



Agenda Item No. 17.

Staff Report

Date: June 10, 2021

To: Mayor Robbins and Council Members

From: Matthew Weintraub, Planner

Subject: Millman Residence, 7 Upper Ames Avenue

Recommendation

Town Council approval of Resolution No. 2209 (see **Attachment 1**) approving Design Review, Accessory Dwelling Unit (ADU) Permit, and Nonconformity Permit for the subject project as described below.

Project Owner:	Michael and Emily Millman
Project Designer:	Geiszler Architects
Street Address:	7 Upper Ames Avenue
A.P.N.:	073-201-01
Zoning:	R-1: B-A
General Plan:	VL (Very Low Density)
Flood Zone:	X (Minimal risk area)

Project Summary: The applicant is requesting approval of Design Review, ADU Permit, and Nonconformity Permit to convert an existing two-car garage to a new ADU; construct a new two-story addition to the existing single-family residence including a new two-car garage and guest suite; renovate the front façade including alter and raise the roofline; and rehabilitate the existing landscape. ADU Permit Exception is requested to transfer the amount of existing floor area that is converted to an ADU as a floor area allowance for a new addition. Nonconformity Permit is requested to allow for the relocation and reconstruction of existing nonconforming floor area including from existing porches with depths greater than 10' to a new addition.

Public Notice

Public Notices were mailed to property owners within 300 feet of the project site at least 10 days prior to the meeting date.

Project Data

Project Item	Code Standard	Existing	Proposed
Lot Area	1-acre min.	43,560 sf	No change
Floor Area (FAR) ¹	15% max.	7,287 sf (16.7%)	7,804 sf [-593 sf ADU] = 7,211 sf (16.6%)
Building Coverage	15% max.	8,321 sf (19.1%)	8,141 sf (18.6%)
Front Yard Setback, Street/North	25' min.	House: 25'	House/ADU: > 25'
Side Yard Setback, East	25' min.	House: 20'	No change
Side Yard Setback, West	25' min.	House: 60'	Garage/guest suite: 32'
Rear Yard Setback, South	40' min.	Pool house: > 40' (to be removed)	Pool bath: 40'
Building Height	30'; 2 stories max.	21'-5"; 1 story	25'-6"; 2 stories
Off-street Parking Spaces	4; 2 covered min.	4; 2 covered	4; 2 covered
Impervious Surfaces ²	Minimize and/or reduce	16,750 sf	16,137 sf

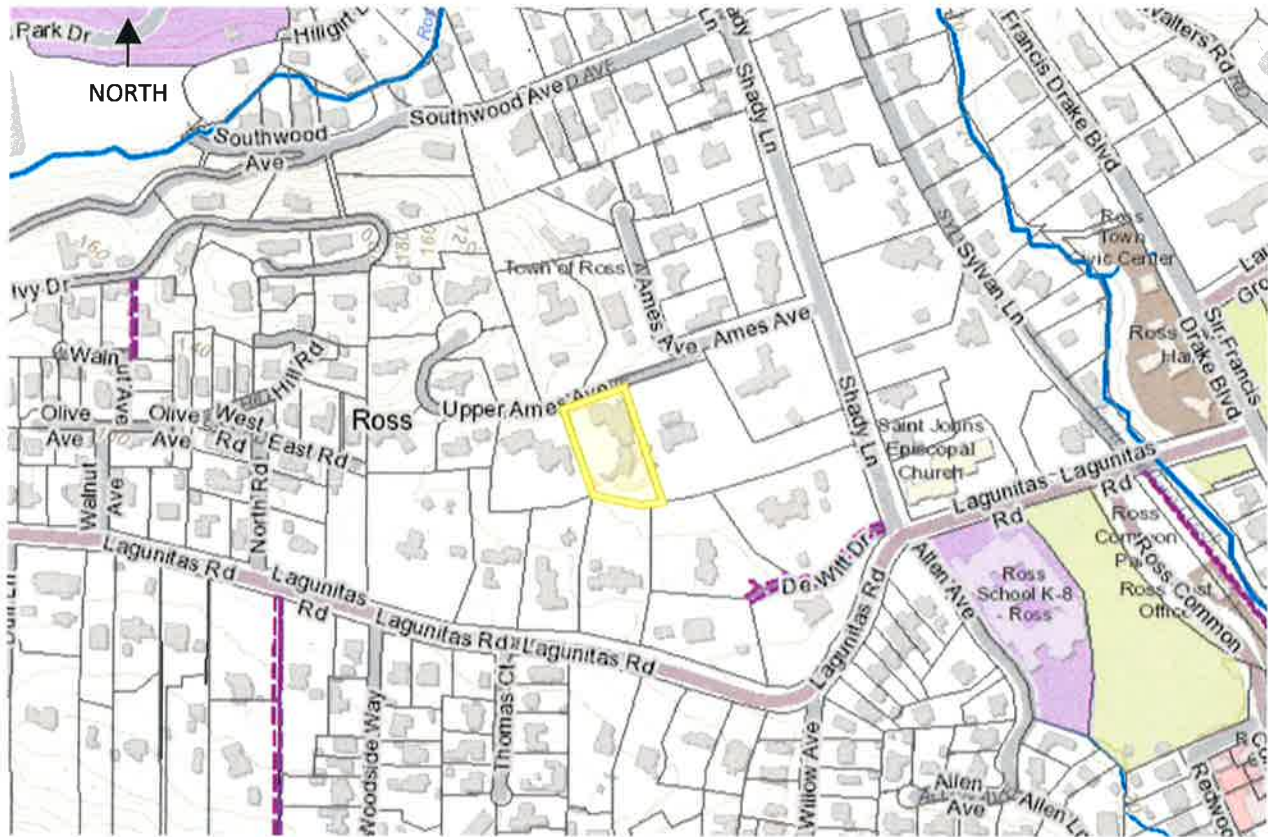
¹ Up to 800 square feet of ADU space is exempt from the single-family residential maximum floor area standard, per RMC Sections 18.42.060 and 18.42.075 (b) (1) & (a) (1).

² Low Impact Development (LID) for Stormwater Management, Design Review criteria and standards, per RMC Section 18.41.100 (t).

Location Map

Source: MarinMap (www.marinmap.org).

Note: Building locations are approximate and shown for reference only. Please refer to project plans for accurate site data.



Project Site

Source: MarinMap (www.marinmap.org).

Note: Building locations are approximate and shown for reference only. Please refer to project plans for accurate site data.



Project Description

The project would convert an existing attached two-car garage and a portion of the existing single-family residence to a new 593-square-foot ADU at the first story; construct a new two-story addition at the west side of the existing residence, including a new 523-square-foot, two-car garage and a 500-square-foot, second-story guest suite; and modify porches and projections around the residence. It would avoid increasing the total non-ADU floor area on the property by removing, relocating and reconstructing existing floor area from an accessory building and from front and rear porches with depths greater than 10'. The project would reduce building footprint by cutting back the depth of existing roof eaves from 3' to 1'-8".

Renovation of the front façade of the residence would include raising the roofline, adding gable roofs, and constructing a new stone chimney. Exterior building materials include wood shingle siding, wood trim, and composition shingle roofing.

The project would rehabilitate the existing landscape including remove and replace the existing pool; demolish the existing 274-square-foot accessory structure and construct a new 64-square-foot pool bath; remove and replace existing patios, patio structures, walkways, and driveway; and revegetate the site with new trees, shrubs, and groundcovers consistent with Ross Valley Fire Department requirements. It would reduce the total amount of impervious surface coverage on the property, and it would install a new bioretention area to decrease the velocity of stormwater runoff and allow for infiltration on-site, so that the post-development stormwater runoff rates from the site would be less than existing rates.

The proposed project is subject to the following permit approvals:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for a new building addition exceeding 200 square feet of new floor area; for an increase to the existing roof height; and for more than 50 cubic yards of grading or filling.
- **ADU Permit Exception is required pursuant to RMC Section 18.42.065** to transfer the amount of existing floor area that is converted to an ADU as a floor area allowance for a new addition.
- **Nonconformity Permit is required pursuant to RMC Section 18.52.030 (c)** to allow an existing single-family residence to be enlarged, extended, and structurally altered, without increasing the square feet of nonconforming floor area.

Project application materials are included as follows: Project Plans as **Attachment 2**; Project Description as **Attachment 3**; and Neighborhood Outreach Description as **Attachment 4**.

Background

The project site is located at the south side of Upper Ames Avenue, west of Shady Lane. The lot is generally rectangular in shape with an average slope of 3.5%. It contains an existing single-family residence with attached garage. The existing property is nonconforming with respect to

the maximum allowed floor area and building coverage, and the minimum required east side yard setback.

According to the Assessor's Office, development occurred on the site in 1953 and 1990. According to the Town's records, the following approvals were previously granted for the property:

- 1/13/94: Variance and Design Review for residential addition with nonconforming floor area and building coverage.
- 4/9/98: Variance and Design Review for residential addition with nonconforming floor area, building coverage, and setbacks.
- 2/22/21: Minor Nonconformity Permit for minor additions and alterations.³

The Project History is included as **Attachment 5**.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions to Attics, a Hillside Lot Permit, Variance, and/or ADU Exception.

The Advisory Design Review (ADR) Group reviewed the project on May 18, 2021. The ADR Group received information from the applicant, allowed public comments, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (RMC) and the Town of Ross Design Guidelines. The meeting minutes are included as **Attachment 6**.

On May 18, 2021, the ADR Group unanimously recommended that the project as proposed is consistent with the purpose of Design Review and the Design Review criteria and standards per RMC Section 18.41.100 and therefore recommended approval of Design Review.

Public Comment

No public comments were received prior to the finalization of this report.

Key Issues

Floor Area

Pursuant to RMC Section 18.52.030 (c), nonconforming structures in a residential zoning district may be enlarged, extended, reconstructed or structurally altered with a nonconformity permit, except that a floor area ratio variance shall be required to increase the square feet of nonconforming floor area and a floor area ratio variance shall not be required for floor area associated with an ADU.

³ The previously issued Minor Nonconformity Permit is incorporated into and consistent with the current project proposal.

The project proposes to relocate and reconstruct existing nonconforming floor area on the property, such that the square feet of nonconforming floor area on the property would not be increased, and would be slightly reduced. As shown in the table below, the amount of new floor area construction would be more than balanced by allowances transferred from existing floor area, including: from a demolished accessory building (274 square feet); from the removal of the front entry porch (411 square feet), which qualifies as floor area because it has a depth greater than 10'; from the infill/enclosure of a small recessed area (64 square feet) of the existing rear porch, which qualifies as floor area because it has a depth greater than 10'; and from converted ADU space (523 square feet).

Floor Area Allocations (Square Feet)

	Pre-Project	Post-Project	FAR Change
Primary Residence	6,006	6,615	+609
First Floor	5,486	5,592	+106
Second Floor	0	500	+500
Garage	520	523	+3
ADU⁴	0	593	0
Accessory Structure	274	64	[-210]
Porches >10' Depth⁵	1,007	532	[-475]
Front Porch	411	0	[-411]
Rear Porch	596	532	[-64]
Total	7,287	7,804 ADU exempt: [-593] =7,211	[-76]

Off-Street Parking

Pursuant to RMC Section 18.32.040, in districts in which the minimum required lot area is greater than 20,000 square feet, there shall be provided space for the parking of not less than 4 automobiles on each lot, 2 of which spaces shall be enclosed in a permanent, roofed structure. Pursuant to RMC Section 18.42.055 (f), off-street parking is not required for an ADU located

⁴ Up to 800 square feet of ADU space is exempt from the single-family residential maximum floor area standard, per RMC Sections 18.42.060 and 18.42.075 (b) (1) & (a) (1). The Town Council may grant an exception to allow any amount of existing floor area that is converted to new ADU space to be transferred as a floor area allowance for a new addition to the primary residence, per RMC Section 18.42.080 (a) (2).

⁵ Floor area includes the entirety of porches which have a depth greater than 10', per RMC Section 18.12.130. "Porch" means a roofed structure projecting from the exterior wall of a dwelling for the purpose of providing shelter for an entrance; and providing an architectural transition between the interior of a residence and a yard, per RMC Section 18.12.273.

within one-half mile of public transit; and covered off-street parking that is converted to an ADU is not required to be replaced.

The project would construct a new garage to replace the 2 existing off-street covered parking spaces converted to an ADU (which is not required), and it would increase the available uncovered parking area on the property; so that the project would provide 2 covered parking spaces and more than 4 total spaces, which exceeds the minimum parking requirements.

Hydrology

Pursuant to RMC 18.41.100 (t), to the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Pre-existing impervious surfaces should be reduced.

The project would reduce the total amount of impervious surface coverage on the property, and it would install a new bioretention area to decrease the velocity of stormwater runoff and allow for infiltration on-site, so that the post-development stormwater runoff rates from the site would be less than existing rates.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), because it consists of the construction and location of limited numbers of new, small facilities or structures, including a new second dwelling unit in a residential zone.

Attachments

1. Resolution No. 2209
2. Project Plans
3. Project Description
4. Neighborhood Outreach Description
5. Project History
6. ADR Group Meeting Minutes, May 18, 2021

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2209

A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, ACCESSORY DWELLING UNIT PERMIT, AND NONCONFORMITY PERMIT TO CONVERT AN EXISTING TWO-CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT; CONSTRUCT A NEW TWO-STORY ADDITION TO THE EXISTING SINGLE- FAMILY RESIDENCE INCLUDING A NEW TWO-CAR GARAGE AND GUEST SUITE; RENOVATE THE FRONT FAÇADE INCLUDING ALTER AND RAISE THE ROOFLINE; AND REHABILITATE THE EXISTING LANDSCAPE AT 7 UPPER AMES AVENUE, A.P.N. 073-201-01

WHEREAS, applicant Geiszler Architects, on behalf of property owners Michael and Emily Millman, has submitted an application requesting approval of Design Review, Accessory Dwelling Unit (ADU) Permit, and Nonconformity Permit to convert an existing two-car garage to a new ADU; construct a new two-story addition to the existing single-family residence including a new two-car garage and guest suite; renovate the front façade including alter and raise the roofline; and rehabilitate the existing landscape at 7 Upper Ames Avenue, A.P.N. 073-201-01 (herein referred to as “the Project”).

WHEREAS, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), because it consists of construction of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure, including a new second dwelling unit in a residential zone; and

WHEREAS, on June 10, 2021, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review, ADU Permit, and Nonconformity Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 10th day of June 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Elizabeth Robbins, Mayor

ATTEST:

Linda Lopez, Town Clerk

EXHIBIT "A"
FINDINGS
7 UPPER AMES AVENUE
A.P.N. 073-201-01

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the project is in substantial compliance with the design criteria of RMC Section 18.41.100. Lot coverage and building footprints are minimized, and development clustered, to minimize site disturbance area and preserve undisturbed space. New structures and additions avoid size out of character with their setting or with other dwellings in the neighborhood. Buildings are compatible with others in the neighborhood and do not attract attention to themselves. Buildings use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Walkways, driveways, curb cuts and off-street parking allow smooth traffic flow and provide for safe ingress and egress. Exterior lighting is shielded and directed downward to not create glare, hazard or annoyance to adjacent property owners or passersby. Landscaping is integrated into the architectural scheme to accent and enhance the appearance of the development. Landscaping creates and maintains defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The project discharges runoff from downspouts to landscaped areas and it include bioretention areas to decrease the velocity of runoff and allow for stormwater infiltration on-site. The post-development stormwater runoff rates from the site would be no greater than pre-project rates.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations, therefore the project is found

to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with RMC Sections 18.42.080 (a) and (b), ADU Permit Exception to transfer the amount of existing floor area that is converted to an ADU as a floor area allowance for a new addition is approved based on the following mandatory findings:

- a) The exception will not create a significant adverse impact on any adjacent property, the surrounding neighborhood, or the general public good.**

The overall project substantially conforms to the Design Review criteria and standards in RMC Section 18.41.100. The new construction complies with the minimum required yard setbacks and the maximum allowed building height. New living area resulting from the project is located more than 25' from the street line and 32' from the west side property line and the nearest adjacent property. Windows are minimized facing adjacent property.

- b) The lot and the arrangement of existing and proposed physical improvements on the lot can accommodate the exception without adversely affecting the views, privacy, or access to light and air of neighboring properties.**

The overall project substantially conforms to the Design Review criteria and standards in RMC Section 18.41.100. The new construction complies with the minimum required yard setbacks and the maximum allowed building height. New living area resulting from the project is located more than 25' from the street line and 32' from the west side property line and the nearest adjacent property. Windows are minimized facing adjacent property.

- c) Any modifications to site drainage shall be designed by a licensed engineer and shall result in no net increase to the rate or volume of peak runoff from the site compared to pre-project conditions. Any new mechanical pumps or equipment shall not create noise that is audible off site.**

Site drainage is designed so that post-development stormwater runoff rates from the site would be no greater than existing rates. No new mechanical pumps for stormwater management are proposed.

- d) The fire chief has confirmed that there is adequate water supply for firefighting purposes for the site, or that the project includes measures to provide adequate water supply for firefighting purposes.**

Adequate access and water supply exist for firefighting purposes.

III. In accordance with RMC Section 18.52.030 (c), Nonconformity Permit is approved based on the following mandatory findings:

- a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.**

According to the Assessor's Office, development occurred on the site in 1953 and 1990, which is prior to current zoning ordinances. The Town granted variances in 1994 and 1998 for additions with nonconforming floor area, building coverage, and setbacks.

- b) The town council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The project does not require a demolition permit.

- c) The project substantially conforms to relevant design review criteria and standards in RMC Section 18.41.100, even if design review is not required.**

The project substantially conforms to the Design Review criteria and standards in RMC Section 18.41.100.

- d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and/or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.**

The project floor area does not exceed the total floor area of the existing legal nonconforming structures. The project relocates and reconstructs existing nonconforming floor area on the property, such that the square feet of nonconforming floor area on the property is not increased, and is slightly reduced. The amount of new floor area construction would be more than balanced by allowances transferred from existing floor area, including: from a demolished accessory building (274 square feet); from the removal of the front entry porch (411 square feet), which qualifies as floor area because it has a depth greater than 10'; from the infill/enclosure of a small recessed area (64 square feet) of the existing rear porch, which qualifies as floor area because it has a depth greater than 10'; and from converted ADU space (593 square feet).

- e) Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.**

The overall project substantially conforms to the Design Review criteria and standards in RMC Section 18.41.100. It complies with codes and standards regulating traffic and circulation, drainage, stormwater control, and wildfire prevention.

- f) The project will comply with the Flood Damage Prevention regulations in RMC Chapter 15.36.**

The property is not located within a special flood hazard area which would be subject to the Flood Damage Prevention regulations in RMC Chapter 15.36.

- g) The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.**

Per the Ross Valley Fire Department, adequate access and water supply exist for firefighting purposes.

- h) The applicant has agreed in writing to the indemnification provision in RMC Section 18.40.180.**

Condition of Approval No. 10 requires indemnification pursuant to RMC Section 18.40.180.

- i) The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement, the Town Council may require covered parking to be provided. The Town Council may consider the size of the residence and number of bedrooms and may require additional parking up to the following:**

Total site floor area (excluding covered parking)	Required off street parking
1,300 square feet to 3,300 square feet	3 spaces
Over 3,300 square feet	4 spaces

The project would construct a new garage to replace the 2 existing off-street covered parking spaces converted to an ADU (which is not required), and it would increase the available uncovered parking area on the property; so that the project would provide 2 covered parking spaces and more than 4 total spaces, which exceeds the minimum parking requirements.

EXHIBIT "B"
CONDITIONS OF APPROVAL
7 UPPER AMES AVENUE
A.P.N. 073-201-01

1. This approval authorizes Design Review, ADU Permit, and Nonconformity Permit to convert an existing two-car garage to a new ADU; construct a new two-story addition to the existing single-family residence including a new two-car garage and guest suite; renovate the front façade including alter and raise the roofline; and rehabilitate the existing landscape at 7 Upper Ames Avenue, A.P.N. 073-201-01 (herein referred to as "the Project").
2. The building permit shall substantially conform to the plans entitled, "Millman Residence, 7 Upper Ames Ave, Ross, CA 94957", dated/revised 06-02-21, and reviewed and approved by the Town Council on June 10, 2021.
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.

9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
 - f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
 - g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
 - h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout

areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.

- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
- i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.

- ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

MILLMAN RESIDENCE

7 UPPER AMES AVE, ROSS, CA 94957

SCOPE OF WORK

- NEW ADU WITHIN EXISTING RESIDENCE, 583 SF
- NEW ATTACHED GARAGE WITH LIVING SPACE ABOVE
- NEW ROOF LINE AT FRONT ELEVATION
- EXISTING ROOF TO BE ALTERED - EAVES REDUCED, ROOFING MATERIAL TO BE REPLACED IN KIND
- NEW LANDSCAPE AND POOL

CODES

ALL NEW WORK MUST COMPLY WITH THE:

- 2018 CA RESIDENTIAL CODE (CRC)
- 2018 CA ELECTRICAL CODE (CEC)
- 2018 CA PLUMBING CODE (CPC)
- 2018 CA MECHANICAL CODE (CMC)
- 2019 CA ENERGY CODE &
- 2019 CA CALGREEN CODE

AS APPLICABLE AND AMENDED BY THE ROSS/MARIN MUNICIPAL CODE

SITE VICINITY MAP



AERIAL VIEW



SITE DATA

ADDRESS	7 UPPER AMES AVE, ROSS, CA 94957
APN	073-201-01
NEIGHBORHOOD	UPPER ROSS VALLEY
COUNTY	MARIN
ZONING	R-1, B-A SINGLE FAMILY RESIDENTIAL
LOT SIZE	43,818 SF, +/- 1 ACRE
FLOOD WAY	X
WILDLAND URBAN INTERFACE	V
YEAR BUILT	1953
YEAR RENOVATED	1971
STORIES	2

PLANNING DATA

EXISTING FLOOR AREA		PROPOSED FLOOR AREA	
AREA OF SITE	43,560 SQ FT	AREA OF SITE	43,560 SQ FT
MAIN HOUSE	5486 SQ FT	(E) RESIDENCE	6006 SQ FT
GARAGE	520 SQ FT	SITTING RM (PP)	+219 SQ FT
TOTAL (E) RESIDENCE	6006 SQ FT	INFILL PORCH (PP)	+64 SQ FT
		DEMO ENTRY (PP)	(-) 50 SQ FT
		DEMO ENTRY	(-) 90 SQ FT
		(N) KITCHEN ADDITION	+15 SQ FT
		(N) ADU ADDITION	+30 SQ FT
		TOTAL FIRST FLOOR	6185 SQ FT
COVERED PORCHES OVER 10'-0"	#1 + 586 SQ FT	COVERED PORCHES OVER 10'-0"	#1 596 - 64 (PP) + 532 SQ FT
	#2 + 411 SQ FT		#2 411 + 194 (PP) - 217 = 0 SQ FT
POOL EQUIPMENT	+ 274 SQ FT	POOL BATH	+ 64 SQ FT
		(N) GARAGE	+523 SQ FT
		(N) 2ND FLOOR	+500 SQ FT
		(N) ADU EXEMPTION	(-) 553 SQ FT
TOTAL FLOOR AREA	7287 SQ FT = 16.7%	TOTAL FLOOR AREA	7211 SQ FT = 16.6%

BUILDING COVERAGE

RESIDENCE	7953 SQ FT	(E) RESIDENCE	8321 SQ FT
POOL EQUIPMENT	368 SQ FT	POOL EQUIP. REMOVAL	(-) 368 SQ FT
		SITTING ROOM (PP)	+ 219 SQ FT
		(N) ADDITION-GARAGE +ADU	+ 553 SQ FT
		(N) COVERED PORCH UNDER 10'-0"	+ 304 SQ FT
		PORCH #2 REMOVAL	(-) 411 SQ FT
		SAVEREDUCTION	(-) 477 SQ FT
TOTAL BUILDING COVERAGE	8321 SQ FT = 19.1%	TOTAL BLDG. COVERAGE	8341 SQ FT = 18.9%

GRADING CALCULATIONS:

- CUT: 54.14 CU. YDS.
- FILL: 1.27 CU. YDS.
- OFF-HAUL: 52.87 CU. YDS.

PROJECT DIRECTORY

OWNER	MICHAEL AND EMILY MILLMAN
	7 UPPER AMES AVE, ROSS, CA 94957
	EMAIL: MIKE.MILLMAN1@GMAIL.COM
ARCHITECT	GEISZLER ARCHITECTS
	2155 POWELL STREET, SAN FRANCISCO, CA 94133
	PH: 415-409-7000
	EMAIL: STEVE@GEISZLERARCHITECTS.COM
LANDSCAPE ARCHITECT	STRATA LANDSCAPE ARCHITECTURE
	136 FREELON STREET, SAN FRANCISCO, CA 94107
GENERAL CONTRACTOR	CAIRN CONSTRUCTION
	3401 GEARY BLVD, SAN FRANCISCO, CA 94118
STRUCTURAL ENGINEER	HOLMES STRUCTURES
	235 MONTGOMERY ST #1250, San Francisco, CA 94104
SOILS ENGINEER	ROLLO & RIDLEY, INC.
	989 SUTTER STREET, UNIT 4
	SAN FRANCISCO, CALIFORNIA 94109

DEFERRED SUBMITTAL

- NEW RESIDENTIAL FIRE SPRINKLER SYSTEM

EXISTING & PROPOSED MODEL VISUALS



EXISTING FACADE



DRAWING INDEX

ARCHITECTURAL		LANDSCAPE	
A0.1	COVER SHEET	L0.0	COVER SHEET
A0.2	GENERAL NOTES	L0.1	TREE PROTECTION AND DEMO
A0.3	TOPO BOUNDARY SURVEY	L0.2	EXIST. IMPERVIOUS PLAN
A0.4	SITE SURVEY	L0.3	NEW IMPERVIOUS PLAN
A0.5	MODEL IMAGES	L0.4	ARBORIST REPORT
A1.0	EXISTING SITE PLAN WITH DEMO	L0.5	ARBORIST REPORT
A1.1	PROPOSED SITE PLAN	L1.0	LAYOUT PLAN
A1.2	FLOOR AREA PLAN AND CALCS	L1.1	MATERIALS LIST AND NOTES
A1.3	STORM WATER CONTROL PLAN	L2.0	GRADING PLAN
A1.4	STORY POLE PLAN	L3.0	IRRIGATION PLAN
A2.0	EXISTING FLOOR PLAN WITH DEMO	L3.1	IRRIGATION LEGEND AND NOTES
A2.1	PROPOSED FLOOR PLAN	L3.2	IRRIGATION DETAILS
A2.2	PROPOSED FLOOR PLAN ENLARGED 2	L3.3	IRRIGATION DETAILS
A2.3	PROPOSED FLOOR PLAN ENLARGED 2	L3.4	IRRIGATION DETAILS
A2.4	PROPOSED GARAGE FLOOR PLAN	L3.5	IRRIGATION DETAILS
A3.0	PROPOSED EXTERIOR ELEVATIONS	L3.6	IRRIGATION WATER CALCS
A3.1	PROPOSED EXTERIOR ELEVATIONS	L3.7	HYDROZONE PLAN
A3.2	PROPOSED EXTERIOR ELEVATIONS	L4.0	PLANTING PLAN
A3.3	PROPOSED EXTERIOR ELEVATIONS	L4.1	PLANT LIST AND NOTES
A3.4	PROPOSED EXTERIOR ELEVATIONS	L4.2	PLANTING DETAILS
A3.5	PROPOSED EXTERIOR ELEVATIONS	L5.0	LIGHTING PLAN
A3.6	PROPOSED EXTERIOR ELEVATIONS	L5.1	LIGHTING SCHEDULE AND NOTES
A3.7	PROPOSED EXTERIOR ELEVATIONS	L6.0	PAVING DETAILS
A4.0	PROPOSED BUILDING SECTION	L6.1	STAIR AND WALL DETAILS
		L6.2	SPECIALITY DETAILS
		L6.3	DRAINAGE DETAILS
		L7.0	POOL AND SPA LAYOUT PLAN
		L7.1	POOL AND SPA DETAILS

REVISION:
05-12-21
06-02-21

GEISZLER
ARCHITECTS

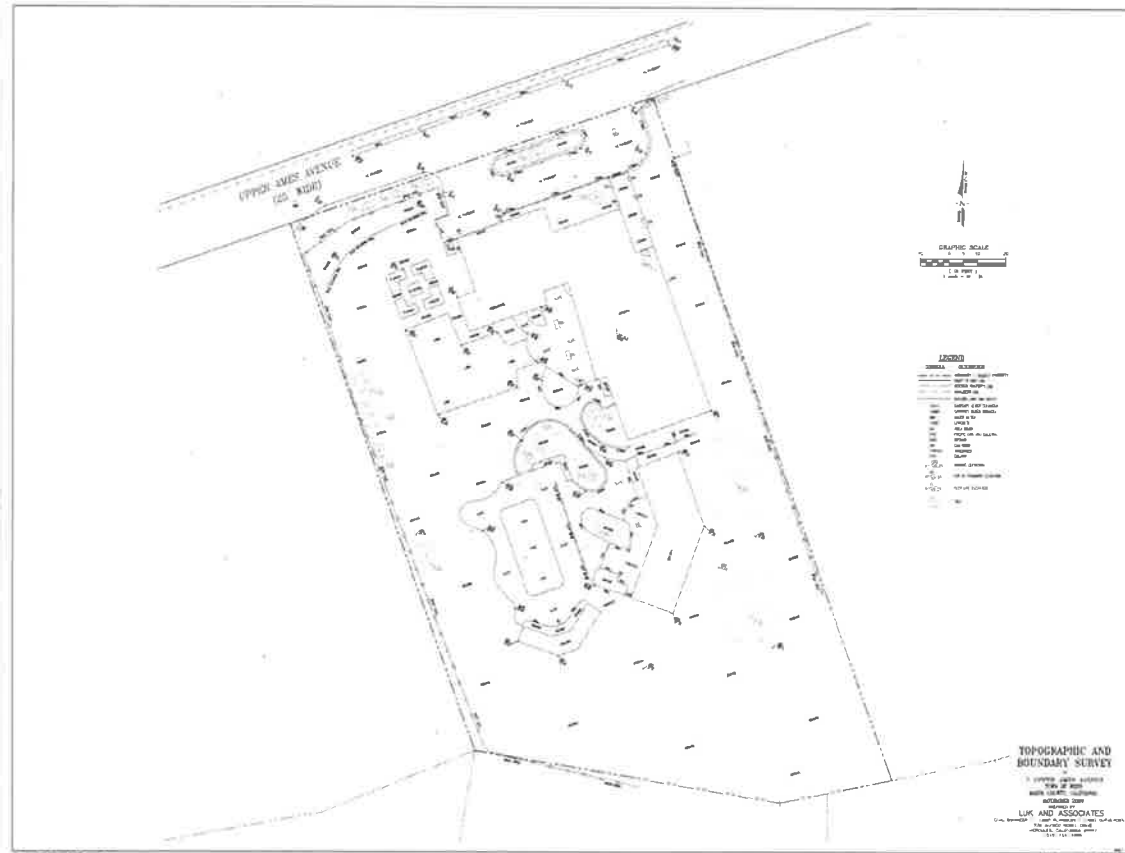


MILLMAN RESIDENCE
7 UPPER AMES AVE, ROSS, CA 94957

COVER
SHEET

DRAWN BY: ED/BO
CHECKED: SG
ISSUE:
DESIGN REVIEW
04-29-21

A0.1



1 TOPOGRAPHY BOUNDARY SURVEY
SCALE 1"=20'-0"

REVISION	
X	
 GEIZLER ARCHITECTS	
	
MILLMAN RESIDENCE 7 UPPER AMES AVE ROSS, CA 94057	
TOPO BOUNDARY SURVEY	DRAWN BY: EGBD CHECKED: BG ISSUE: DESIGN REVIEW 04-28-21
A0.4	



