the north. Can not support the deck over the garage
- Minimize the interior head height, need substantive reduction in height.

Laura Dewar

- Lower height of the garage, no balcony on the garage
- Height of the home is too tall, and too close to the street. The massing is very large at the street frontage.
- Wants more naturalistic materials.
- Concerned with the window placement and privacy

Joey Buckingham

- The house as proposed looms over the street, out of character with the neighborhood, given the size of the home.
- Need to reduce the total FAR. It is not guaranteed that you get the existing FAR of the existing house if you are rebuilding.
- Numbers do not work for the FAR and the height of the house.
- Need to reduce the size of the home so that it fits into the context of the neighborhood.
- Need more natural materials that blend into the landscape

Steve Sutro

- Scale is too big for the streetscape
- Should not exacerbate non-conformities
- Agrees with all of the other comments regarding and specifically the FAR

**b. 189 Lagunitas Road (A.P.N. 073-211-38)**

**Property Owner:** Jennifer and Jeffrey Bogan

**Applicant:** Brooks McDonald

**Project Summary:** The applicant requests approval of Design Review and a Variance for renovation of the exterior of the existing house; relocation of a basement ADU to above the existing garage; construction of a horizontal addition to the existing house, new fences, a pool and spa, and outdoor lounge areas; and modifications to existing landscaping. (Seoni)

Nishant Seoni introduced the project.

Architect, Brooks McDonald introduced the project and answered questions from the ADR members. In response to questions from the ADR, the applicant clarified the location and height of the deck, that the garage door is made of wood, and that the house and garage roofs will be made of similar materials.

Chair Kruttschnitt opened the public forum

One neighbor at 193 Lagunitas stated that the proposed horizontal addition would be too close to their property and create privacy issues. One member of the ADR recused

themselves from the project. The ADR approved of the proposed design and materials with some recommendations. The ADR recommended that stone cladding around the home be terminated at porch height rather than higher; that the pool and patio be relocated to reduce or eliminate setback nonconformance, and that the applicant work with the neighbors to reduce privacy impacts of the horizontal addition by reducing the number of windows used. The ADR requested that the applicant clarify to Planning whether a wet bar will be located in a setback, and if so to relocate it.

Steve Sutro

- Project is well designed, the dormer is contextually appropriate. ADU needs to be recorded as an ADU.
- Sad to see the logs go, however new materials are beautiful.
- The balcony and windows are very far from the property line and are appropriate in their locations. Maybe remove or reduce size of the windows.
- Lower the band of stones.
- Suggests making the patio smaller so that it is 25 feet from the property line, even though that would still require a Variance.
- Do not exacerbate the non-conformity with new patios.
- Can support the project as designed.

Laura Dewar

- Really nice design, materials are great.
- Modest and proportional to the lot and consideration of neighbors
- Move the third window to accommodate the neighbors
- The shade structure is okay in the setback, given that there is an easement that the setback is taken from. Needs more detail on the wet bar.
- Supports the project

Mark Kruttschnitt

- Echo's the stone comment, lower the stone detail.
- Remove one window to accommodate the neighbors.
- The deck is small, it will not be a large gathering place so he can support the deck.
- Supports ADU
- Pool is in setback, so it appears that it needs a Variance, or move it so that it does not need a Variance. Thinks that the pool should be moved, and the wet bar needs more detail.
- There should not be any lighting in the trellis structure in the setback.
- Fully supports the project, specifically with one of the windows on the north being removed.

**c. 24 Allen Avenue (A.P.N. 073-261-38)**

**Property Owner:** Warren and Robin Luhnig

**Applicant:** Imprints Landscape Architecture

**Project Summary:** The applicant requests approval of Design Review to remodel and relocate an existing deck; construct a new in-ground pool; construct a patio, arbor, fire pit, pool equipment room, and recreation court; and install new landscaping. A Variance is required to allow the proposed renovation and new construction to deviate from setback standards. The parcel has an approved permit for an Accessory Dwelling Unit (ADU) that is not part of the proposed project. (Seoni)

Nishant Seoni introduced the project.

The applicant summarized the project and existing conditions, and stated that they proposed a bio-retention basin to offset the proposed increase in impervious surface. The ADR stated that the increase to impervious surface was still too high and that the proposed pool was too far into the existing setback for necessary findings to be met. The ADR stated that as proposed they could not support the project.

