

Agenda Item No. 10b.

### Staff Report

Date:	February 10, 2022
То:	Mayor Robbins and Council Members
From:	Matthew Weintraub, Planner
Subject:	Haswell Residence, 21 Fernhill Avenue

### Recommendation

Town Council approval of Resolution No. 2237 (see **Attachment 1**) approving Design Review and Variance for the subject project as described below.

Property Owner:	Stephanie and Russ Haswell
Project Designer:	Polsky Perlstein Architects; Imprints Landscape Architecture
Street Address:	21 Fernhill Avenue
A.P.N.:	073-091-37
Zoning:	R-1: B-20
General Plan:	L (Low Density)
Flood Zone:	X (Minimal risk area)

**Project Summary:** The applicant is requesting approval of Design Review to renovate the exterior materials, features, and appearance of the existing single-family residence, including additions and alterations; and to construct a new pool and associated landscape in the rear yard. Variance is requested to allow for the construction of a new pool within the minimum required rear yard setback. A separate application has been submitted for ministerial review of Accessory Dwelling Unit (ADU) Permit to construct a new detached accessory dwelling unit.

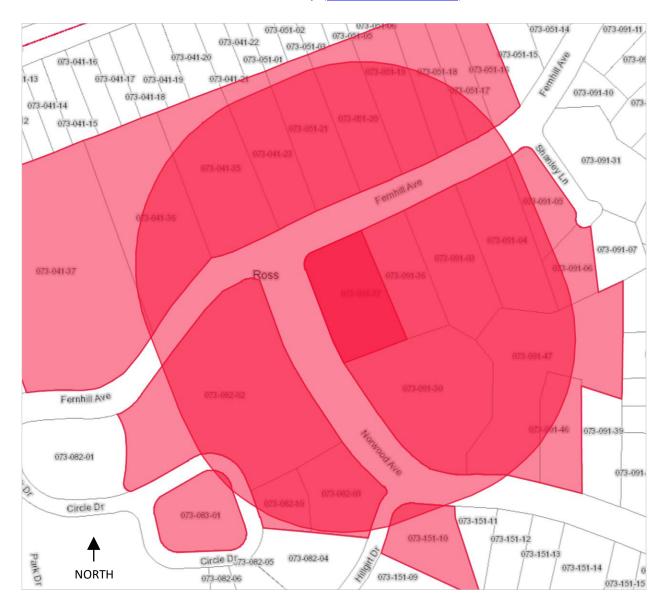
### **Public Notice**

Public Notices were mailed to property owners within 300 feet of the project site at least 10 days prior to the meeting date.

### Project Data

	Code Standard	Existing	Proposed
Lot Area	20,000 sq. ft. min.	27,502 sq. ft.	No change
Floor Area (FAR)	15% max.	3,635 sq. ft. (13.2 %)	3,938 sq. ft. (14.3%)
Building Coverage	15% max.	2,944 sq. ft. (10.7%)	3,640 sq. ft. (13.2%)
Front Setback	25 feet min.	79 feet	No change
Side Setback	20 feet min.	East: 30 feet	No change to house
		West: 36 feet	Pool, East: 36 feet
			Pool, West: 46 feet
Rear Setback	40 feet min.	59 feet	No change to house
			Pool: 25 feet
Building Height	2 stories; 30 feet max.	2 stories; 24 feet	No change
Off-street Parking Spaces	3 total (1 enclosed) min.	3 total (2 enclosed)	No change
Impervious Surface Coverage	Minimize and/or mitigate *	8,275 sq. ft. (30.1%)	8,788 sq. ft. (32.0%)

\* Low Impact Development (LID) for Stormwater Management, Design Review criteria and standards, per RMC Section 18.41.100 (t).



**Notice Area (300 feet)** Source: MarinMap (<u>www.marinmap.org</u>).

**Project Site** Source: MarinMap (<u>www.marinmap.org</u>).



### **Project Description**

The project proposes to renovate the exterior of the existing single-family residence. It would alter the existing modern character by removing existing exterior materials and features such as vertical siding, plain roof beams, and horizontal windows; and it would apply materials and features with traditional character such as horizontal lap siding, carved eave brackets, and divided windows. The project would construct first-story additions totaling 112 square feet of new floor area.

The project would construct a new pool in the rear yard, 14 feet wide and 48 feet long. The pool and associated hardscape would be located 25 feet from the rear property line; and 36 and 46 feet from the east and west side property lines, respectively. New mechanical equipment would be enclosed and located adjacent to the residence. New coverage would be mitigated by replacement of existing impervious driveway paving with new permeable paving; and by adding a new 60-square-foot bioretention area for stormwater control. The project would excavate 160 cubic yards and export 145 cubic yards.

A separate application has been submitted for ministerial review of Accessory Dwelling Unit (ADU) Permit to construct a new detached, 995-square-foot, two-bedroom accessory dwelling unit at the southwest corner of the property. The ADU Permit application is not subject to discretionary review.

The proposed project is subject to the following permit approvals:

- **Design Review Permit is required pursuant to RMC Chapter 18.41** for a project resulting in the removal or alteration of more than 25% of the exterior walls or wall coverings of a residence; for an activity or project resulting in more than 50 cubic yards of grading or filling; and for a project resulting in over 1,000 square feet of new impervious landscape surface.
- Variance is required pursuant to RMC Chapter 18.48 to allow for the construction of a new pool and associated hardscape with nonconforming rear yard setback.

Project application materials are included as follows: Project Description as **Attachment 2**; Project Plans as **Attachment 3**; Neighborhood Outreach Description as **Attachment 4**.

### Background

The project site is located on the southeast corner of Fernhill Avenue and Norwood Avenue. The 27,502 -square-foot lot is rectangular in shape. The average slope is 2%. The property contains an existing single-family residence.

According to the Assessor's Office, development occurred on the site in 1962 and 1963. The Town previously granted the following approvals for the property:

Date	Permit	Description
11/08/01	Demolition	Demolish existing residence and garage.
09/12/02	Extension	Extension of previously issued permit.
06/26/08	Design Review (Administrative)	New driveway and pedestrian gates.
10/08/09	Design Review, Variance	Construct a new residence, garage, and second unit.
12/09/10	Extension	Extension of previously issued permit.
11/10/11	Extension	Extension of previously issued permit.

The Project History is included as Attachment 5.

### Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions to Attics, a Hillside Lot Permit, Variance, and/or ADU Exception.

The Advisory Design Review (ADR) Group reviewed the project at a public hearing. The ADR Group received information from the applicant, allowed public comments, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per RMC Section 18.41.100 and the Town of Ross Design Guidelines.

On January 18, 2022, the ADR Group unanimously and conditionally recommended that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per RMC Section 18.41.100, and therefore conditionally recommended approval of Design Review. The ADR Group conditioned the recommendation of approval to include the following revision to the project design as presented to the ADR Group: omit the exterior rear spiral stairs. In consideration of comments received, the applicant revised the project design to omit the exterior rear spiral stairs.

The ADR Group meeting minutes are included as **Attachment 6**.

### Discussion

### Variance for Pool Nonconforming Rear Setback

Pursuant to RMC Section 18.48.010, where practical difficulties, unnecessary hardships and results inconsistent with the general purpose of the zoning ordinance may result from the strict application of certain provisions thereof, variances, exceptions and adjustments may be granted, by the Town Council in appropriate cases, after public notice and hearing as provided in the zoning ordinance. Variances shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict

application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

In accordance with RMC Section 18.48.010 (c), a Variance is recommended for approval to allow the construction of a new pool and associated patio within the minimum required rear yard setback based on the following mandatory findings:

1) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.

<u>Analysis</u>: The special circumstances and conditions applicable to the land include the location of the existing residence which occupies the majority of the non-setback areas in the side yards and rear yards, and which leaves open only the non-setback area in the front yard as conforming. Consequently, the strict application of the minimum required yard setbacks on the property would severely restrict the ability of the property owner to construct a new pool in any area of the property other than the front yard.

2) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.

<u>Analysis</u>: Pools and associated patios are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting of the variance request, in a neighborhood where existing nonconforming setbacks are not uncommon, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting of the variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

3) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

<u>Analysis</u>: The new pool and associated patio are configured to minimize the rear yard setback encroachment and to provide at least a 25-foot distance to the rear property line. For comparison, the proposed rear setback distance to the pool would exceed the minimum required 20-foot side yard setbacks which is determined to provide adequate distance for privacy and screening at side property lines. Existing mature landscaping and new trees and shrubs would provide visual screening from adjacent properties. No members of the general public including owners of adjacent properties have expressed concerns or issues with respect to the project.

### **Building Conformance**

Pursuant to RMC Chapters 18.16 and 18.32, specific regulations for building construction are applied to that extensive portion of the town area devoted to single family residence use,

including minimum required building setbacks; maximum allowed building height; maximum allowed building coverage; and maximum allowed floor area.

<u>Analysis</u>: The proposed alterations and additions to the primary residence conform to all of the specific regulations of the Single Family Residence and Special Building Site districts. It does not require a variance or exception and it would not result in a nonconforming condition.

### Architecture and Design

Pursuant to RMC Section 18.41.070, substantial compliance with design review criteria and standards is required.

**Analysis**: The residential renovation use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention. High-quality building materials are used. The project uses natural materials such as wood and stone. Soft and muted colors in the earth tone and wood tone range predominate. Exterior lighting would be shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping would be provided to protect privacy between properties. New mechanical equipment would be screened from view and located approximately 40 feet away from the closest property line.

### Stormwater Management

Pursuant to RMC Section 18.41.070 (t), to the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors.

<u>Analysis</u>: The project would use permeable materials for driveways, parking areas, patios and paths. It would reduce pre-existing impervious surfaces. It would use drainage as a design element and design the landscaping to function as part of the stormwater management system. The project would install a new bioretention area to decrease the velocity of runoff and allow for stormwater infiltration on-site, so that post-project stormwater runoff rates would be no greater than pre-project rates.

### Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

### Alternative actions

- 1. Continue the item to gather further information, conduct further analysis, or revise the project; or
- 2. Make findings to deny the application.

### **Environmental Review**

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use.

### **Public Comment**

No public comments were received prior to the finalization of this report.

### Attachments

- 1. Resolution No. 2237
- 2. Project Description
- 3. Project Plans
- 4. Neighborhood Outreach Description
- 5. Project History
- 6. ADR Group Meeting Minutes, February 20, 2022 (draft)

# **ATTACHMENT 1**

### **TOWN OF ROSS**

### RESOLUTION NO. 2237 A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW AND VARIANCE TO RENOVATE THE EXTERIOR MATERIALS, FEATURES, AND APPEARANCE OF THE EXISTING SINGLE-FAMILY RESIDENCE, INCLUDING ADDITIONS AND ALTERATIONS, AND TO CONSTRUCT A NEW POOL AND ASSOCIATED LANDSCAPE IN THE REAR YARD AT 21 FERNHILL AVENUE, A.P.N. 073-091-37

**WHEREAS**, applicant Polsky Perlstein Architects, on behalf of property owner Stephanie and Russ Haswell, has submitted an application requesting approval of Design Review and Variance to renovate the exterior materials, features, and appearance of the existing single-family residence, including additions and alterations; and to construct a new pool and associated landscape in the rear yard at 21 Fernhill Avenue, A.P.N. 073-091-37 (herein referred to as "the Project").

WHEREAS, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration of existing private structures, facilities, or topographical features, involving negligible or no expansion of existing or former use; and

**WHEREAS**, on February 10, 2022, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review and Variance to allow the Project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 10<sup>th</sup> day of February 2022, by the following vote:

AYES: NOES: ABSENT: ABSTAIN:

Elizabeth Robbins, Mayor

ATTEST:

Linda Lopez, Town Clerk

### EXHIBIT "A" FINDINGS 21 FERNHILL AVENUE A.P.N. 073-091-37

### A. Findings

### I. In accordance with Ross Municipal Code Section 18.41.070, Design Review is approved based on the following mandatory findings:

### a) The project is consistent with the purpose of the Design Review chapter as outlined in Section 18.41.010.

As recommended by the Town of Ross Advisory Design Review Group, the project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

### b) The project is in substantial compliance with the design criteria of Section 18.41.100.

As recommended by the Town of Ross Advisory Design Review Group, the project is in substantial compliance with the design criteria of RMC Section 18.41.100. The residential renovation use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention. High-quality building materials are used. The project uses natural materials such as wood and stone. Soft and muted colors in the earth tone and wood tone range predominate. Exterior lighting would be shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping would be provided to protect privacy between properties. New mechanical equipment would be screened from view and located approximately 40 feet away from the closest property line.

### c) The project is consistent with the Ross General Plan and zoning ordinance.

The project is consistent with the allowed uses and general development standards associated with the Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations, therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

### II. In accordance with Ross Municipal Code (RMC) Section 18.48.010 (c), Variance is approved based on the following mandatory findings:

a) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.

The special circumstances and conditions applicable to the land include the location of the existing residence which occupies the majority of the non-setback areas in the side yards and rear yards, and which leaves open only the non-setback area in the front yard as conforming. Consequently, the strict application of the minimum required yard setbacks on the property would severely restrict the ability of the property owner to construct a new pool in any area of the property other than the front yard.

### b) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.

Pools and associated patios are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting of the variance request, in a neighborhood where existing nonconforming setbacks are not uncommon, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting of the variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

c) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The new pool and associated patio are configured to minimize the rear yard setback encroachment and to provide at least a 25-foot distance to the rear property line. For comparison, the proposed rear setback distance to the pool would exceed the minimum required 20-foot side yard setbacks which is determined to provide adequate distance for privacy and screening at side property lines. Existing mature landscaping and new trees and shrubs would provide visual screening from adjacent properties. No members of the general public including owners of adjacent properties have expressed concerns or issues with respect to the project.

### EXHIBIT "B" CONDITIONS OF APPROVAL 21 FERNHILL AVENUE A.P.N. 073-091-37

- 1. This approval authorizes Design Review and Variance to renovate the exterior materials, features, and appearance of the existing single-family residence, including additions and alterations; and to construct a new pool and associated landscape in the rear yard at 21 Fernhill Avenue, A.P.N. 073-091-37 (herein referred to as "the Project").
- 2. The building permit shall substantially conform to the plans prepared by Hart Wright Architects, cover sheet entitled, "HASWELL RESIDENCE, 21 FERNHILL AVE, ROSS CA, AP# 073-091-37", version Date 26 JAN 2022 "ADR REVISIONS", Print Date 1/26/22, and reviewed and approved by the Town Council on February 10, 2022.
- 3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
- 4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
- 5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
- 6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
- 7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
- 8. A Tree Permit shall not be issued until the project grading or building permit is issued.

- 9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
  - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
  - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
  - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
  - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
  - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
  - f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
  - g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
  - h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout

areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- I. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.

- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
  - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.

- ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
- 10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

# **ATTACHMENT 2**

### Written Project Description – may be attached.

A complete description of the proposed project, <u>including all requested variances</u>, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

See Attached

### **PROJECT DESCRIPTION**

THE SCOPE OF THE LANDSCAPE PROJECT IS TO INSTALL A NEW SWIMMING POOL NEW STONE PATIOS, WOOD DECKS, TO REPLACE THE DRIVEWAY WITH PERMEABLE PAVERS AND NEW PLANTINGS, AS SHOWN.

EXISTING FENCES AND GATES ARE TO REMAIN.

ALL LIGHTING IS TO BE LOW VOLTAGE AND DOWN SHIELDED.

IRRIGATION SYSTEM IS TO REMAIN, WITH REPAIRS MADE AS NECESSARY.

EXISTING PALM TREES, ENGLISH LAUREL HEDGES, BIRD OF PARADISE AND THE MAJORITY OF OTHER EXISTING PLANTINGS ARE TO REMAIN.

TREES FOR REMOVAL:

- T1 20" BUCKEYE
- T2 8" DUAL TRUNK PALM
- T3 30" PALM

#### **Mandatory Findings for Variance Applications**

In order for a variance to be granted, the following mandatory findings must be made:

### **Special Circumstances**

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.** 

In review with Ross Planning, we ascertained that many neighbors have pools within setbacks. This is the main reason we feel no special circumstances would be being made for our client that have not been made for others with equal property limitations.

Additionally, setbacks in Ross have historically been quite extensive. In our client's case, there is no other logical location on this property a pool would fit. Any other location would not have allowed for the extensive screening we wanted to include to create space and afford our neighbor privacy.

### **Substantial Property Rights**

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.** 

Simply, this project is for a family who would like to be able to enjoy the outdoor beauty of their space.

### **Public Welfare**

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.** 

We feel that there would be no impact on public welfare. These improvements cannot be seen from the street and are screened from neighbors.

#### Written Project Description – may be attached.

A complete description of the proposed project, <u>including all requested variances</u>, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

RENOVATION OF EXISTING HOUSE INCLUDING; DEMOLITION OF SOME INTERIOR WALLS, NEW PLUMBING AND ELECTRICAL, ALL NEW WINDOWS
 & DOORS AND NEW EXTERIOR FINISHES. EXISTING ROOFING TO REMAIN

ADDITION OF 153 SF TO MAIN HOUSE

• ADD 155 SF TO EXISTING REAR DECK

NEW 127 SF SECOND FLOOR DECK

ADDITION OF NEW TRELLIS AT THE FRONT AND BACK OF THE HOUSE

• PROPOSED 995 SF DETACHED ADU

# **ATTACHMENT 3**

## NEIGHBORHOOD MAPS



EXISTING POOLS HIGHLIGHTED

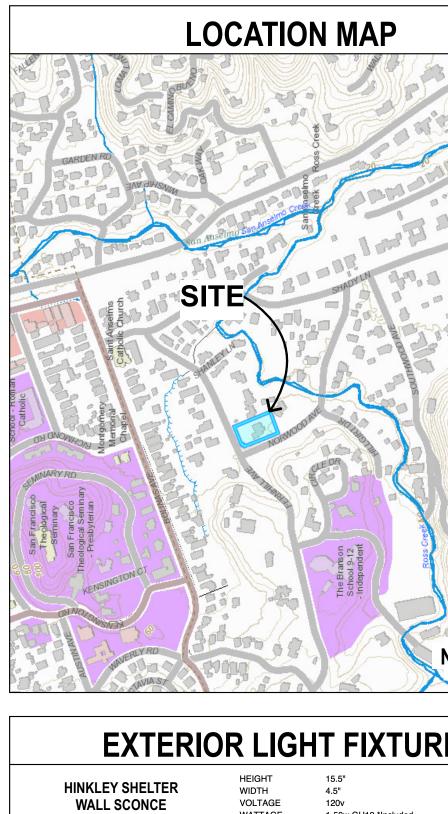


**CLOSE UP VIEW** 

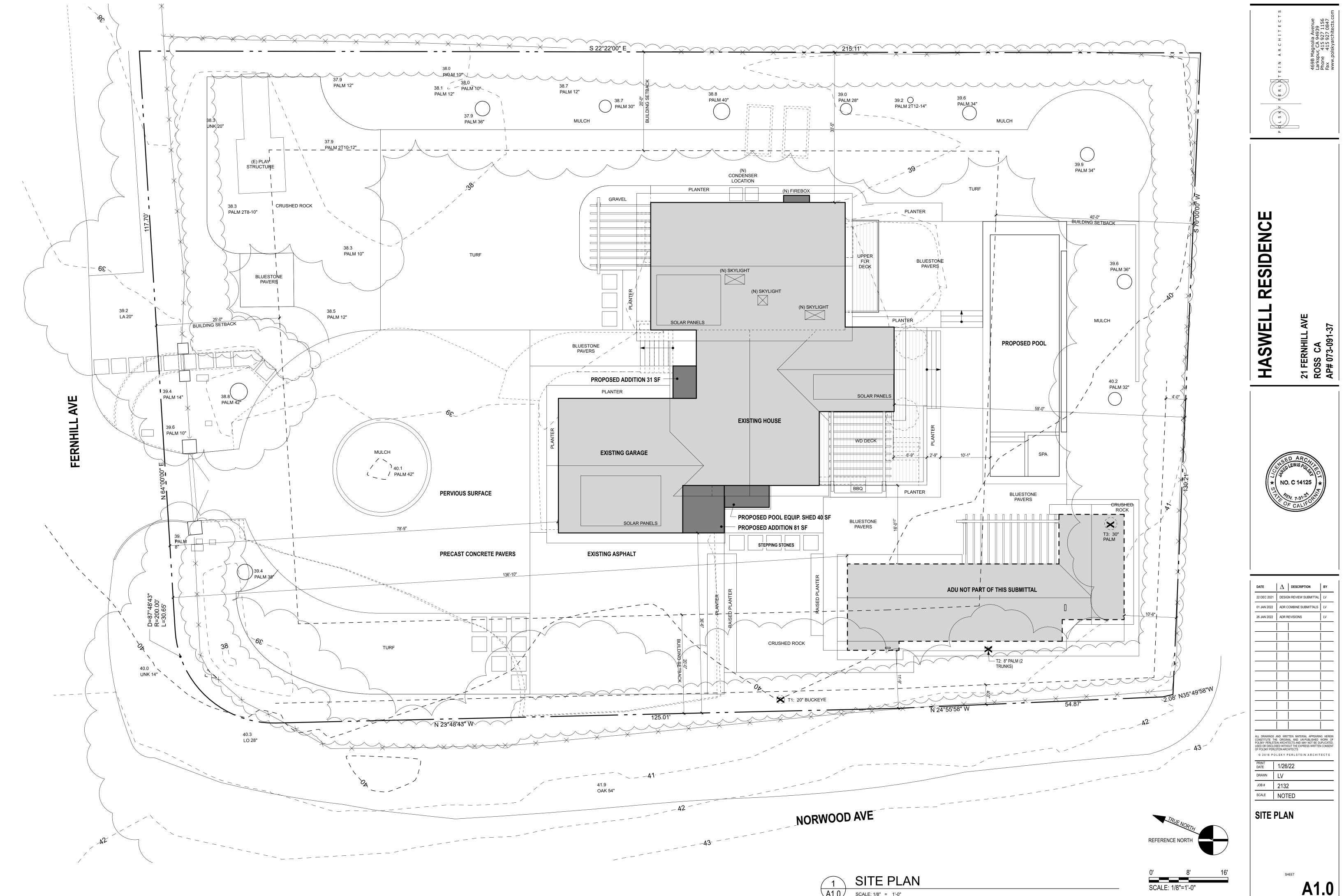
Il construction shall comply with all local codes and ordinances and the code
019 California Residential Code: CRC
019 California Mechanical Code: CMC
019 California Electrical Code: CEC
019 California Plumbing Code: CPC
019 California Fire Code
019 California Energy Code
019 California Building Code: CBC
019 Green Building Standards Code
own of Ross Municipal Code