PROPOSED STREET ELEVATION



PROPOSED WEST ELEVATION



PROPOSED REAR ELEVATION

REVISION
05-12-21
06-07-21

GEISZLER
ARCHITECTS

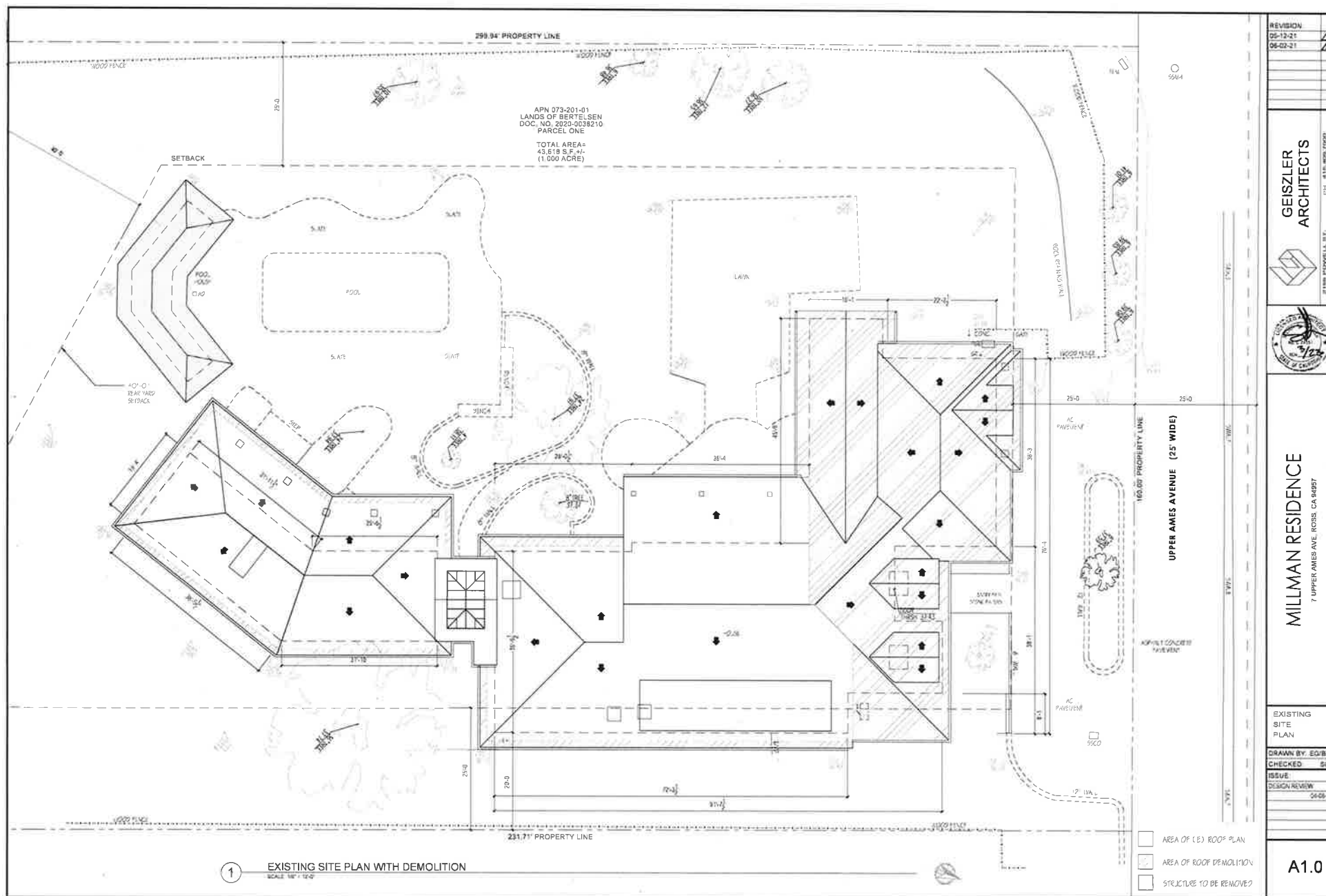


MILLMAN RESIDENCE
7 UPPER AMES AVE, ROCKY, CA 94857

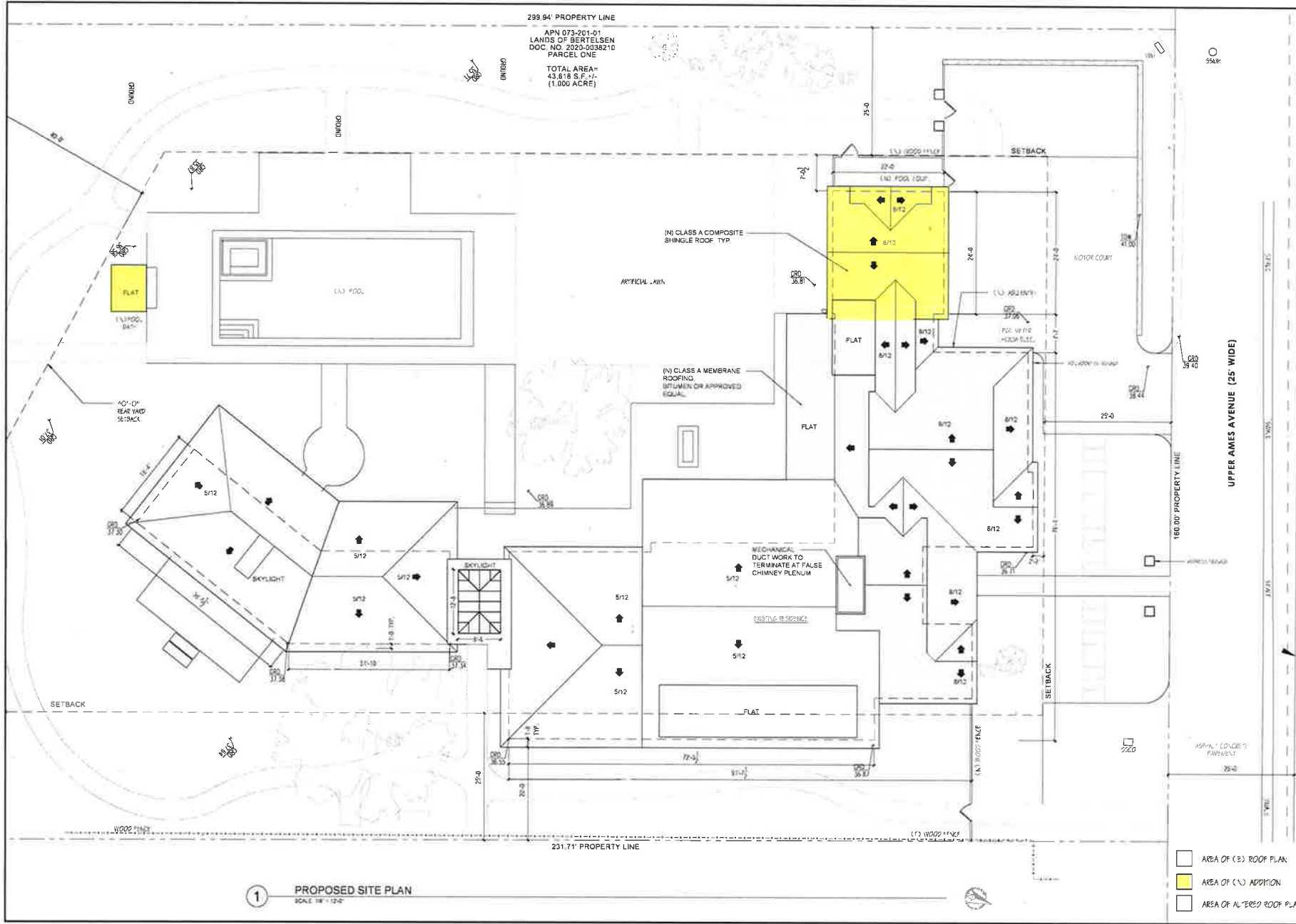
MODEL
IMAGES

DRAWN BY: EGBD
CHECKED: SC
ISSUE:
DESIGN REVIEW:
04-09-21

A0.5

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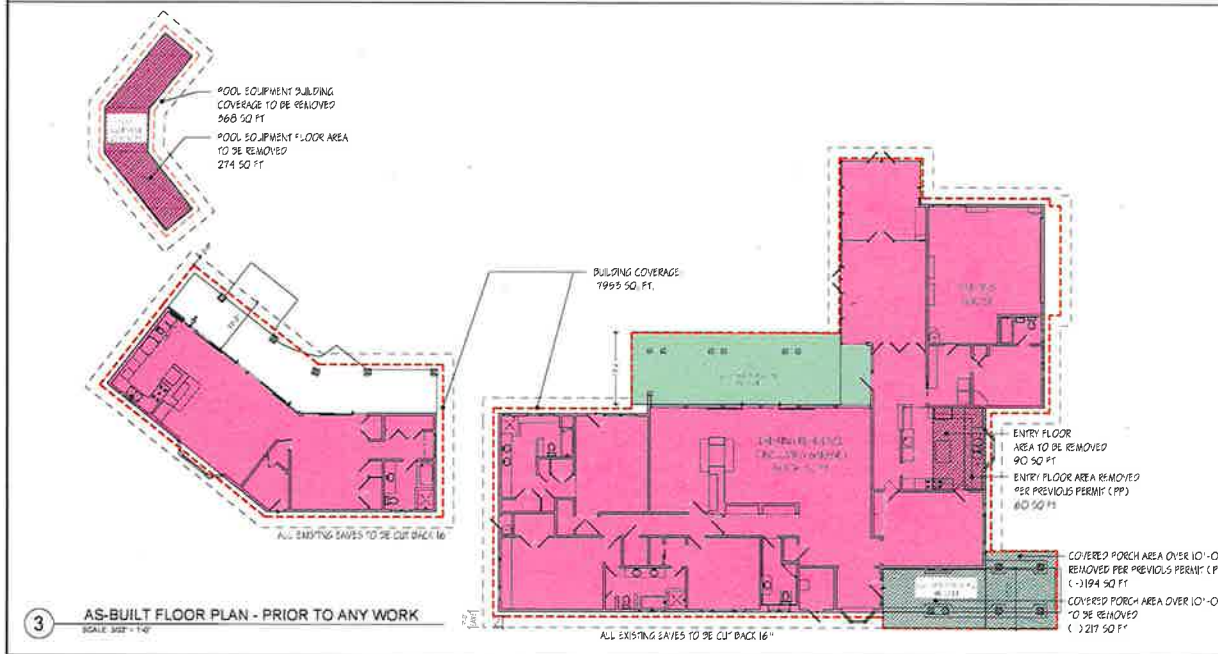
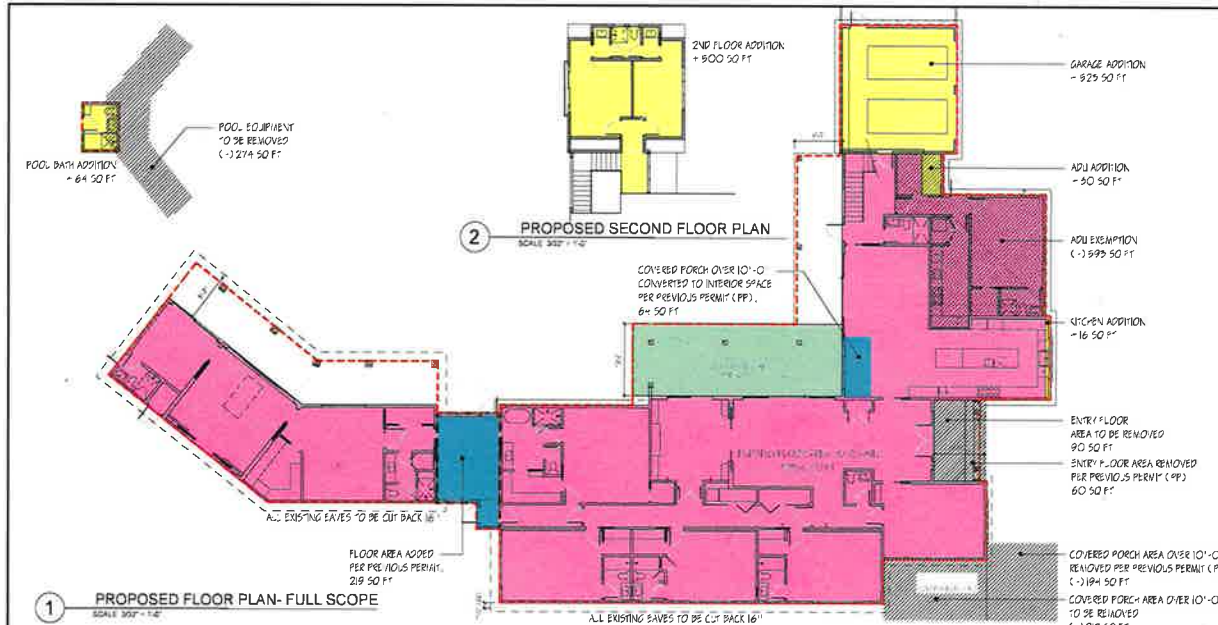
299.94' PROPERTY LINE
 APN 073-201-01
 LANDS OF BERTELSEN
 DOC. NO. 2020-0038210
 PARCEL ONE
 TOTAL AREA =
 43.618 S.F. +/-
 (1.000 ACRE)



1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

- AREA OF (2) ROOF PLAN
- AREA OF (1) ADDITION
- AREA OF (1) EXISTING ROOF PLAN

REVISION	05-12-21
06-03-21	
MILLMAN RESIDENCE 7 UPPER AMES AVE., AGES, CA 94957	
PROPOSED SITE PLAN	
DRAWN BY: EG/BO	
CHECKED: SO	
ISSUE	
DESIGN REVIEW	04-06-21
A1.1	



EXISTING FLOOR AREA		PROPOSED FLOOR AREA	
AREA OF SITE	43,560 SQ FT	AREA OF SITE	43,560 SQ FT
MAIN HOUSE	5486 SQ FT	(E) RESIDENCE	6006 SQ FT
GARAGE	520 SQ FT	SITTING RM (PP)	+219 SQ FT
TOTAL (E) RESIDENCE	6006 SQ FT	INFILL PORCH (PP)	+64 SQ FT
		DEMO ENTRY (PP)	(-) 60 SQ FT
		DEMO ENTRY	(-) 90 SQ FT
		(N) KITCHEN ADDITION	+16 SQ FT
		(N) ADU ADDITION	+30 SQ FT
		TOTAL FIRST FLOOR	6185 SQ FT
COVERED PORCHES OVER 10'-0"	#1: + 596 SQ FT #2: + 411 SQ FT	COVERED PORCHES OVER 10'-0"	#1: 596 - 64 (PP) = 532 SQ FT #2: 411 - 194 (PP) - 217 = 0 SQ FT
POOL EQUIPMENT	+ 274 SQ FT	POOL BATH	+ 64 SQ FT
		(N) GARAGE	+523 SQ FT
		(N) 2ND FLOOR	+500 SQ FT
		(N) ADU EXEMPTION	(-) 593 SQ FT
TOTAL FLOOR AREA	7287 SQ FT = 16.7%	TOTAL FLOOR AREA	7211 SQ FT = 16.6%

PROPOSED TRANSFERABLE FLOOR AREA		PROPOSED ADDITIONS	
ENTRY DEMO	90 SQ FT	GARAGE	523 SQ FT
PORCH #2 DEMO	217 SQ FT	2ND FLOOR GUEST	500 SQ FT
POOL EQUIPMENT DEMO	274 SQ FT	KITCHEN	16 SQ FT
ADU EXEMPTION	593 SQ FT	POOL BATH	64 SQ FT
		ADU ADDITION	30 SQ FT
TOTAL TRANSFER	1174 SQ FT	TOTAL ADDITION	1133 SQ FT

TRANSFERRED FLOOR AREA PER PREVIOUS PERMIT			
TRANSFERRED FLOOR AREA		ADDITIONS	
ENTRY DEMO	60 SQ FT	(N) SITTING AREA	219 SQ FT
PORCH #1 REMOVAL	64 SQ FT	PORCH #1 INFILL	64 SQ FT
PORCH #2 DEMO	194 SQ FT		
TOTAL TRANSFER	318 SQ FT	TOTAL ADDITION	283 SQ FT

BUILDING COVERAGE			
RESIDENCE	7953 SQ FT	(E) RESIDENCE	8321 SQ FT
POOL EQUIPMENT	368 SQ FT	POOL EQUIP. REMOVAL	(-) 368 SQ FT
		SITTING ROOM (PP)	+ 219 SQ FT
		(N) ADDITION-GARAGE +ADU	+ 553 SQ FT
		(N) COVERED PORCH UNDER 10'-0"	+ 304 SQ FT
		PORCH #2 REMOVAL	(-) 411 SQ FT
		EAVE REDUCTION	(-) 477 SQ FT
TOTAL BUILDING COVERAGE	8321 SQ FT = 19.1%	TOTAL BLDG. COVERAGE	8141 SQ FT = 18.5%

POOR FLOOR AREA	AREA OF (N) ADDITION	BUILDING COVERAGE
EXISTING FLOOR AREA	AREA OF (N) ADDITION PER PREVIOUS PERMIT (PP)	
FLOOR AREA REMOVED		

REVISION:
06-15-21
06-03-21

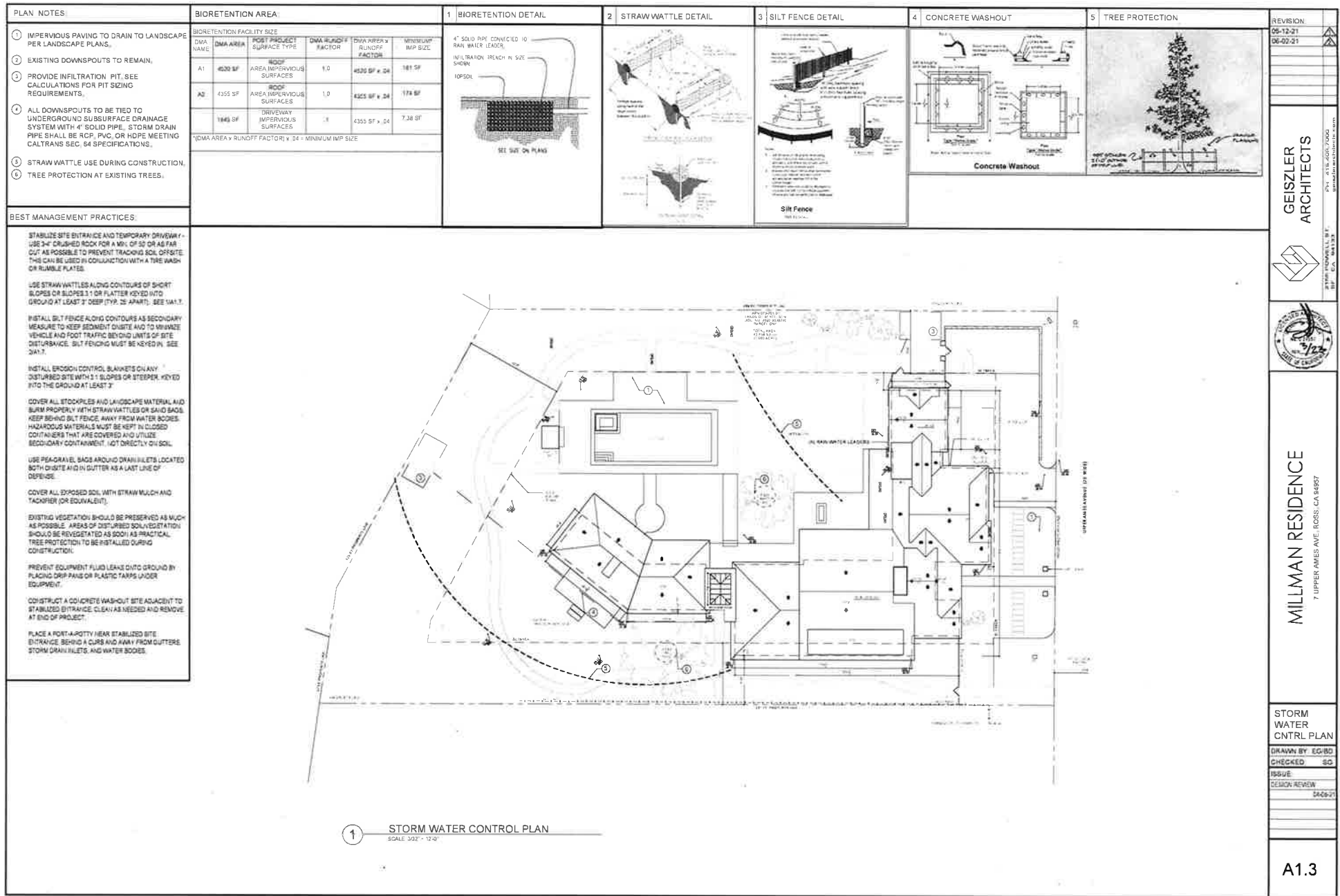
GEISLER ARCHITECTS

MILLMAN RESIDENCE
7 UPPER AMES AVE. ROSS, CA 94067

FLOOR AREA CALCULATIONS

DRAWN BY: EG/BD
CHECKED: BG
ISSUE
DESIGN REVIEW: 06/09/21

A1.2



299.94' PROPERTY LINE

APN 073-201-01
LANDS OF BERTELSEN
DOC. NO. 2020-0038210
PARCEL ONE

TOTAL AREA=
43,818 S.F. +/-
(1.000 ACRE)

STORY POLE #:	LOCATION:	BUILDING ELEV.	GROUND ELEVATION	STORY POLE HEIGHT	MAX. PER CODE
NO. 1	GARAGE	54'-5"	36'-8" (36.75')	17'-8"	30'-0"
NO. 2	GARAGE	54'-5"	36'-9" (36.75')	17'-8"	30'-0"
NO. 3	GARAGE	62'-10"	36'-9" (36.75')	26'-1"	30'-0"
NO. 4	GARAGE	62'-10"	36'-9" (36.75')	26'-1"	30'-0"
NO. 5	GARAGE	54'-5"	36'-9" (36.75')	17'-8"	30'-0"
NO. 6	GARAGE	54'-5"	36'-9" (36.75')	17'-8"	30'-0"
NO. 7	GARAGE	60'-8"	36'-9" (36.75')	23'-11"	30'-0"
NO. 8	GARAGE	60'-8"	36'-9" (36.75')	23'-11"	30'-0"
NO. 9	STAIRHALL	59'-6"	36'-9" (36.75')	22'-9"	30'-0"
NO. 10	STAIRHALL	59'-6"	36'-9" (36.75')	22'-9"	30'-0"
NO. 11	ADU	47'-2"	36'-9" (36.75')	10'-5"	30'-0"
NO. 12	FAMILY ROOM	61'-0"	36'-9" (36.75')	24'-3"	30'-0"
NO. 13	ADU	61'-0"	36'-9" (36.75')	24'-3"	30'-0"
NO. 14	KITCHEN	47'-2"	36'-9" (36.75')	10'-5"	30'-0"
NO. 15	KITCHEN	47'-2"	36'-9" (36.75')	10'-5"	30'-0"
NO. 16	KITCHEN	52'-11"	36'-9" (36.75')	16'-2"	30'-0"
NO. 17	KITCHEN	47'-2"	36'-9" (36.75')	10'-5"	30'-0"
NO. 18	KITCHEN	57'-4"	36'-9" (36.75')	20'-7"	30'-0"
NO. 19	KITCHEN	57'-4"	36'-9" (36.75')	20'-7"	30'-0"
NO. 20	ENTRY	54'-10"	36'-9" (36.75')	18'-1"	30'-0"
NO. 21	ENTRY	53'-6"	36'-9" (36.75')	16'-9"	30'-0"
NO. 22	ENTRY	63'-8"	36'-9" (36.75')	27'-0"	30'-0"
NO. 23	ENTRY	63'-8"	36'-9" (36.75')	27'-0"	30'-0"
NO. 24	TV ROOM	47'-10"	36'-9" (36.75')	11'-1"	30'-0"
NO. 25	TV ROOM	47'-10"	36'-9" (36.75')	11'-1"	30'-0"
NO. 26	TV ROOM	53'-6"	36'-9" (36.75')	16'-9"	30'-0"
NO. 27	CHIMNEY	64'-8"	36'-9" (36.75')	27'-11"	30'-0"
NO. 28	CHIMNEY	54'-8"	36'-9" (36.75')	27'-11"	30'-0"



LOCATED WITHIN EXISTING POOL EQUIPMENT
5' X 12' 1/2'

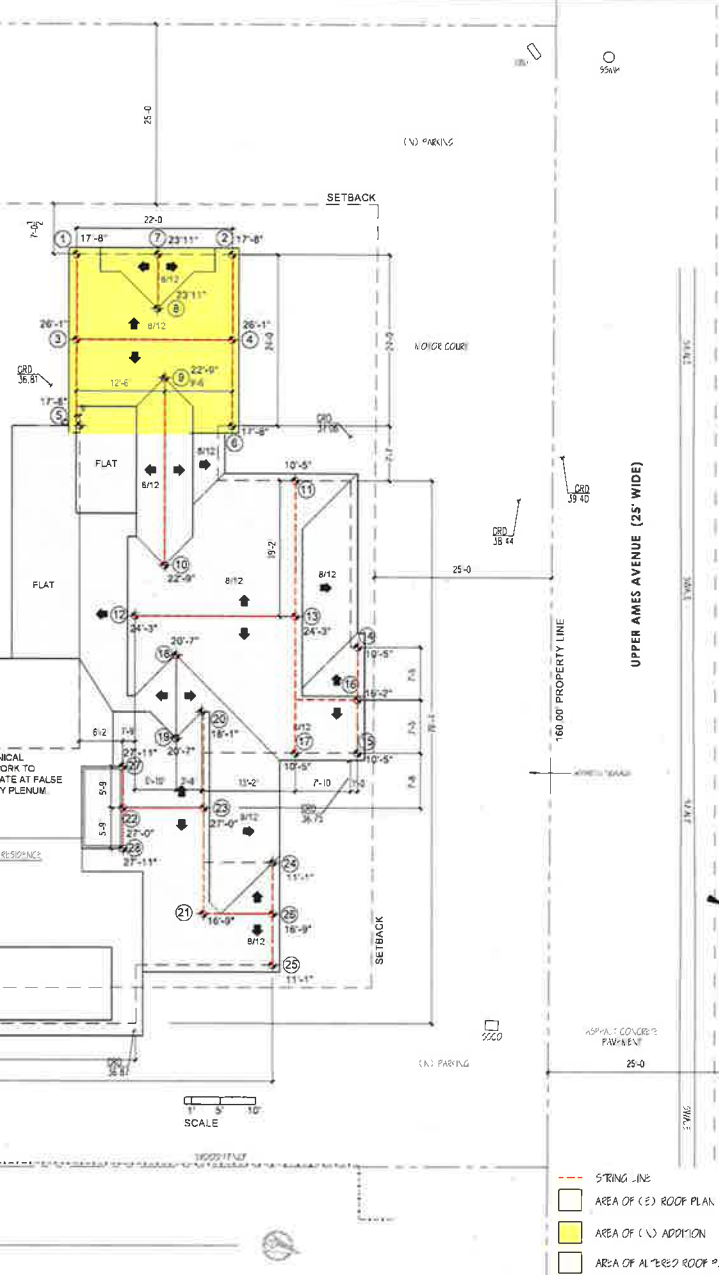
14' 0" REAR YARD
SETBACK

SETBACK

231.71' PROPERTY LINE

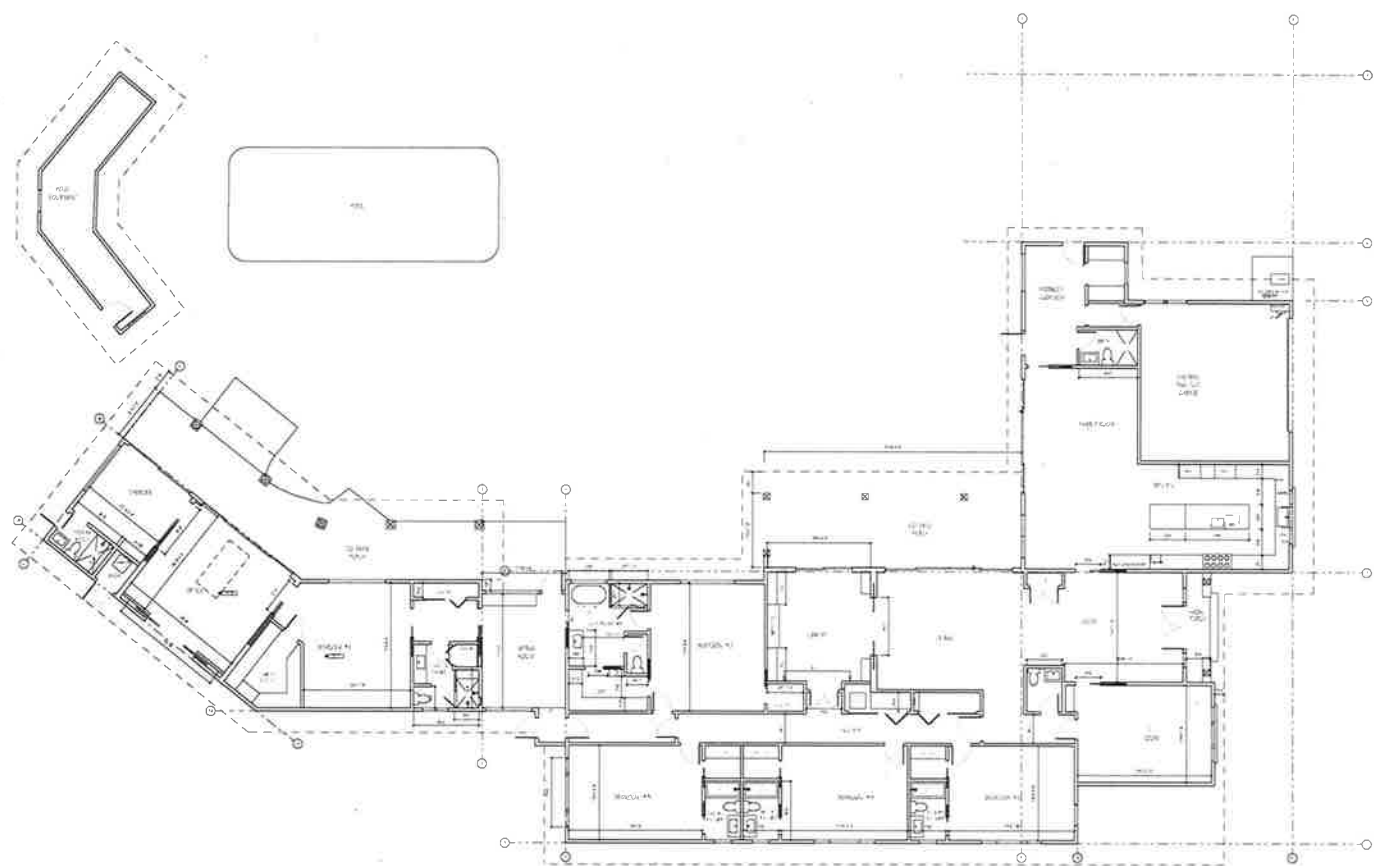
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PROPOSED STORY POLE PLAN
SCALE 1/8" = 1'-0"