**d. 98 Laurel Grove Avenue (APN 072-211-38)**

**Property Owner:** Dwinells Family Trust

**Applicant:** Polsky Perlstein Architects

**Project Summary:** The applicant requests approval of Design Review to remodel and expand the existing main residence at the front and south side; construct new attached trellis structures at the south side and rear building elevations; construct a new storage accessory building in the south side yard; construct a new pool and associated terrace and retaining wall in the south side yard; and renovate the south side yard and rear yard landscape. Variances are required to construct a new storage accessory building, new trellis projections, and a new pool and associated structures with nonconforming yard setbacks. (Seoni)

Nishant Seoni introduced the project. The applicant stated that recently modified plans removed a proposed storage shed, and that the proposed pool was in its location within a side yard setback because the land on the adjacent property was unusable and the pool's proximity to the property line was unlikely to affect the neighboring property. The ADR supported this. The ADR supported the design of the project with a recommendation that additional windows or articulation of some kind be placed on the east side of the garage to improve its visual character.

**e. 18 Madrona Avenue**

**Property Owner:** 18 Madrona LLC

**Applicant:** Sean Bailey

**Project Summary:** The applicant requests approval of Design Review to remodel the existing 2,877 square foot single family residence and an addition of 1,983 square feet. The project includes a new roof and new landscaping throughout the property. The existing pool and patio will remain. (Markwick)

Laura Dewar

- Likes the design and can support the project.

Steven Sutro

- Design and material are great, the contemporary design is also great
- The story poles read that the project is very tall at the street.
- The roof line needs to be minimized.
- Wants a roof modification before he can fully endorse it to the council

Mark Fritts

- Likes the architecture and symmetry of the project, however the roof over the street is somewhat looming. The shed roof does not do the site justice.
- Likes the red cedar, has a concern about the amount of glass and lighting.
- The mass of the roof is too large.
- Likes the articulation, and mass of the structure except for the mass and front façade of the home.

Mark Kruttschnitt

- Can support the project as designed.
- Suggested that the project applicant work offline with the Steve and Mark F. to work on the roof line.

**Conceptual Advisory Design Review.**

**a. 3 Skyland Way (APN 072-211-12)**

**Property Owner:** Stephen and Hanna Ensley

**Applicant:** Historical Concepts Architecture and Planning

**Project Summary:** The applicant requests pre-application review and recommendation on preliminary design for demolition of the existing house, pool, pool pavilion, and drives. Proposed new construction for a single family-residence to include: main house with attached garage, detached garage, detached guest house, pool, drives, and gardens.

The design team presented the project at 3 Skyland.

The ADR had questions about whether any of the proposed house, pool and landscaping were proposed in the setbacks. There was a question about the seating area, and patios that are proposed in the setback, advised that the applicant should bring all the improvements out of the setbacks. They discussed that the project would be coming in with a non-conformity permit. The ADR discussed that that was probably okay, provided it was not noxious, and impactful to the neighbors. Some suggestions were made to convert the guest house to an ADU which would be mutually beneficial. The ADR asked that as the project goes forward to block out the adjacent neighbors so that it was clear



where they are on the site plan. The massing at the home near the sports court might appear large, depending on what is below it, however difficult to determine at this point, the architects agreed to address that. The basement was discussed, and stacking spaces is okay. The materials were discussed, they have not been determined, however will be natural in appearance. The ADR members thought that the project is beautiful, liked that it is out of the setbacks. The design looks in scale, and the massing is wonderful and can support the non-conformity permit. It was recommended that no Variances be asked for.

**b. 10 Southwood (APN 073-151-23)**

**Property Owner:** Ron and Allison Abta

**Applicant:** Julie M Jonson, AUA LEED

**Project Summary:** The property at 10 Southwood Avenue is a single-family residence approximately 2,341 SF currently under renovation. The project proposes to remove the existing carport and relocate to the west side of the house, this would also relocate the current driveway to the western side of the property. The current driveway is approximately 9 ft wide, located on the east side of the home; therefore, relocating to the west would allow much more generous space.

Additionally, there is an existing cottage in the rear of the property, the project proposes to install a dormer on the second floor, above the existing stair. The existing cottage is original and exists within the rear yard setback. The existing carport that bi-sects the rear yard (proposing to demolish) and the proposed relocation, exist in the side and rear setback.