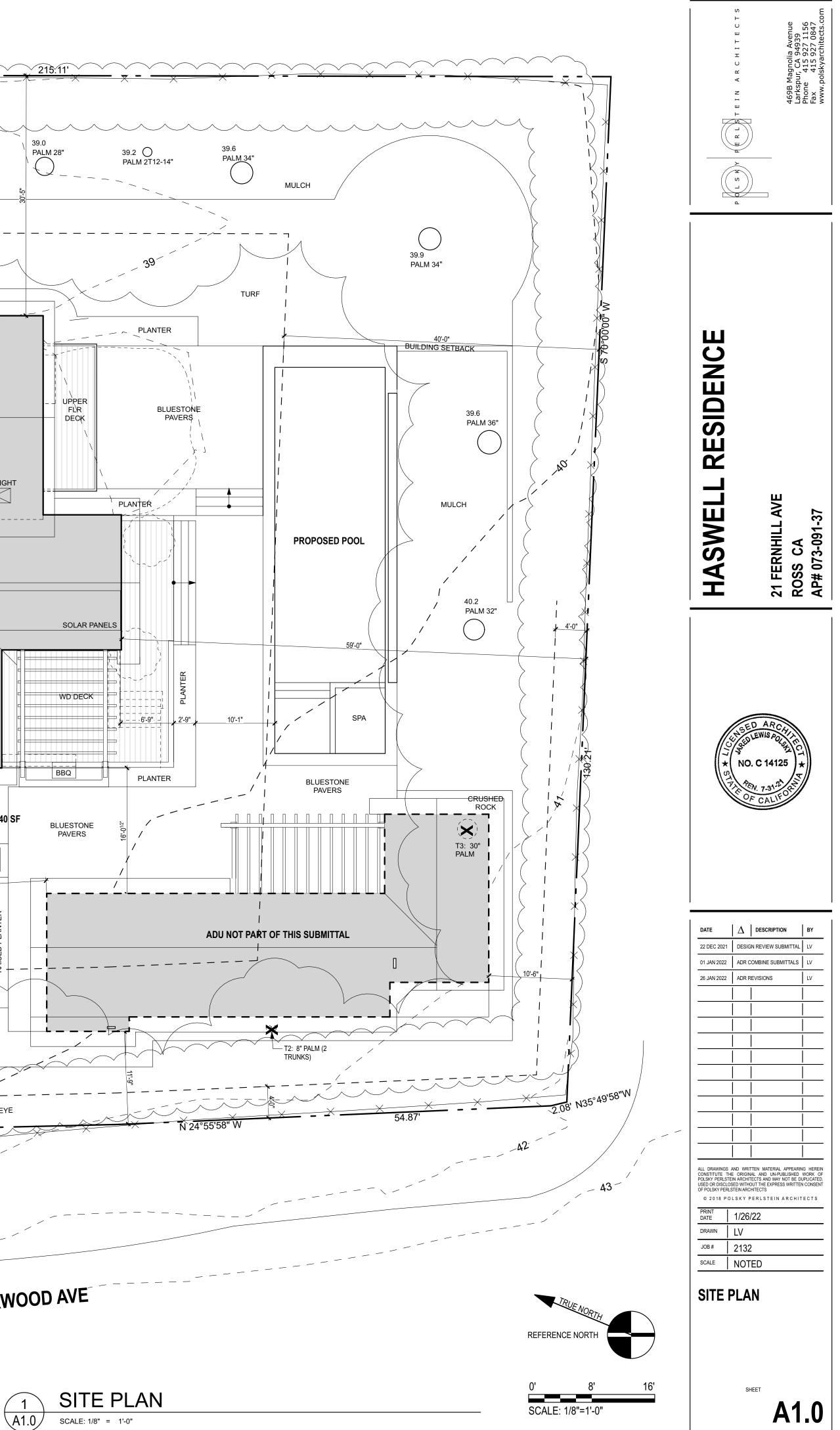
	CODES	SCOPE OF WORK	c T s 56 s.com
All construction shall comply with 2019 California Residential Code 2019 California Mechanical Code 2019 California Electrical Code: 2019 California Plumbing Code: 2019 California Fire Code 2019 California Energy Code	e: CMC CEC	<ul> <li>RENOVATION OF EXISTING HOUSE INCLUDING; DEMOLITION OF SOME INTERIOR WALL PLUMBING AND ELECTRICAL, ALL NEW WINDOWS &amp; DOORS AND NEW EXTERIOR FINISHE EXISTING ROOFING TO REMAIN</li> <li>ADDITIONS TOTALING 112 SF TO MAIN HOUSE + 40 SF POOL EQUIP SHED</li> <li>ADD 155 SF TO EXISTING REAR DECK</li> </ul>	
2019 California Building Code: C 2019 Green Building Standards ( Town of Ross Municipal Code	CBC Code	<ul> <li>NEW 127 SF SECOND FLOOR DECK</li> <li>ADDITION OF NEW TRELLIS AT THE FRONT AND BACK OF THE HOUSE</li> </ul>	
	vill comply with section 115922 for Pool & spa safety measures	THE SCOPE OF THE LANDSCAPE PROJECT IS TO INSTALL A NEW SWIMMING POOL, NEW PATIOS, WOOD DECKS, TO REPLACE THE DRIVEWAY WITH PERMEABLE PAVERS AND NEV PLANTING AS SHOWN. <li>• EXISTING FENCES AND GATES ARE TO REMAIN</li>	
Р	ROJECT TEAM	ALL LIGHTING IS TO BE LOW VOLTAGE AND DOWN SHIELDED     IRRIGATION SYSTEM IS TO REAMIN, WITH REPAIRS MADE AS NECESSARY	
OWNER	Stephanie & Russ Haswell 21 Fernhill Ross CA Tel: (415) 377-1298 E: stephanie.gwinner@gmail.com	EXISTING PALM TREES, ENGLISH LAUREL HEDGES, BIRD OF PARADISE AND THE MAJOI OTHER EXISTING PLANTINGS ARE TO REMAIN TREES FOR REMOVAL: T1 - 20" BUCKEY T2 - 8" DUAL TRUNK PALM T3 - 30 PALM	RITY OF
ARCHITECT	Polsky Perlstein Architects 469B Magnolia Avenue Larkspur CA 94939 Tel: 415-927-1156 x306 E: laura@polskyarchitects.com Contact: Laura Van Amburgh	PROJECT DATA	
SURVEYOR:	Michael Ford Land Surveying 2300 Bethards Dr Suite J Santa Rosa, CA Tel: 707.542.8513 Contact: Michael Ford www.michaelfordinc.com	Owners:Stephanie & Russ HaswellAddress:21 Fernhill AveZoning Designation:R-1 B-20Assessor's Parcel Number:073-091-37Actual Site Area (SF):27,502Occupancy Type:R-3 U-1Building Type:V-B	RESIDE
LANDSCAPE	IMPRINTS Landscape Architecture 202 Rosemont Ave	Zoning Req't. Existing Bldgs. Proposition Lot Coverage (SF)	sed Project
	Mill Valley 94941 Tel: (415) 380-0755 brad@imprintsgardens.com Contact: Brad Eigsti	Main House 1,945 Garage 681	
CIVIL	LTD Engineering, Inc 1050 Northgate Drive, Suite 315	* ADU over 800 SF Pool equip shed 0 Porches and stairs >18" above grade 318	2,111 675 195 40 619 # 013-001-2
	San Rafael CA 94903 Tel: (415) 446-7400 E: gdearth@LTDengineering.com	Total Lot Coverage         2,944           Lot Coverage         15.0%	<sup>3,640</sup>     <b>T 7 7 7 7</b>
	Contact: Glenn Dearth	Lot Coverage (%) 15.0% 10.7% Floor Areas (SF)	13.2%
		House Main Floor 1,977 Upper Floor 977	2,102 966
L	OCATION MAP	Total 2,954 * ADU over 800 SF	3,068 195
		Garage681Total Floor Areas41703635	675 3938
		Floor Area Ratio15.0%13.2%	14.3%
CARDEN RD CARDEN	Saint Johns	Building Height House 30'-0" 23'-6" * ADU Setbacks	23'-6" 14'-0"
a supply some t		Front (North)         25'-0"         78'-9"           Side (East)         20'-0"         30'-5"	78'-9" 30'-5"
the Answer	ITE	Side (West)         20'-0"         36'-6"           Rear (South)         40'-0"         59'-0"	36'-6" 59'-0"
The second		Pool (East)         20'-0"           Pool (West)         20'-0"           Pool (South)         40'-0"	36'-3" 46'-3" 24'-11"
Catholic Catholic Montgomery Memorial Chapel		* THE ADU IS NOT PART OF THIS SUBMITTAL. ADU SHOWN FOR INFORMATION & CALCU	DATE $\Delta$ DESCRIPTION     BY       22 DEC 2021     DESIGN REVIEW SUBMITTAL     LV       01 JAN 2022     ADR COMBINE SUBMITTALS     LV       26 JAN 2022     ADR REVISIONS     LV
San Francisco Theojogical Seminary San Francisco ological Seminary Presbyterian		INDEX OF DOCUMENTS	
CRUSINGTON CT VENSINGTON CT UNIT AND CT CRUSINGTON CT CRUS		ARCHITECTURAL A0.1 PROJECT INFORMATION A1.0 SITE PLAN A1.1 EXISTING/DEMO FLOOR PLANS A1.2 PROPOSED MAIN FLOOR PLAN A1.3 PROPOSED SECOND FLOOR PLAN	
ELC 2 S AVAST		A2.1 EXTERIOR ELEVATIONS - NORTH A2.2 EXTERIOR ELEVATIONS - WEST A2.3 EXTERIOR ELEVATIONS - SOUTH	
EXTERI	OR LIGHT FIXTURES	A2.4 EXTERIOR ELEVATIONS - EAST A3.1 BUILDING SECTIONS A4.1 PERSPECTIVE VIEWS & MATERIALS BOARD	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UN-PUBLISHED WORK OF POLSKY PERLSTEIN ARCHITECTS AND MAY NOT BE DUPLICATED.
HINKLEY SHELTER WALL SCONCE	HEIGHT 15.5" WIDTH 4.5" VOLTAGE 120v WATTAGE 1-50v GU10 *Included	SURVEY	USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF POLSKY PERLSTEIN ARCHITECTS © 2018 POLSKY PERLSTEIN ARCHITECTS
	CERTIFICATIONC-US Wet RatedEXTENSION4.8"TOP TO OUTLET5.8"BACK PLATE4.5"W X 12"H	1 OF 1 TOPOGRAPHIC MAP	DATE 1/26/22 DRAWN LV
	<ul> <li>Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC.</li> <li>Meets United States UL Underwriters</li> </ul>		JOB # 2132 SCALE NOTED
	FEATURES AND BENEFITS For complete warranty 2 year warranty 5 2 year warranty 5 2 year warranty on electrical wiring and components	L-1 LANDSCAPE CONCEPT PLAN L-2 LANDSCAPE CONSTRUCTION PLAN L-3 LANDSCAPE STAKING PLAN L-4 IMAGES AND MATERIALS CIVIL	PROJECT INFORMATION
	<ul> <li>Bold lines and a clean, minimalist style complement contemporary architecture</li> <li>Striking black finish enhances design</li> </ul>	C-1 COVER SHEET C-2 CONCEPTUAL GRADING PLAN	
	FINISH Black Lights shall have a color temperature of 3500 Kelvin or lower PLANS & ELEVATIONS FOR EXTERIOR LIGHTING LOCATIONS	C-3 DETAILS SW-1 STORMWATER CONTROL PLAN SW-2 STORMWATER CONTROL PLAN	SHEET
	PLANS & ELEVATIONS FOR EXTERIOR LIGHTING LOCATIONS		<b>A0.1</b>

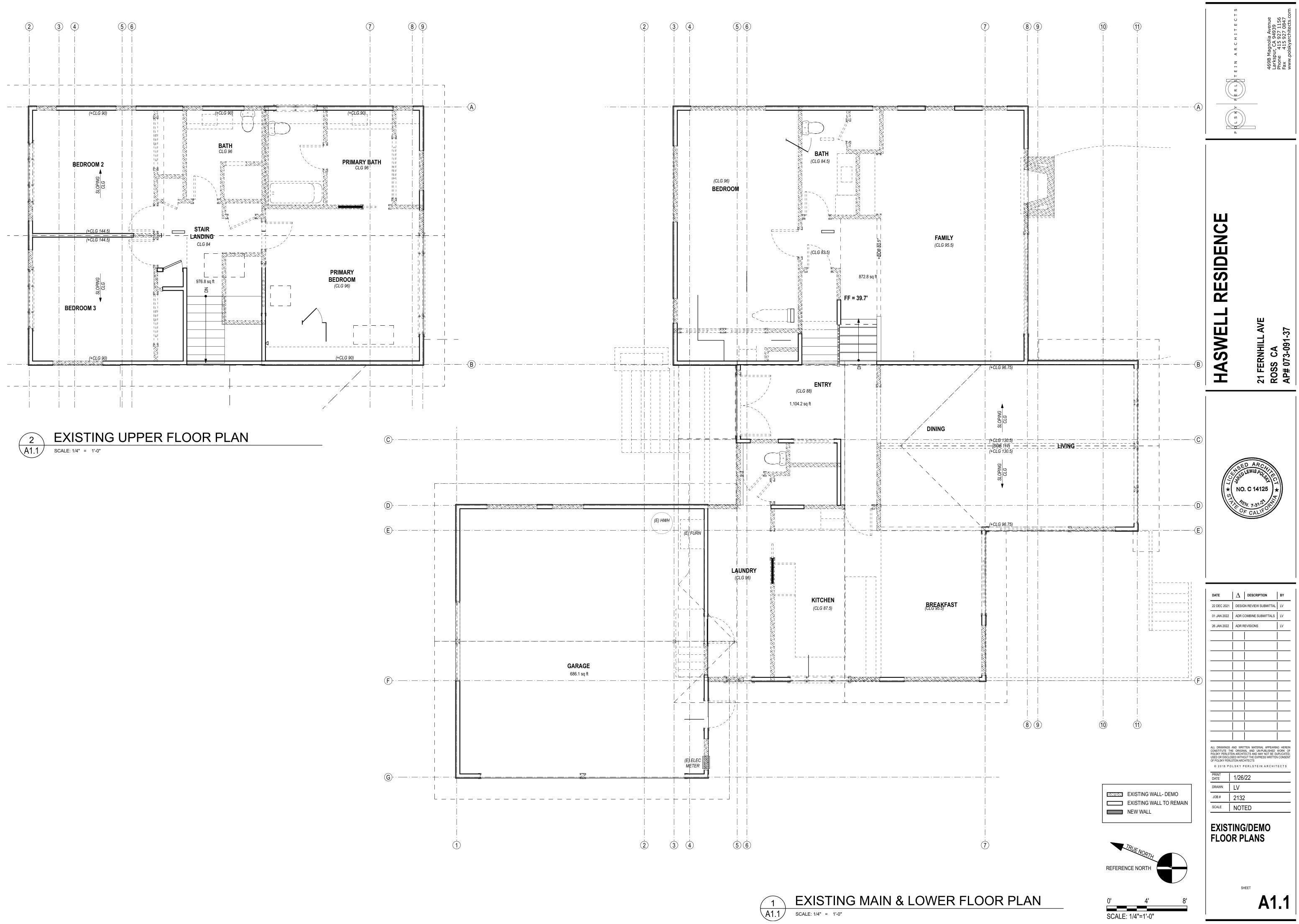
A0.1



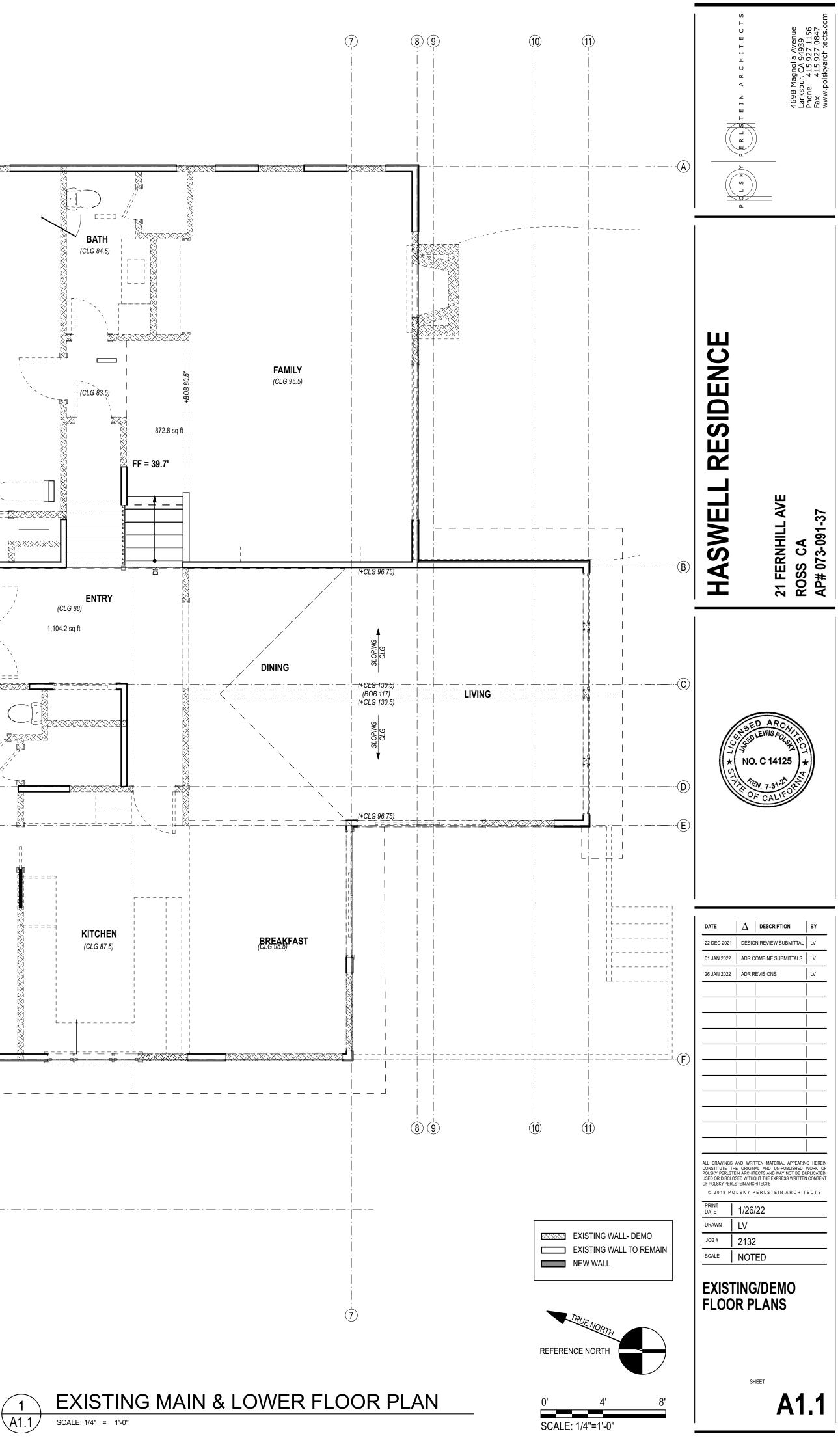


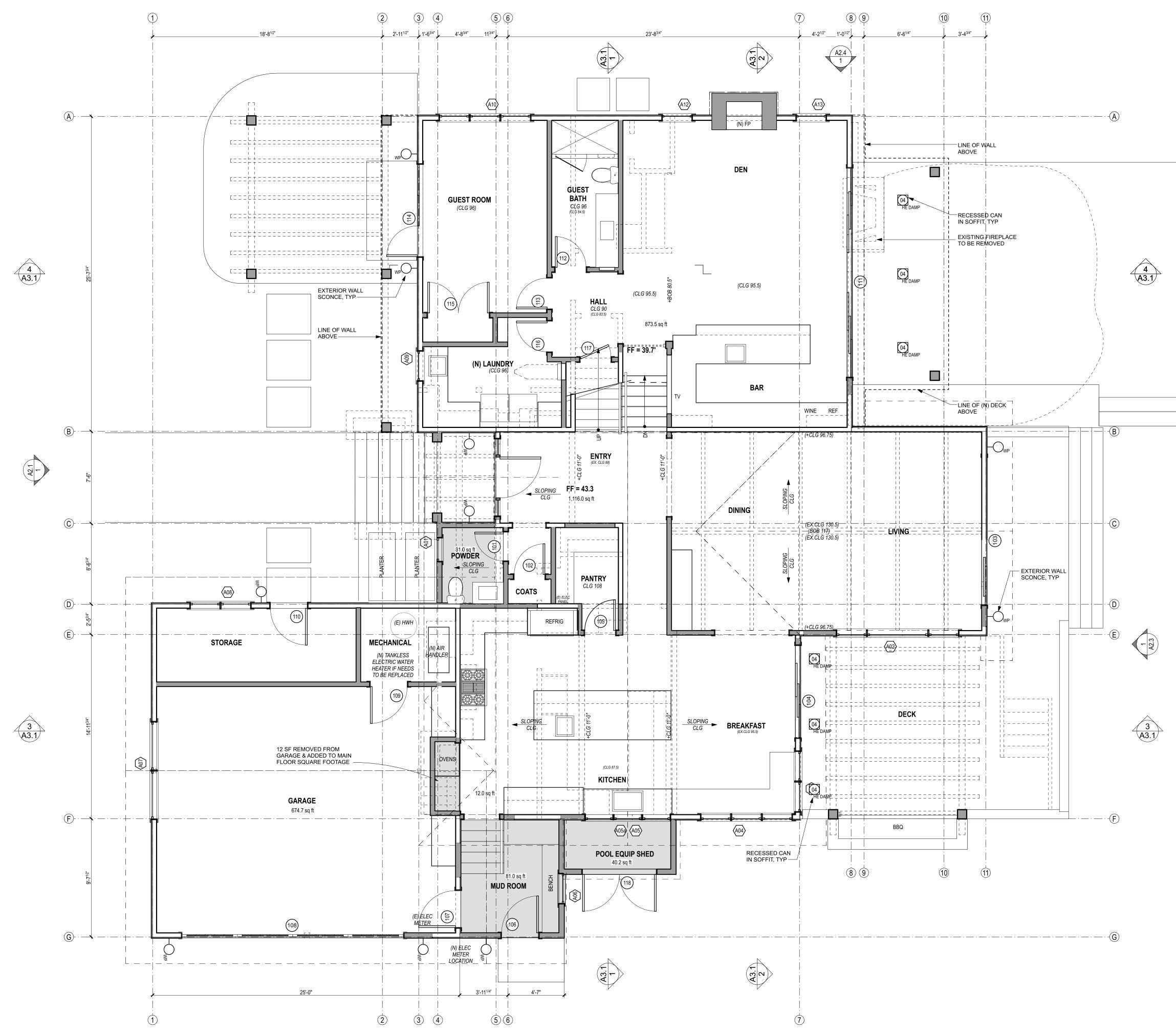




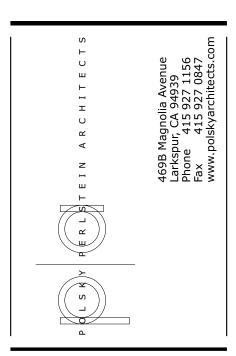












# RESIDENCE HASWELL ¥ -37 21 FERNHILL ROSS CA AP# 073-091-

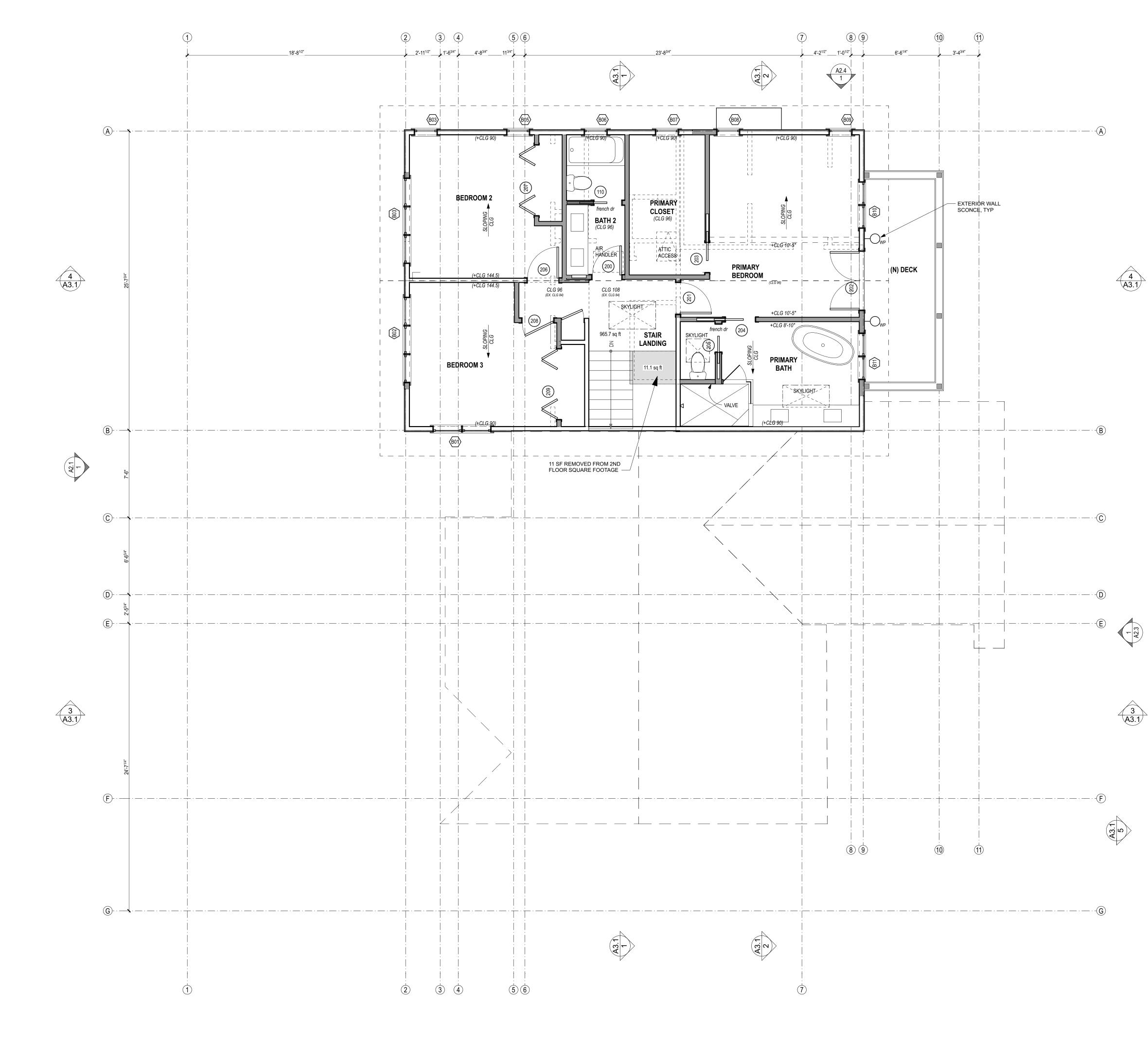


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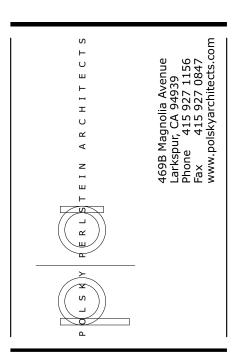


EXISTING WALL- DEMO EXISTING WALL TO REMAIN NEW WALL

REFERENCE NORTH





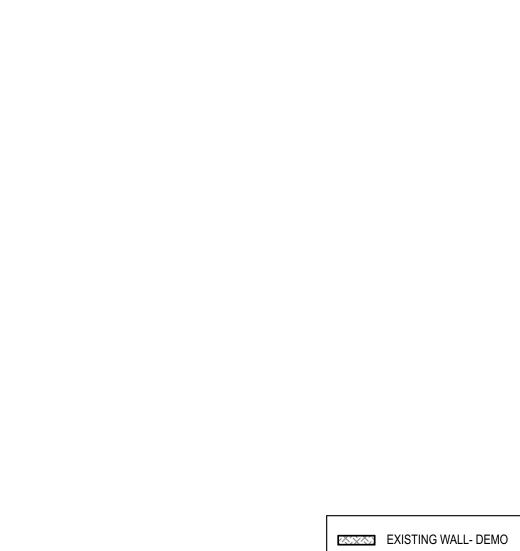






DATE	$\Delta$	DESCRIPTION	BY
22 DEC 2021	DESIG	N REVIEW SUBMITTAL	LV
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26 JAN 2022	ADR R	EVISIONS	LV
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CONSTITUTE TH POLSKY PERLSTI USED OR DISCLO OF POLSKY PERL	IE ORIGIN EIN ARCHIT SED WITHO STEIN ARC	TEN MATERIAL APPEARIN AL AND UN-PUBLISHED ECTS AND MAY NOT BE DI JUT THE EXPRESS WRITTEN HITECTS ERLSTEIN ARCHIT	WORK OF JPLICATED, I CONSENT
PRINT DATE	1/26/	/22	
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JOB #	2132	)	
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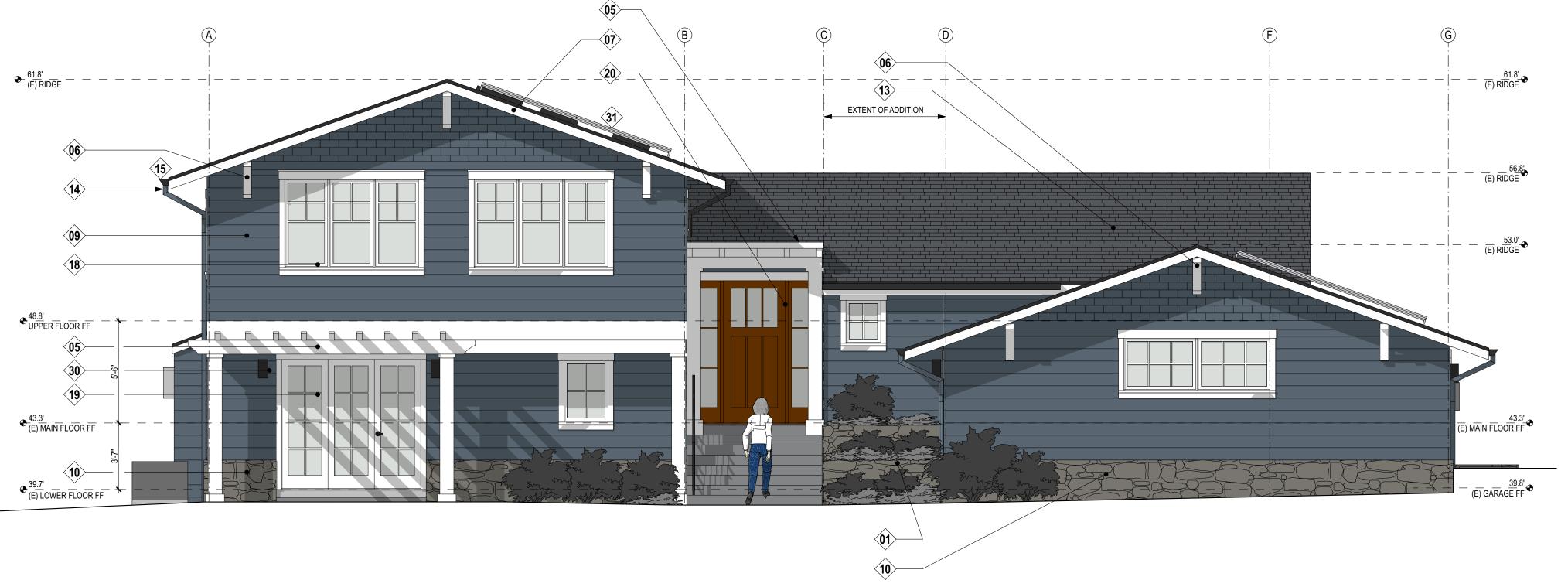
# PROPOSED SECOND FLOOR PLAN