- STRING LINE
- AREA OF (S) ROOF PLAN
- AREA OF (N) ADDITION
- AREA OF ALTERED ROOF PLAN

REVISION	35-12-21
06-02-21	
<p>GEISLER ARCHITECTS</p> <p>1000 S. GATEWAY BLVD. SUITE 100 SAN ANTONIO, TEXAS 78204</p> <p>PH: 214.643.7000 WWW.GEISLERARCHITECTS.COM</p>	
<p>MILLMAN RESIDENCE</p> <p>7 UPPER AMES AVE. ROSS, CA 94067</p>	
<p>PROPOSED STORY POLE PLAN</p>	
DRAWN BY	EG:BO
CHECKED	GO
ISSUE	
DESIGN NUMBER	0448-V1
<p>A1.4</p>	



① EXISTING FIRST FLOOR PLAN
5/25/17 1"=0'

REVISION:
05-12-21
06-02-21

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ARCHITECTS

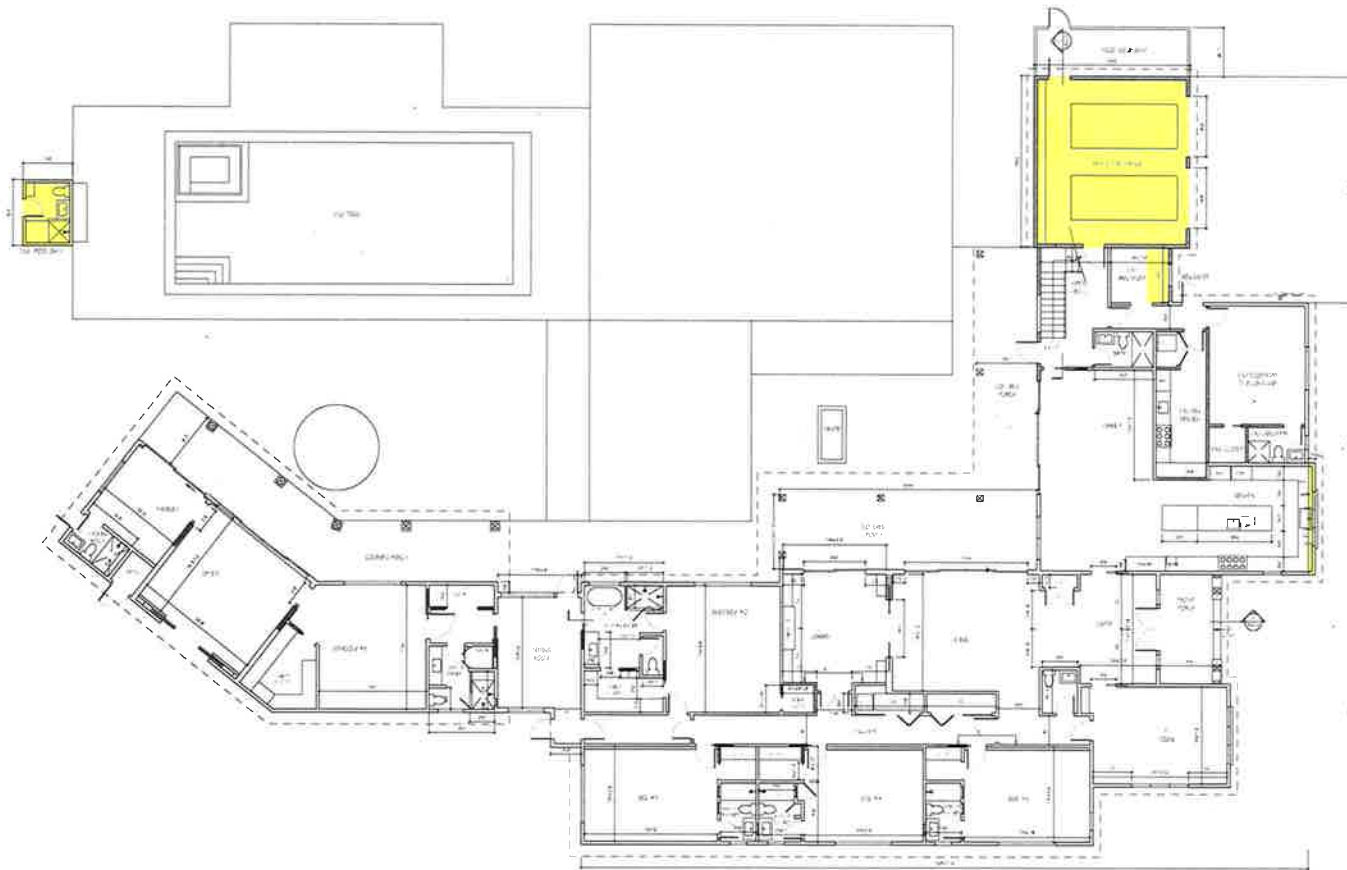


MILLMAN RESIDENCE
7 UPPER AMES AVE. ROSS, CA 94067

EXISTING
FLOOR
PLAN

DRAWN BY: EG/BD
CHECKED: EG
ISSUE:
DESIGN REVIEW
04/26/21

A2.0



① PROPOSED FLOOR PLAN
SCALE 1/8" = 1'-0"

AREA OF
(N) ADDITION

REVISION:
05-12-21
06-02-21

GEISLER
ARCHITECTS



MILLMAN RESIDENCE
7 UPPER AMES AVE. ROSS, CA 94067

PROPOSED
FLOOR
PLAN

DRAWN BY: EG:BD

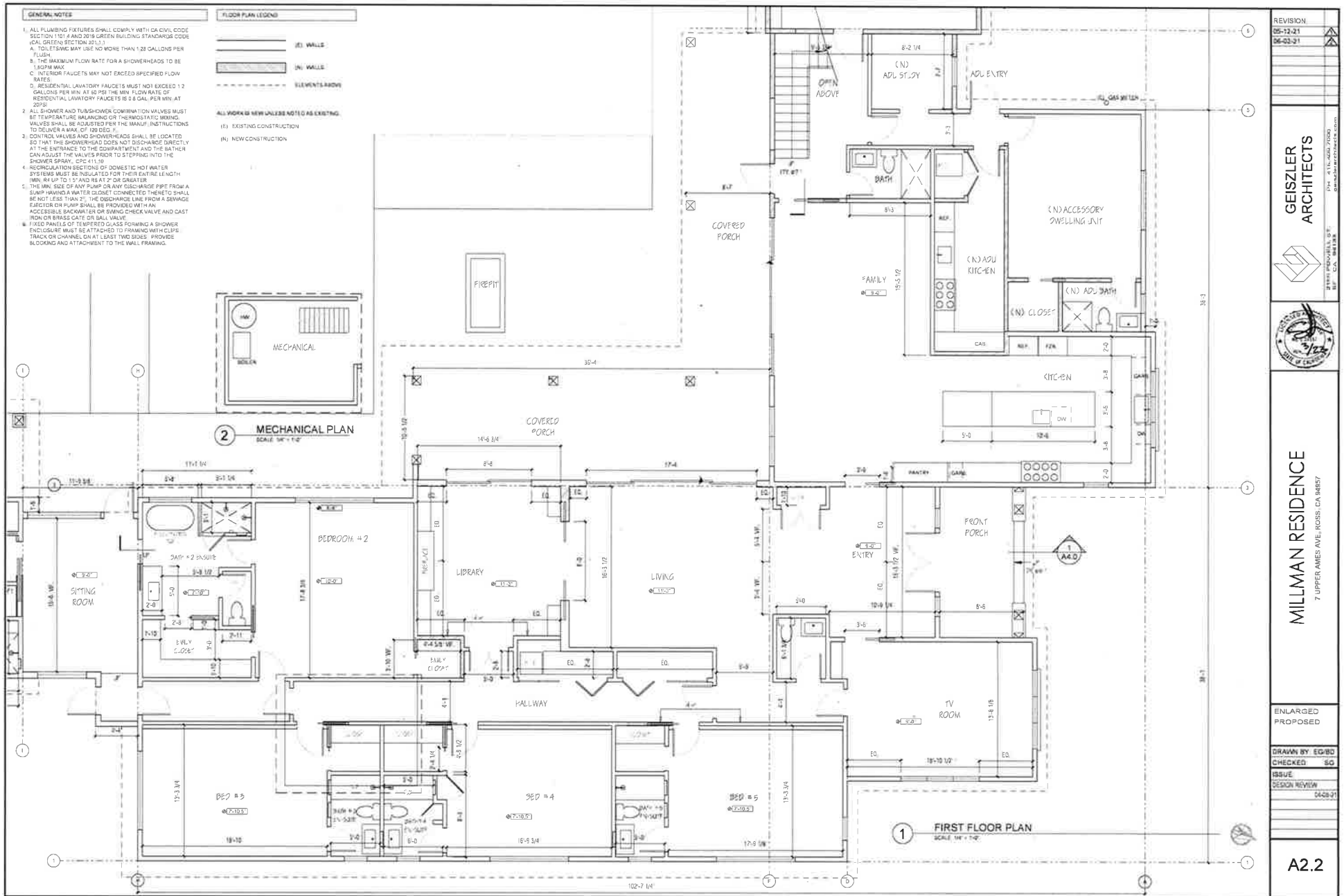
CHECKED: EG

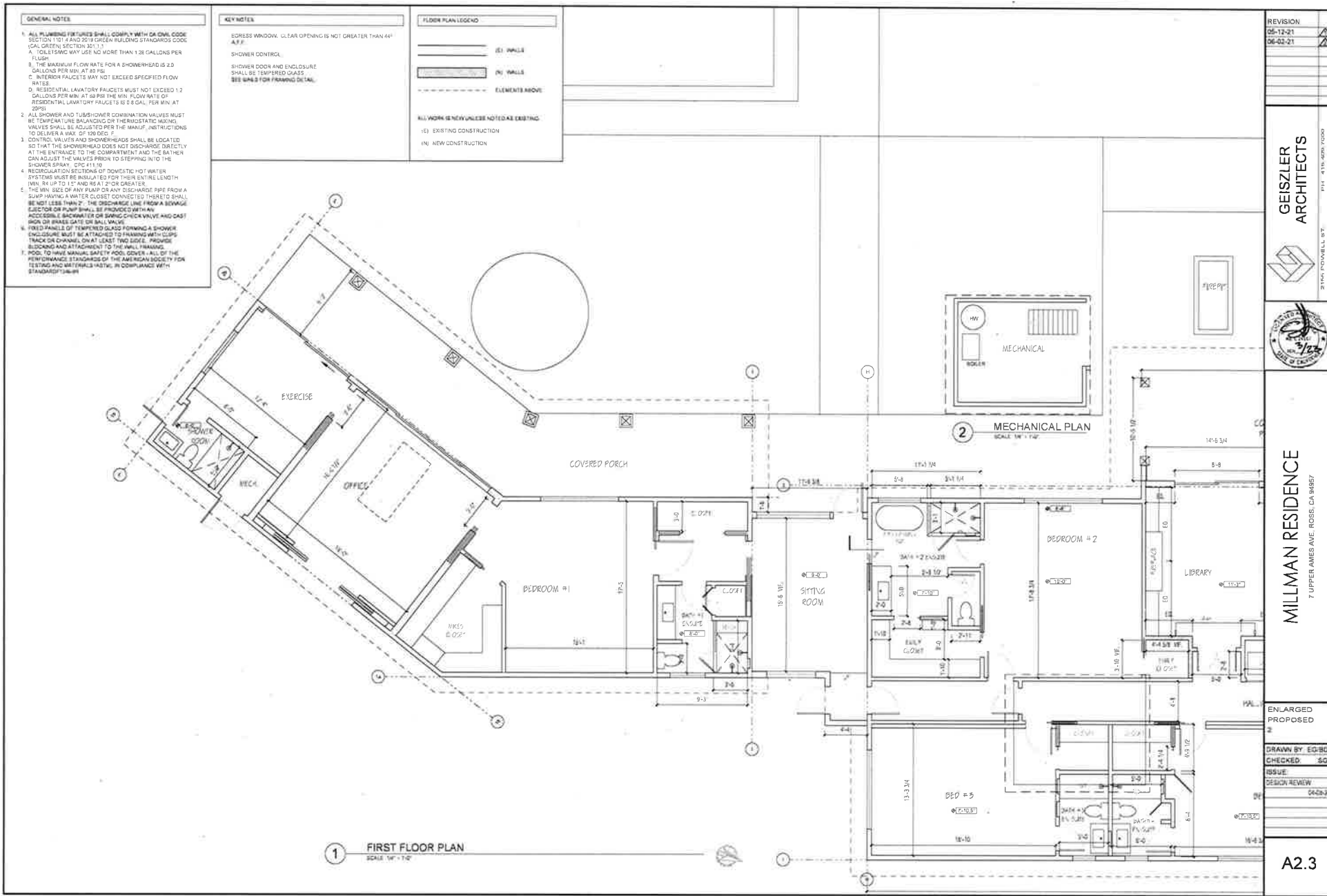
ISSUE:

DESIGN REVIEW

04/09/21

A2.1





- GENERAL NOTES**
1. ALL PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA CODE SECTION 151.4 AND 2018 GREEN BUILDING STANDARDS CODE (CALIFORNIA) SECTION 301.1.1.
 2. THE MAXIMUM FLOW RATE FOR A SHOWERHEAD IS 2.0 GALLONS PER MIN. AT 80 PSI.
 3. INTERIOR FAUCETS MAY NOT EXCEED SPECIFIED FLOW RATES.
 4. RESIDENTIAL LAVATORY FAUCETS MUST NOT EXCEED 1.2 GALLONS PER MIN. AT 80 PSI. THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS IS 0.8 GAL. PER MIN. AT 20 PSI.
 5. ALL SHOWER AND TUB/SHOWER COMBINATION VALVES MUST BE TEMPERATURE BALANCING OF THE THERMOSTATIC MIXING VALVES SHALL BE ADJUSTED PER THE MANUF. INSTRUCTIONS TO DELIVER A MAX. OF 100 DEG. F.
 6. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHING CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. CPC 411.10
 7. REGRULATION SECTIONS OF DOMESTIC HOT WATER SYSTEMS MUST BE INSULATED FOR THEIR ENTIRE LENGTH MIN. 3/4" UP TO 1" AND REAT 2" OR GREATER.
 8. THE MIN. SIZE OF ANY PUMP OR ANY DISCHARGE PIPE FROM A PUMP HAVING A WATER CLOSET CONNECTED THERE TO SHALL BE NOT LESS THAN 2". THE DISCHARGE LINE FROM A SEWAGE EJECTOR OR PUMP SHALL BE PROVIDED WITH AN ACCESSIBLE BACKWATER OR SUMP CHECK VALVE AND CAST IRON OR BRASS GATE OR BALL VALVES.
 9. FIXED PANELS OF TEMPERED GLASS FORMING A SHOWER ENCLOSURE MUST BE ATTACHED TO FRAMING WITH CLIPS, TRACK OR CHANNELS AT LEAST TWO SPACES. PROVIDE BLOCKING AND ATTACHMENT TO THE WALL FRAMING.
 10. POS. TO HAVE MANUAL SAFETY ROD COVER ALL OF THE PERFORMANCE STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), IN COMPLIANCE WITH STANDARDS FOR SHOWER.

- KEY NOTES**
- EXPRESS WINDOW. CLEAR OPENING IS NOT GREATER THAN 44" A.F.F.
- SHOWER CONTROL SHALL BE TOPIFFERED OVERST. SEE SPAS FOR FRAMING DETAIL.

- FLOOR PLAN LEGEND**
- (E) WALLS
- (N) WALLS
- ELEMENTS ABOVE
- ALL WORK IS NEW UNLESS NOTED AS EXISTING.
- (E) EXISTING CONSTRUCTION
- (N) NEW CONSTRUCTION

REVISION
05-15-21
06-02-21

GEISLER
ARCHITECTS



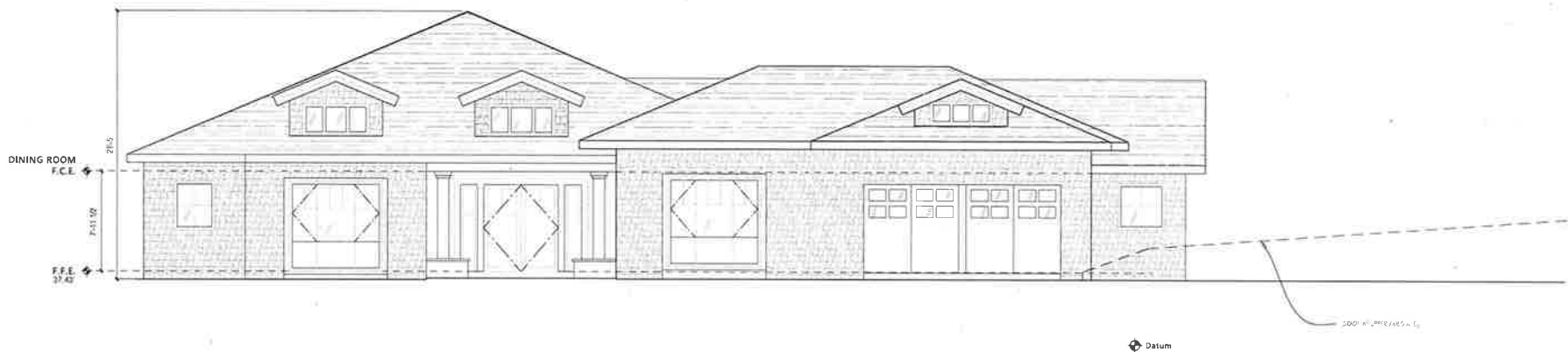
MILLMAN RESIDENCE
7 UPPER AMES AVE., ROSS, CA 94067