The project architect introduced the project and the ADR discussed it. There were questions about whether a garage or carport is being proposed, the proposal is for a carport. The idea is that the existing carport be removed, and a new one be removed. A discussion about what the code requires in terms of covered parking, and what that means. The ADR was not favorable to carports. The ADR indicated that they can support the project going forward and it was recommended that the trees remain to construct the carport because they provide great screening.

**5. Communications**

**a. Staff**

**b. ADR Group Members**

**6. Adjournment**

Chair Kruttschnitt adjourned the meeting at 10:12 PM.

# ATTACHMENT 5

**From:** Joshua Reeves <joshua.reeves@gmail.com>  
**Sent:** Tuesday, June 21, 2022 12:04 AM  
**To:** Rebecca Markwick  
**Cc:** Susan Hwang  
**Subject:** note of support for 18 Madrona Ave remodel (from neighbors at 15 Madrona Ave)

Hi Rebecca,

It's nice to meet you! My name is Josh Reeves and I live at 15 Madrona Ave with my wife Susan Hwang (cc'd). We bought our home in late 2020 and love living here. I grew up in Greenbrae and attended Bacich, Kent, and Redwood, but then moved away after High School. It's wonderful to be back in such a beautiful area. We have two kids, River (3 yrs old) and Sky (1 yrs old), and we love going hiking with them in the area.

I look forward to meeting in the future, but the main reason for my email was to share a note of support for Peter and Christine Berg's remodel of their home at 18 Madrona Ave, which is right across the street from us.

They spent the time to share details of the project with Susan and I, and we were impressed by the thoughtfulness and intentionality they took to the remodel. It's clear they want to live here for the long term, and I know they spent a lot of time researching architects to find the right one for this project.

I received a town letter in the mail regarding the ADR Hearing tomorrow (6/21 at 6pm), and unfortunately I won't be able to attend due to a prior commitment. But I wanted to send an email to you so you knew that the project has our support.

Please let us know if you have any questions!

Best,  
Josh & Susan

--  
**Joshua Reeves**

"The best way to predict the future is to invent it." ~Alan Kay

**From:** Tony Rose <marinmachine@comcast.net>  
**Sent:** Tuesday, June 14, 2022 9:11 AM  
**To:** Rebecca Markwick  
**Subject:** 18 Madrona

Dear Council Members, We have seen and approve of the plans for 18 Madrona Ave. Anthony and Rosalie Rose,  
16 Madrona Ave.



Peter Berg <peter.berg@gmail.com>

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## 18 Madrona

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Adrienne Marie Liggett <moxtail@yahoo.com>

Thu, Jun 16, 2022 at 12:01 PM

To: "rmarkwick@townofross.org" <rmarkwick@townofross.org>, Designreview <designreview@townofross.org>

Cc: Peter Berg <peter.berg@gmail.com>

Hello ADR,

I writing to you in support of the remodel plans at 18 Madrona. First I would love to commend the Bergs on their excellent communication by reaching out to all of the neighbors and sharing their plans/inviting commentary, ahead of receiving a mailer from the Town. Second we are delighted that they are improving the property. The renderings are modern, warm and blend into nicely to the neighborhood.

Thank you,

Adrienne & Eric Liggett  
10 Madrona



Peter Berg <peter.berg@gmail.com>

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## 18 Madrona ADR June Meeting

1 message

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elika rosenbaum <elika.rosenbaum@gmail.com>

Fri, Jun 10, 2022 at 11:40 AM

To: Town Of Ross <llopez@townofross.org>, Rebecca Markwick <rmarkwick@townofross.org>, Chrissy Saunders <christine.saunders06@gmail.com>, Peter Berg <peter.berg@gmail.com>, m cell <mfrosenbaum@gmail.com>

Members of the Advisory Design Review Group:

We write in **support** of the proposed additions to the home located at 18 Madrona, currently owned by Mr. Berg and Ms. Saunders.

We have had a chance to review the exterior design changes with the applicant and walk the property.

We note that most of the proposed new square footage-- while enhancing the living spaces-- primarily provides facade relief including balconies and bay windows for lighting. These changes will add some variety to the flat facade facing Madrona and be an improvement to the street view of the structure.

For these reasons we support the additions and changes to the property and hope you will **approve this application**.

Thank you for your efforts on behalf of the Town of Ross.

Michael and Erika Rosenbaum  
14 Madrona Avenue  
415-264-9247 415-308-4477