0' 4' SCALE: 1/4"=1'-0"

REFERENCE NORTH

EXISTING WALL TO REMAIN

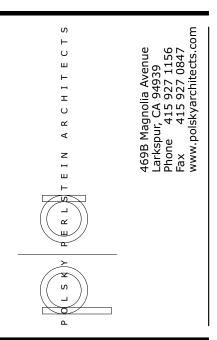
NEW WALL











RESIDENC

### KEY NOTES (01)

### DIV. 4- MASONRY

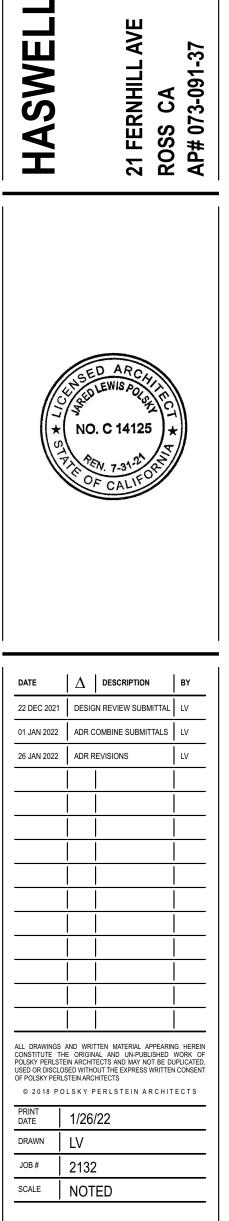
#### 01. STONE VENEER ON CONCRETE OR FRAMING ON RAISED PLANTERS

### 02. NOT USED

- DIV. 6- CARPENTRY
- 03. (N) WOOD DRIP-THRU DECK + STAIRS (WUI COMPLIANT)
- 04. (N) GUARDRAIL, PAINTED W/ WOOD CAP
- 05. (N) WOOD TRELLIS, PAINT
- 06. (N) WOOD EAVE BRACKETS
- 07. 2X FASCIA, PAINT 08. NEW DECK: BISON SYSTEM WOOD TILES
- OVER ROOFING OVER DECK FRAMING DIV. 7- WATERPROOFING, SHEET METAL
- 09. EXT. WALL ASSEMBLY (HORIZ SIDING): CEMENT BOARD 1X HORIZ SIDING LAP OVER WRB OVER CDX PLY SHEATHING (WUI COMPLIANT)
- 09a. EXT. WALL ASSEMBLY (SHINGLES): CEDAR SHINGLES OVER WRB OVER DENSGLASS OVER CDX PLY SHEATHING (WUI COMPLIANT)
- 10. EXT. WALL ASSEMBLY (STONE VENEER): STONE VENEER OVER MORTAR BED OVER DRAINAGE MAT, WRB
- 11. NOT USED
- 12. 5/4 CEMENT BOARD TRIM 13. EXISTING COMP SHINGLE ROOF TO
- REMAIN
- 14. GSM DOWNSPOUTS, PAIINT; EXTEND TO TIGHT LINE (SEE CIVIL DWG)
- 15. GSM GUTTERS, PAINT 16. NEW COMP SHINGLE ROOF TO MATCH

### EXISTING

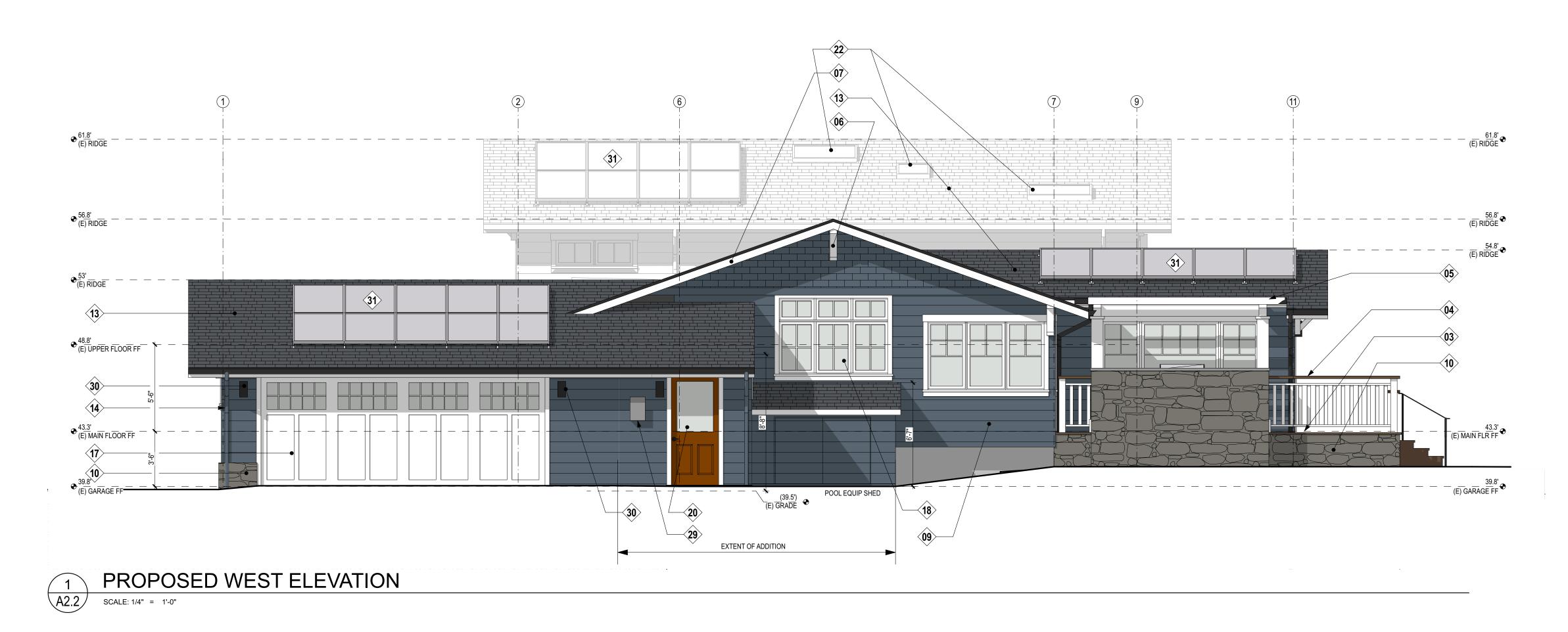
- DIV. 8- WINDOWS, DOORS, OPENINGS 17. GARAGE DOOR FIBERGLASS PANELS W/
- GLASS LITES 18. WINDOWS: WD/CLAD THERMALLY
- BROKEN WINDOWS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL WINDOW OPENINGS; ONE LITE TEMPERED - W.U.I. COMPLIANT 19. DOORS: WD/CLAD THERMALLY BROKEN
- DOORS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL EXTERIOR DOOR OPENINGS; ONE LITE TEMPERED - W.U.I. COMPLIANT
- 20. WOOD + GLASS FRONT EXTERIOR DOOR + SIDE LITES
- 21. WOOD + GLASS EXTERIOR DOOR 22. SKYLIGHT: METAL FRAMED SKYLIGHT
- SYSTEM W/TEMPERED OVER LAMINATED DUAL GLAZE, UV PROTECTED GLASS PANEL
- 23. NOT USED
- DIV. 10- SPECIALTIES
- 24. (N) FIREPLACE SIDE WALL FLUE VENT AS SPECIFIED BY FIREPLACE MANUFACTURER--INSTALL IN ACCORDANCE WITH INSTALLATION INSTRUCTIONS.
- 25. METAL HOUSE NUMBERS 4" METAL ILLUMINATED HOUSE NUMBERS
- 26. NOT USED
- DIV. 15- PLUMBING, HVAC, FIRE PROTECTION
- 27. AC CONDENSER
- 28. NOT USED
- DIV 16- ELECTRICAL
- 29. (E) ELECTRIC METER NEW LOCATION
- 30. LED "NIGHT SKY" COMPLIANT WALL-MOUNTED EXTERIOR LIGHT FIXTURES
- 31. PROPOSED SOLAR PANEL LOCATIONS

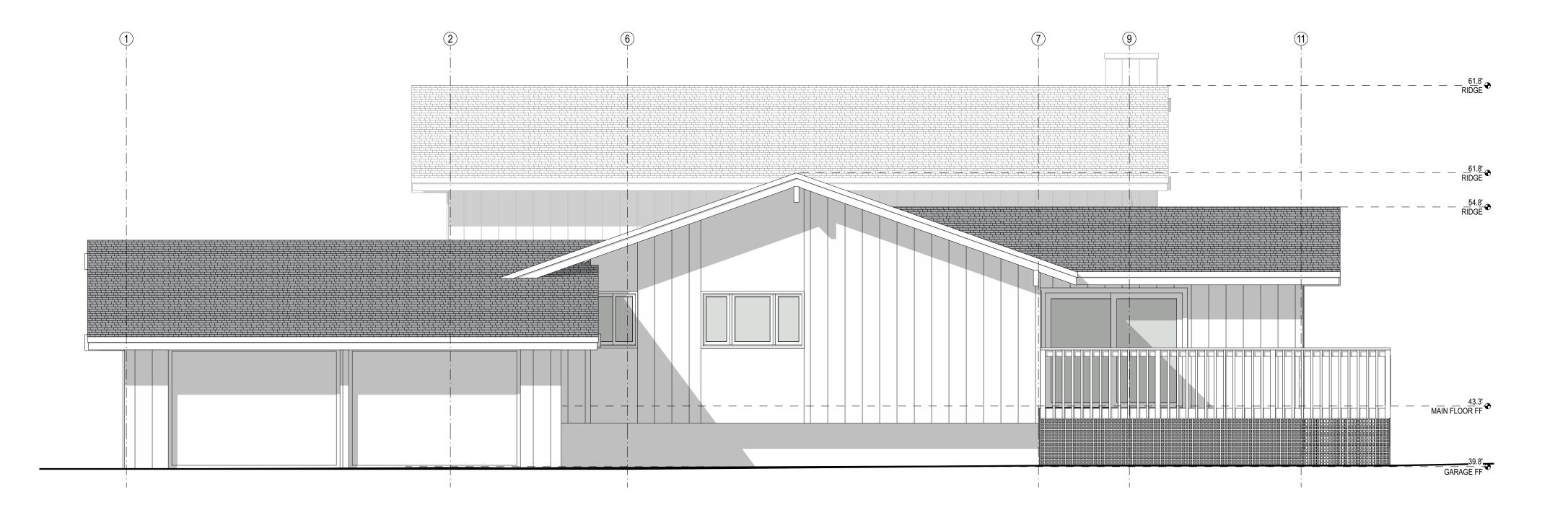


### EXTERIOR **ELEVATIONS** -NORTH

**A2.**1

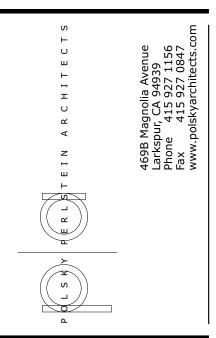
SHEET







EXISTING WEST ELEVATION SCALE: 1' = 1'-0"



### KEY NOTES (01)

### DIV. 4- MASONRY

### 01. STONE VENEER ON CONCRETE OR FRAMING ON RAISED PLANTERS

### 02. NOT USED

- DIV. 6- CARPENTRY
- 03. (N) WOOD DRIP-THRU DECK + STAIRS (WUI COMPLIANT)
- 04. (N) GUARDRAIL, PAINTED W/ WOOD CAP
- 05. (N) WOOD TRELLIS, PAINT
- 06. (N) WOOD EAVE BRACKETS 07. 2X FASCIA, PAINT
- 08. NEW DECK: BISON SYSTEM WOOD TILES
- OVER ROOFING OVER DECK FRAMING DIV. 7- WATERPROOFING, SHEET METAL 09. EXT. WALL ASSEMBLY (HORIZ SIDING): CEMENT BOARD 1X HORIZ SIDING LAP
- OVER WRB OVER CDX PLY SHEATHING (WUI COMPLIANT) 09a. EXT. WALL ASSEMBLY (SHINGLES): CEDAR SHINGLES OVER WRB OVER
- DENSGLASS OVER CDX PLY SHEATHING (WUI COMPLIANT) 10. EXT. WALL ASSEMBLY (STONE VENEER):
- STONE VENEER OVER MORTAR BED OVER DRAINAGE MAT, WRB
- 11. NOT USED
- 12. 5/4 CEMENT BOARD TRIM
- 13. EXISTING COMP SHINGLE ROOF TO
- REMAIN 14. GSM DOWNSPOUTS, PAIINT; EXTEND TO
- TIGHT LINE (SEE CIVIL DWG) 15. GSM GUTTERS, PAINT
- 16. NEW COMP SHINGLE ROOF TO MATCH

### EXISTING DIV. 8- WINDOWS, DOORS, OPENINGS

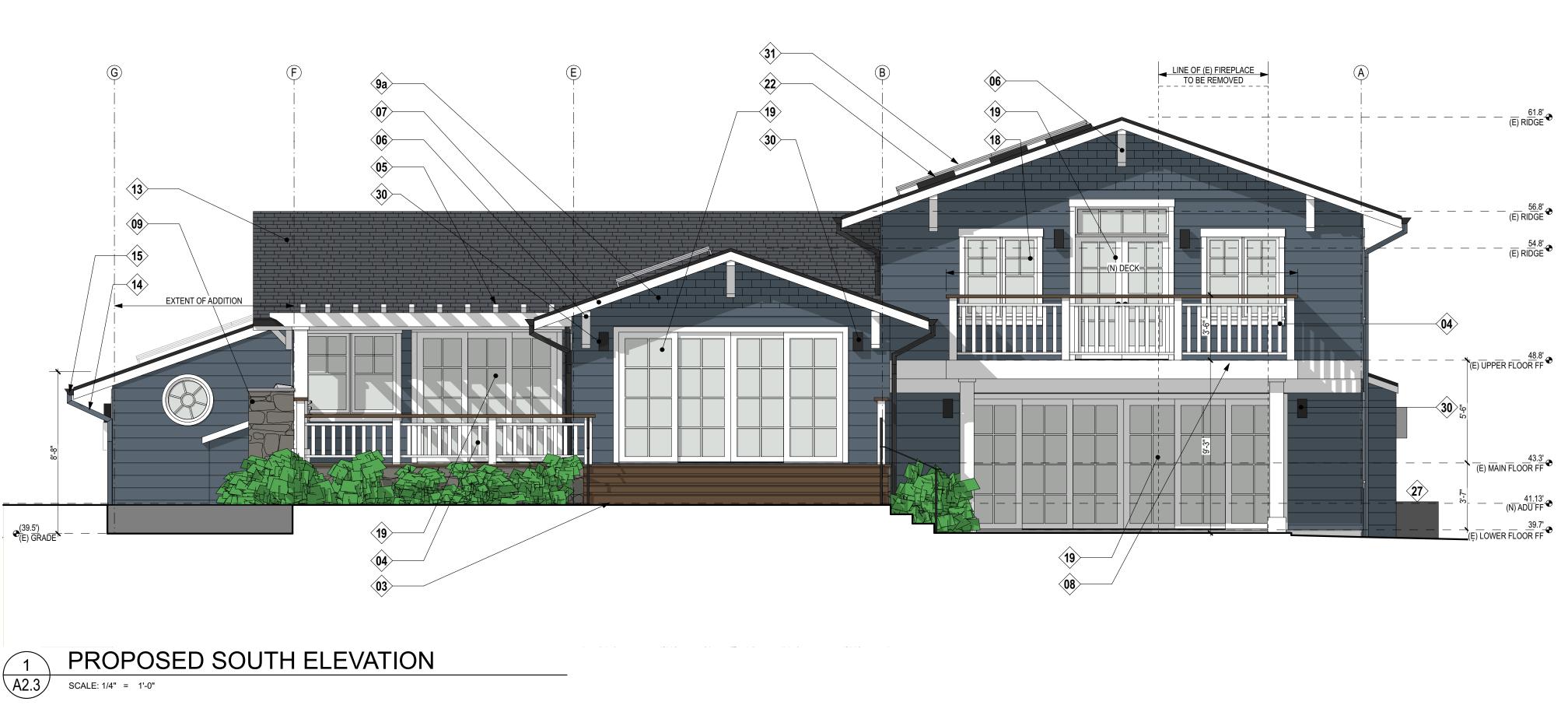
- 17. GARAGE DOOR FIBERGLASS PANELS W/ GLASS LITES
- 18. WINDOWS: WD/CLAD THERMALLY BROKEN WINDOWS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL WINDOW OPENINGS; ONE LITE TEMPERED - W.U.I. COMPLIANT
- 19. DOORS: WD/CLAD THERMALLY BROKEN DOORS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL EXTERIOR DOOR OPENINGS; ONE LITE TEMPERED - W.U.I. COMPLIANT
- 20. WOOD + GLASS FRONT EXTERIOR DOOR + SIDE LITES
- 21. WOOD + GLASS EXTERIOR DOOR 22. SKYLIGHT: METAL FRAMED SKYLIGHT
- SYSTEM W/TEMPERED OVER LAMINATED DUAL GLAZE, UV PROTECTED GLASS PANEL
- 23. NOT USED
- DIV. 10- SPECIALTIES 24. (N) FIREPLACE SIDE WALL FLUE VENT AS SPECIFIED BY FIREPLACE MANUFACTURER--INSTALL IN ACCORDANCE
- WITH INSTALLATION INSTRUCTIONS. 25. METAL HOUSE NUMBERS - 4" METAL
- ILLUMINATED HOUSE NUMBERS 26. NOT USED
- DIV. 15- PLUMBING, HVAC, FIRE PROTECTION
- 27. AC CONDENSER
- 28. NOT USED
- DIV 16- ELECTRICAL
- 29. (E) ELECTRIC METER NEW LOCATION
- 30. LED "NIGHT SKY" COMPLIANT WALL-MOUNTED EXTERIOR LIGHT FIXTURES
- 31. PROPOSED SOLAR PANEL LOCATIONS



DATE	$ \Delta$	DESCRIPTION	BY	
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26 JAN 2022	ADR F	REVISIONS	LV	
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UN-PUBLISHED WORK OF POLSKY PERLSTEIN ARCHITECTS AND MAY NOT BE DUPLICATED. USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF POLSKY PERLSTEIN ARCHITECTS © 2018 POLSKY PERLSTEIN ARCHITECTS				
PRINT DATE	1/26	/22		
DRAWN	LV			
JOB #	2132	2		
SCALE	NOT	ED		
	EXTERIOR ELEVATIONS - WEST			

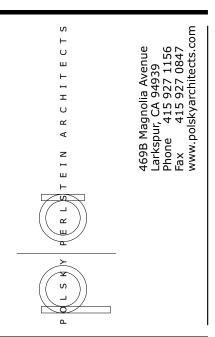
SHEET

A2.2









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### KEY NOTES (01)

### DIV. 4- MASONRY

#### 01. STONE VENEER ON CONCRETE OR FRAMING ON RAISED PLANTERS

### 02. NOT USED

### DIV. 6- CARPENTRY

- 03. (N) WOOD DRIP-THRU DECK + STAIRS (WUI COMPLIANT)
- 04. (N) GUARDRAIL, PAINTED W/ WOOD CAP
- 05. (N) WOOD TRELLIS, PAINT 06. (N) WOOD EAVE BRACKETS
- 07. 2X FASCIA, PAINT

(WUI COMPLIANT)

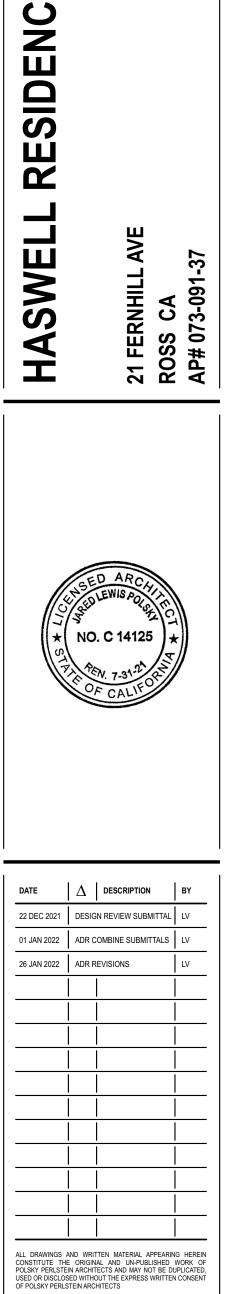
- 08. NEW DECK: BISON SYSTEM WOOD TILES OVER ROOFING OVER DECK FRAMING
- DIV. 7- WATERPROOFING, SHEET METAL 09. EXT. WALL ASSEMBLY (HORIZ SIDING): CEMENT BOARD 1X HORIZ SIDING LAP OVER WRB OVER CDX PLY SHEATHING
- 09a. EXT. WALL ASSEMBLY (SHINGLES): CEDAR SHINGLES OVER WRB OVER DENSGLASS OVER CDX PLY SHEATHING (WUI COMPLIANT)
- 10. EXT. WALL ASSEMBLY (STONE VENEER): STONE VENEER OVER MORTAR BED OVER DRAINAGE MAT, WRB
- 11. NOT USED
- 12. 5/4 CEMENT BOARD TRIM
- 13. EXISTING COMP SHINGLE ROOF TO REMAIN
- 14. GSM DOWNSPOUTS, PAIINT; EXTEND TO
- TIGHT LINE (SEE CIVIL DWG) 15. GSM GUTTERS, PAINT
- 16. NEW COMP SHINGLE ROOF TO MATCH

### EXISTING DIV. 8- WINDOWS, DOORS, OPENINGS

- 17. GARAGE DOOR FIBERGLASS PANELS W/ GLASS LITES
- 18. WINDOWS: WD/CLAD THERMALLY BROKEN WINDOWS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL WINDOW OPENINGS; ONE LITE TEMPERED - W.U.I. COMPLIANT
- 19. DOORS: WD/CLAD THERMALLY BROKEN DOORS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL EXTERIOR DOOR OPENINGS; ONE LITE TEMPERED - W.U.I.
- COMPLIANT 20. WOOD + GLASS FRONT EXTERIOR DOOR
- + SIDE LITES 21. WOOD + GLASS EXTERIOR DOOR
- 22. SKYLIGHT: METAL FRAMED SKYLIGHT SYSTEM W/TEMPERED OVER LAMINATED DUAL GLAZE, UV PROTECTED GLASS PANEL