ENLARGED PROPOSED
DRAWN BY EG-BO
CHECKED EG
ISSUE
DESIGN REVIEW 04/28/21

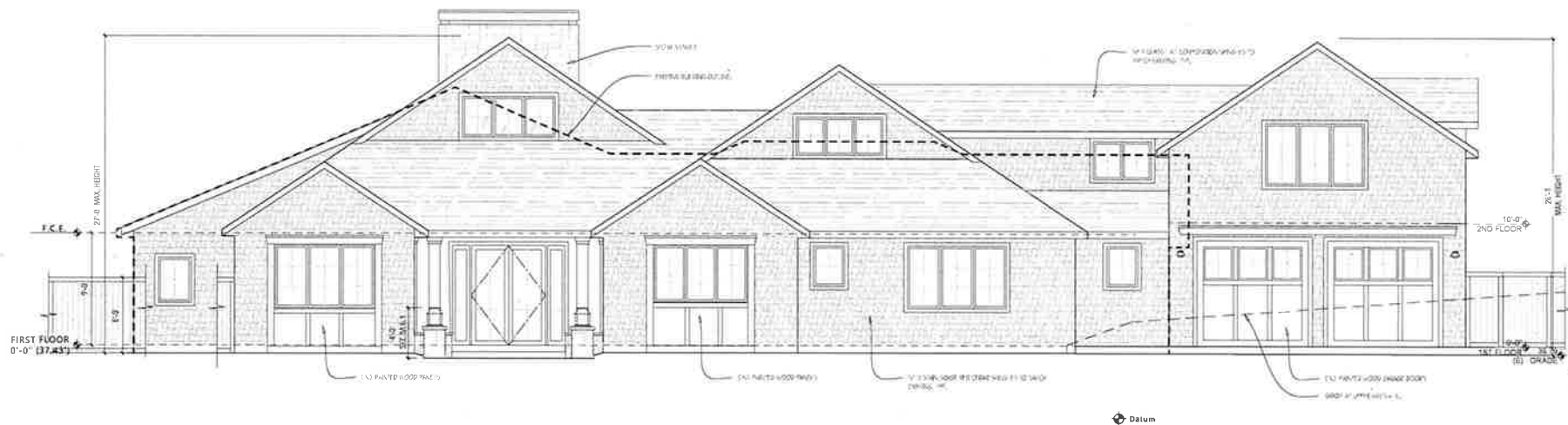
A2.3



CONSTRUCTION SET WITH DESIGN REVIEW 04152021- NOT APPROVED



1
A3.0
EXISTING FRONT FACADE - NORTH WEST ELEVATION
SCALE 1/4" = 1'-0"



2
A3.0
PROPOSED FRONT FACADE - NORTH WEST ELEVATION
SCALE 1/4" = 1'-0"

REVISION
05-12-21
06-02-21

GEISZLER
ARCHITECTS

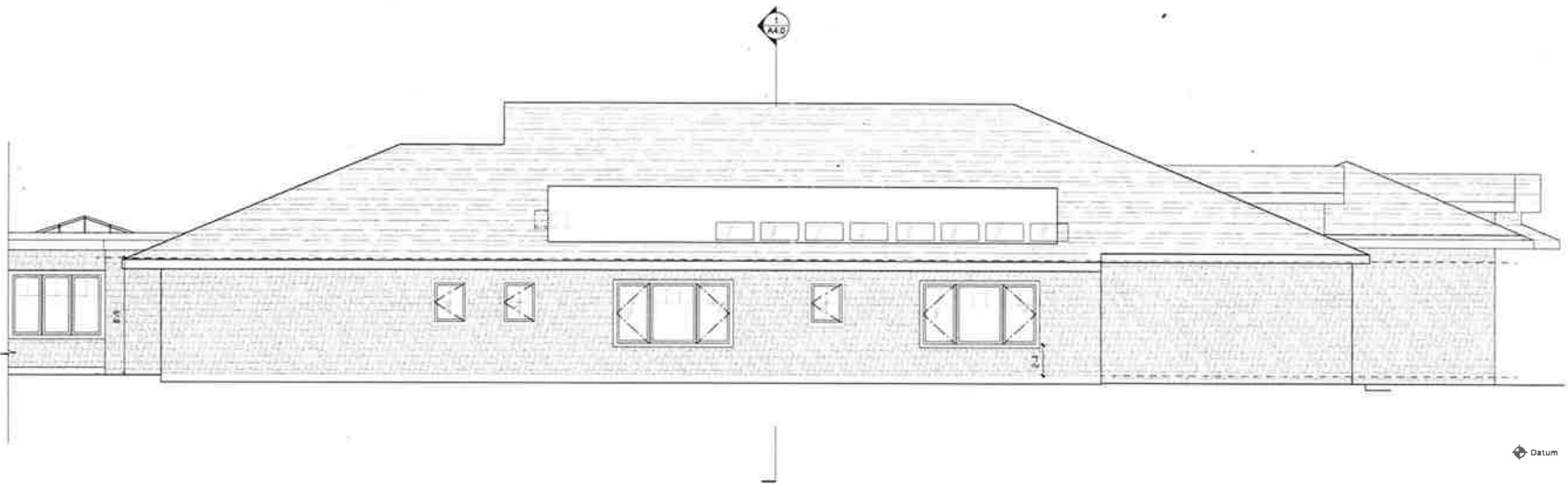


MILLMAN RESIDENCE
7 UPPER AMES AVE. ROSS, CA 94067

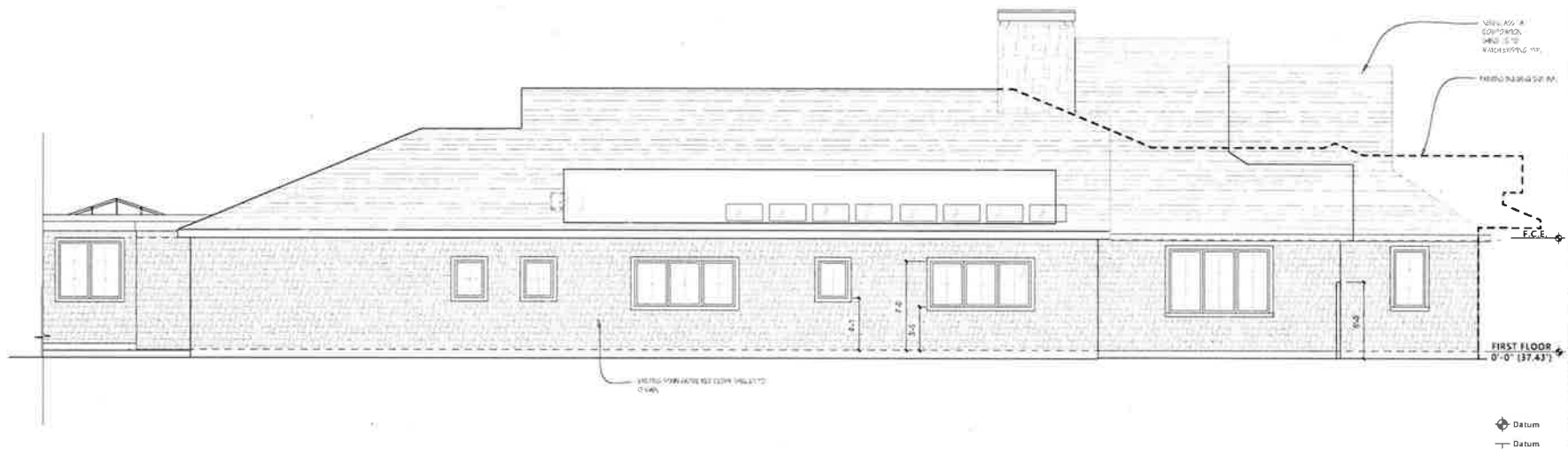
EXTERIOR
ELEVATIONS

DRAWN BY: EQ/BO
CHECKED: SG
ISSUE:
DESIGN REVIEW
04-08-21

A3.0



1
A3.1
EXISTING NORTH EAST ELEVATION
SCALE 1/4" = 1'-0"



2
A3.1
PROPOSED NORTH EAST ELEVATION
SCALE 1/4" = 1'-0"

REVISION
05-12-21
06-02-21

GEISZLER
ARCHITECTS



MILLMAN RESIDENCE
7 UPPER AMES AVE. ROSS, CA 94067

EXTERIOR
ELEVATIONS

DRAWN BY: EQ/BO
CHECKED: SO
ISSUE:
DESIGN REVIEW:
04-08-21

A3.1



1
A3.2
EXISTING SOUTH EAST ELEVATION
SCALE 1/4" = 1'-0"



2
A3.2
PROPOSED SOUTH EAST ELEVATION
SCALE 1/4" = 1'-0"

REVISION
06-12-21
06-02-21

**GEISLER
ARCHITECTS**



MILLMAN RESIDENCE
7 UPPER AMES AVE. #108, CA 94557

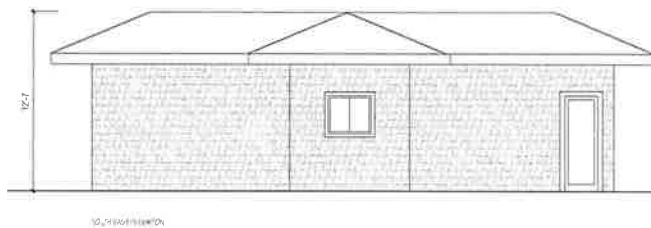
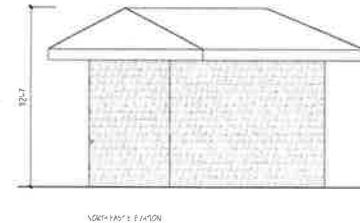
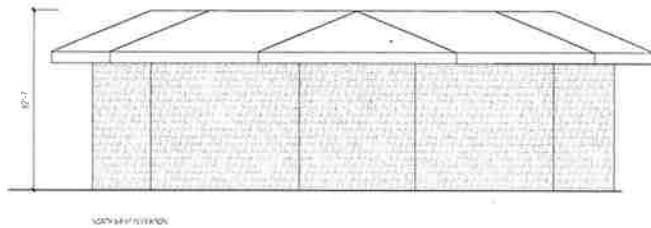
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ELEVATIONS

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ISSUE	
DESIGN REVIEW	
DATE	04-28-21

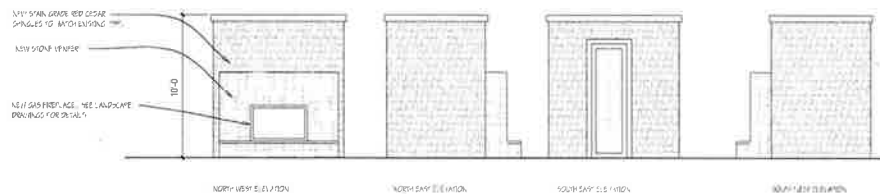
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REVISION: 05-12-21 06-02-21	
GEISZLER ARCHITECTS 3145 DOWNEY BL. LOS ANGELES, CA 90023 PH: 310.409.7000 WWW.GEISZLERARCHITECTS.COM	
MILLMAN RESIDENCE 7 UPPER AMES AVE, ROSS, CA 94057	
EXTERIOR ELEVATIONS	
DRAWN BY: EG/BO CHECKED: EG ISSUE: DESIGN REVIEW 04-28-21	A3.3



1
A3.4
EXISTING POOL EQUIPMENT STRUCTURE- TO BE REMOVED
SCALE 1/4" = 1'-0"



2
A3.4
PROPOSED POOL BATH STRUCTURE
SCALE 1/4" = 1'-0"

REVISION:
05-12-21
06-02-21

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MILLMAN RESIDENCE
7 UPPER AMES AVE, ROSS, CA 94067

EXTERIOR
ELEVATIONS

DRAWN BY: ED:BO
CHECKED: BO
ISSUE:
DESIGN REVIEW
04-28-21

A3.4



1
A3.5
EXISTING SOUTH WEST ELEVATION
SCALE 1/8" = 1'-0"



2
A3.5
PROPOSED SOUTH WEST ELEVATION
SCALE 1/8" = 1'-0"

ALL EAVES REDUCED TO 1'-0".
WINDOWS AND DOORS TO BE REPLACED IN KIND.

REVISION
05-12-21
06-02-21

GEISLER
ARCHITECTS

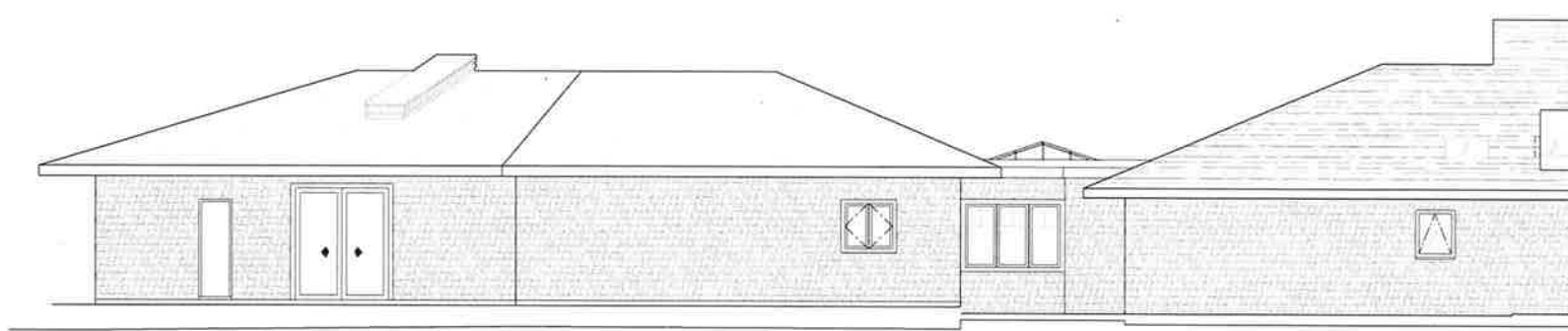


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7 UPPER AMES AVE. ROSS, CA 94067

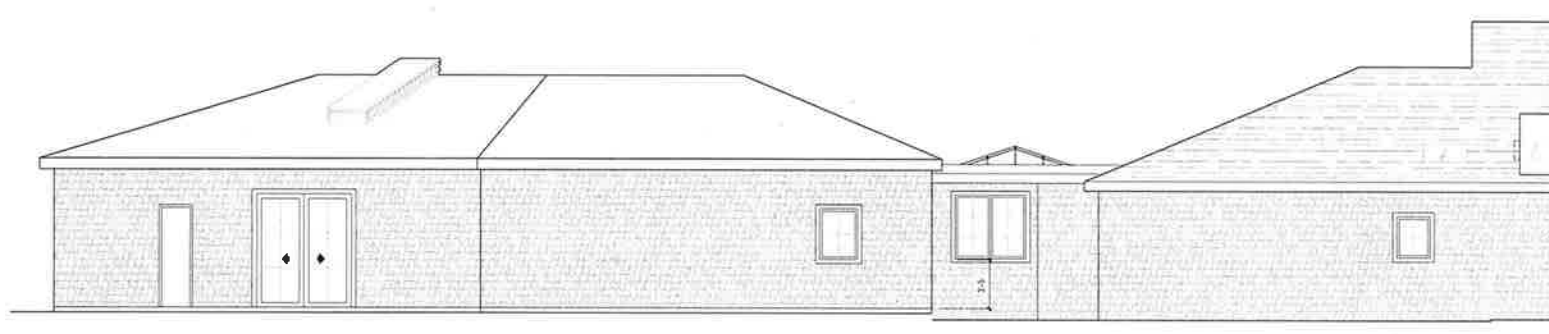
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ELEVATIONS

DRAWN BY: EQ/BO
CHECKED: SG
ISSUE:
DESIGN REVIEW
04-29-21

A3.5



1
A3.6
EXISTING NORTH EAST ELEVATION
SCALE 1/8" = 1'-0"



2
A3.6
PROPOSED NORTH EAST ELEVATION
SCALE 1/8" = 1'-0"

ALL EAVES REDUCED TO 1'-0".
WINDOWS AND DOORS TO BE REPLACED IN KIND.

REVISION
05-12-21
06-02-21

GEISZLER
ARCHITECTS

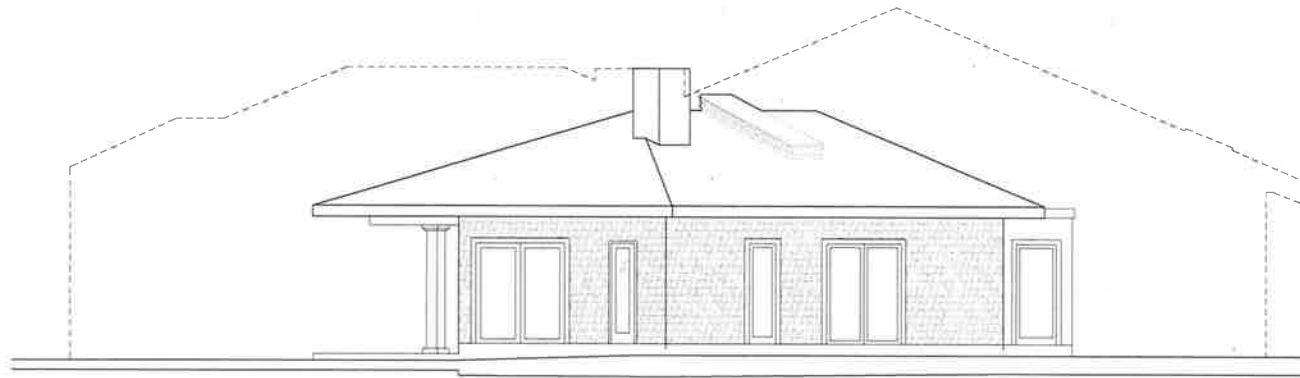


MILLMAN RESIDENCE
7 UPPER AMES AVE, ROSS, CA 94067

EXTERIOR
ELEVATIONS

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ISSUE:
DESIGN REVIEW
06-02-21

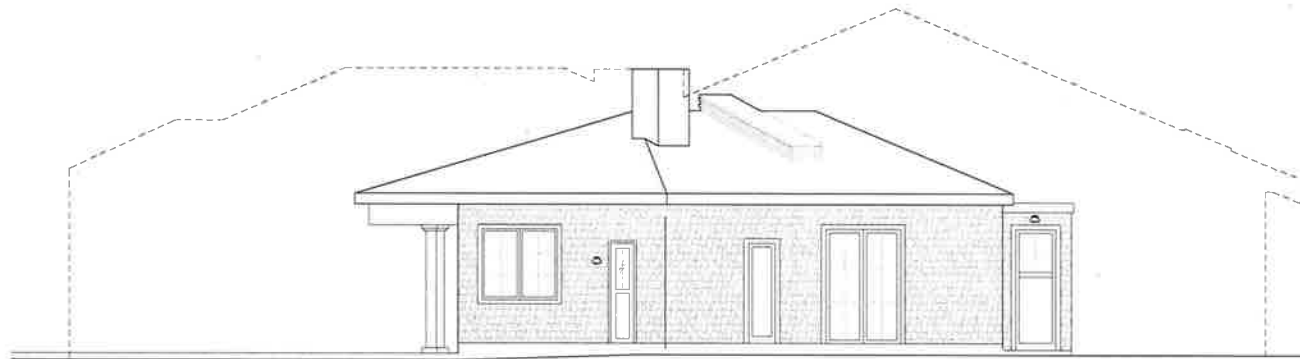
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1
A3.7

EXISTING SOUTH EAST ELEVATION

SCALE 1/4" = 1'-0"



2
A3.7

PROPOSED SOUTH EAST ELEVATION

SCALE 1/4" = 1'-0"

ALL EAVES REDUCED TO 1'-0".
WINDOWS AND DOORS TO BE REPLACED IN KIND.