### 23. NOT USED

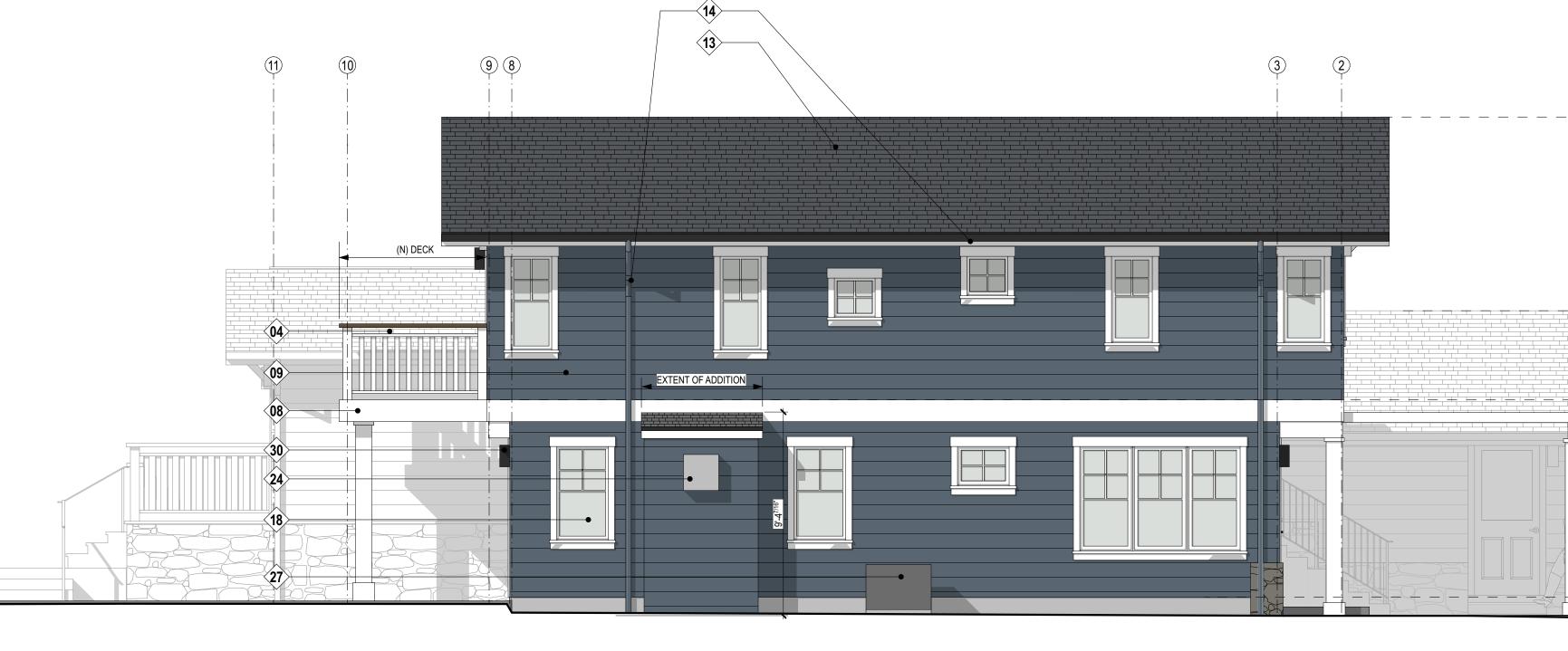
- DIV. 10- SPECIALTIES
- 24. (N) FIREPLACE SIDE WALL FLUE VENT AS SPECIFIED BY FIREPLACE MANUFACTURER--INSTALL IN ACCORDANCE WITH INSTALLATION INSTRUCTIONS.
- 25. METAL HOUSE NUMBERS 4" METAL ILLUMINATED HOUSE NUMBERS
- 26. NOT USED
- DIV. 15- PLUMBING, HVAC, FIRE PROTECTION
- 27. AC CONDENSER
- 28. NOT USED
- DIV 16- ELECTRICAL
- 29. (E) ELECTRIC METER NEW LOCATION
- 30. LED "NIGHT SKY" COMPLIANT WALL-MOUNTED EXTERIOR LIGHT FIXTURES
- 31. PROPOSED SOLAR PANEL LOCATIONS



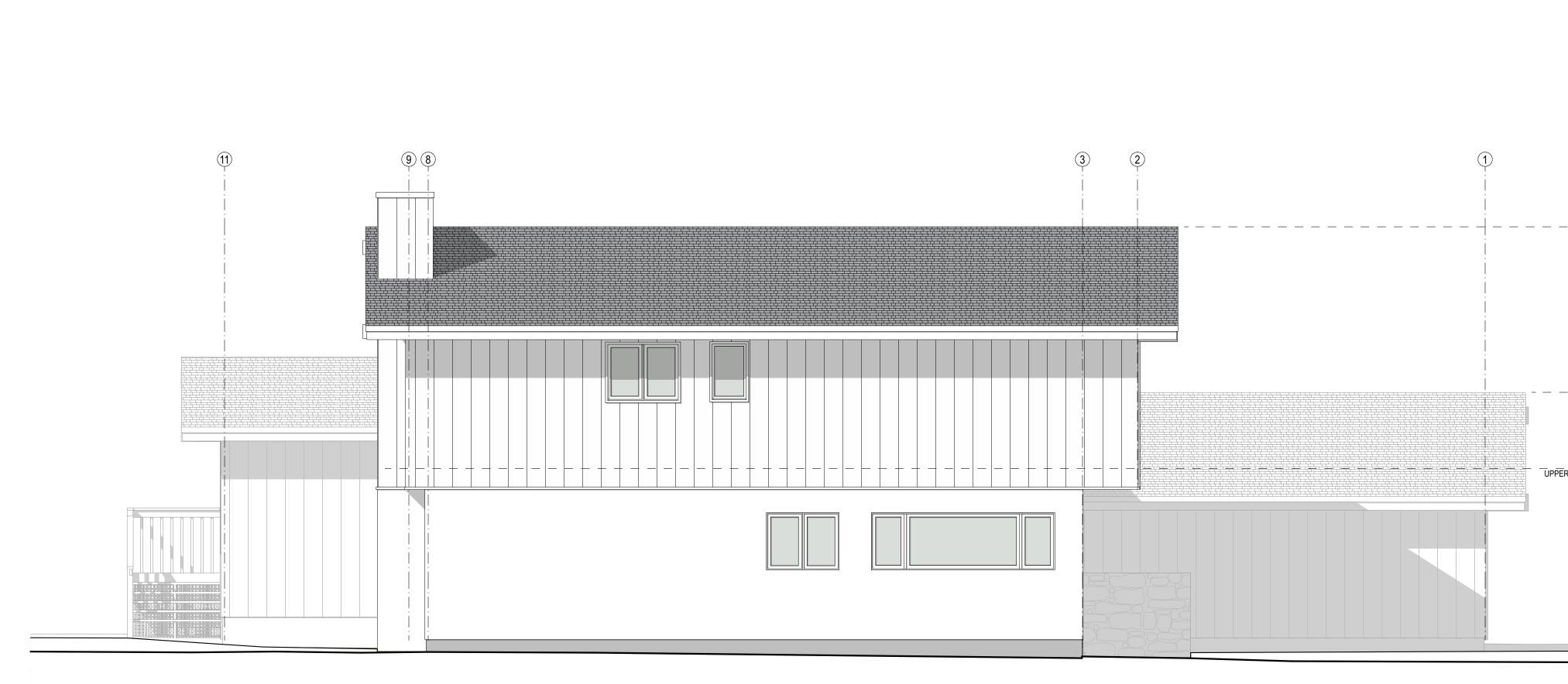
© 2018 P	OLSKY PERLSTEIN ARCHITECTS
PRINT DATE	1/26/22
DRAWN	LV
JOB #	2132
SCALE	NOTED

### EXTERIOR **ELEVATIONS - SOUTH**

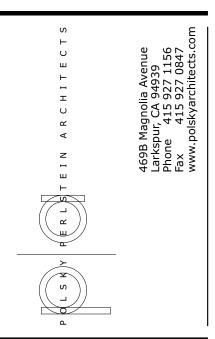


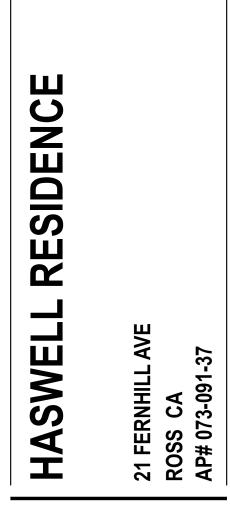




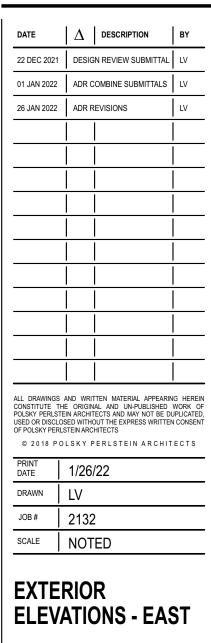












SHEET

A2.4

0'	4'	8'	
SCALE: 1/4"=1'-0"			

KEY NOTES (01)

### DIV. 4- MASONRY

#### 01. STONE VENEER ON CONCRETE OR FRAMING ON RAISED PLANTERS

### 02. NOT USED

DIV. 6- CARPENTRY

\_\_\_\_61.8' (E) RIDGE ●

- 03. (N) WOOD DRIP-THRU DECK + STAIRS (WUI COMPLIANT)
- 04. (N) GUARDRAIL, PAINTED W/ WOOD CAP
- 05. (N) WOOD TRELLIS, PAINT
- 06. (N) WOOD EAVE BRACKETS
- 07. 2X FASCIA, PAINT 08. NEW DECK: BISON SYSTEM WOOD TILES
- OVER ROOFING OVER DECK FRAMING DIV. 7- WATERPROOFING, SHEET METAL
- 09. EXT. WALL ASSEMBLY (HORIZ SIDING): CEMENT BOARD 1X HORIZ SIDING LAP OVER WRB OVER CDX PLY SHEATHING (WUI COMPLIANT)
- 09a. EXT. WALL ASSEMBLY (SHINGLES): CEDAR SHINGLES OVER WRB OVER DENSGLASS OVER CDX PLY SHEATHING (WUI COMPLIANT)
- 10. EXT. WALL ASSEMBLY (STONE VENEER): STONE VENEER OVER MORTAR BED OVER DRAINAGE MAT, WRB
- 11. NOT USED
- 12. 5/4 CEMENT BOARD TRIM
- 13. EXISTING COMP SHINGLE ROOF TO REMAIN
- 14. GSM DOWNSPOUTS, PAIINT; EXTEND TO TIGHT LINE (SEE CIVIL DWG)
- 15. GSM GUTTERS, PAINT
- 16. NEW COMP SHINGLE ROOF TO MATCH

### EXISTING DIV. 8- WINDOWS, DOORS, OPENINGS

- 17. GARAGE DOOR FIBERGLASS PANELS W/
- GLASS LITES 18. WINDOWS: WD/CLAD THERMALLY BROKEN WINDOWS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL WINDOW
- OPENINGS; ONE LITE TEMPERED W.U.I. COMPLIANT 19. DOORS: WD/CLAD THERMALLY BROKEN DOORS (DBL GL., LOW-E, ARGON GAS FILL), TYP FOR ALL EXTERIOR DOOR
- OPENINGS; ONE LITE TEMPERED W.U.I. COMPLIANT 20. WOOD + GLASS FRONT EXTERIOR DOOR
- + SIDE LITES 21. WOOD + GLASS EXTERIOR DOOR
- 22. SKYLIGHT: METAL FRAMED SKYLIGHT SYSTEM W/TEMPERED OVER LAMINATED DUAL GLAZE, UV PROTECTED GLASS PANEL

### 23. NOT USED

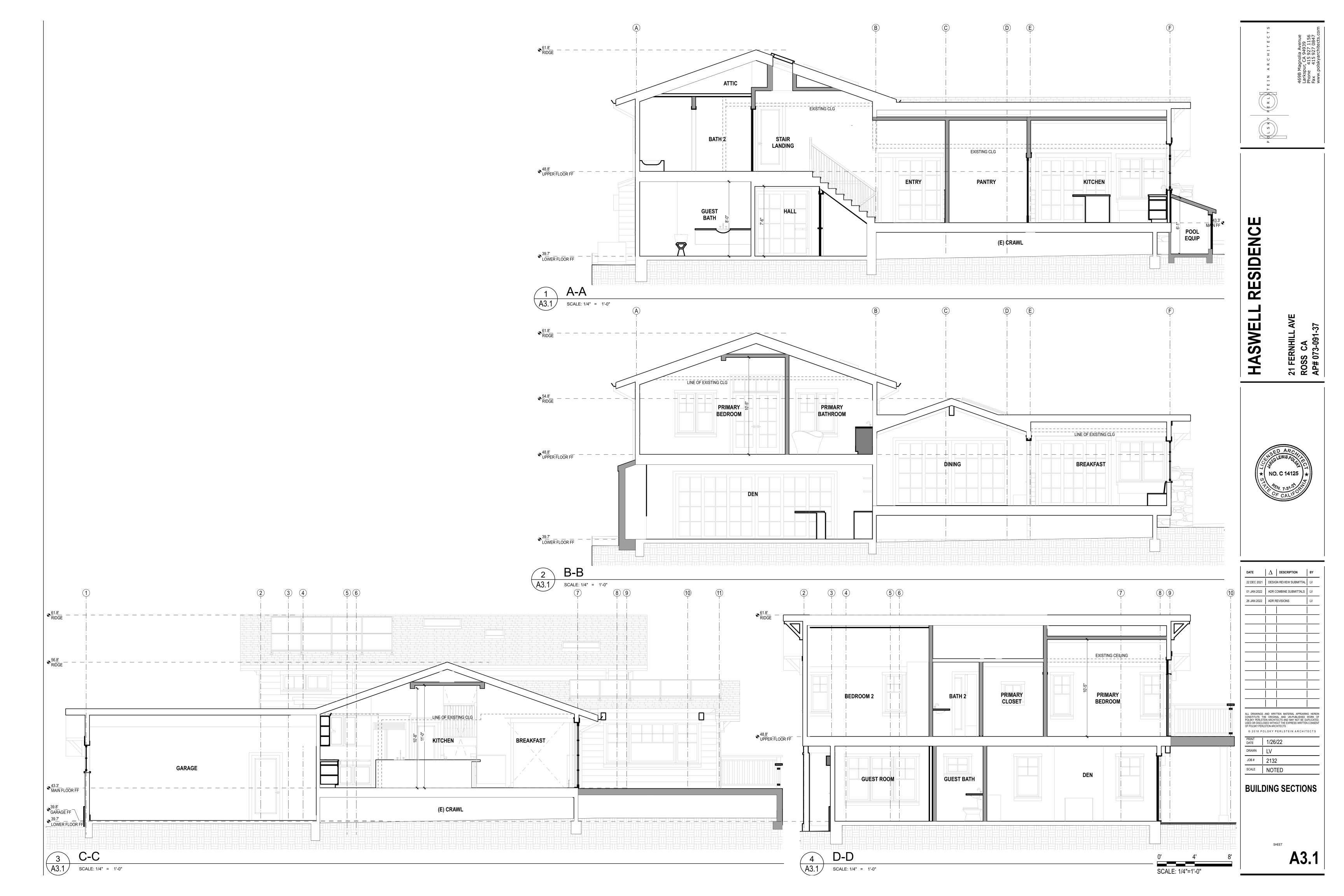
- DIV. 10- SPECIALTIES
- 24. (N) FIREPLACE SIDE WALL FLUE VENT AS SPECIFIED BY FIREPLACE MANUFACTURER--INSTALL IN ACCORDANCE WITH INSTALLATION INSTRUCTIONS.
- 25. METAL HOUSE NUMBERS 4" METAL ILLUMINATED HOUSE NUMBERS
- 26. NOT USED
- DIV. 15- PLUMBING, HVAC, FIRE PROTECTION
- 27. AC CONDENSER
- 28. NOT USED
- DIV 16- ELECTRICAL
- 29. (E) ELECTRIC METER NEW LOCATION
- 30. LED "NIGHT SKY" COMPLIANT WALL-
- MOUNTED EXTERIOR LIGHT FIXTURES
- 31. PROPOSED SOLAR PANEL LOCATIONS

-\_\_\_\_53' € RIDGE UPPER FLOOR FF

- (1)-\_\_\_61.8' \_\_\_\_\_\_\_\_\_\_\_€

(E) UPPER FLOOR FF (E) LOWER FLOOR FF 

(1)



# MATERIALS BOARD

# ROOF:

Timberline Composition Roof Shingles - for ADU only. Existing shingles at house to remain "Pewter Gray" Verify

# **GUTTERS & ROOF FLASHING:** Dark Gray

WINDOWS & DOORS, TRIM, **COLUMNS & TRELLIS** Factory pre-finished "White" windows, Trim to painted to match

# **CEMENT BOARD SIDING,** SHINGLE COLOR & DOWNSPOUTS:

Sherwin Williams "Sea Serpent" SW 7615

STONE WAINSCOT: Match Existing



# NOTE: ADU SHOWN TO PROVIDE ADDITIONAL INFORMATION BUT NOT PART OF THIS SUBMITTAL



FRONT VIEW - NORTH SIDE



NORTHWEST VIEW



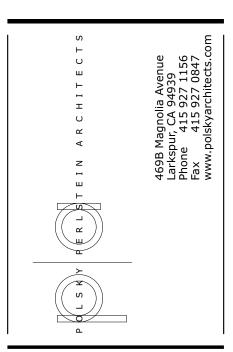
BACK SIDE VIEW - SOUTH SIDE

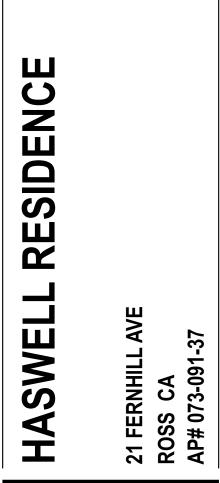


SOUTHEAST VIEW FROM BACK







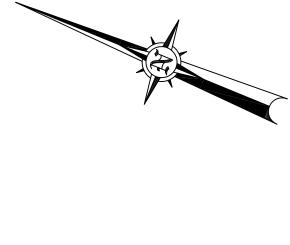


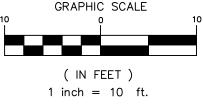


DATE	$\Delta$ description by			
22 DEC 2021	DESIGN REVIEW SUBMITTAL LV			
01 JAN 2022	ADR COMBINE SUBMITTALS LV			
26 JAN 2022	ADR REVISIONS LV			
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UN-PUBLISHED WORK OF POLSKY PERLSTEIN ARCHITECTS AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF POLSKY PERLSTEIN ARCHITECTS © 2018 POLSKY PERLSTEIN ARCHITECTS				
PRINT DATE	1/26/22			
DRAWN	LV			
JOB #	2132			
SCALE	NOTED			
PERSPECTIVE VIEWS				

& MATERIALS BOARD

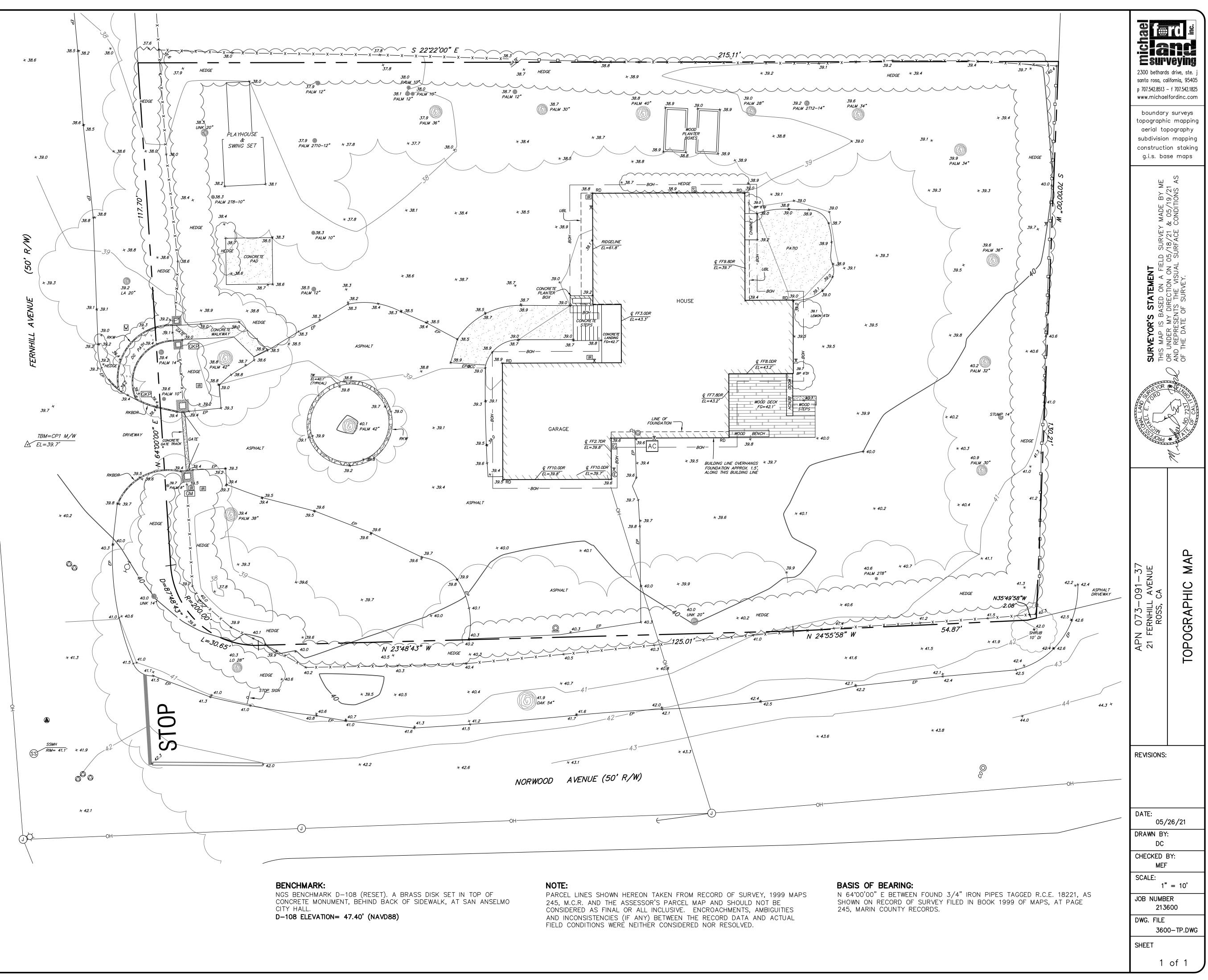
> SHEET A4.1

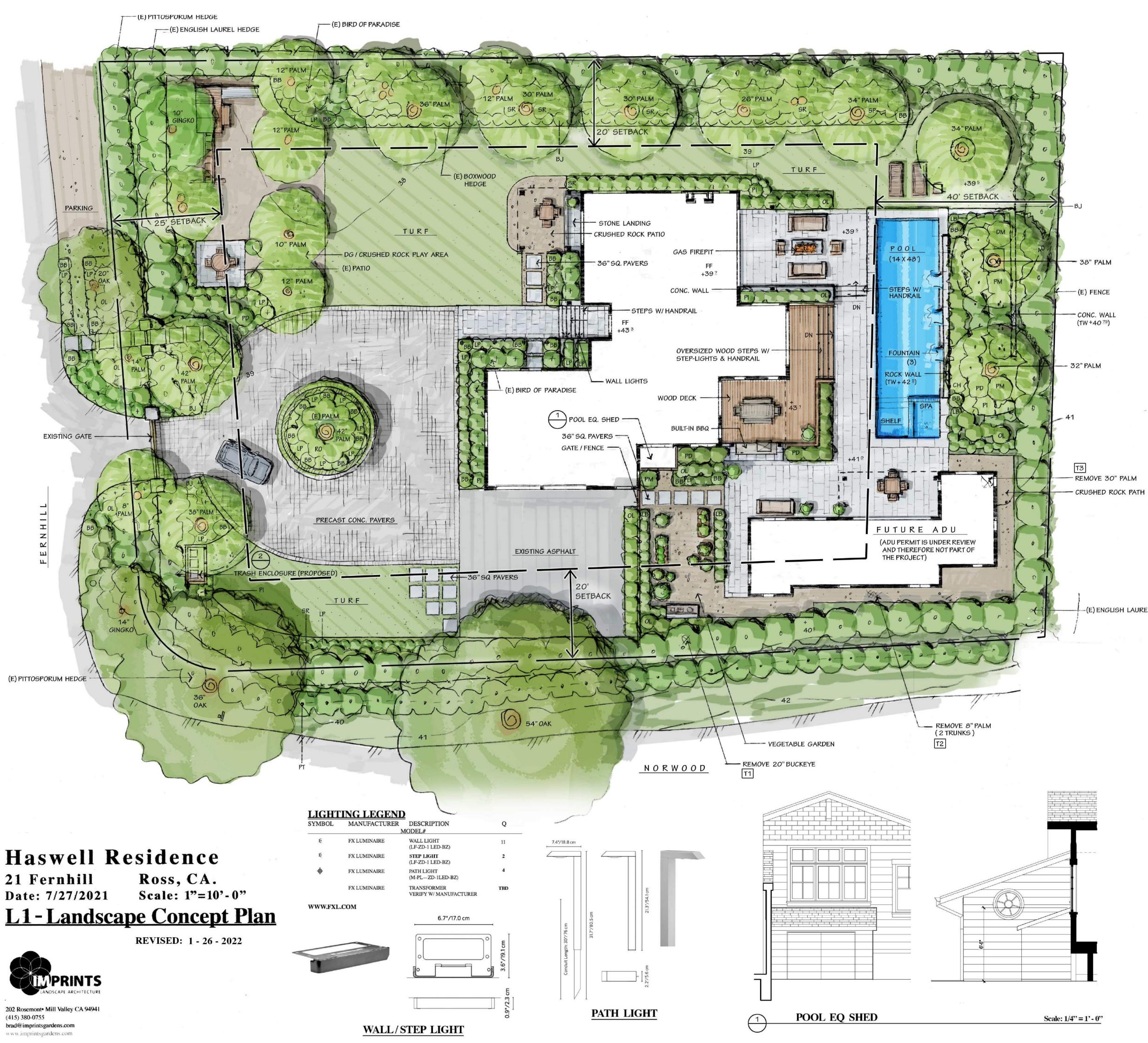




# LEGEND

	TBM= TEMPORARY BENCHMARK
<u>00</u>	WOOD FENCE
xxx	WIRE FENCE
	CONCRETE
83	SANITARY SEWER MANHOLE
<i>co</i> (©	SANITARY SEWER CLEANOUT
Юн	FIRE HYDRANT
$\bigcirc$	WATER VALVE
X	HOSE BIB
$\square$	WATER METER
2	SPRINKLER CONTROL BOX
IR	IRRIGATION CONTROL VALVE
G	GAS METER
۵	GAS VALVE
U	JOINT UTILITY POLE
$\checkmark$	GUY WIRE
Ē	ELECTRIC METER
¢	STREET LIGHT
— он —	OVERHEAD POWER & TELEPHONE
<u> </u>	SIGN
AC	AIR-CONDITIONING UNIT(ON CONCRETE PAD)
GKP	GATE KEYPAD
GM	MECHANICAL GATE MOTOR
	PILLAR, MASONRY
+ 100.00	SPOT ELEVATION
RD	ROOF DRAIN
	TREE SYMBOL & DRIP LINE
LO	LIVE OAK
UNK	UNKNOWN SPECIES
LA	LIQUID AMBER
BP	BIRD OF PARADISE
EP	EDGE PAVING
M/W	MAGNETIC NAIL & WASHER
CP	SURVEY CONTROL POINT
BOH	BUILDING OVERHANG
DG	DECOMPOSED GRANITE
FF	FINISHED FLOOR
FG	FINISHED GRADE
R/W	RIGHT-OF-WAY(WIDTH)
TW	TOP OF WALL
RKW	ROCK WALL
RKBDR	ROCK BORDER
UBL	UPPER BUILDING LINE





# **DESIGN REVIEW NOTES**

# **GENERAL NOTES**

- 1. THE LANDSCAPE PLAN IS BASED ON DRAWINGS PROVIDED BY THE OWNER, SITE MEASUREMENTS AND A PROFESSIONALLY SURVEY. ANY MAJOR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- 2. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND UNIFORM CONSTRUCTION STANDARDS (UCS) OF THE COUNTY OF MARIN AND THE TOWN OF ROSS.
- 3. THIESE DRAWING ARE FOR DESIGN REVIEW APPLICATION PURPOSES ONLY. THIS DRAWING IS NOT EXTENSIVELY DETAILED AND IS NOT TO BE USED FOR PERMIT APPLICATION AND / OR CONSTRUCTION.

4. SWIMMING POOL IS TO MEET POOL SAFETY CODES AND REQUIREMENTS.

# **CONSTRUCTION NOTES**

1. ALL PATIOS, STEPS AND POOL COPING IS TO BE ITALIAN BLUESTONE . ALL NEW PATIOS ARE TO BE PERMEABLE.

- 2. ASPHALT DRIVEWAY TO BE REPLACED WITH PERMEABLE PRECAST CONCRETE PAVERS.
- 3. SEE CIVIL ENGINEERING PLANS FOR ALL DRAINAGE, GRADING, IMPERVIOUS SURFACE CALCULATIONS AND REQUIREMENTS.

# **IRRIGATION NOTES**

1. ALL PLANTING TO BE IRRIGATED IN ACCORDANCE TO THE PROVISIONS OF ORDINANCE 421 OF THE MARIN MUNICIPAL WATER DEPARTMENT. ALL PLANTING AREAS ARE TO BE IRRIGATED UTILIZING DRIP METHODS.

# PLANTING / VEGETATION MANAGEMENT NOTES

1. ALL PLANTING IS TO CONFORM TO RVFD VEGETATION MANAGEMENT PLAN REQUIREMENTS.

2. NO PYROPHYTIC PLANT MATERIAL IS PROPOSED FOR THIS PROJECT.

# **PRELIMINARY PLANT LIST**

**REPRESENTATIVE SHRUB / PERENNIALS / GRASSES / GROUND COVER LIST** 

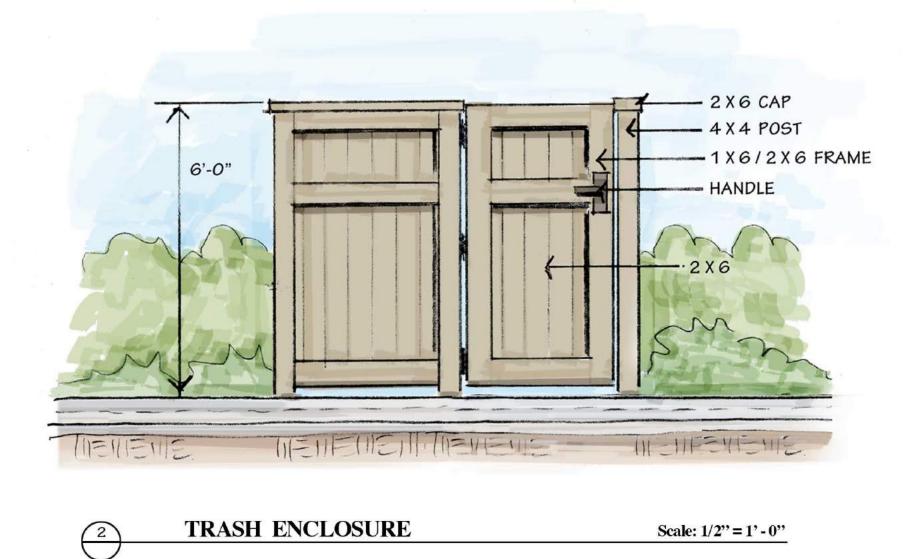
ABBR.	BOTANIC NAME	COMMON NAME	SIZE	HT. / WDTH	NOTE
BB	BUXUS "GREEN BEAUTY"	BOXWOOD	TRANSPLANT	3 X 3'	EWF
	(GLOBE FORM - TRANSPLANT EXIST	'ING)			
3J	BUXUS "GREEN BEAUTY"	BOXWOOD	TRANSPLANT	3 X 3'	EWF
	(TRANSPLANT EXISTING)				
CH	CHONDROPETALUM TECTORUM	CAPE RUSH	5 G	4 X 4'	EWF
B	LOMANDRA "BREEZE"	LOMANDRA	1 G	2 X 2'	EWF
P	LOMANDRA "PLATINUM BEAUTY"	LOMANDRA	1 G	2 X 2'	EWF
DL	OLEA "LITTLE OLLIE"	DWARF OLIVE	5 G	3 X 3'	EWF
PM	PITTOSPORUM	PITTOSPORUM	15 G	6 X 8'	EWF
	"MARJORIE CHANNON"				
т	PITTOSPORUM	PITTOSPORUM	15 G	6 X 12'	EWF
	TENUIFOLIUM				
PI	PODOCARPUS "ICEE BLUE"	PODOCARPUS	15 G	10 X 4'	EWF
PD	POLYGALA DALMASIANA	SWEET PEA	5 G	5 X 5'	EWF
PL	PRUNUS LAUROCERASUS	ENGLISH LAUREL	15 G	12 X 12'	EF
SR	SARCOCOCOA RUSCIFOLIA	SARCOCOCOA	5 G	4 X 4'	EWF
RO	ROSA "ICEBERG"	ICEBERG ROSE	5 G	4 X 4'	DF

# **LEGEND**

E = EVERGREEN

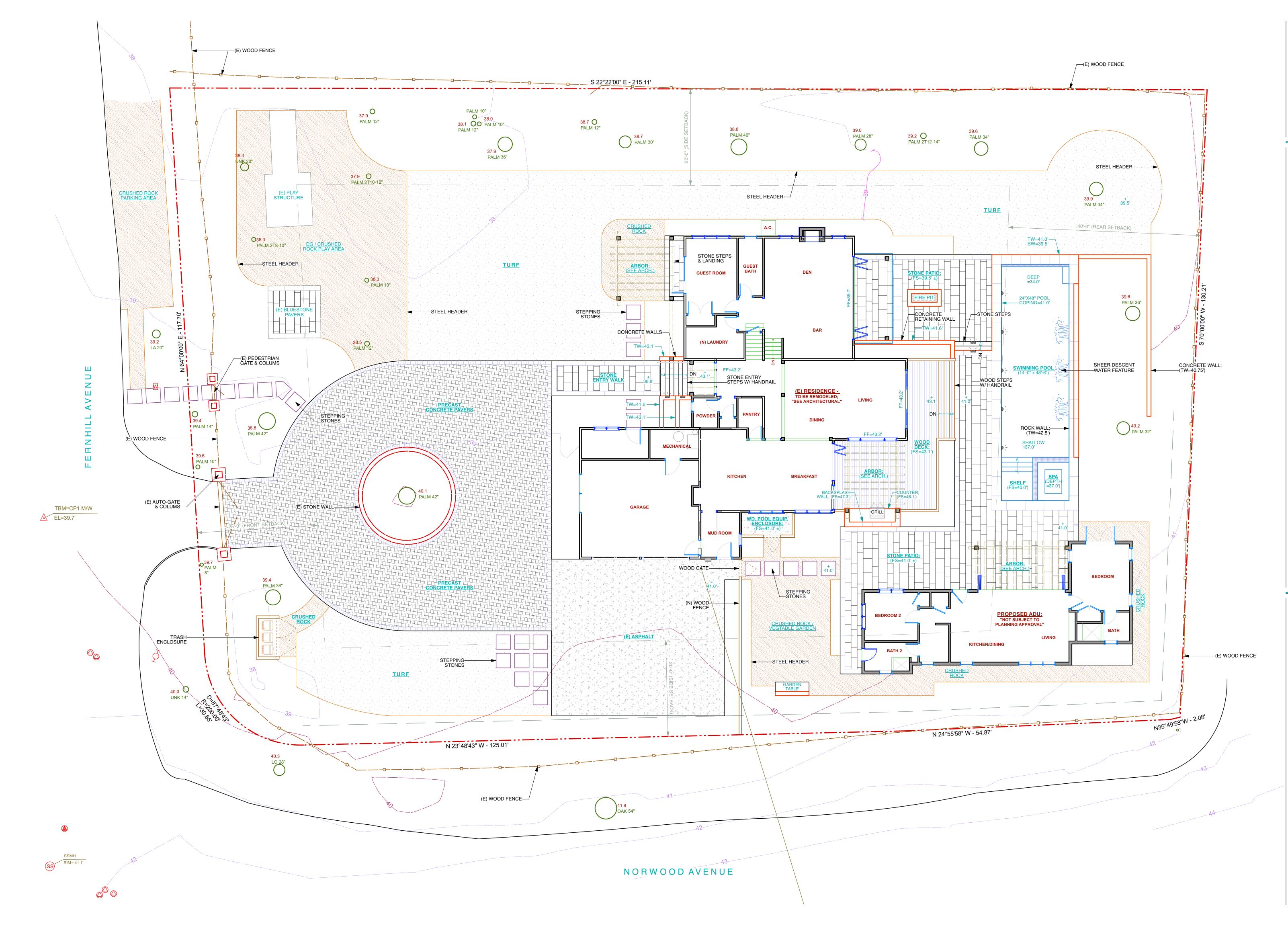
D = DECIDUOUS N = CALIFORNIA NATIVE W = LOW WATER USE REQUIREMENTS F = LOW FIRE / NON - PYROPHYTIC

NOTE: ALL PLANTS ARE TO BE IRRIGATED UTILIZING DRIP **IRRIGATION METHODS. ALL PLANTS ARE NON-PYROPHYTIC** 



- REMOVE 30" PALM

-(E) ENGLISH LAUREL





27 Starbuck • Muir Beach, CA (415)380-0755 imprints@earthlink.net www.imprintsgardens.com

21 FERNHILL AVE. ROSS, CA 94957 AP #: 073-091-37

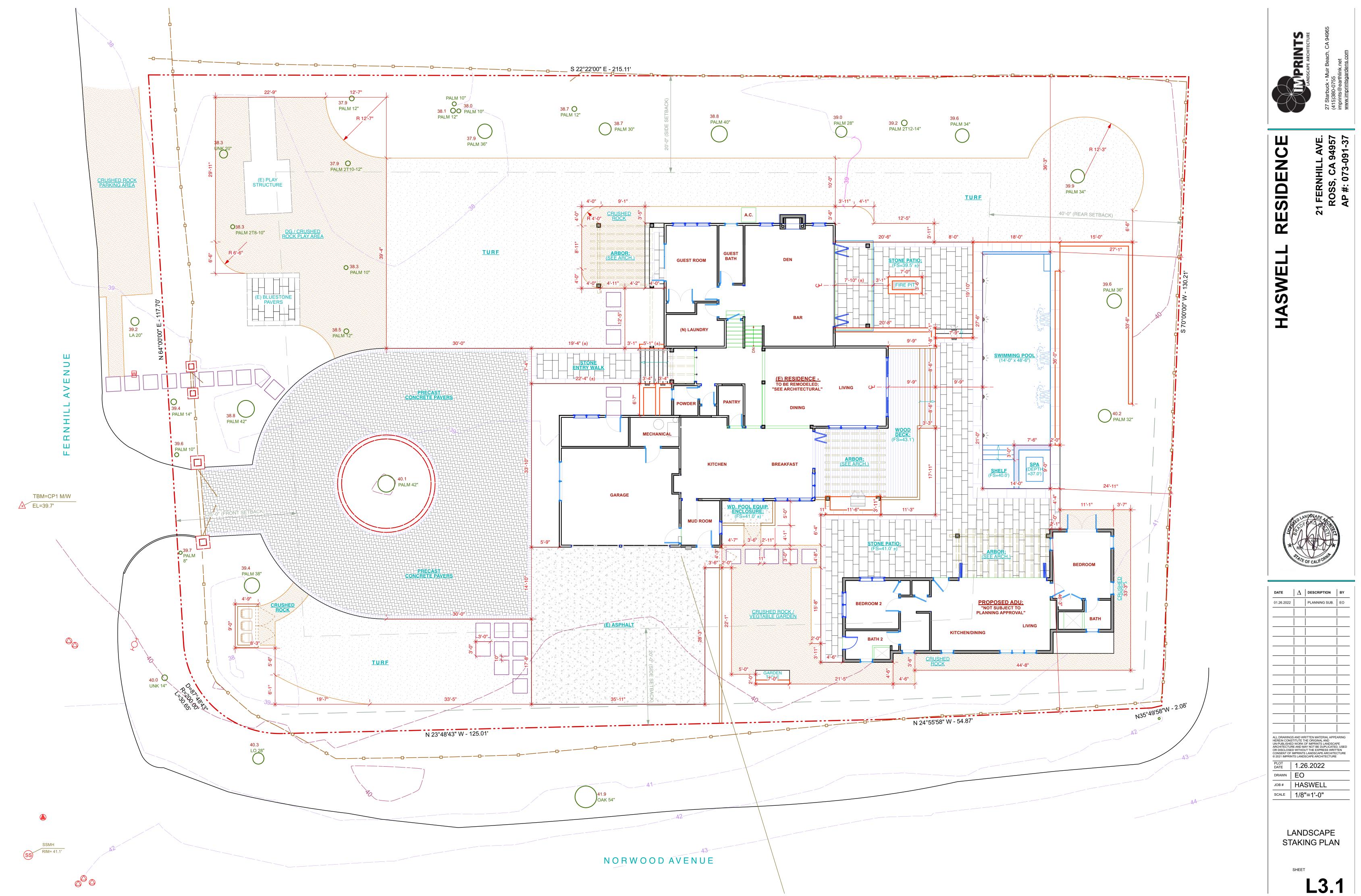
# HASWELL RESIDENCE



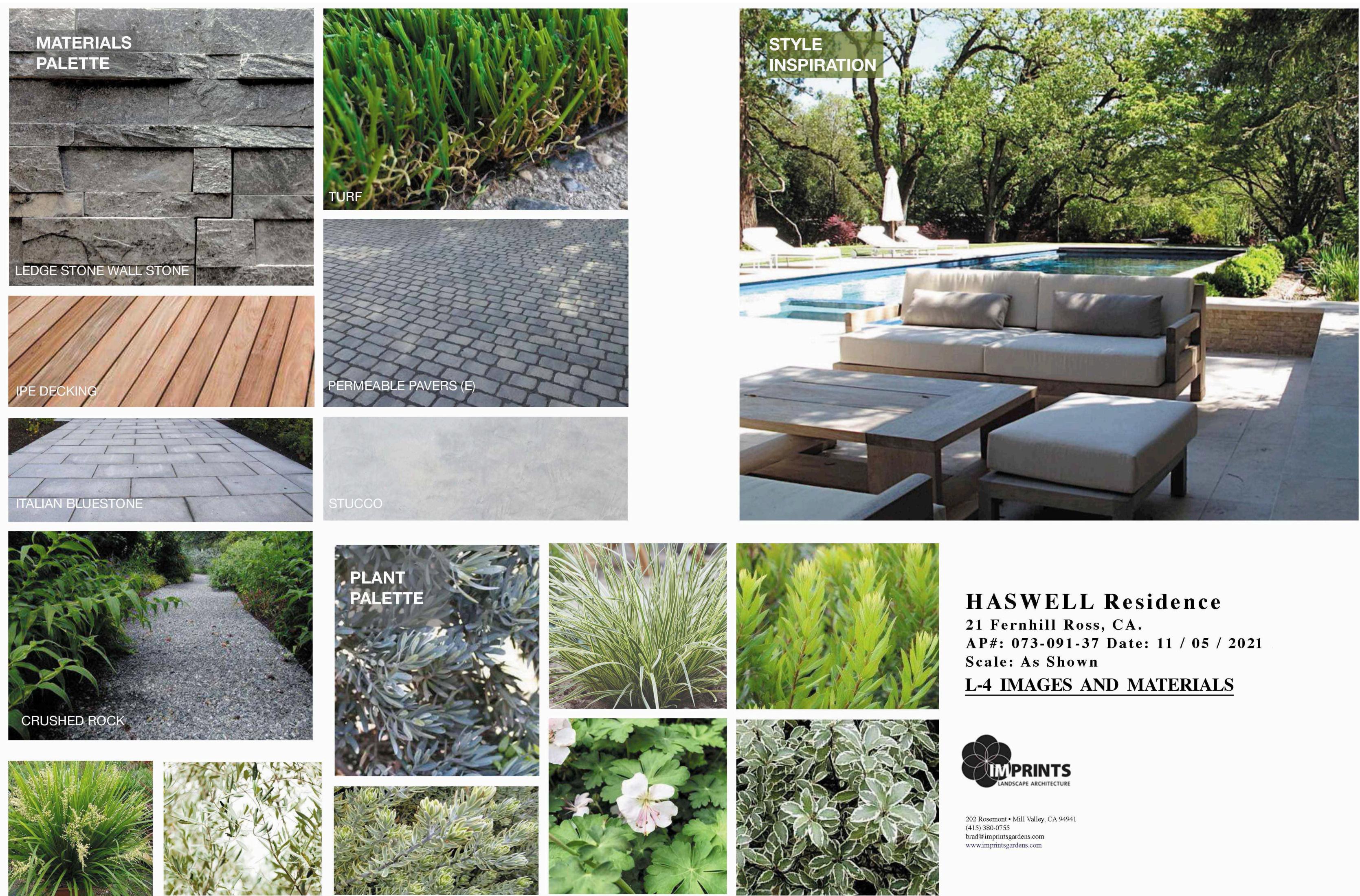
DATE	$ \Delta$	DESCRIPTION	вү	
01.26.2022		PLANNING SUB.	EO	
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UN-PUBLISHED WORK OF IMPRINTS LANDSCAPE ARCHITECTURE AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF IMPRINTS LANDSCAPE ARCHITECTURE © 2021 IMPRINTS LANDSCAPE ARCHITECTURE				
PLOT DATE	1.2	6.2022		
DRAWN	ΕO			
JOB #	HA	SWELL		
SCALE	1/8	"=1'-0"		

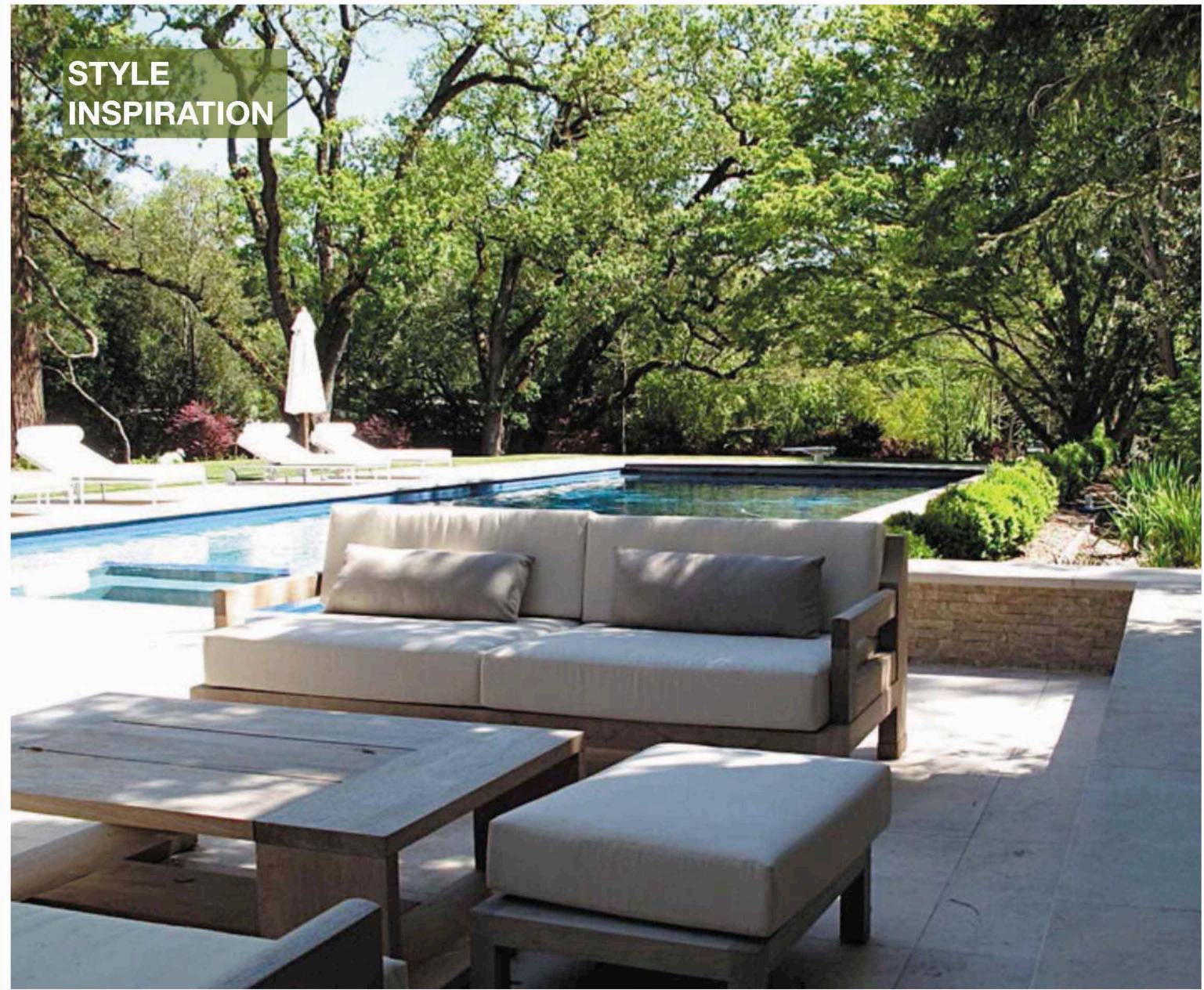
LANDSCAPE CONSTRUCTION PLAN











	LEGEND						
EXNEW				EX	NEW		
	ASPHALT PAVING (IMPERVIOUS)		PROPERTY LINE			CONC RETAINING WALL	
	CONCRETE PAVING (IMPERVIOUS)		EASEMENT LINE		· · · ·	SUBDRAIN (PERFORATED PIPE)	
	NEW FLAGSTONE PAVING (IMPERVIOUS)		EX WOODEN RET WALL			STORM DRAIN PIPE	
	NEW CONCRETE PAVERS (SEMI-PERVIOUS)		DRAINAGE DITCH/ BIO-SWALE	—— E/OH ——	——E/OH ——	ELECTRICAL OVERHEAD LINE	
	NEW WOOD DECK (PERVIOUS)		UNDISTURBED SOIL	—E/U <del>G</del>	——Е <b>ЛІ<del>С</del>——</b>	ELECTRICAL UNDERGROUND	
	PERVIOUS PAVING		COMPACTED FILL MATERIAL	-com/oh-	—com/oh—	COMMUNICATION OVERHEAD LINE	
	PLANTED, LANDSCAPED AREA		GEOTEXTILE	-comus -	—comus —	COMMUNICATION UNDERGROUND	
			EROSION CONTROL BLANKET		Tr	JOINT TRENCH	
	GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)		TURF REINFORCING MAT		s	SANITARY SEWER	
	EROSION CONTROL BLANKET		STRAW WATTLE	—— W ——	——M———	WATER LINE	
	BUILDING ADDITION		RUNOFF FLOW DIRECTION	G	<del>6</del>	GAS LINE	
AD 🕀	AREA DRAIN		SWALE FLOW DIRECTION	1/1	. <u>.</u>	EDGE OF ROAD	
	DRAINAGE INLET		STORMWATER LEVEL SPREADER			ROOF EAVE	
	ROOF LEADER		BUBBLE-UP DRAINAGE EMITTER	×	<	EX FENCE	
⊢●┤	FIRE HYDRANT	Ø	POP-UP DRAINAGE EMITTER	o	-0	NEW WIRE FENCE	
С	JOINT POLE		SUBDRAIN END CAP		0	NEW WOOD FENCE	
6 E	GAS METER, ELECTRIC METER	0	SUBDRAIN OR STORMWATER CLEANOUT	~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~	30	EXISTING GRADE	
MM	WATER METER	-			32 /	ELEVATION CONTOUR	
0	EX TREE		SUBDRAIN OUTLET		~	FINISHED GRADE ELEVATION CONTOUR	
	EX TREE DRIPLINE		HIDDEN FOUNDATION OR RETAINING WALL	85	.5 x	FINISHED GRADE ELEVATION	
		p	TREE PROTECTION FENCING		<	REMOVE EX TREE	

# GENERAL NOTES:

- I. SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY MICHEAL FORD, INC. LAND SURVEYING. 2300 BETHARDS DRIVE, SUITE J, SANTA ROSA, CA. 95495. (707) 542-8513. www.michealfordinc.com. DATED 05/26/21. BENCHMARK: NGS BENCHMARK D-108 (RESET). A BRASS DISK SET IN TOP OF CONCRETE MONUMENT, BEHIND BACK OF SIDEWALK, AT SAN ANSELMO CITY HALL. D-108 ELEVATION= 47.40' (NAVD88). BASIS OF BEARING: N 64d00'00" E BETWEEN FOUND 3/4" IRON PIPES TAGGED R.C.E. 18221, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 1999 OF MAPS, AT PAGE 245, MARIN COUNTY RECORDS.
- 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

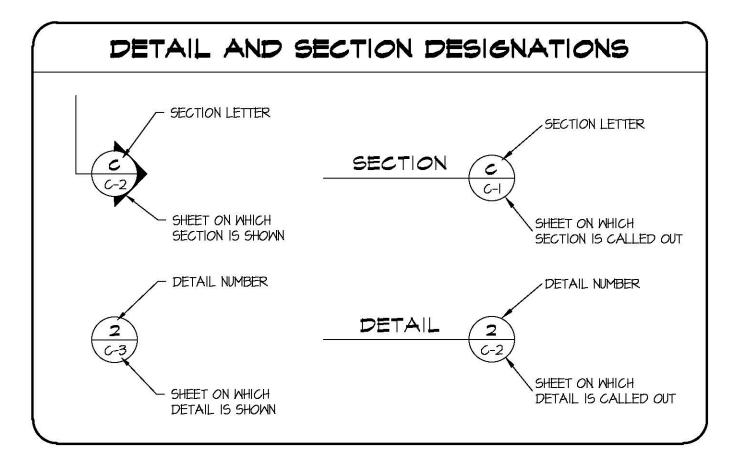
# DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

# RETAINING WALL AND FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS. STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