REVISION:
06-12-21
06-02-21

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ARCHITECTS

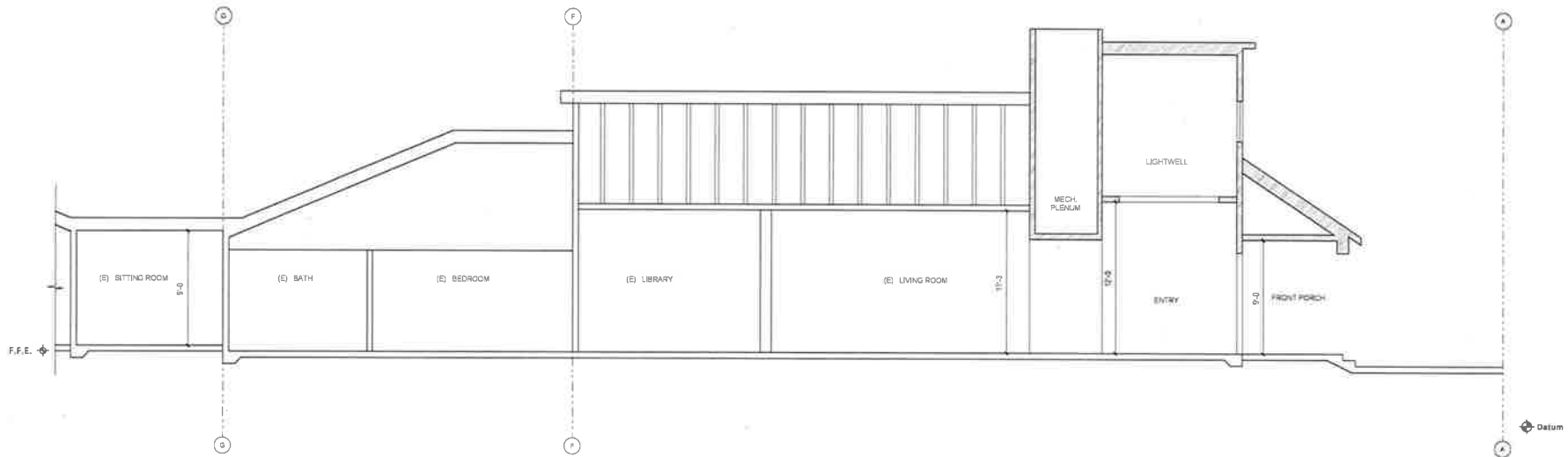


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7 UPPER AMES AVE, ROSS, CA 94067

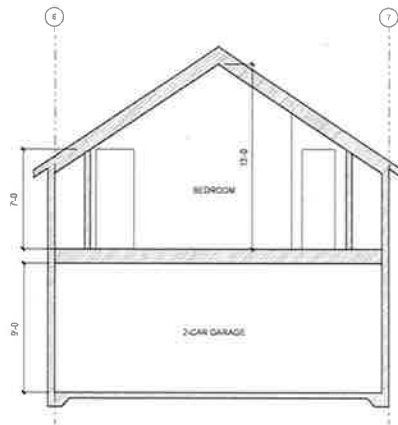
EXTERIOR
ELEVATIONS

DRAWN BY: EG-BO
CHECKED: SG
ISSUE:
DESIGN REVIEW
04-08-21

A3.7



1
A4.0
PROPOSED MAIN HOUSE CROSS SECTION
SCALE: 1/4" = 1'-0"



2
A4.0
PROPOSED GARAGE CROSS SECTION
SCALE: 1/4" = 1'-0"

REVISION
05-12-21
06-02-21

GEISZLER
ARCHITECTS

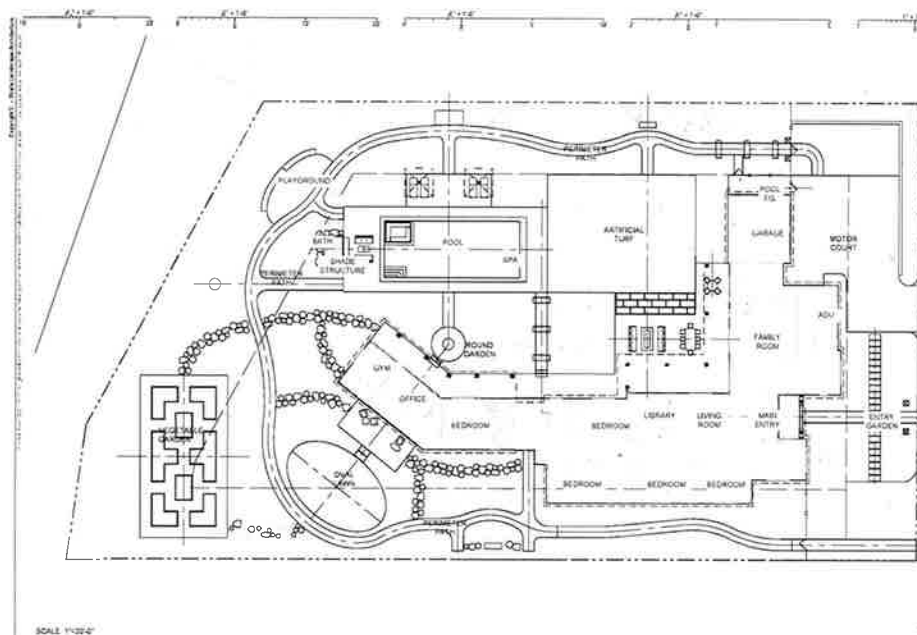


MILLMAN RESIDENCE
7 UPPER AMES AVE. ROSS, CA 94957

CROSS
SECTION

DRAWN BY: EG/BO
CHECKED: SG
ISSUE
DESIGN REVIEW
04-08-21

A4.0



SCALE: 1"=20'-0"

PROJECT DIRECTORY

OWNER
MICHAEL AND EMILY MILLMAN
7 UPPER AMES AVE.
ROSS, CA 94957

LANDSCAPE ARCHITECT
DUSTIN WOODS FURU KANG
STRATA LANDSCAPE ARCHITECTURE
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SAN FRANCISCO, CA 94107
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ARCHITECT
STEVE GOSZLER/BRANDY DUBS
GERZER ARCHITECTS
2155 POWELL STREET
SAN FRANCISCO, CA 94133
P: (415) 459-7002

STRUCTURAL ENGINEER
HOLMES STRUCTURES
225 MONTGOMERY ST #1205
SAN FRANCISCO, CA 94104

SURVEYOR
LUK AND ASSOCIATES
736 ALFRED NOBEL DRIVE
HERCULES, CA 94947
P: (510) 239-3338

APPLICABLE CODES

2019 CALIFORNIA RESIDENTIAL CODE (2019 CRC)
2019 CALIFORNIA BUILDING CODE (2019 CBC)
2019 CALIFORNIA ELECTRICAL CODE (2019 CEC)
2019 CALIFORNIA PLUMBING CODE (2019 CPC)
2019 CALIFORNIA MECHANICAL CODE (2019 CMC)
2019 CALIFORNIA FIRE CODE (2019 FC)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA BUILDING CODE STANDARDS
2019 CALIFORNIA HISTORICAL BUILDING CODE
2019 EXISTING BUILDING CODE

ROSS VALLEY FIRE DEPARTMENT STANDARDS

CONSTRUCTION HOURS

1. NO PERSON SHALL ENGAGE IN EXCAVATION AND GRADING, DEMOLITION, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS OF 7:30 AM AND 5:00 PM ON WEEKDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS.

WORK HOURS AND PARKING

1. WORK HOURS: CONSTRUCTION DELIVERIES AND/OR SERVICING OF ANY ITEM ON SITE IS PROHIBITED BEFORE 8:00 A.M. AND AFTER 5:00 P.M., WEEKDAYS, ALL DAY SATURDAY, SUNDAY, AND HOLIDAYS.
2. CONSTRUCTION PARKING IS PERMITTED ONLY ON THE SITE AND ONLY ON THE SIDE OF THE STREET FRONTING THE PROPERTY FOR WHICH THE PERMIT IS ISSUED.

ENERGY NOTES

1. A COMPLETE LIST OF INSTALLED LIGHTING SYSTEMS INCLUDING THE LIGHTING SCHEDULE, ALL INFORMATION NECESSARY TO OPERATE AND MAINTAIN THE LIGHTING SYSTEM, AND REFERENCE TO SUPPORT FUTURE UPGRADES TO THE LIGHTING SYSTEM WILL BE PROVIDED TO THE HOMEOWNER PRIOR TO A FINAL INSPECTION.

WELLS & IRRIGATION NOTES

1. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION LANDSCAPING ORDINANCE AND APPLIED THEM TO THE EFFICIENT USE OF WATER IN THE LANDSCAPE. IRRIGATION DESIGN PLAN: CONTACT IRRIGATION AUDITOR SHAWN SANFELIPPO (SANFELIPPO@CALANDASSOCIATES.COM).
2. A LANDSCAPE IRRIGATION AUDIT IS REQUIRED. THIS AUDIT MUST BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR, NOT THE DESIGNER OR INSTALLER. THE AUDIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT WITH A CERTIFICATE OF COMPLETION (APPENDIX C) AS REQUIRED BY THE DEPARTMENT OF WATER RESOURCES. PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WATER EFFICIENT LANDSCAPE PERMIT.



NOISE AND SOUND NOTES

NOISE
A. NO PERSON SHALL CAUSE AND NO PROPERTY OWNER MUST PERMIT ON SUCH OWNERS' PROPERTY, A NOISE PRODUCED BY ANY PERSON MACHINE, ANIMAL, OR DEVICE OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION TO EMANATE FROM ANY PROPERTY PUBLIC OR PRIVATE, BEYOND THE PROPERTY LINE, ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION CONSTITUTE A NOISE DISTURBANCE FOR PURPOSES OF DETERMINING SOUND LEVELS. SOUND LEVEL MEASUREMENTS MUST BE MADE AT ANY LOCATION ON THE RECEIVING PROPERTY. PROFESSIONAL CERTIFICATION WHICH VERIFIES THAT THIS REQUIREMENT HAS BEEN MET MAY BE REQUIRED PRIOR TO FINAL INSPECTION.

D. SOUND LEVEL LIMITS: 7:00 A.M. TO 10:00 P.M. 60 DBA
10:00 P.M. TO 7:00 A.M. 50 DBA

SOUND

4. SHOW THE LOCATION OF ALL EXTERIOR AIR CONDITIONERS, GENERATORS AND/OR POOL EQUIPMENT AND INCLUDE ANY SOUND MITIGATION MEASURES. POOL EQUIPMENT MUST BE ENCLOSED OR OTHERWISE SCREENED TO MITIGATE NOISE AND COMPLY WITH THE TOWN NOISE ORDINANCE. THIS SCREENING SHALL NOT EXCEED 6 IN HEIGHT.
5. PROVIDE DOCUMENTATION THAT THE PROPOSED EXTERIOR EQUIPMENT (A/C, GENERATOR, POOL EQUIPMENT, ETC.) WILL COMPLY WITH THE TOWN OF A NOISY NOISE STANDARDS AND WILL NOT EXCEED 50 DBA AT THE PROPERTY LINE. IF THE EQUIPMENT DOES NOT MEET THIS REQUIREMENT, PROVIDE THE METHODOLOGY AND THE ASSURANCE TAKEN TO MEET THE STANDARD FOR REVIEW. THE METHODOLOGY MUST INCLUDE THE DBA LEVEL OF THE EQUIPMENT PER THE MANUFACTURER'S SPECIFICATIONS, ANY MITIGATION MEASURES PROPOSED TO LOWER THE DBA LEVEL, AND CERTIFICATION OF THE RESULTING DBA LEVEL AS MEASURED FROM THE PROPERTY LINE, AND 50 DBA THIS CAN BE DEFERRED AND VERIFIED PRIOR TO FINAL INSPECTION.

IRRIGATING POOLS AND SPAS

POOL EQUIPMENT OPERATION: NO PUMPING, FILTER, OR SIMILAR EQUIPMENT MUST BE OPERATED BETWEEN HOURS OF EIGHT P.M. AND EIGHT A.M. AND ALL PERMITS FOR THE EJECTION OF PUMPING, FILTER, OR OTHER SIMILAR EQUIPMENT SHALL INCLUDE THE INSTALLATION OF AN AUTOMATIC TIMING DEVICE ADJUSTED TO INSURE SUCH HOURS OF OPERATION.

6. CONDITION OF APPROVAL: EQUIPMENT MUST BE INSTALLED AND MAINTAINED SO AS NOT TO EXCEED 50 DBA AS MEASURED AT THE PROPERTY LINE, AND 50 DBA.

NOTES

PROJECT ADDRESS
7 UPPER AMES AVE.
ROSS, CA 94957

PROJECT APP NUMBER: 073-201-01
ZONE DISTRICT: R-1, S-A SINGLE FAMILY RESIDENTIAL

SITE COVERAGE

SITE AREA: 43.618 SF +/- 1 ACRE

EXISTING	PROPOSED
EXISTING MAIN HOUSE: 5,745 SF	PROPOSED MAIN HOUSE: 6,082 SF
GARAGE: 463 SF	CARAGE: 523 SF
POOL HOUSE: 274 SF	POOL HOUSE: 365 SF
COVERED PORCH (OVER 120'): 875 SF	COVERED PORCH (OVER 120'): 493 SF
TOTAL: 7,357 SF	TOTAL: 7,463 SF

GENERAL NOTES

- SITE DESIGN BASED ON TOPOGRAPHIC SURVEY COMPLETED 11-20-2020 BY LUK & ASSOCIATES, INC.
- SITE DESIGN BASED ON GEOTECHNICAL INVESTIGATION COMPLETED 12-14-2020 BY ROLLO & RIDLEY GEOTECHNICAL ENGINEERS & SCIENTISTS. SHOULD CONFLICT ARISE BETWEEN DRAWINGS AND GEOTECHNICAL REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- SEE SPECIFICATIONS FOR CONSTRUCTION METHODS AND MATERIALS NOT LISTED.
- SHOULD CONFLICTS ARISE BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN DIMENSIONS AND QUANTITY. SPECIFICATIONS SHALL GOVERN MATERIALS AND FINISHES.
- ALL ELECTRICAL WORK TO COMPLY WITH TOWN OF ROSS SPECIFICATIONS AND UNDERPARTS LABORATORIES (SAL) SPECIFICATIONS.
- PLANT PROTECTION: ALL WORK PERFORMED WITHIN THE GRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOUR. SEE LAYOUT PLAN FOR RESTRICTIONS. NOTIFY LANDSCAPE ARCHITECT AND ARBORIST WHEN CONSTRUCTION ACTIVITIES MAY DAMAGE EXISTING PLANTS TO REMAIN.
- REPLACEMENT OF EXISTING TREES TO REMAIN: REPLACE EXISTING TREES TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION WITH ACCEPTED TREES OF SAME SPECIES AND SIZE AS THOSE DAMAGED AT NO COST TO OWNER. LANDSCAPE ARCHITECT WILL DETERMINE EXTENT OF DAMAGE AND VALUE OF DAMAGED PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR PHOTO DOCUMENTATION OF ALL CLOSED IN WORK.
- SUBMITTALS AND APPROVALS: NOTIFY LANDSCAPE ARCHITECT FIVE (5) WORKING DAYS PRIOR TO ALL SITE VISITS AND APPROVALS.
- ARBORIST REPORT: SEE 04-01-2021-BY URBAN TREE MANAGEMENT.
- ALL EARTHWORK INCLUDING SITE CLEARING, PIER DRILLING AND SPREAD FOOTING EXCAVATION, PREPARATION OF SUBGRADE AND SELECT FILL, BENEATH SLABS-ON-GRADE AND OTHER PLATWORK, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCED NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY TO EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- CONTRACTOR TO VISIT SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK INVOLVED.
- CONTRACTOR TO REMOVE ALL OBSTRUCTIONS BOTH BELOW AND ABOVE GROUND, AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- BID IS TO BE SUBMITTED ON A LINE ITEM BASIS WITH UNIT PRICING WHERE APPLICABLE.
- NOTIFY LANDSCAPE ARCHITECT IN WRITING OF CONFLICTS BETWEEN ARCHITECTURAL PLANS, ENGINEERING PLANS AND LANDSCAPE PLANS.
- BIDDING: DEDUCT ALTERNATES IN BID SHALL BE OBTAINED SEPARATELY AS DEDUCT ALTERNATES IN BID FORM BY CONTRACTOR. DEDUCT ALTERNATES MUST BE ACCEPTED IN WRITING BY CLIENT AND LANDSCAPE ARCHITECT.
- BIDDING: CONTRACTOR IS TO BE PRIME CONTRACTOR AND HAVE SUBCONTRACTOR AS NECESSARY. CONTRACTOR SHALL NOT HAVE CLIENT CONTRACT WITH SUBCONTRACTORS DIRECTLY.
- SCHEDULE: CONTRACTOR TO FURNISH A SCHEDULE TO CLIENT ON A WEEKLY BASIS. SCHEDULE SHALL OUTLINE COMPLETION DATE AND WORK TO BE COMPLETED DURING CURRENT MONTH.
- FINAL WALK THROUGH: CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE FOR FINAL WALK THROUGH. PROJECT IS NOT COMPLETE UNTIL ALL WORK THROUGH PUNCH LIST HAS BEEN COMPLETED AND CONFIRMED BY LANDSCAPE ARCHITECT.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT (USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK.
- ALL UTILITY BOX COVERS SHALL BE BLACK.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
L0.0	COVER SHEET
L0.1	TREE PROTECTION & DEMOLITION
L0.2	EXISTING IMPERVIOUS COVERAGE PLAN
L0.3	NEW IMPERVIOUS PLAN
L0.4	ARBORIST REPORT
L0.5	ARBORIST REPORT
L1.0	LAYOUT PLAN
L1.1	MATERIALS LIST & NOTES
L2.0	GRADING PLAN
L3.0	IRRIGATION PLAN
L3.1	IRRIGATION LEGEND AND NOTES
L3.2	IRRIGATION DETAILS
L3.3	IRRIGATION DETAILS
L3.4	IRRIGATION DETAILS
L3.5	IRRIGATION DETAILS
L3.6	IRRIGATION WATER CALCULATIONS
L3.7	HYDROZONE PLAN
L4.0	PLANTING PLAN
L4.1	PLANT LIST & NOTES
L4.2	PLANTING DETAILS
L4.3	VMP
L4.4	VMP NOTE & LIST
L5.0	LIGHTING PLAN
L5.1	LIGHTING SCHEDULE & NOTES
L6.0	PAVING DETAILS
L6.1	STAIR & WALL DETAILS
L6.2	SPECIALTY DETAILS
L6.3	DRAINAGE DETAILS
L7.0	POOL & SPA LAYOUT PLAN
L7.1	POOL & SPA DETAILS

SUBMITTALS AND MEETINGS

- ORIENTATION / RDC OFF MEETING
- ROUGH GRADING
- FENCE LAYOUT
- HARDSCAPE LAYOUT
- FINE GRADING
- IRRIGATION MAINLINE
- DELIVERY OF ALL LARGE PLANTS (15 GAL & UP)
- INSTALLATION OF ALL PLANTS
- INSTALLATION OF LAWN
- PRELIMINARY WALK THROUGH AND PUNCH LIST
- OPERATION OF ALL FIRE FEATURES AND WATER FEATURES
- OPERATION OF POOL AND SPA
- FINAL WALK THROUGH AND ACCEPTANCE OF PUNCH LIST
- NIGHT FOCUS
- ALL INSPECTIONS BY TOWN OF ROSS
- SEE PLANS AND DETAILS FOR MATERIALS SHOP DRAWINGS SUBMITTALS AND APPROVALS

VICINITY MAP



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Landscapes Architecture

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San Francisco, California 94107

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7 UPPER AMES AVE
Ross, CA 94957

Revisions

202402 PLAN CHECK
2/21 REVISIONS

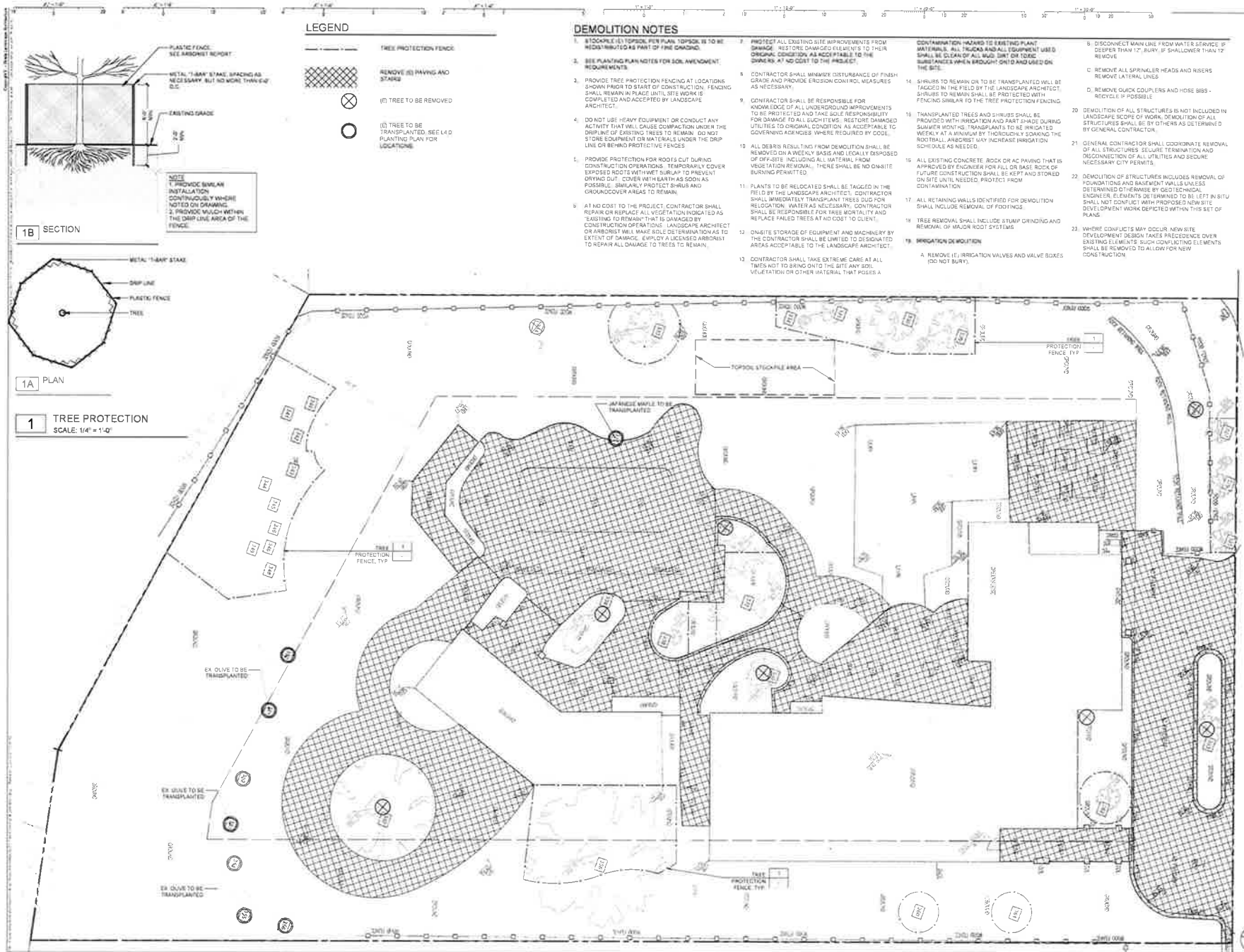
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Project # 0000
Date: 24 MAY 2021