# EROSION CONTROL PLAN



# UTILITY CONNECTION NOTES:

I. THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.

2. UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:

WATER: MARIN MUNICIPAL WATER DISTRICT

SEWER: ROSS VALLEY SANITARY DISTRICT NO. I

- ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)
- GAS: PACIFIC GAS AND ELECTRIC (PG E)

TELEPHONE: AT&T

CABLE: COMCAST

3. CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. I STANDARDS.

ESTIMATED EARTHMORK	QUANTITIES
EXCAVATION	160 CY
FILL	15 CY
EXCESS	145 CY
MAX. EXCAVATION DEPTH	2 FT
MAX. FILL DEPTH	I FT
DISTURBED AREA	0.35 AC

# EARTHWORK NOTES:

- I. QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
- 2. LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
- 3. SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

# GREEN BUILDING STANDARDS

- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

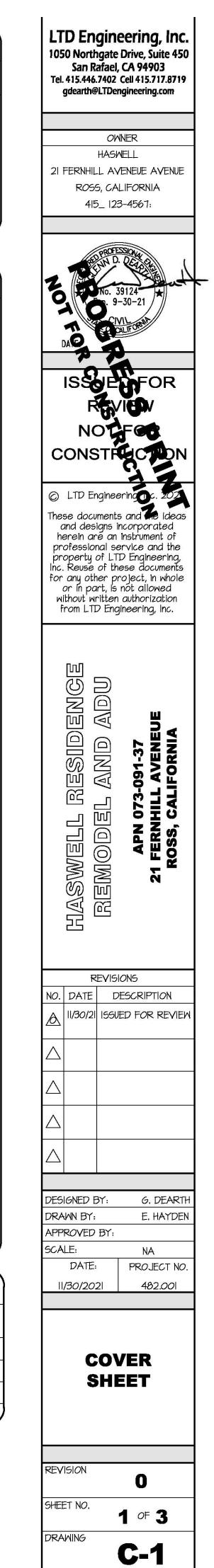
INDEX OF DRAWINGS			
DRAWING NO. DESCRIPTION			
C-I	COVER SHEET		
6-2	CONCEPTUAL GRADING AND DRAINAGE PLAN		
6-3	DETAILS		

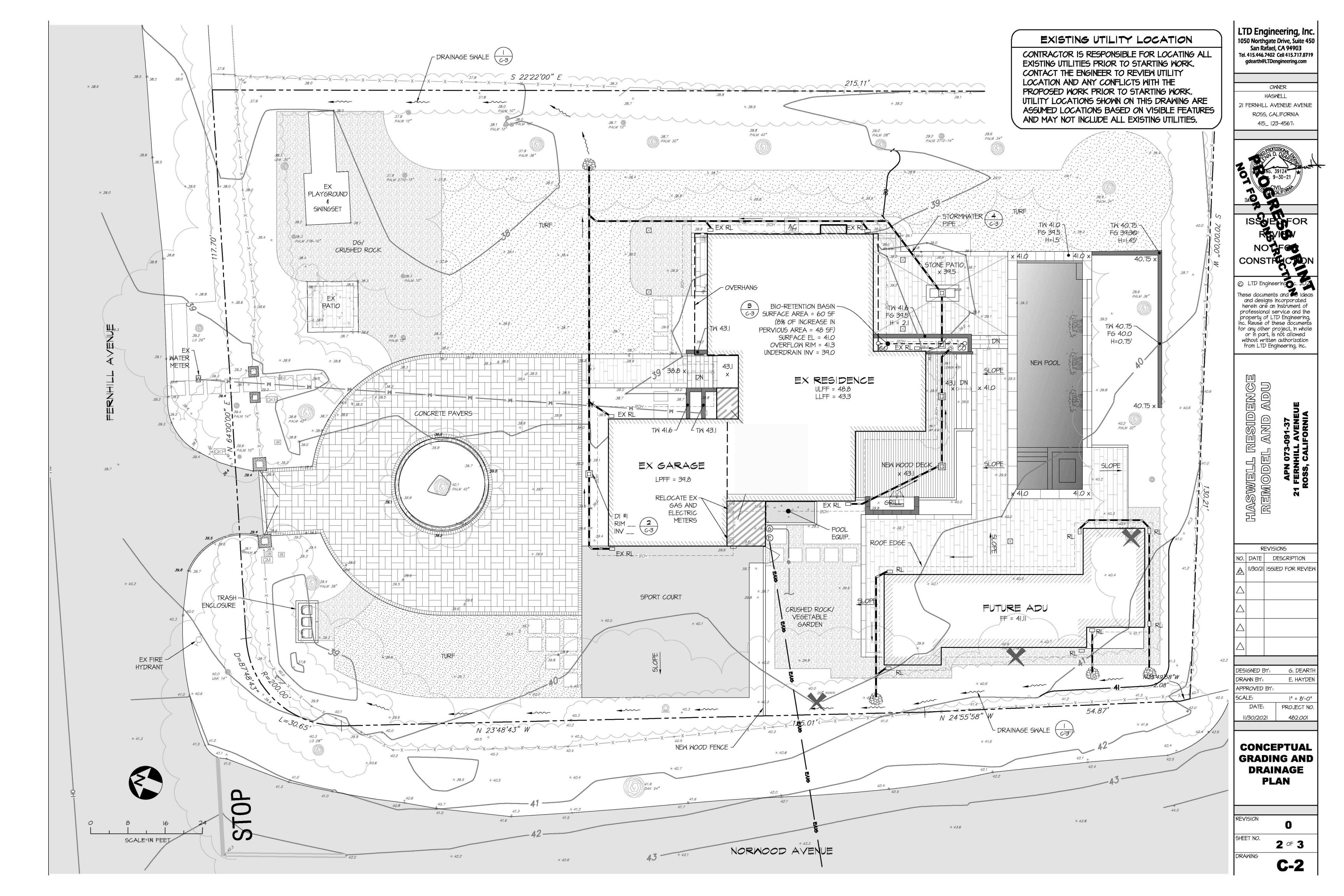
		ABBREVIATIONS
	AB	AGGREGATE BASE
	AC	ASPHALT CONCRETE
		AREA DRAIN
	ADA	AMERICANS WITH DISABILITIES ACT
	APN APPROX	ASSESSOR'S PARCEL NUMBER APPROXIMATE
		AM. SOCIETY OF TESTING MATERIALS
	Company of	BENCH MARK
	72 MIRLARD	BACKWATER PREVENTION DEVICE
		CORRUGATED METAL PIPE
	CO COM	CLEANOUT
		COMMUNICATION OVERHEAD
	COMM/UG	COMMUNICATION UNDERGROUND
		CONCRETE
		CUBIC YARDS DRAINAGE INLET
		DIAMETER
		ELECTRICAL
	12-14 122 129	ELECTRICAL OVERHEAD
	tootaan tootaa ar	ELECTRICAL UNDERGROUND
	EG EL or ELEV	EXISTING GROUND
	sensitive series and model and	EXISTING
		FLOOR DRAIN
	FF	FINISHED FLOOR ELEVATION
	FL FG	FLOW LINE FINISHED GRADE ELEVATION
		FEET or FOOT
		NATURAL GAS
	-377-2572 06-702-967	GALVANIZED
		GAS METER GALLONS PER MINUTE
	10771297, 10701 BK	HEIGHT OF EXPOSED WALL FACE
		HOSE BIB
		HIGH DENSITY POLYETHYLENE PIPE
	0.002	HIGH POINT
		INVERT ELEVATION JOINT UTILITY POLE
		JOINT UTILITY TRENCH
		LOWER LEVEL FINISHED FLOOR ELEV
	(5.009) B3 30	LOW POINT FINISHED FLOOR ELEV
	5 945 956 E	MAXIMUM MANHOLE
		MINIMUM
	0 9444094 81	MAIN LEVEL FINISHED FLOOR ELEV
		MARIN MUNICIPAL WATER DISTRICT
	1077 (2013) (201	OVERHEAD PACIFIC GAS AND ELECTRIC
		POLYVINYL CHLORIDE PIPE
		RADIUS
		ELEV AT MH COVER OR DI GRATE
	0.03420000	ROOF LEADER RIGHT-OF-WAY
	S	SLOPE
		SCHEDULE
	S-7502120 03	SIMILAR
	SDMH	STORM DRAIN MANHOLE
	55 55MH	SANITARY SEWER SANITARY SEWER MANHOLE
	SDR	STANDARD DIMENSION RATIO
	TC	TOP OF CURB ELEVATION
	TW	TOP OF WALL ELEVATION
	TYP VCS	TYPICAL UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
	ULFF	UPPER LEVEL FINISHED FLOOR ELEV
	VB	VALVE BOX
	M	WATER
	MM	WATER METER WATER VALVE
1		
1		

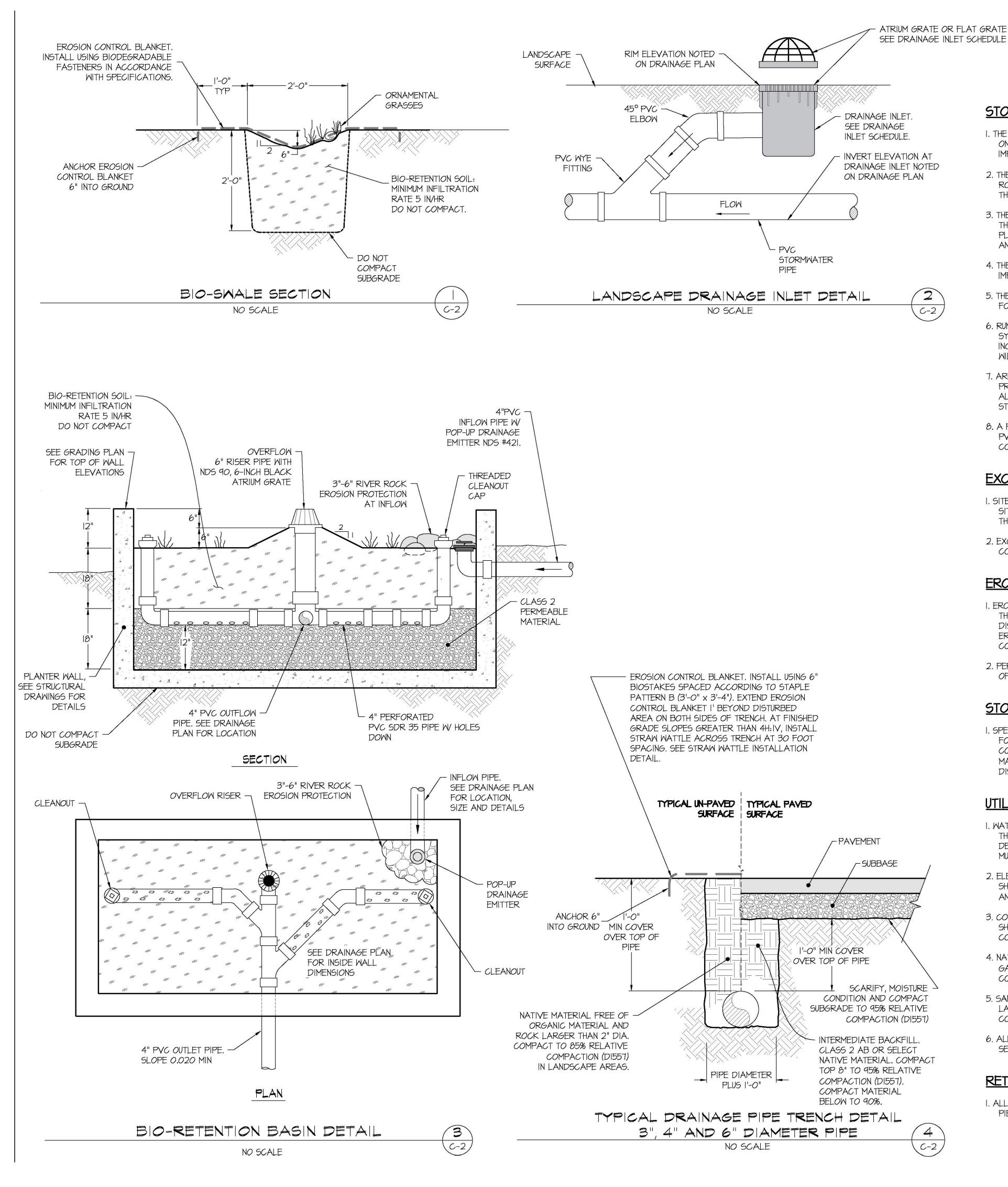
STORMWATER PLAN SUMMARY					
EXISTING SITE PROPOSED SITE DEVELOPMENT PLAN					
IMPERVIOUS SURFACES	8,275 SF	8,788 SF			
CONCRETE PAVERS (PERVIOUS)	0 SF	2,848 SF			
LANDSCAPE (PERVIOUS)	19,527 SF	16,166 SF			
TOTAL LOT AREA	27,802 SF	27,802 SF			

# STORMWATER NOTES:

- IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
- 2. CONCRETE PAVERS INCLUDE DRIVEWAY.
- 3. NEW OR REPLACEMENT IMPERVIOUS AREA IS 2,151 SF.







# STORMWATER DRAINAGE PLAN

- IMPROVE STORMWATER QUALITY.
- THE EXISTING IMPERVIOUS AREA AMOUNTS TO 30 PERCENT OF THE TOTAL LOT AREA.
- AND CONTROL.
- FOR THE DRIVEWAY.
- WILL SHEET FLOW TO LANDSCAPE AREAS.
- STREET DRAINAGE SYSTEM.
- CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

# EXCAVATION & GRADING PLAN

- CONSTRUCTION CONTRACTOR

# EROSION CONTROL

- CONTROL BLANKET AND STRAW WATTLES.
- OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLANS.

# STORMWATER POLLUTION PREVENTION

DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

# UTILITY PLAN

- MUNICIPAL WATER DISTRICT STANDARDS.
- AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
- COMCAST. THE WORK WILL BE COMPLETED IN CONFORMANCE WITH THEIR STANDARDS.
- CONFORMANCE WITH PG&E STANDARDS.
- 5. SANITARY SEWER: A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL WAS CONDUCTED ON 3/18/2021. THE CONFORMING TO ROSS VALLEY SANITARY DISTRICT STANDARDS.
- SERVICE MAINS ARE PLANNED.

# RETAINING WALL CONSTRUCTION NOTES

PIERS AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.

# DESIGN REVIEW NOTES

I. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN OF ROSS REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND

2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 8,275 SQUARE FEET (SQ FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 27,802 SQ FT.

3. THE PROPOSED LANDSCAPE PLAN CREATES OR REPLACES 2,151 SQ FT OF IMPERVIOUS AREA. THIS AREA IS LESS THAN THE 2,500 SQ FT THRESHOLD FOR RESIDENTIAL STORMWATER PROJECTS, AND THEREFORE, THE PROPOSED LANDSCAPE PLAN IS NOT SUBJECT TO REQUIRMENTS OF THE BASMAA POST-CONSTRUCTION MANUAL FOR STORMWATER TREATMENT

4. THE PROPOSED DEVELOPMENT PLAN ADDS 594 SQ FT OF NEW IMPERVIOUS AREA, GIVING A TOTAL OF 8,869 SQ FT OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 32 PERCENT OF THE LOT AREA.

5. THE PROPOSED DEVELOPMENT PLAN MINIMIZES THE USE OF IMPERVIOUS HARDSCAPE. PERVIOUS PAVING WILL BE USED

6. RUNOFF FROM 6,452 SQ FT OF THE PROPOSED NEW IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO TWO ON-SITE BIO-SWALES. THE IMPERVIOUS AREA DIRECTED TO THE BIO-SWALE BASIN INCLUDES THE ENTIRE ROOF AREA OF THE HOUSEAND THE REAR PATIO. RUNOFF FROM REMAING IMPERVIOUS AREA

7. AREA DRAINS IN LANDSCAPE AND HARDSCAPE AREAS ARE LIMITED TO LOCATIONS WHERE THEY ARE NECESSARY TO PREVENT WATER PONDING THAT COULD DAMAGE THE HOUSE. RUNOFF FROM MOST OF THE HARDSCAPE AREAS WILL BE ALLOWED TO SHEET FLOW TOWARD LANDSCAPED AREAS WHERE IT CAN INFILTRATE OR SLOWLY RUNOFF TOWARD THE

8. A FOUNDATION DRAINAGE AND RETAINING WALL BACK DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION

I. SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN. SITE GRADING WILL BE LIMITED TO EXCAVATION WITHIN THE FOOTPRINT OF THE ADDITION AND THE POOL AREA. FILL WILL BE LIMITED TO LANDSCAPE AREAS AT THE NORTH SIDE OF THE HOUSE ADDITION.

2. EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE

I. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAW WATTLES WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARPS TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION

2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLEITON

I. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION, CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE

I. WATER: THE EXISTING WATER METER WILL BE REPLACED WITH AN APPROPRIATELY SIZED METER FOR THE NEW HOUSE. THE EXISTING PIPE FROM THE METER TO THE HOUSE MAY BE REPLACED IF IT IS INADEQUATE FOR THE FIRE SPRINKLER. DESIGN REQUIREMENTS. ALL WATER SYSTEM IMPROVEMENTS WILL BE COMPLETED IN CONFORMANCE WITH MARIN

2. ELECTRIC POWER: THE EXISTING OVERHEAD ELECTRIC SERVICE AND METER WILL BE RELOCATED UNDERGROUND AS SHOWN ON DRAWING C-2. ALL ELECTRIC POWER SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS

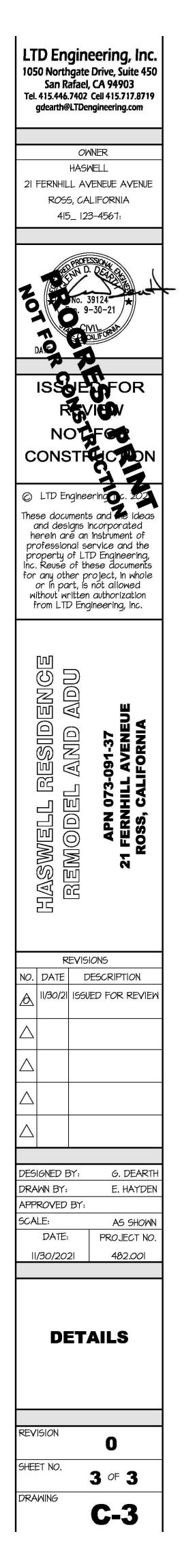
3. COMMUNICATION: THE EXISTING OVERHEAD PHONE AND CABLE TV SERVICE WILL BE RELOCATED UNDERGROUND AS SHOWN ON DRAWING C-2. ALL COMMUNICATION SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH AT&T AND

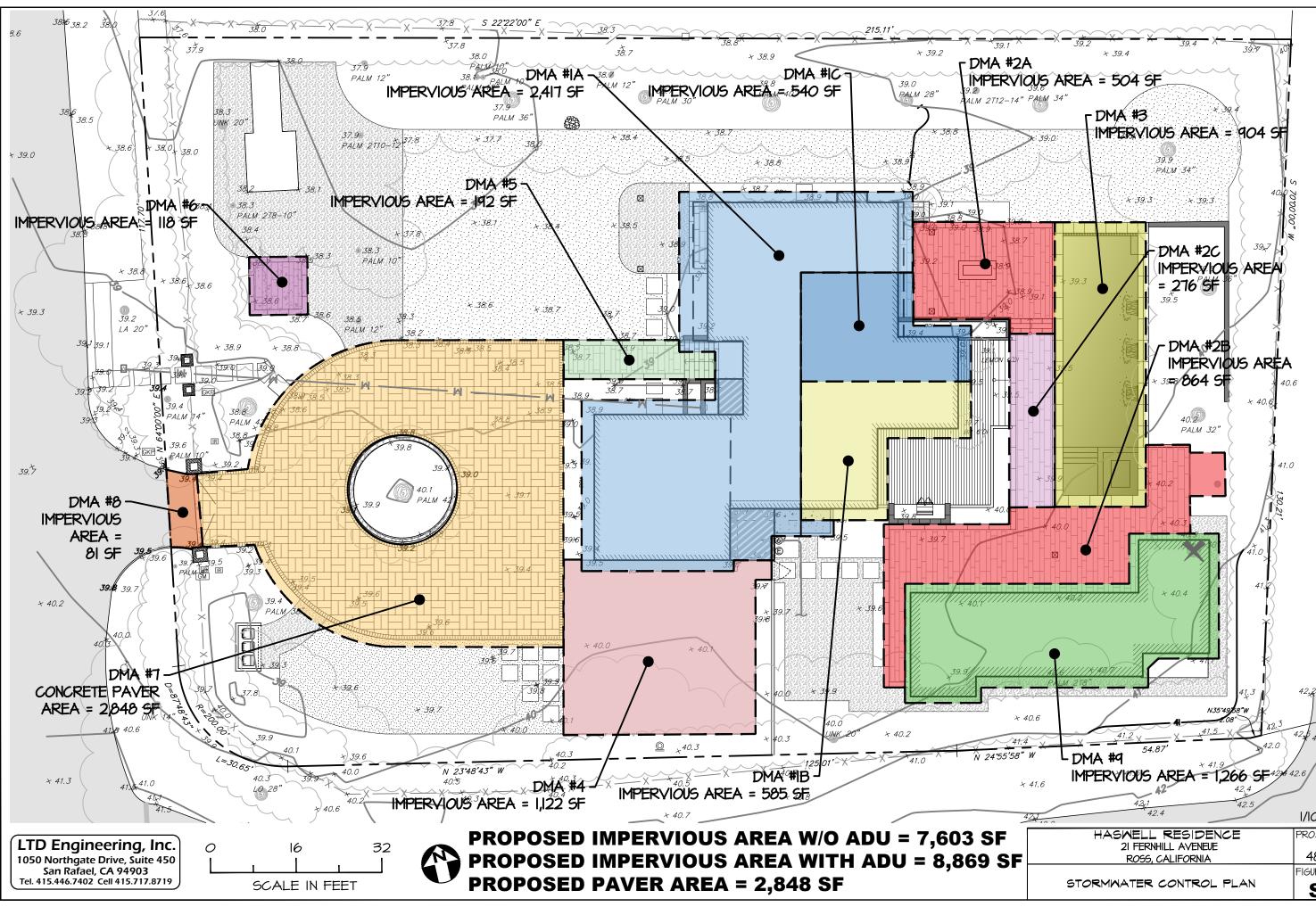
4. NATURAL GAS: THE EXISTING GAS METER AND SERVICE LINE WILL BE RELOCATED AS SHOWN ON DRAWING C-2. ALL GAS SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN

LATERAL DID NOT PASS INSPECTION. IT WILL REPLACED WITH A NEW LATERAL AND BACK FLOW PREVENTION DEVICE

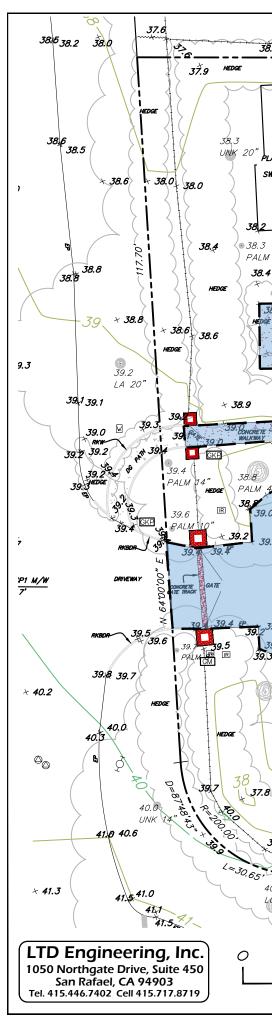
6. ALL UTILITY SERVICES WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE. NO NEW CONNECTIONS TO

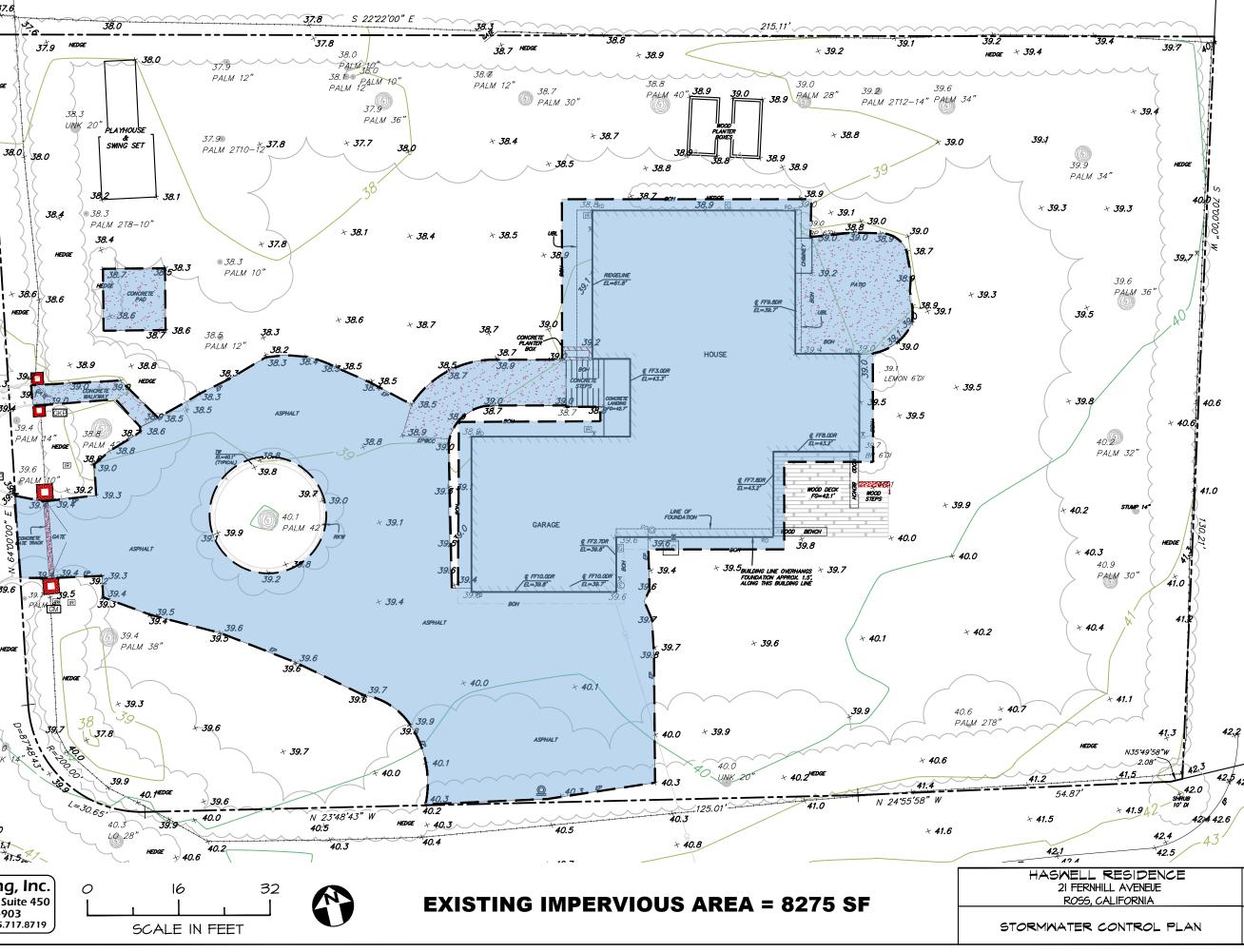
I. ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION SUPPORTED BY SPREAD FOOTINGS OR DRILLED













# **ATTACHMENT 4**

## **NEIGHBORHOOD OUTREAC**H

**Owners:** Stephanie and Russ Haswell

# Project Address:

21 Fernhill Avenue Ross CA 94957



Neighbor and Address: Mark and Molly Gamble

14 Norwood Avenue, Ross, CA 94957

- Date of Outreach: August 3, 2021
- How I informed them of the project: In Person Left them paper version of landscaping concept and exterior elevations to review
- **Comments:** "Your plans look great and thank you for sharing them while they were hot off the press. As you said, that wonderful, sunny property needs a little love and it looks like you will give it that. I like that you are staying on the existing footprint for the main house and sticking to the traditional aesthetic of the neighborhood. The location of the pool house makes sense for the property and has the least impact on neighbors, including us. I wasn't sure how big you are thinking that structure would be, but we would support your project as long as the total overall FAR isn't over 18%."
- Concerns: Ensure project doesn't exceed 18% FAR
- Mediations: None project met requirements

## Neighbor and Address:

Stephanie and Chris Roeder 15 Fernhill Avenue Ross, CA 94957

- Date of Outreach: September 6, 2021
- How I informed them of the project: In Person Showed them paper version of landscaping concept and exterior elevations
- Comments: General approval.
- Concerns: Two requests made:
  - They would like us to reduce the height of our hedge along their pool area because it blocks the sunlight. We will do this as part of the project (Or prior to summer pool use).
  - They encouraged us to add parking along our property on Fernhill. The prior owners had placed rocks in this area and allowed Ivy to grow.
- Mediations:
  - Rocks on Fernhill will be removed and parking is included

## Neighbor and Address:

Amy and Dave Schaffer 18 Fernhill Avenue Ross, CA 94957

- Date of Outreach: September 6, 2021
- How I informed them of the project: In Person Showed them paper version of landscaping concept and exterior elevations
- Comments: General approval they are across the street and down a bit so not really

impacted.

- Concerns: None raised
- Mediations: None

## Neighbor and Address:

Kelly and Kurt Wilms 32 Fernhill Avenue Ross, CA 94957

- Date of Outreach: September 8, 2021
- How I informed them of the project: In Person Showed paper version of landscape concept and walked 21 Fernhill property with them to discuss.
- Comments: General approval
- Concerns: None raised
- Mediations: None

## Neighbor and Address:

Mark and Sarah Kruttschnitt 12 Norwood Avenue Ross, CA 94957

- Date of Outreach: September 17, 2021
- How I informed them of the project: We had a zoom call with Mark to discuss the ADR process. Because he happens to be a neighbor, he let us know that he'd be recusing himself from the review of our project. We described the project verbally, but he did not review our plans. We did not get any indication that there would be concerns.
- **Comments:** On ADR, so recusing himself from the project review
- Concerns: None
- Mediations: None
- •

# **ATTACHMENT 5**

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Mayor Hart asked the Town Planner to go over the Council direction from the last meeting and Mr. Broad said the Council wanted a plan that would remedy the nonconforming parking situation but no discussion was made that it be a two-storey with additional living. Council also discussed that the addition off the rear second storey was too large and bulky.

Council member Gray said that the applicant has two options: one is to fix the foundation, electrical, plumbing, paint the house and sell it; two, is to build a garage out of the setback without living space and not increase the existing FAR.

Ms. McCoy asked for clearer direction from the Council.

Council member. Curtiss speaking from the audience said that staff gave a succinct report and felt that the applicant should follow the recommendation that no additional

construction be done on the east side. He said that the applicant changes the plans at the meeting and the proposed plans increased the mass considerably and it is new mass/bulk which, he said, is not acceptable.

Ms. Marta Osterloh of Southwood Avenue said that Ms. McCoy asked her what she could do and Ms. Osterloh said that if she did the addition on the west side she would not object but she could not know the full impact without first seeing the plans. She said that the plans as shown would block light and air from her mother's property.

Ms. Cameron Lanphier of Southwood Avenue said that the proposal to put a garage in the setback is inappropriate and there is nothing in the existing setback. She objected to the increased FAR and she said that she had a problem with an applicant changing the design after the neighbors had seen the plans. She urged the Council not to approve the plans. Ms. Lanphier complained that the property is not being maintained.

Dr. Elizabeth Robbins said that she is the neighbor to the north and said that the biggest change is the living space above the garage. She said that the current barn is tall but it is not a living area and she did not mind having an old barn against her property but a new structure would have a completely new feel.

Council member Zorensky felt that the plans should be denied without prejudice because the Council could not continue to design the project on the spot. This was seconded by Councilwoman Delanty Brown. Mayor Hart said that this is the third hearing on this application and the Council gave some very clear direction at the last meeting; however, the recent submittal did not necessarily comply with that guidance and the Council cannot engage in a design-as-you-go project and no one has had a chance to look at the new plans. Council member Gray moved denial of the project based on the staff report and discussion, seconded by Council member Zorensky and passed with four affirmative votes. Council member Curtiss had stepped down.

## COUNCIL MEMBER CURTISS RETURNED TO THE COUNCIL CHAMBERS.

## 32. **DEMOLITION PERMIT.**

Susan and Tom Reinhart, 21 Fernhill Avenue, A.P. No. 73-091-37, R-1:B-20 (Single Family Residence, 20,000 square foot minimum). Demolition permit to allow the demolition of an existing 3,040 square foot residence and 687 square foot garage. The existing driveway and hardscape will be removed and additional screen plantings and lawn provided.

11-8-01

Lot Area27,802 sq. ft.Present Lot Coverage13.3%Proposed Lot Coverage0.0% (15% permitted)Present Floor Area Ratio13.8%Proposed Floor Area Ratio0.0% (15% permitted)

Town Planner, Mr. Broad, explained that the applicants proposed to demolish the existing residence and garage. The existing driveway and hardscape will be removed and additional

## November 8, 2001

planting will be provided on the site. He said that the demolition ordinance requires that the Town Council make four specific findings in approving any demolition and he referenced them in his staff report of November 5, 2001. He said that the findings also require that the Council determine that the proposal is consistent with the Town's General Plan and the Town's zoning ordinance. Mr. Broad recited the Demolition Ordinance that states that "projects reducing the number of housing units in the Town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacements units, are discouraged." This project will result in the demolition of a single unit with no replacement unit. Mr. Broad said that the Council should consider whether approval of this project would affect future development throughout the community and staff recommended denial of the project. Mr. Broad said that at least three other property owners had been interested in purchasing and demolishing adjacent residences; however, they subsequently abandoned the projects primarily because of his representation that Council approval would be unlikely.

Mr. Tom Reinhart who resides at 15 Fernhill Drive on the adjacent property and is the new owner of 21 Fernhill gave a history of the purchase of the property. He said that the former owners, after their plans were denied, offered to donate the house to a charitable organization. After that, he and his wife thought about protecting their own property in case 21 Fernhill was sold or donated and they thought about a long-term plan of expanding their house and in the meantime having a larger yard with a lawn.

He said that merging the parcels would produce a lot size of an acre which would be consistent with the neighborhood. He then showed a parcel map of the area. He said that historically 15 and 21 Fernhill were once part of a single property that was later subdivided and a merger would revert them back to their original condition. His present home is nonconforming in setbacks and merging the properties would result in a conforming property. He said that they have the support of the adjacent neighbors. He felt that the plans were consistent with the Ross General Plan and would not be detrimental to the public welfare and satisfied all requirements of the demolition ordinance. Mr. Reinhart said that he supports the Town's efforts to maintain affordable housing but he did not feel that this site could be considered affordable housing.

Councilwoman Delanty Brown asked Mr. Reinhart if he planned to merge the two properties. He responded that at some point he would, but he would now keep two separate properties for privacy, additional off-street parking and landscaping. Council member Gray asked when he planned to demolish the site and Mr. Reinhart said that they hoped to demolish at the end of next summer.

Council member Curtiss said that this is the most important vote to be made in the five plus years he has been on the Council. He said that as he sits in his living room and looks at his neighbors' houses, he thinks it would be nice to make a park out of it but one has to consider the welfare of the Town. He said there are lots of people waiting in the wing. He said that the Council was very close to approving a plan for the previous owners. Council member Curtiss said that the applicant says that at one point it was a single property, but one could say that about the entire Town. He said that 90 percent of the houses in Town are nonconforming. When the Yandells on Locust Avenue got approval to tear down two houses, Council member Curtiss continued, the Council felt it had to approve the demolition because the ordinance was vague at that time but has since been amended. He said that the Council is supposed to protect the Town's housing stock as the Ross Town General Plan calls for preservation of <u>existing</u> housing.

Council member Zorensky agreed with Council member Curtiss in that reducing the housing stock is a serious issue. However, he felt that the application met the requirements, was consistent with the neighborhood and the character of the Town and consistent with the land use goals and the General Plan. He felt that merging the lots has some historical character and he felt that the Council has to address each application on a case-by-case basis when reviewing the Town's General Plan. Council member Zorensky did not think that approval of this application would set a precedent.

Council member Gray said that most of the problems are on the smaller lots and there is a tremendous pressure to build larger houses on smaller lots. He said that two lots being

November 8, 2001

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consolidated on Bolinas Avenue or on Glenwood Avenue in the middle of smaller houses would be different from this proposal. He understood that the applicants intended to build within the allowable 15% FAR and reduce the setback nonconformities. He felt that the plans were consistent with the neighborhood and would minimize any future variances Councilwoman Delanty Brown complimented Mr. Reinhart on his presentation and said that she supported the plans.

Mayor Hart commended Mr. Reinhart on his presentation but noted that the staff report mentions, very persuasively, a set of findings for denial and the Mayor said that he was hard pressed to support the project. He added that in spite of the applicant's eloquent argument, the staff report significantly overwhelmed the applicant's proposal. Mr. Broad noted that the Demolition Ordinance requires that the applicants submit replacement plans when applying for a demolition but this was not required because the applicants said that they did not have any plans for development at this time. Council member Gray said that this is a unique situation because the applicants have no immediate plans to build on the site. He then moved approval of the demolition with the condition that a resolution of findings and conditions be submitted at the next meeting for Council approval. This was seconded by Council member Zorensky and passed with three affirmative votes. Mayor Hart and Council member Curtiss voted against.

## 33. VARIANCE, DESIGN REVIEW AND DEMOLITION PERMIT.

Nancy and John Abouchar, 1 El Camino Bueno, A.P. No. 72-162-14, R-1:B-A (Single Family Residence, One acre minimum). Demolition permit, variance and design review to allow the following: 1.) convert existing garage into a 528 square foot family room; 2.) add a 638 square foot master bedroom and bathroom at the rear of the residence; 3.) raise existing roof lines at the bedrooms and entry to a 12 in 12 pitch; 4.) construct a 585 square foot detached garage at the rear of the residence with a new driveway approach; 5.) construct a 304 square foot pool house to the east of the residence; and 6.) add a 6-foot high, solid wood fence within 3 feet of the Sir Francis Drake Boulevard and a part wood/part wood and wire fence with a wrought iron gate 3 feet back from the El Camino Bueno property line.

Lot Area	29,738 sq. ft.
Present Lot Coverage	12.2%
<b>Proposed Lot Coverage</b>	16.9% (15% permitted)
<b>Present Floor Area Ratio</b>	이 집안 같은 것 같아요. 그는 것 같아요.
<b>Proposed Floor Area Rat</b>	io 15.0% (15% permitted)

Town Planner, Mr. Broad, said that the area of concern focuses on the proposed solid fencing along Sir Francis Drake Boulevard and the proposed garage location and he referred to his staff report. He suggested that the application be continued so that the applicant could submit new plans concerning the garage location and the fence design. Mayor Pro Tempore Gray said that the Councilmembers received phone calls concerning this application and he was sympathetic to the need for a sound barrier but the Council discourages putting fences close to the right-of-way.

Mr. Steve Wisenbaker, AIA, said that the existing fence is behind a row of trees and he would like to keep the fence in the same location but cannot because of the driveway and there is an issue of privacy and security. He felt that he could modify the design in a number of ways; i.e., move the garage back from the property line and give more openness at the entrance, vegetation is proposed with an evergreen hedge it is their intention that one will never see the fence. He said that there is ample room for landscaping.

Mayor Hart asked that storey poles be installed and that the garage area be staked. Council member Gray asked that the fence be pushed back as far as possible and that they not endanger the trees.

Upon motion by Council member Gray, seconded by Councilwoman Delanty Brown the matter was continued.

construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.

- 8. A landscape plan for the areas between the residence and the adjacent right-of-ways shall be submitted for Town Planner approval within 60 days. The plan shall include vine plantings along the outside of the Walnut Avenue fence, comparable to what is on the inside. Approved landscaping shall be installed within 90 days, weather permitting. In-ground irrigation shall be provided.
- The Council reserves the right to require additional landscape screening for up to two (2) years from project final.
- 10. The understory area does not constitute floor area and may not be used as finished space or as living space. No sheetrock or finished material is permitted on the walls. The area may not be used as a laundry room, wine cellar or other area defined as finished space. The floor shall remain as a concrete slab only and the ceiling and walls shall remain as bare studs. No plumbing or heating is permitted within this area. A maximum of two outlets shall be permitted. This area may be used for storage, gardening and as an incidental home workshop area only.
- 11. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license tax. Prior to project final, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town in 2002, including names, addresses and phone numbers. All such people shall file for a business license.
- 12. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

This was seconded by Council member Barr and passed unanimously.

25. Council consideration/adoption of a Nuisance Abatement Order and imposition of penalties for John and Kate Lord, 15 Walnut Avenue, A.P. No. 73-171-06, for work beyond the issued building permit including the installation of walls, windows and a concrete slab.

Council member Zorensky moved that the Council adopt a nuisance abatement order providing the property owner 90 days to make the approved modifications as stated in Item No. 24 (c) above with civil penalties of \$1000 a day beginning December 11, 2002. Applicants must complete the reshingling of the exterior of the home by June 30, 2003. If this is not completed, civil penalties of \$1000 a day shall be levied on the applicants, commencing July 1, 2003. This was seconded by Council member Barr and passed unanimously.

## 6. TIME EXTENSION.

Susan and Tom Reinhart, 21 Fernhill Avenue, A.P. No. 73-091-37, R-1: B-20, (Single Family Residence, 20,000 square foot minimum). A request for a oneyear time extension to December 13, 2003 for a demolition permit application approved on December 13, 2001. The approval allowed the demolition of an existing 3,040 square foot residence and 687 square foot garage at 21 Fernhill

## September 12, 2002, Minutes

## Avenue and addition of screen plantings, lawn and garden areas.

Council member Curtiss said that he made a statement saying that the worst decision this Council ever made was approving the Reinhart demolition. He said that it is now up to the two new Council members to determine whether the Council should follow the General Plan and preserve existing houses.

Council member Zorensky said that the Council argued this issue and the critical issue was whether the finding of the original approval remain valid. He felt that they did. He felt it was consistent with the General Plan.

Council member Barr felt the Council should respect the prior Council's decision. Council member Byrnes said that he was not on the Council but was present in the audience and recalled that it was a very difficult decision. He said if it came before him fresh today, he would probably not vote for it; however, it was passed by the then sitting Council and he said he would approve a one-year extension with the understanding that he would not vote for it again. He said that if the Council votes again, it might not be approved.

Mayor Gray expressed disappointment at the request because he said he was assured that they would complete the demolition in one year. He said there was a "For Rent" sign and it came down three days prior to this meeting. He was sympathetic to the loss in the family but felt the real reason was financial. He said

he was of the mind not to approve a year's extension. He felt it should be done by August 31, 2003 before school starts and before the rainy season.

Council member Byrnes said considering the health of the family and the uncertain economic factors, it is important to them that they rent in the meantime which, he felt, could be a benefit to the Town. He favored extending the request to December 1, 2003.

A representative of the Reinharts said that they had a health situation with Mrs. Reinhart's father and they have been renting the property on a month-to-month basis.

Council member Byrnes moved approval of the extension to September 1, 2003, with the following conditions:

- All conditions of approval in Resolution No. 1482 shall remain in full force and effect.
- This approval shall allow for the demolition permit originally approved on December 13, 2001 to be extended until September 1, 2003.
- 3. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

Seconded by Council member Barr and passed with four affirmative votes. Council member Curtiss voted against.

27.

### VARIANCE AND DESIGN REVIEW.

Ed and Sue Ward, 64 Shady Lane, A.P. No. 73-101-36, R-1:B-20 (Single Family residence, 20,000 square foot minimum.). Variance and design review to allow a 675 square foot second story expansion to an existing residence within the south side yard setback (20 feet required, 11 feet proposed.) A 120 square foot porch is proposed on the rear elevation within the east side yard setback (20 feet required, 11 feet proposed.) A 435 square foot rear yard deck will be removed.

# Elise Semonian

From:	Elise Semonian [esemonian@townofross.org]
Sent:	Friday, June 27, 2008 9:38 AM
To:	'Brian Wells'
Cc:	esemonian@townofross.org
Subject:	21 Fernhill Fence Permit Approval

tence proved [08 6/226/08 92 Se Se I'm just going to have this email serve as my approval of your fence application. I'll put a copy in the file. The conditions of approval:

- The proposed gates shall be designed and constructed in substantial conformance to the plans 1. submitted with the fence permit application, on file with the Town.
- 2. The auto gate shall be located at least 18 feet from the edge of the paved roadway.
- 3. No encroachment permit is hereby approved. It is the responsibility of the applicant to ensure that no work of any kind occurs within the right-of-way or that appropriate approvals are obtained for any work within the right-of-way (for example, for a call box).
- The project owners and contractors shall be responsible for maintaining Town roadways and right-of-4. ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
- 5. Failure to secure required building permits and/or begin construction by June 26, 2009 will cause the approval to lapse without further notice.
- This project shall comply with the following recommendations to the satisfaction of the Department 6. of Public Safety: 1.) a street number must be posted (minimum 4 inches on contrasting background); and 2.) a Knox Lock box is required.
- 7. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Prior to the issuance of a building permit, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
- 8. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

Let me know if you have any questions.

-Elise

Elise Semonian Senior Planner Town of Ross P.O. Box 320 Ross. CA 94957 415.453.1453 extension 121

subject to concel condition Approved: 08 Mide **Building Official** TOWN OF ROSS

7/22/2008

caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

## 26. 21 Fernhill Avenue, Variance and Design Review No. 1753

Brian and Rachel Wells, 21 Fernhill Avenue, A.P. No. 73-091-37, R-1:B-20 (Single Family Residence, 20,000 sq. ft. minimum lot size), Low Density (1 - 3 units per acre). Proposal for redevelopment of the site including applications for design review, variance, demolition permit and second unit permit. The project includes demolition of the existing residence and construction of a 4,082 square foot new residence, 469 square foot detached garage, 160 square foot pool house and landscape improvements including a 16-foot by 32-foot pool. The exterior materials for the French country style residence include cement plaster siding, slate roofing and painted wood windows and doors. A floor area ratio variance is requested for 541 square feet of a 613 square foot, attached, second unit. A side setback variance is requested to permit 25 square feet of terrace area within the west side yard setback (20 feet required, 16 feet proposed). Setback variances are requested to maintain the play structure within the front yard setback (25 feet required, 16 feet proposed) and east side yard setback (20 feet required, 10 feet proposed).

Lot area	27,802 sq. ft.		
Existing Floor Area	13.5%		
Proposed Floor Area	16.9%	(15% permitted)	
Existing Lot Coverage	11.1%		
Proposed Lot Coverage	9.7%	(15% permitted)	

Senior Planner Elise Semonian summarized the staff report and recommended that the Council approve the application subject to the findings and conditions outlined in the staff report. Staff noted that additional letters were received in support of the project since the staff report was prepared. She allowed the Council time to read a letter received by the owner of 15 Fernhill.

Greg Johnson, architect, discussed the key components. They met with ADR and the overall sense was favorable. They reduced impervious surfaces, reduced the lot coverage and reduced the FAR to 15%. They have special circumstances in terms of needs for locating the second unit above the garage. They are balancing needs of the family and the location of the second unit above the garage in the front yard or back yard. They reduced the square-footage within the building as much as possible. The delineation of that space has been made very clear. In terms of the one variance for the small encroachment of the patio into the side yard, they will modify to not encroach into the side yard setback. They believe as stated in the staff report, the findings can be made for the 1.9% variance request. The project has wonderful merits to it. They will do a rainwater collection system in terms of cisterns under the structure of the garage. As a goal, they would like to achieve 60 or higher in terms of the Green Point Rating system. Even though it is not a requirement, he is using such rating system on all his projects throughout the Bay Arca for sensible design and taking advantage of some innovations, which would include solar. The project received unanimous support

## October 8, 2009 Minutes

from the neighbors and there is very little impact. It is a design they all can be proud of. It is very symmetrical and hopefully the Council can justify the findings. He further noted that he is available to answer any questions.

Council Member Cahill noted that the Council received a letter from Charles and Petula Almond voicing support on the condition that landscape screening occurs between the two properties. Architect Johnson indicated that at the back of the property an oak tree fell down and screening will fill that void.

Brian Wells, owner, indicated that he is completely open to working with the neighbors and the Council. He did walk the property line and when they moved there was no screening and since then there are 56 English laurels between 8 and 16 ft. tall and 8 to 9 tall shrubs in between. Besides that they have three trees between 20 and 25 ft. and 14 queen palms. He suggested adding what is appropriate, and believed they did screen their property. It is important to remember they are talking about moving the house over 18 ft. and only raising approximately 5 to 6 ft.

Council Member Martin desired clarification in regard to a pigment in the concrete. Architect Johnson explained that it will not require any maintenance and it provides that old world look with simply fades. Rachel Wells, owner, believed the initial color is a muted grayish color. Senior Planner Semonian presented the Council with photos depicting the proposed materials for Council consideration. Architect Johnson noted that over time it tones down. It does not get dark or black. It settles down. It is very similar in color to the home across the street.

Council Member Martin expressed concern for the height of the garage. Architect Johnson stated they were creating a structure in terms of proportions that worked up with the house. There is so much growing that in another year it will not be visible.

Mayor Pro Tempore Hunter opened the public hearing on this item.

Wendy Posard, representing the Almond's, presented photographs of the screening to date. It is wonderful that the Wells are interested in working with her client, which is a good source of communication and they are very enthusiastic about that and excited about a dark slate roof. As far as the dark windows, at night dark windows can become a light or lantern that shines back on the property. They appreciated that the Wells' felt additional planting will make a dense barrier and in essence block visual view from her client's property. In addition to the letter submitted tonight, they offered to help pay for the screening. They desired an evergreen deciduous screen to complete a barrier between properties and reduce the visual line of sight significantly. They offer to help pay for the screening and wish to be respected in terms of additional plantings.

Architect Johnson clarified that they propose dark framed muted windows, not dark windows.

There being no further public testimony on this item, the Mayor Pro Tempore closed the public portion and brought the matter back to the Council for discussion and action.

## October 8, 2009 Minutes

Council Member Cahill felt the design is beautiful. The issue is the patio variance, which he felt it is not much of an issue. If that design were altered it would take away the symmetry. Similarly, the play structure variance is acceptable. He then asked if the fireplace is EPA approved. Mr. Wells responded in the affirmative. Council Member Cahill noted that there is consideration to add pervious driveway material and desired an explanation. Mr. Wells stated that any new pavement would be cobblestone and depending from a budgetary standpoint, they would do the entire driveway. It is a question of when and in terms of budget. They want to work with the Town and do what is right. Mrs. Wells desired grassy pavers, but that must be further considered.

Council Member Cahill asked about the balcony in the back and noted that at times they have dealt with second floor balconies when adjacent to other property owners, but in this case it is quite a distance away, so he is comfortable in that regard. The main issue is the FAR variance. It is 540 sq. ft. over. He suggested removing the pool house, which would take it down to 380 sq. ft. and that is 1.9% over the allowable FAR. Looking at the floor area for each of the two floors, to meet FAR they must reduce 190 sq ft. out of each floor and that could be accomplished by moving back each dimension a couple of feet, but it is a tight design. He feels there may be some room to go over the FAR, but is interested in hearing from the Council.

Council Member Skall noted that he along with Council Member Cahill arrived at the property at the same time, not knowing each other would be present at that time, so he has a similar opinion of what Council Member Cahill has voiced. The FAR should be flushed out, but there may be extenuating circumstances to make it feasible.

Council Member Martin concurred with the comments previously stated.

Mayor Pro Tempore Hunter loves the design. While the FAR is high, the lot coverage is down considerably, so that can be factored in their deliberations. The variance in the side yard should go away. They must treat each and every exception to the rule carefully and he did not see the findings. He had no objection to the play area. Seeing the landscaping that has already occurred, which is extraordinary, his sense is that the applicant will screen the garage and work with the neighbor. He believed that is a two-sided fence arrangement and the Almond's have to do their part as well. On the basis of having a separate second unit within the building, it does give the Council some justification. He is very nervous about this second unit allowance without having any regulations to back it up. If they do decide to move forward on that basis, it must be addressed as a policy discussion. He could support the project with the one exception of the side yard setback.

Council Member Cahill felt the side yard setback is very small and has virtually no impact. The purpose of the impact is to protect adjacent neighbors and there is no adjacent neighbor, so he can make the findings. It is also quite important for the design. Unless they remove part of the program there is no good way to reduce the FAR. The real problem is the second floor with all the bedrooms. It will not work to reduce the first floor without the second floor. They should be very careful about not going over the FAR and one way to alleviate the problem is eliminating the pool house. It would bring it down so the FAR variance is less than 2% over.