PERMIT SET

COVER SHEET

L0.0



7 UPPER AMES AVE
Ross, CA 94957

Revised

05/24/22 PLAN CHECK
02/1 REVISIONS

Sheet by: DM/RY
Drawing Scale: 1"=10'-0"
Project #: 0030
Date: 24 MAY 2021

PERMIT SET

**TREE PROTECTION
& DEMOLITION**

L0.1

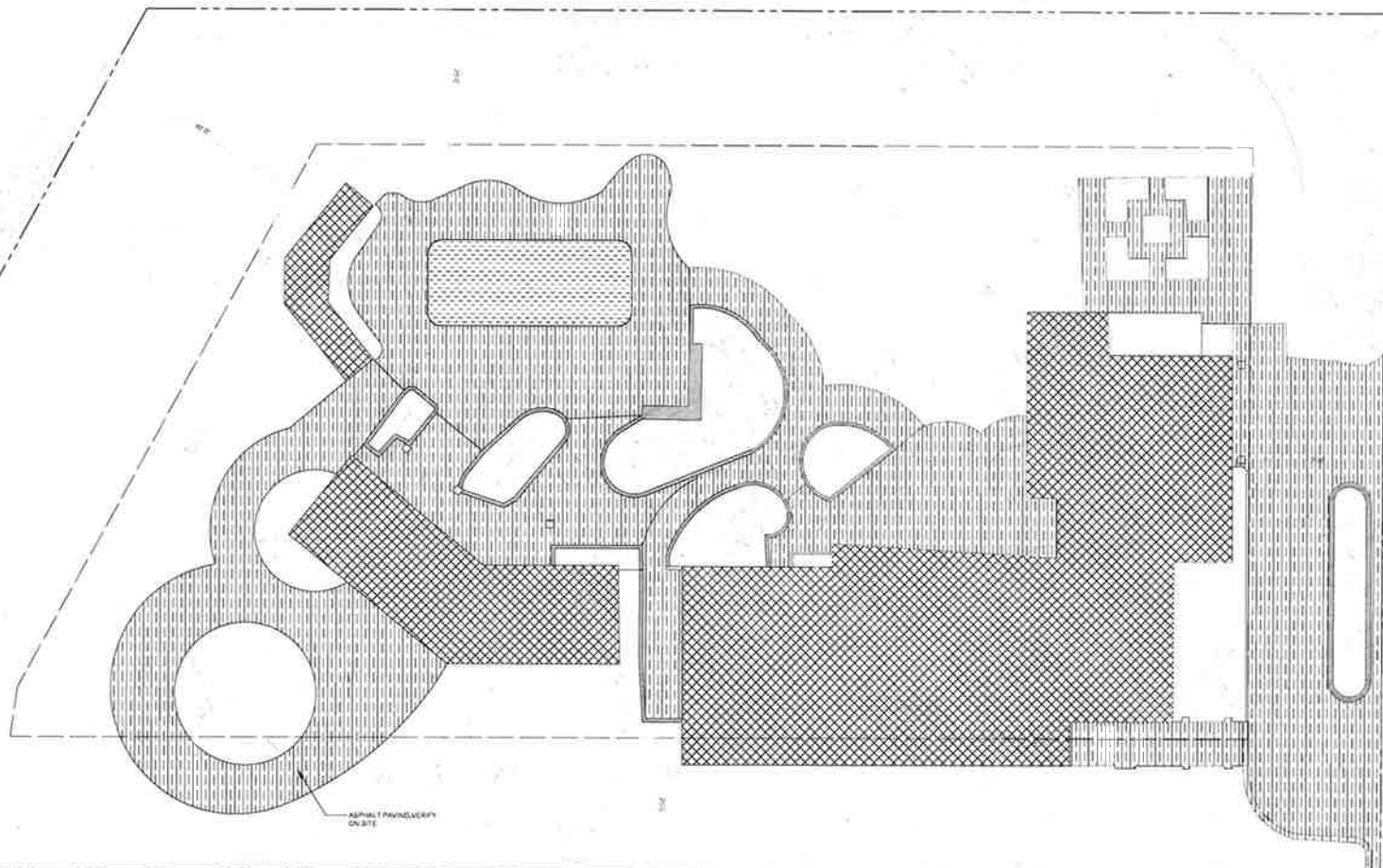


LEGEND

	(I) IMPERMEABLE MAIN HOUSE & GREENHOUSE POOL HOUSE & GARAGE/ADU	5,182 SF
	(I) IMPERMEABLE AREA PAVING	8,766 SF
	(I) IMPERMEABLE AREAS SEAT WALLS PLANTER WALL & CURBS	279 SF
	(I) IMPERMEABLE AREAS POOL	604 SF
	(P) PERMEABLE AREAS PLANTING GRAVEL PATH	

TOT AREA: 14,851 SF

TOTAL IMPERMEABLE AREA: 14,732 SF



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San Francisco, California 94107

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Ross, CA 94957

Revisions

05/26/21	PLAN CHECK
02/11/21	REVISIONS

Sheet by: DMH
Drawing Scale: 1"=10'-0"
Project #: 2020
Date: 24 MAR 2021

PERMIT SET

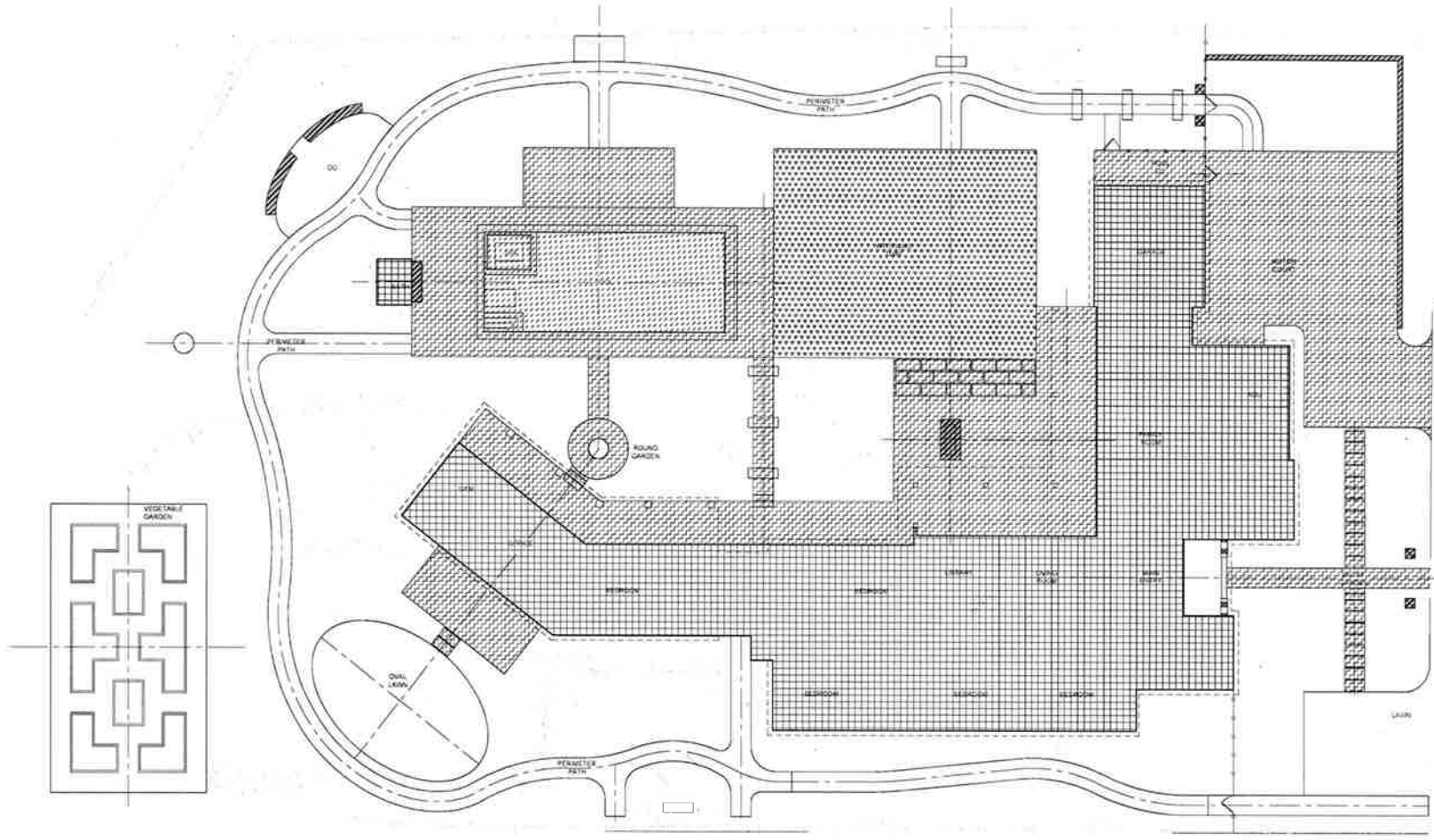
EXISTING
IMPERVIOUS
COVERAGE PLAN

L0.2



LEGEND

	(N) IMPERMEABLE AREAS - BUILDING	306 SF		(N) IMPERMEABLE PAVING	8,007 SF		(N) PERMEABLE AREAS - DO PATH & STEPPING STONES/PLANTING AREAS/LAWN	NO HATCH
	(E) IMPERMEABLE AREAS - MAIN HOUSE/POOL, HOUSES, GARAGE/ADD	6,320 SF		(N) IMPERMEABLE AREAS - ARTIFICIAL TURF	1,074 SF		LOF AREA 42,350 SF	
	(N) IMPERMEABLE AREAS - WALL	307 SF		(N) IMPERMEABLE AREAS - POOL	840 SF		TOTAL IMPERMEABLE AREA 12,546 SF	



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Ross, CA 94957

Revisions
 02/22 PLAN CHECK
 01/21 REVISIONS

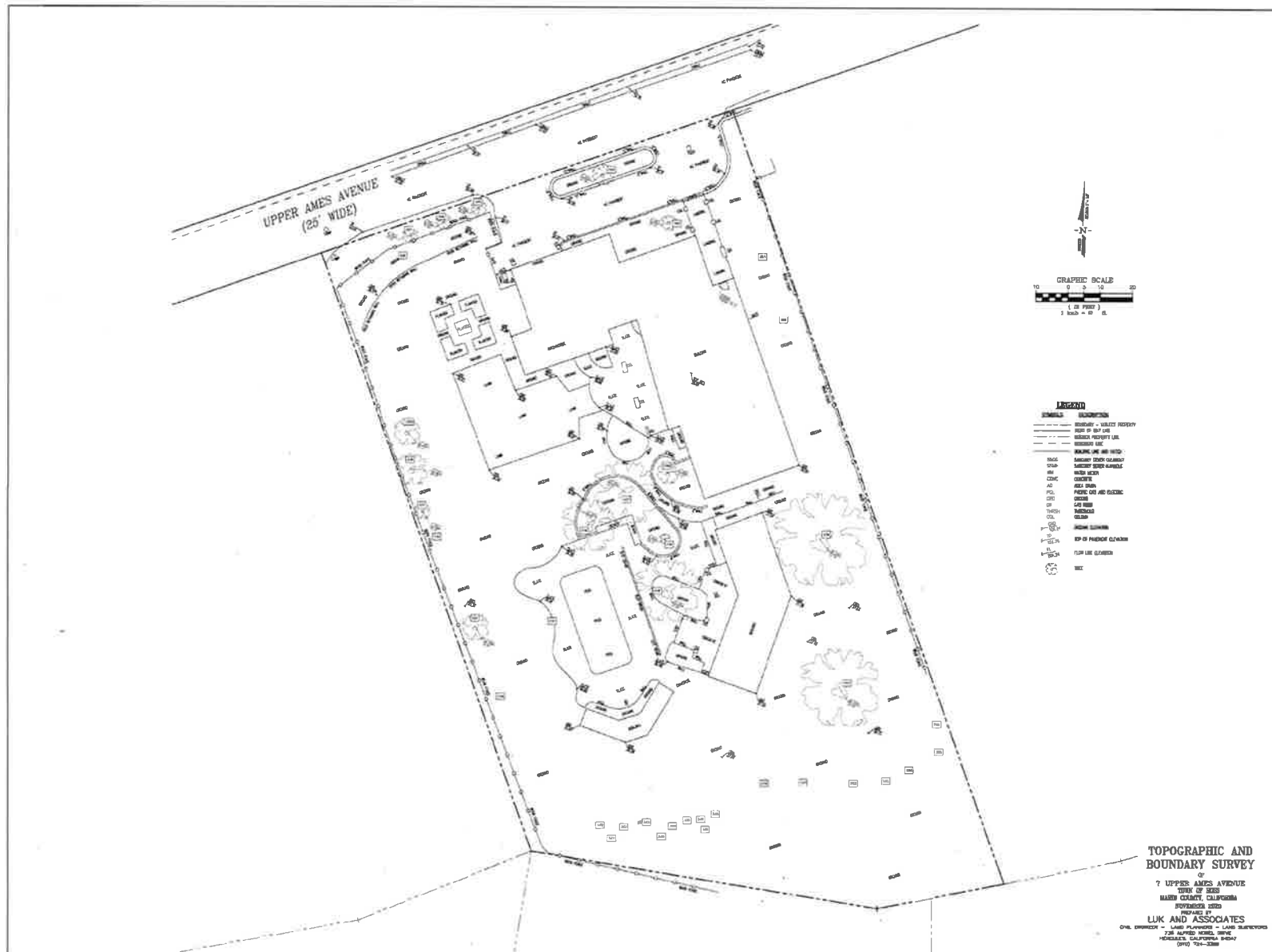
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 Project #: 0206
 Date: 24 MAY 2021

PERMIT SET

**NEW IMPERVIOUS
PLAN**

L0.3





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7 UPPER AMES AVE
Ross, CA 94857

Revisions

05/24/21 PLAN CHECK
02/1 REVISIONS

Sheet by CMFY

Project# 0000

Date: 24 MAY 2021

PERMIT SET

ARBORIST REPORT

L0.5

**TOPOGRAPHIC AND
BOUNDARY SURVEY**

7 UPPER AMES AVENUE
TOWN OF ROSS
MARIN COUNTY, CALIFORNIA

PREPARED BY
LUK AND ASSOCIATES
ONE, BRIMLEY - LAKES PLAZA - LAKES SUBDIVISION
738 ALPINE ROAD, SUITE
HERNDON, CALIFORNIA 94024
(925) 754-3388

DATE: 05/24/21 REVISION: 02/1

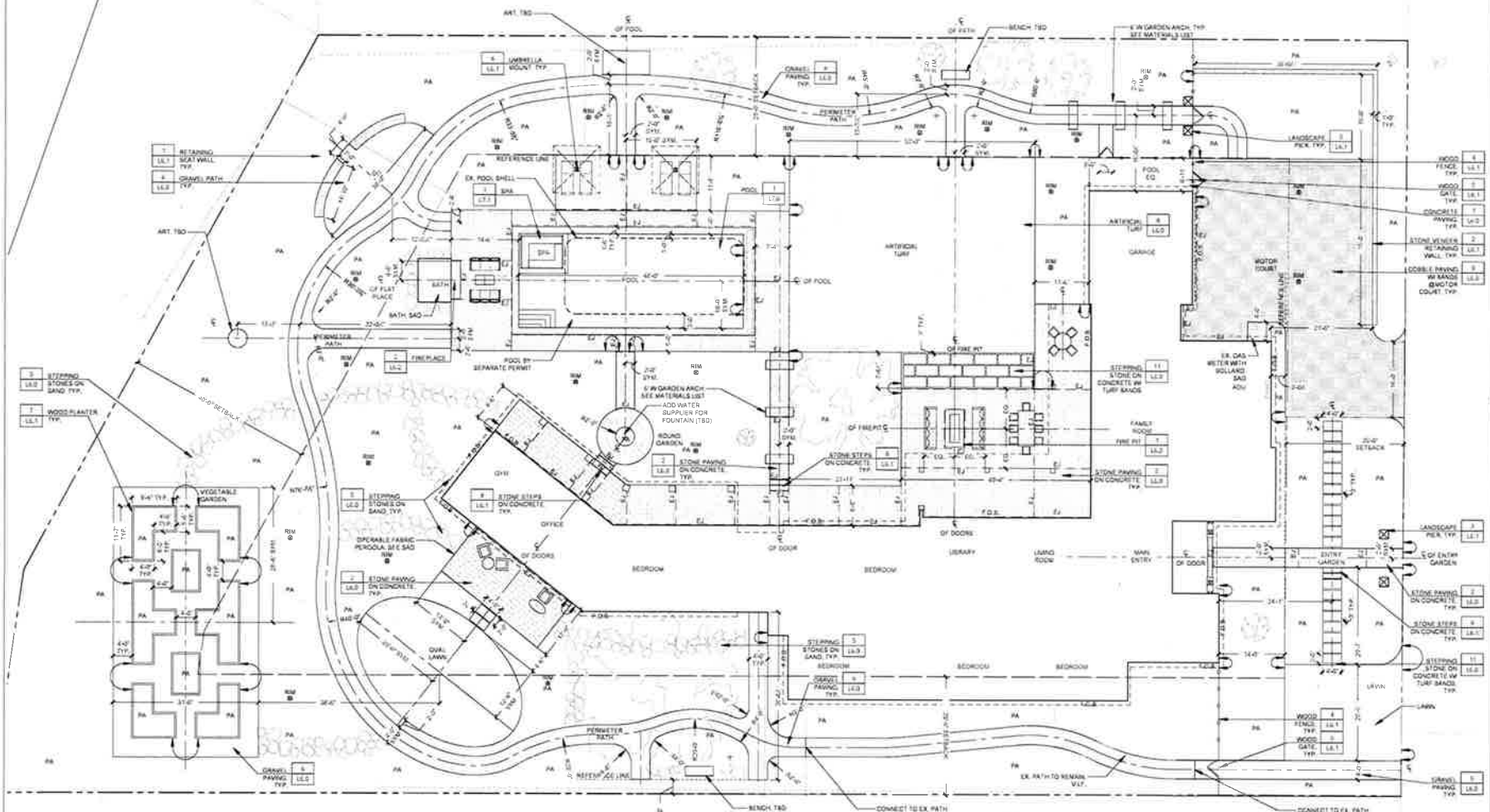
LAYOUT LEGEND

- (B) EXISTING
- (N) NEW
- CB GATE BASH
- 1 CENTERLINE
- CLR CLEAR
- DN DOWN
- EL EXPANSION JOINT
- EQ EQUAL
- FOB FACE OF BUILDING
- LA LANDSCAPE ARCHITECT
- PA PLANTING AREA
- 1 PROPERTY LINE
- RI RISE/ELEVATION
- SAD SEE ARCHITECTURAL DRAWINGS
- SSD SEE STRUCTURAL DRAWINGS
- SCD SEE CIVIL DRAWINGS
- SYM SYMMETRICAL
- TSD TO BE DETERMINED
- TYP TYPICAL
- VIF VERIFY IN FIELD