## October 8, 2009 Minutes

Council Member Skall stated that the fact that this design is so special, to tweak the outside seems to be a shame. The Town is getting a tremendous benefit from this project. It will be a tremendous addition and that should be a factor in their discussion. He further favored eliminating the pool house. Council Member Martin concurred.

Mayor Pro Tempore Hunter asked for a motion.

Council Member Cahill moved and Council Member Skall seconded, to approve the application for 21 Fernhill Avenue with the exception of the pool house, including the findings and conditions outlined in the staff report. Motion carried unanimously. Strauss absent.

## Conditions for 21 Fernhill:

The following conditions shall be reproduced on the first page(s) of the project plans:

- 1. Except as otherwise provided in these conditions, the project shall comply with the approved plans. Plans submitted for the building permit shall reflect any modifications required by the Town Council.
- 2. The proposed pool house is not approved.
- 3. No modifications may be made to the second unit to remove the kitchen or provide access between the unit and the main residence without prior Town Council approval.
- 4. The project shall comply with all requirements of the Marin Municipal Water District and Sanitary District, including payment of any connection fees and compliance with the MMWD Landscape Ordinance 385.
- 5. Additional evergreen screening landscaping shall be provided at the southeast corner of the site to provide taller screening of the residence from 14 Norwood.
- 6. Project development shall comply with the requirements of the Ross Valley Sanitary District.
- 7. NO CHANGES FROM THE APPROVED PLANS SHALL BE PERMITTED WITHOUT PRIOR TOWN APPROVAL. RED-LINED PLANS SHOWING ANY PROPOSED CHANGES SHALL BE SUBMITTED TO THE TOWN PLANNER FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGE.
- 8. All roof runoff should be dissipated on site.
- 9. All costs for town consultant, such as the town engineer, review of the project shall be paid prior to building permit issuance. Any additional costs incurred to inspect or review the project shall be paid as incurred and prior to project final.
- 10. The finished structure shall be no taller than 30 feet, measured from the existing grades. Plans submitted for the building permit shall provide elevations for the roof ridges and floor levels. A surveyor shall string the foundation location. Written verification of the highest ridge elevation shall be wet stamped by a licensed surveyor.
- 11. Any exterior lighting shall be submitted for the review and approval of planning department staff. Lighting shall be shielded and directed downward. Exterior lighting of landscaping by any means shall not be permitted if it creates glare or annoyance for adjacent property owners. Lighting expressly designed to light exterior walls or fences that is visible from adjacent properties or public right-of-ways is prohibited. Up lighting of trees or structures shall be prohibited.
- 12. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Prior to the issuance

of a building permit, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.

13. This project shall comply with all requirements of the Department of Public Safety, as outlined in their ongoing project review, including the following: a) sprinklers are required; b) a 24-hour monitored alarm system is required; c) all dead or dying flammable material shall be cleared and removed per Ross Municipal Code Chapter 12.12 from the subject property; d) the street number must be posted (minimum 4 inches on contrasting background), e.) the access roadway must have a vertical clearance of 14 feet; f.) all brush impinging on the access roadway must be cleared as determined feasible by Public Safety; and g.) a Knox Lock box is required.

14. This project is subject to the conditions of the Town of Ross Construction Completion Ordinance. If construction is not completed by the construction completion date provided for in that ordinance, the owner shall be subject to automatic penalties with no further notice. The construction shall not be deemed complete until final sign off is received from representatives of the building/public works, planning and public safety departments.

- 15. The project owners and contractors shall be responsible for maintaining all roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
- 16. The Town Council reserves the right to require additional landscape screening for up to three (3) years from project final.
- 17. Failure to secure required building permits and/or begin construction by October 8, 2010 will cause the approval to lapse without further notice.
- 18. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

## 27. 15 Fernhill Avenue, Variance and Design Review No. 1751

Charles Almond, 15 Fernhill Avenue, A.P. No. 73-091-36, R-1:B-20 (Single Family Residential, 20,000 sq. ft. min. lot size), Low Density (1-3 Units/Acre). Application for variances and design review for a remodel and addition to the existing residence. The project involves demolition of the detached guest house, garage and trellis, as well as the mudroom and bathroom on the west side of the residence. A new garage is proposed, with a bedroom above the garage, within the west side yard (20 foot setback required, 3.75 feet proposed). A second floor balcony is proposed on the north-facing elevation of the new bedroom. The project involves new landscaping, including new plants and modification of the driveway and patio areas. Patio areas are proposed within the west and east side yard setbacks (20 feet required, 5 feet

## December 9, 2010 Minutes

caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

End of Consent agenda.

Town Attorney Hadden Roth left the Town Council meeting at 8:09 p.m. Council Member Russell recused himself from the next agenda item in order to avoid the appearance of a conflict.

15d. 21 Fernhill Avenue, Extension of Time for Variance, Design Review and Demolition Permit No. 1753

Brian and Rachel Wells, 21 Fernhill Avenue, A.P. No. 73-091-37, R-1:B-20 (Single Family Residence, 20,000 sq. ft. minimum lot size), Low Density (1-3 units per acre). Request for a one-year time extension to October 8, 2011 for a demolition permit, variance, design review application and second unit permit approved on October 8, 2009, to allow the demolition of the existing residence and construction of a 4,082 square foot new residence, 469 square foot detached garage, and landscape improvements including a 16-foot by 32-foot pool. The exterior materials for the French country style residence include cement plaster siding, slate roofing and painted wood windows and doors. A side setback variance was approved to permit 25 square feet of terrace area within the west side yard setback (20 feet required, 16 feet proposed).

Lot area	27,802 sq.	ft.
Existing Floor Area	13.5%	
Approved Floor Area	16.3%	(15% permitted)
Existing Lot Coverage	11.1%	
Approved Lot Coverage	9.1%	(15% permitted)

Senior Planner Elise Semonian summarized the staff report and recommended that the Council approve the extension, but modify Condition No. 5 to state, "Additional evergreen screening landscaping shall be provided at the southeast corner and east side of the site to provide taller screening of the residence from 14 Norwood and 15 Fernhill. The applicant shall submit a landscape plan for review and approval by staff, in consultation with the Advisory Design Review Group."

Mayor Martin noted that an additional letter was submitted from Fernhill resident Charles Almond discussing the fact that the Wells did not apply for the extension on time and did not submit the filing fees on time. Senior Planner Semonian indicated the applicant did submit the request prior to the expiration of the approval, but did not pay fees until later. She said the Town often accepts fees after an application is submitted. She recommended changing the policy to require both the extension request and filing fees to be received prior to the deadline, since the fee is certain.

11

Mayor Martin opened the public hearing on this item.

Elizabeth Brekhus, representing the Wells, expressed concern for the response by Mr. Almond's attorney dated December 8<sup>th</sup> and the fact that they did not receive the letter dated today. The Wells feel this is unfair and an extension should not be an opportunity to object to approved plans. Circumstances are that Mr. Almond had a project that the Council reviewed and his project was not approved and the Wells project was approved. Discussions occurred in regard to landscaping. Mr. Wells believes the minutes reflect the discussion in regard to landscaping not being adequate. Mr. Almond was willing to pay for additional landscaping. Mr. Wells pointed out that he has done extensive landscaping on his property and Mr. Almond has not. She further noted that screening is a problem because Mr. Almond is not providing enough screening.

There being no further public testimony on this item, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Mayor Martin asked staff if the Stormwater Ordinance would apply the the project. Senior Planner Semonian responded in the affirmative. Mayor Martin asked staff if the second unit requirement could be handled under the housing element. Senior Planner Semonian stated if the Council adopts floor area bonuses for second units, the applicants will probably return to request additional floor area.

The Council had no objection to the requested time extension.

Mayor Martin asked for a motion.

Council Member Hunter moved and Council Member Strauss seconded, to approve the requested time extension with the following addition to Condition No. 5, *"The applicant shall submit a landscape plan for review and approval by staff, in consultation with the Advisory Design Review Group*" and subject to the other findings and conditions in the original approval dated October 8, 2009. Motion carried 3-1-1. Mayor Martin abstained/Russell absent.

Council Member Russell reconvened his position on the Town Council.

16. Council discussion of survey prototype designed by Ross resident Mike Thoma for soliciting resident input.

Mayor Martin introduced Ross resident Mike Thoma who designed a survey prototype in order to solicit resident input, which is available for public review.

Ross resident Mike Thoma generously offered to provide his services to the Town at no charge. He will collect and analyze the data, and present his findings at a community meeting. Survey responses will be kept confidential and only summary data will be published. He plans to distribute the survey by mail and through the Internet to residents and stakeholders in January. He further recommended regular reporting to have improved focus and higher return as well as improved resident satisfaction.

Council Member Hunter desired to know the next step. Mr. Thoma will work with the Mayor to get the surveys completed and get a handful of regulators and friends to do the first review. Then present to the Council with a non-statistical example. Then roll the survey out to the Town. He further agreed to email the link to the Council.

November 10, 2011 Minutes

3.

- The applicants shall provide the planning department with a copy of the recorded documents that include a new legal description of the resulting lots by November 10, 2012.
- 4. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

## End of Consent agenda.

14d. Town Council discussion/action to enter into an Amended Joint Powers Agreement for Hazardous Materials Spills Management with the County of Marin and Marin cities/towns, fire agencies and Marinwood Community Services District.

Mayor Small attends the Joint Oversight Committee meetings and this JPA (*joint powers agreement*) is a housekeeping issue. This JPA has been in existence. It turned out that San Rafael is the only city that actually had a signed agreement, although Ross has been paying 1.1% around \$700 or \$800 per year. Chair Pat Eklund of the Joint Oversight Committee asked each member to go back to their town/city and fill out the necessary paperwork to adopt.

Fire Chief Tom Vallee agreed it is a housekeeping detail. Ross has been a member since the early 1990s. In 2008, the JPA was amended when some agencies combined and for whatever reason it did not go back to the participating agencies for signatures. Staff further noted that the JPA has not changed.

Mayor Small opened the public hearing on this item, and seeing no one wishing to speak, the Mayor closed the public portion and brought the matter back to the Council for action.

Mayor Small asked for a motion.

Council Member Martin moved and Council Member Strauss seconded, to formally enter and sign the JPA agreement for Hazardous Materials Spills Management with the County of Marin and Marin cities/towns, fire agencies and Marinwood Community Services District. Motion carried unanimously.

Mayor Pro Tempore Russell recused himself from the next agenda item in order to avoid the appearance of a conflict.

14e. <mark>21 Fernhill Avenue, Extension of Time for Variance, Design Review, and Demolition Permit No. 1686</mark>

Brian and Rachel Wells, 21 Fernhill Avenue, A.P. No. 73-091-37, R-1:B-20 (Single Family Residence, 20,000 sq. ft. minimum lot size), Low Density (1-3 units per acre). Request for a second one-year time extension to October 8, 2012 for a demolition permit, variance,

## November 10, 2011 Minutes

design review application and second unit permit approved on October 8, 2009, to allow the demolition of the existing residence and construction of a 4,082 square foot new residence, 469 square foot detached garage, and landscape improvements including a 16foot by 32-foot pool. The exterior materials for the French country style residence include cement plaster siding, slate roofing and painted wood windows and doors. A side setback variance was approved to permit 25 square feet of terrace area within the west side yard setback (20 feet required, 16 feet proposed).

Lot area		27,802	sq.	ft.
Existing Floor Area		13.5%		
Approved Floor Area		16.3%	3	(15% permitted)
Existing Lot Coverage		11.1%		*
Approved Lot Coverage	2	9.1%		(15% permitted)

Council Member Martin noted that under the municipal code a second extension of up to one year may be granted upon submittal prior to expiration of the first extension, if the Council determines that the original findings remain valid. His concern is that since the approval of this application, one significant change has occurred and that is that this Council adopted the Stormwater Management Ordinance and this project was not reviewed under the terms of that ordinance. He cannot justify that the original findings remain valid. Senior Planner Elise Semonian indicated that when this project came through they were not looking at impervious surfaces as they do today. The project would be required to comply with the Stormwater Management Ordinance. Staff suggested continuing so the applicant can come back with additional information.

Mayor Small clarified with staff that this project would adhere to the new Stormwater Management Ordinance. Senior Planner Semonian responded in the affirmative.

Brian Wells, applicant, explained that they are shrinking the house in regard to lot coverage. He is more than willing to work with the Town. The fact is that his lot is flat. When the flood occurred in 2001, his home was the only one that did not flood. He is asking for an extension that has been granted in the past.

Senior Planner Semonian noted that one requirement is that the landscape plan come back for review, so staff suggested wording that condition in such a way that it opens up review of any impervious non-house surfaces when the landscape plan returns. Council Member Martin stated that currently there are no calculations on existing impervious surface areas and what the project will gain. That process is very beneficial. It gives staff and the Council the ability to look at a project and address long-term concerns. He is willing to suggest that they continue this matter over to the next meeting in order to review the calculations and analyze.

Mayor Small noted that the lot coverage is decreasing. Mr. Wells explained that his house is a 1960 ranch style home and the size of the house is 40% less. He understands the concerns and is more than willing to work with the Town. Senior Planner Semonian did not believe it would be a huge burden to continue the matter and come back with calculations for the Council to review. Council Member Strauss recommended making it part of the submittal with the landscaping plan. Mr. Wells agreed. Council Member Martin is uncomfortable because the extension is conditional on the original valid findings, which he does not know until calculations are provided.

November 10, 2011 Minutes

Mayor Small suggested rather than going with the original findings, include the additional conditions as discussed. Mr. Wells is willing to abide by the recommendations or whatever is required.

Mayor Small opened the public hearing on this item, and seeing no one wishing to speak, the Mayor closed the public portion and brought the matter back to the Council for action.

Mayor Small asked for a motion.

Council Member Hunter moved and Council Member Strauss seconded, to approve the one-year extension on the Wells property at 21 Fernhill subject to the findings and conditions in the original staff report; amending Condition No. 5 to read, *"The applicant shall submit a landscape plan for review and approval by staff, in consultation with the Advisory Design Review Group. The revised landscape plan shall seek to reduce impervious surface at the site;"* and the project shall comply with the Stormwater Management Ordinance. Motion carried unanimously. Russell recused.

Mayor Pro Tempore Russell reconvened his position on the Town Council.

15. Town Council consideration/action on the Ross Rec Auxiliary request for a holiday tree lighting on the Ross Common between 4:30 and 5:30 p.m. one evening during the first week of December and allow lighting to remain on from 5:00 p.m. to 8:00 p.m. each night until December 25, 2011.

Public Works Director Bob Hemati summarized the staff report and recommended that the Council approve the tree lighting conditioned upon Ross Rec Auxiliary meeting the conditions outlined in the staff report.

Eileen Sheldon, Ross Rec Auxiliary President, explained that the Ghilotti Family offered to provide a generator for the lighting, which can cause some noise issues to neighbors and the Town and asked the Council if that is a possibility. Also, they looked into solar. They contacted professional electricians and all lighting would be on a timer. A letter was distributed to immediate neighbors in regard to their proposal and she has not heard from any residents. She would love to have the lights on later, if reasonable. The event would begin on Monday afternoon and Ross School choir will sing holiday songs followed by a formal countdown by Mayor Small. The Ross Fire Department agreed to usher in Santa Claus on a lighted fire truck and then Santa Claus could mingle with children and pass out candy cans. The Ross School asked if they could tie in the multipurpose room with this event. The entire ceremony would be around 45 minutes. Additionally, they approached businesses in Town to come up with some sort of holiday promotion. The goal is to have a real community-building event welcoming to all generations. She hopes this becomes an annual event. The bids for the tree range from \$2,500 to \$8,000 and Ross Rec Auxiliary has the budget for this event. She further noted that the event would be free of charge.

Council Member Hunter believed it is a great idea and felt it would be a shame to turn the lights off at 8 p.m. and recommended 9 or 10 p.m.

Mayor Pro Tempore Russell suggested going on through the New Year. Ross Rec Auxiliary President Sheldon believed it would make great sense to have lights on through New Year's Day. Mayor Pro Tempore Russell noted his support.

# **ATTACHMENT 6**

# MINUTES

# Regular Meeting of the Ross Advisory Design Review (ADR) Group 7:00 p.m., Tuesday, January 18, 2022

# Video and audio recording of the meeting is available online at the Town's website at: townofross.org/meetings.

# 1. 7:00 p.m. Commencement

Chair Mark Kruttschnitt called the meeting to order and called roll. Present: ADR Group Members Josefa Buckingham, Laura Dewar, Mark Fritts, Mark Kruttschnitt, Stephen Sutro; Director Patrick Streeter and Planner Matthew Weintraub representing staff.

# 2. Approval of Minutes.

The ADR Group unanimously approved the October 19, 2021 meeting minutes.

# 3. Open Time for Public Comments

No comments were submitted.

Chair Kruttschnitt expressed gratitude for Director Streeter's service and welcomed Town Manager Christa Johnson.

# 4. Planning Application.

a.

Corte Madera Creek Flood Risk Management Project			
<b>Project Applicant:</b>	Marin County Flood Control and Water Conservation District		
<b>Project Location:</b>	Corte Madera Creek between Lagunitas Bridge and the Ross-		
	Kentfield boundary		
A.P.N.:	073-242-27; 073-242-06; 073-242-10; 073-242-13; 073-242-14;		
	073-242-19; 073-273-39; 073-273-40; 073-273-49; 073-273-50;		
	073-273-51; 073-273-52; 073-273-53; 073-273-54; 073-273-55;		
	073-273-56; 074-011-82		

**Project Summary:** The applicant is requesting approval of Design Review to make channel improvements consistent with Alternative 1 of the Final Environmental Impact Report (FEIR) for the Corte Madera Creek Flood Risk Management Project Phase 1, as recommended by the Ross Town Council on May 13, 2021, and as adopted by the Marin County Board of Supervisors on August 17, 2021. The project includes: remove the existing wood fish ladder; regrade, stabilize, and revegetate the creek bed and banks at existing constriction points; remove existing wood retaining walls; extend concrete wingwalls no higher than existing grade at tops of banks; and construct new fish resting pools within the channel.

Planner Weintraub introduced the project.

Project Manager Joanna Dixon, Marin County Flood Control & Water Conservation District, and Senior Program Coordinator Gerhard Epke, GHD, provided project background and described the project.

ADR Group Members asked for and received further information regarding:

- Design, finish and screening of the new sheet pile wall in relationship to hydrology.
- Chain link fence design.
- Construction access and staging areas near Lagunitas Bridge.

Chair Kruttschnitt opened the public comment.

Sterling Sam, property owner at 29 Sir Francis Drake Boulevard, commented that the project will use more area on his property than any other residential property; that he has not been provided an exact area calculation or tax reappraisal; and he questions why the 2005 Army Corps of Engineers flood wall project was not implemented.

Project Manager Joanna Dixon, Marin County Flood Control & Water Conservation District, responded that the subject property has been surveyed and the District is in process of coordinating the easement with Mr. Sam.

Chair Kruttschnitt closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

# Mark Kruttschnitt:

• Recommends maximum height for chain link fence for safety; and black vinyl finish.

# Stephen Sutro:

- No design comments.
- Supports the project.

# <u>Mark Fritts:</u>

• Concurs with black vinyl finish on chain link fence; supports extending fence up to Frederick Allen Park.

# <u>Josefa Buckingham:</u>

- No problem with design of the whole project.
- Supports investing in fence design which is most visible component.

# Laura Dewar:

- Concurs with black vinyl finish on chain link fence; supports investing in fence design which is most visible component.
- Likes the extension of existing decorative wall detail to new segments.

The ADR Group unanimously recommended Design Review approval with preference for black vinyl finish on new chain link fence.

Chair Kruttschnitt closed the hearing.

b. 36 Glenwood LLC Residence, 36 Glenwood Avenue (A.P.N. 073-131-30)
Property Owner: 36 Glenwood LLC
Project Designer: Hart Wright Architects
Project Summary: The applicant is requesting approval of Design Review to construct a new 728-square foot detached accessory building ("art studio") and to construct new landscape structures including pond, bridge, deck, and shade structure in the rear yard of the existing single-family residence.

Planner Weintraub introduced the project.

Architect Eliza Wright, Landscape Architect Eric Blasen, and applicant Eric Soifer provided project background and described the project.

Chair Kruttschnitt opened the public comment. No comments were received. Chair Kruttschnitt closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

## <u>Laura Dewar:</u>

- Overall great project; makes sense to reduce the grass area due to drought conditions.
- Notes that the studio design is distinct and separate from the primary buildings.
- Agrees with revised, reduced trellis height.
- Recommends approval.

## Josefa Buckingham:

- Supportive of the project; lot is very large and improvements are not visible outside the property.
- Notes that the studio design is distinct and separate from the primary buildings.
- Notes that the studio is close to a minimum required side yard setback; agrees that sufficient screening is provided.

## <u>Mark Fritts:</u>

• Supports isolated location and distinct design of the studio.

Stephen Sutro:

• Supports the project as designed without any suggested modifications.

# Mark Kruttschnitt:

• Supports the project as designed without any suggested modifications.

The ADR Group unanimously recommended Design Review approval as proposed.

Chair Kruttschnitt closed the hearing. ADR Group Member Kruttschnitt was recused from the meeting. ADR Group Member Buckingham elevated to chair.

# c. Wiginton Residence, 58 Shady Lane (A.P.N. 073-161-05)

Property Owner: Robert and Madeline Wiginton

Project Designer: Polsky Perlstein Architects

**Project Summary**: The applicant is requesting approval of Design Review to make alterations and additions at the back of the existing single-family residence, including a new second-story addition, new first-story deck, and conversion of a new attached first-story accessory dwelling unit. Nonconformity Permit is requested to allow for alterations to an existing nonconforming residence that do not result in an increase to nonconforming floor area. Accessory Dwelling Unit (ADU) Permit Exception is requested to allow for the amount of area converted to an accessory dwelling unit to transfer as an allowance for a new addition. Variance is requested to allow for the construction of a new deck which is nonconforming with respect to side yard setback and building coverage.

Planner Weintraub introduced the project.

Architects Jared Polsky and Elizabeth Raar provided project background and described the project.

ADR Group Members asked for and received further information regarding:

- Roof design.
- Base materials.
- ADU ministerial standards; entrance location; parking requirements.

Chair Buckingham opened the public comment. No comments were received. Chair Buckingham closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

# Stephen Sutro:

- Generally, supports the project concept of ADU conversion and rear addition.
- Material selection and details are harmonious.
- Uncomfortable with complex roof forms at the rear; recommends simplification.
- Wants to see a revised design prior to project moving forward.
- Could support the project with a simplified roof form that matches existing and minimizes visual massing.

# Mark Fritts:

- Significant new second-story mass in side yard setbacks.
- Concerned with elevated rear deck extension due to visibility.
- Recommends simplifying roof forms/details to better match existing design.
- Does not support current project design.
- Could support the project with a simplified roof form that matches existing and minimizes visual massing.

# Laura Dewar:

- Front and rear designs feel like two different buildings; not compatible.
- Greater impact to massing than height.
- Could support the project with a simplified roof form that matches existing and minimizes visual massing.

# Josefa Buckingham:

- Narrow lot; half as wide as neighboring lot; existing small house is in scale with the lot.
- Rear addition appears to be an entirely different design that the existing building; exacerbates tight conditions on the lot.
- Suggests alternative of converting the existing accessory building to ADU.
- Recommends different base material such as stone.
- Does not support current project design.
- Fundamentally opposed to converting space within a residence to ADU and reallocating the space for a second-story addition; supports detached ADU.

The ADR Group voted 3-1 to recommend revisions to the currently proposed project design and additional review by the ADR Group prior to consideration by the Town Council. ADR Group Member Buckingham voted against the project.

Chair Buckingham closed the hearing.

# d. Haswell Residence, 21 Fernhill Avenue (A.P.N. 073-131-30)

Property Owner:Stephanie and Russ HaswellProject Designer:Polsky Perlstein Architects; Imprints Landscape ArchitectureProject Summary:The applicant is requesting approval of Design Review to renovatethe exterior materials, features, and appearance of the existing single-family residence,including additions and alterations; and to construct a new pool and associated landscape

in the rear yard. Variance is requested to allow for the construction of a new pool within the minimum required rear yard setback. A separate application has been submitted for ministerial review of Accessory Dwelling Unit (ADU) Permit to construct a new detached accessory dwelling unit.

Planner Weintraub introduced the project.

Architects Jared Polsky and Laura Van Amburgh, and Landscape Architect Brad Eigsti, provided project background and described the project.

ADR Group Members asked for and received further information regarding:

- Proposed new rear spiral staircase.
- Eave soffit materials.
- Pool and paving materials.
- Landscape layout.

Chair Buckingham opened the public comment. No comments were received. Chair Buckingham closed the public comment.

ADR Group Members discussed the merits of the project and provided the following comments:

Josefa Buckingham:

- No problem supporting the project.
- Pool setback encroachment is mitigated by location adjacent to driveway, away from living spaces, and with existing landscape screening.
- Supports exterior renovation of primary residence.
- Supports proposed ADU location (subject to separate permit).
- Recommends omitting rear spiral staircase which is not compatible.

# Stephen Sutro:

- Supports pool location and exception for pool setback.
- Supports the project with the exception of the rear spiral stair which does not meet minimum standards for Design Review.
- Recommends omitting rear spiral staircase which is not compatible.

# <u>Laura Dewar:</u>

- Supports pool location and exception for pool setback.
- Supports proposed retention of palm trees, which provide unique character.
- Supports exterior renovation of primary residence as fitting for Ross.
- Recommends omitting rear spiral staircase which is not compatible.

Mark Fritts:

- Generally, supports the project.
- Supports exterior renovation of primary residence.
- Recommends omitting rear spiral staircase which is not compatible.

The ADR Group unanimously conditionally recommended Design Review approval with the condition that the rear spiral staircase be omitted.

Chair Buckingham closed the hearing.

5. Conceptual Advisory Design Review.

None.

## 6. Communications

## a. Staff

Next scheduled ADR Group regular meeting date and time: February 15, 2022 at 7:00 p.m.

# b. ADR Group Members

No communications.

## 7. Adjournment

Chair Buckingham adjourned the meeting at 8:56 p.m.