AREA DRAWN PLANTING

SLOPE DIRECTION AND GRADE

PROPERTY LINE



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Ross, CA 94957

Revisions
05/26/22 PLAN CHECK
001 REVISIONS

Sheet by: DMW
Drawing Scale: 1"=10'-0"
Project #: 0000
Date: 24 MAY 2021

PERMIT SET

LAYOUT PLAN

L1.0

LAYOUT NOTES

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
2. VERIFY LOCATION OF ALL VALVES, ELECTRICAL OUT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
3. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
4. TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING OR TO CENTERLINE OF BUILDING COLUMNS OR TAKES UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS CALLED OUT AS "EQUAL" (EQ) SHALL BE EQUIVALENT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
6. ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
7. ALL ANGLES SHALL BE 90 DEGREES AND ALL LINES SHALL BE HELD PARALLEL UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
8. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE ENLARGED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
9. INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.
10. ALL WORK PERFORMED WITHIN THE TREE PROTECTION ZONE AND/OR THE DUMP LINE OF TREES DESIGNATED AS "EXISTING TREES TO REMAIN" SHALL BE HAND LABELED. NO ADDITION TWO INCHES OR LARGER IN CALIPER SHALL BE SEVERED WITHOUT REVIEW AND ACCEPTANCE BY ARCHITECT.
11. CONTRACTOR TO RETAIN CONTROL SAMPLES FOR ALL MATERIALS FOR CONFIRMATION BY OWNER AND LANDSCAPE ARCHITECT.
12. OUTDOOR KITCHEN (UNLESS OTHERWISE NOTED) COUNTERTOPS SHALL HAVE A TURN DOWN EDGE WITH A MITERED JOINT. THE FINISH ON THE FACE OF THE COUNTER SHALL MATCH THE TOP OF THE COUNTER AND SHALL HAVE A 1/4" RASED EDGE. A LAMINATED EDGE DETAIL WILL NOT BE ACCEPTED.
13. ALL VENDOR SUBSTITUTIONS MUST BE APPROVED IN WRITING FROM LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES RIGHT TO REJECT ANY MATERIALS PROVIDED UNLESS APPROVED IN WRITING. RECEIPTS FROM VENDORS ARE TO BE SUBMITTED TO LANDSCAPE ARCHITECT TO PROVE SUPPLIER.
14. STONE SHOP DRAWINGS: STONE VENDOR IS TO PROVIDE SHOP DRAWINGS FOR ALL STONE FOR APPROVAL BY LANDSCAPE ARCHITECT. SHOP DRAWINGS MUST BEAR TITLE BLOCK OF VENDOR.
15. STONE CONTROL SAMPLES: ON THE BASIS OF REVIEW OF THE SAMPLES, THE LANDSCAPE ARCHITECT MAY REQUEST A RESUBMITTAL AT NO COST TO OWNER. ACCEPTED SAMPLES SHALL ESTABLISH THE DESIGN APPEARANCE OF UNITS SPECIFIED. EACH TYPE COLOR AND FINISH ARE REQUIRED TO HAVE CONTROL SAMPLES. CONTROL SAMPLE SHALL BE A MINIMUM OF SIX PLYERS SHOWING THE MAXIMUM ALLOWED INCLUSIONS, VENS, MOVEMENT AND COLOR. A SET OF SIX SAMPLES SHALL BE CUT INTO THREE PIECES, ONE SET SHALL BE HELD BY LANDSCAPE ARCHITECT, ONE BY CONTRACTOR AND ONE BY THIRD PARTY. INSPECTOR TO ENSURE STONE MEETS EXPECTATIONS PRIOR TO SHIPMENT. IF MATERIAL IS REJECTED BEYOND OVERAGE ORDERED, REPLACEMENT MATERIAL SHALL BE AIR FREIGHT DELIVERED TO SITE AT NO COST TO OWNER. A MINIMUM OF 2% OF STONE SHALL BE PROVIDED TO OWNER FOR REPAIR WORK AT COMPLETION OF PROJECT AT NO COST TO OWNER. IF MORE THAN 2% OF MATERIAL IS REJECTED FOR ANY SCOPE OF WORK, THE ENTIRE MATERIAL TYPE WILL BE CONSIDERED REJECTED.
16. STONE QUALITY CONTROL: STONE VENDOR IS TO HIRE AN INSPECTOR TO VISIT STONE PRIOR TO SHIPMENT AND TO VERIFY STONE MEETS CONTROL SAMPLES. A COPY OF THE INSPECTION FORM MUST BE SENT TO LANDSCAPE ARCHITECT UPON SHIPPING OF STONE.
17. PAVING AND WALL MOCKUPS: BEFORE INSTALLING PAVING, CONSTRUCT MOCK-UPS TO VERIFY SELECTIONS MADE UNDER SAMPLE SUBMITTALS AND TO DEMONSTRATE AESTHETIC EFFECTS AND QUALITIES OF MATERIALS AND EXECUTION. BUILD MOCK-UPS TO COMPLY WITH THE FOLLOWING REQUIREMENTS: USING MATERIALS INDICATED FOR COMPLETED WORK. CONSTRUCT IN THE LOCATION INDICATED OR IF NOT INDICATED, AS DIRECTED BY THE LANDSCAPE ARCHITECT. MOCK-UP TO BE APPROXIMATELY 16 SQUARE FEET (48 X 48"). NOTIFY LANDSCAPE ARCHITECT NOT LESS THAN 5 WORKING DAYS IN ADVANCE OF THE DATES AND TIMES WHEN MOCKUPS WILL BE CONSTRUCTED. THE LANDSCAPE ARCHITECT MAY REQUIRE MINOR MODIFICATIONS TO BE MADE TO THE MOCKUPS. REVISED MOCK-UP SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL ALLOW FOR UP TO TWO MODIFICATIONS IN THE CONTRACT. MAINTAIN ACCEPTED MOCK-UPS DURING CONSTRUCTION IN AN UNDISTURBED CONDITION AS A STANDARD FOR JUDGING THE COMPLETED WORK. APPROVAL OF MOCKUPS DOES NOT CONSTITUTE APPROVAL OF DEVIATIONS FROM THE CONTRACT UNLESS SUCH DEVIATIONS ARE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT IN WRITING. WHEN DIRECTED, DEMOLISH AND REMOVE MOCK-UPS FROM PROJECT SITE. APPROVED MOCK-UPS IN AN UNDISTURBED CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION MAY BECOME PART OF THE COMPLETED WORK.
18. STONE SEALER: STONE IS TO RECEIVE DRY TREAT STAIN PROOF OR APPROVED SEALER. CONTRACTOR TO PROVIDE MOCKUP OF EACH TYPE OF STONE WITH SEALER FOR APPROVAL BY CLIENT AND LANDSCAPE ARCHITECT. SEALER IS TO BE APPLIED PRIOR TO GROUT INSTALLATION. STONE SHALL BE CLEAN & PREPARED PER MANUFACTURER RECOMMENDATIONS.
19. STRUCTURAL EPOXY: WHERE CALLED OUT IN DETAILS, EPOXY IS TO BE SIMPSON SET-UP OR APPROVED EQUAL.
20. SHOP DRAWINGS: INCLUDE LARGE SCALE DRAWINGS FOR FABRICATION AND ERECTION OF ASSEMBLIES NOT COMPLETELY SHOWN BY MANUFACTURER'S PRODUCT DATA.
21. SHOP DRAWINGS: INCLUDE AS APPROPRIATE, PLANS, ELEVATIONS, COMPLETE DETAILS, THICKNESSES, SIZES, TYPES, GRADES, CLASSES OF METAL, CONNECTING AND JOINING METHODS, ANCHORAGES.
22. WHERE DECORATIVE METAL IS INDICATED TO FIT TO OTHER CONSTRUCTION, VERIFY DIMENSIONS OF OTHER CONSTRUCTION BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAYING THE WORK.

MATERIALS LIST

MATERIAL	MANUFACTURER/SUPPLIER	STYLE/COLOR	FINISH/DETAIL	NOTES/CONTACT
PAVING				
STONE PAVING	DAVINCI MARBLE	BLUE NOBIL Limestone	2CM THICKNESS, FLAMED + BRUSHED FINISH	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
STEPPING STONE ON SAND	PENINSULA BUILDING MATERIALS	SUBJECT BLUE Limestone	2" THICK X VARIED SIZES, NATURAL CLEFT	MARCOS GUZMAN MARCOS@PBM193.COM OR 877 282 2522
HISTORIC COURT COURSE	PENINSULA BUILDING MATERIALS	NOTA BASALT	3" THICK, 4" X 12" FLAMED FINISH	MARCOS GUZMAN MARCOS@PBM193.COM OR 877 282 2522
HISTORIC COURT BAND COURSE	PENINSULA BUILDING MATERIALS	NOTA BASALT	3" THICK, 4" X 12" FLAMED FINISH	MARCOS GUZMAN MARCOS@PBM193.COM OR 877 282 2522
SPRINKLER PAVING	PENINSULA BUILDING MATERIALS	YOGESWITE TAN	24" DIA.	MARCOS GUZMAN MARCOS@PBM193.COM OR 877 282 2522
METAL HEADER	SEE DETAIL			
ARTIFICIAL TURF	ONE LAWN	PLATINUM SERIES		ATILIO BASSO ATILIO.BASSO@ONELAWN.COM OR 415 740 9322
DRIGHT FOR STONE PAVING	LATICRETE	PERMACOLOR COLORED AGG. NATURAL AGG. 8/16"	SEE GROUT JOINTS	CONFIRM IN FIELD W/ LANDSCAPE ARCHITECT
WALLS & STEPS				
RETAINING WALL VENEER @ MOTOR COURT	DAVINCI MARBLE	BLUE NOBIL Limestone	2" THICK, FLAMED AND BRUSHED FINISH, TOP AND EXPOSED SIDES	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
RETAINING SEAT WALL VENEER @ PLAYGROUND	DAVINCI MARBLE	BLUE NOBIL Limestone	2" THICK, FLAMED AND BRUSHED FINISH, TOP AND EXPOSED SIDES	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
LANDSCAPE PIER CAP	DAVINCI MARBLE	BLUE NOBIL Limestone	2CM THICKNESS, FLAMED + BRUSHED FINISH	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
LANDSCAPE PIER STONE VENEER	DAVINCI MARBLE	BLUE NOBIL Limestone	2" THICK, FLAMED AND BRUSHED FINISH, TOP AND EXPOSED SIDES	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
STONE VENEER GROUT	LATICRETE	AGG. NATURAL SANDED PERMICOLORED		CONFIRM IN FIELD W/ LANDSCAPE ARCHITECT
POOL & SPA				
WATER LINE TILE	FIRECLAY TILE	MULTICOLOR	CLOSET 8' X 16" CUSTOM SIZE	WENDY RUFFIER WENDY@FIRECLAYTILE.COM LANDSCAPE ARCHITECT TO APPROVE SAMPLE PRIOR TO PURCHASE
SPA COPING - GRANTE	DAVINCI	ARISTOTE BLANCH	FLAMED + BRUSHED FINISH, HOLE LENDING EDGE	ELIZABETH VELASCO ELIZABETH@DAVINCMARBLE.COM
POOL COPING	DAVINCI MARBLE	BLUE NOBIL Limestone	2" THICKNESS, FLAMED + BRUSHED FINISH	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
POOL COVER	POOL COVERING, INC.	DAVINK GRAY		POOLCOVERING.COM
POOL & SPA INTERIOR FINISH	WET EDGE	PRIMERA STONE, MIGHTY BRIDGE	PRIMERA STONE	VERIFY W/ LANDSCAPE ARCHITECT
POOL DRAIN COVER	COLOR MATCH FITTING, INC.	UNLOCKABLE CHANNEL, PEBBLE TOP, BRASS COVER		WWW.POOLFITTING.COM/COLOR-MATCH-PEBBLE-TOP
GROUT @ SPA COPING	LATICRETE	PERMACOLOR SANDED COLOR AGG. NATURAL	SANDED	LATICRETE.COM VERIFY COLOR WITH LANDSCAPE ARCHITECT
GROUT @ COPING	LATICRETE	PERMACOLOR SANDED COLOR AGG. NATURAL	SANDED	LATICRETE.COM VERIFY COLOR WITH LANDSCAPE ARCHITECT
SPECIALTY				
WOOD GATE	SEE DETAIL 16A.1			
WOOD FENCE	SEE DETAIL 16A.2			
TIME PLACE MONITOR SYSTEM	SEE DETAIL 16A.3			
FIRE PLACE FIREBRICK	WHOLE ARCHITECTURAL STONE	NORTH BAYVIEW FIREBRICK	RE-STATE VALVE, LOCATION TBD	808 808 808 1477 407 4822
FIRE PLACE BURNER	FIRE BY DESIGN	STAINLESS STEEL - LINEAR AWEIS SC SYSTEM	TBD	1261 729 2226
FIRE PLACE HEARTH	DAVINCI MARBLE	BLUE NOBIL Limestone	FLAMED AND BRUSHED FINISH, SEE DWGS	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
FIRE PLACE MANTLE	BLAZING GLASS	CRUSHED BLACK GLASS 1" TO 2"		CONFIRM W/ LANDSCAPE ARCHITECT 808 992 5232 AND WWW.BLAZINGGLASS.COM
FIRE PLACE STONE VENEER	DAVINCI MARBLE	BLUE NOBIL Limestone	2" THICK, FLAMED AND BRUSHED FINISH, PROVIDE CORNERS	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
FIRE PIT CAP	DAVINCI MARBLE	BLUE NOBIL Limestone	2CM THICKNESS, FLAMED + BRUSHED FINISH	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
FIRE PIT EXTERIOR VENEER	DAVINCI MARBLE	CANYON CREEK THIN VENEER	2" THICK, FLAMED AND BRUSHED FINISH, PROVIDE CORNERS	ERIKA MEDINA (650) 595 2500 EXT. 148 OR ERIKA@DAVINCMARBLE.COM
FIRE PIT MANTLE	BLAZING GLASS (TBD)	WEDDING LAVA ROCK	MADE FROM 1" TO 2" IN DIAMETER	WWW.BLAZINGGLASS.COM
FIRE PIT IGNITION SYSTEM	SEE DETAIL 16A.2			808 808 808 1477 407 4822
FIRE PIT SHUT OFF VALVE	SEE DETAIL 16A.2		LOCATION TBD	808 808 808 1477 407 4822
8" WIDE GARDEN ARCH	GARDEN ARTISANS	MOIST GARDEN ARCH TBR	6" WIDE	WWW.GARDENARTISANS.COM
8" WIDE GARDEN ARCH	GARDEN ARTISANS	MOIST GARDEN ARCH TBR	6" WIDE	WWW.GARDENARTISANS.COM

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Revised:
02/24/21 PLAN CHECK
021 REVISIONS

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Date: 24 MAY 2021

PERMIT SET

MATERIALS LIST &
NOTES

L1.1

GRADING LEGEND

ES	EXISTING
NO	NEW
BW	BOTTOM OF WALL
CB	CATCH BASIN
A	CONTINUOUS
DLR	DOWN
DI	DOWN
DN	DOWN
EJ	EXPANSION JOINT
EQ	LOCAL
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FOB	FACE OF BUILDING
LA	LANDSCAPE ARCHITECT'S
PA	PLANTING AREA
K	PROPERTY LINE
RI	RIM ELEVATION
SAD	SEE ARCHITECTURAL DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
SYM	SEE CIVIL DRAWINGS
SYN	SYMMETRICAL
TBD	TO BE DETERMINED
TP	TOP OF PAVING
TS	TOP OF STAIRSTEP
TW	TOP OF WALL
TYP	TYPICAL
VF	VERIFY IN FIELD

GRADING NOTES

1. ALL DRAINAGE PIPE SIZING, PIPE MATERIAL, SPECIFICATION, INVERTS, AND CONNECTIONS BY CONTRACTOR.
2. INSTALL SLEEVES IN ALL WALLS AND UNDER ALL NEW PAVING. REFERENCE SLEEVING PLAN, IRRIGATION PLAN AND LIGHTING PLAN FOR OTHER SLEEVE LOCATIONS.
3. VERIFY ALL FFE AND NOTIFY LANDSCAPE ARCHITECT OF ALL INCONSISTENCIES PRIOR TO CONSTRUCTION.
4. VERIFY ELEVATIONS OF ALL EXISTING BUILDINGS, WALLS, DRAINAGE, ROADS AND CURBS AFFECTING LANDSCAPE. SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
5. VERIFY LOCATION OF ALL DRAINS, MANHOLES, CONDUIT AND PIPING WITH THE ENGINEERING DRAWINGS AND SURVEY.
6. HOLD FENCES AND TOPS OF WALLS LEVEL UNLESS INDICATED OTHERWISE. HOLD ALL FENCE POSTS PLUMB REGARDLESS OF ADJACENT SLOPES.

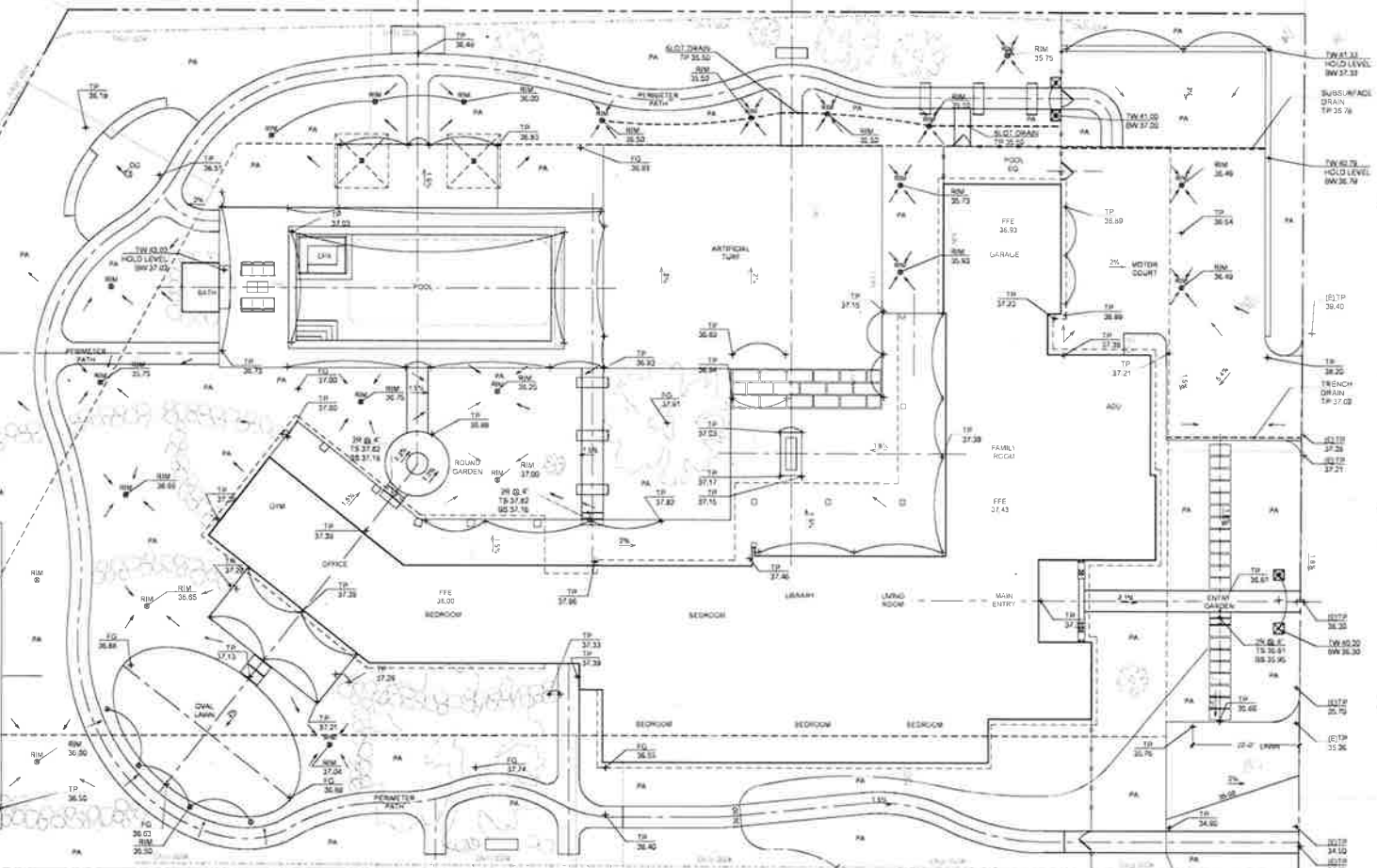
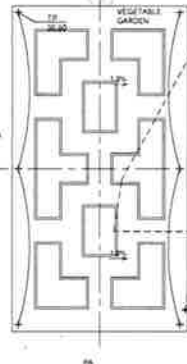
7. PROVIDE SMOOTH, EVEN TRANSITIONS BETWEEN SLOPES AND RELATIVELY LEVEL AREAS. MAINTAIN UNIFORM SLOPES OF GRADING WITHOUT LOW SPOTS OR LOCALIZED MOUNDS UNLESS CALLED FOR ON DRAWINGS. ROUND OFF TOPS AND TOES OF SLOPES.
8. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN SPOT ELEVATIONS GIVEN.
9. MINIMUM SLOPE IN ALL PAVED AREAS 1%. MINIMUM IN ALL PLANTED AREAS 2%. MAXIMUM 20%.
10. PROVIDE STUBOUTS TO EACH PLANTER POT AT LOCATIONS INDICATED FOR INDIVIDUAL DRAINAGE OF POTS. IRRIGATION WATER FROM POTS SHALL NOT BE ALLOWED TO DRAIN OUT AND ACROSS SURFACE OF PAVING. SEE PLANTING PLAN.
11. ALL GRADES DISTURBED DURING INSTALLATION OF IRRIGATION LINES AND EQUIPMENT SHALL BE RESTORED PRIOR TO

COMMENCEMENT OF PLANTING OPERATIONS

12. ALL GRADED AREAS SHALL BE TRUE TO GRADE WITHIN ONE INCH WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE.
13. ALL WORK PERFORMED WITHIN THE DRAIN LINE OF TREES DESIGNATED EXISTING TREES TO REMAIN SHALL BE HAND LABOR. SEE LAYOUT PLAN FOR RESTRICTIONS.
14. NO CORRUGATED PVC PIPING SHALL BE USED FOR SITE DRAINAGE.
15. COORDINATE FINISH GRADING TO CONCLUDE WITH DELIVERY OF PLANT MATERIALS SO AS TO NOT HINDER THE PROGRESS OF THE PLANTING.
16. COMPLY WITH ALL LOCAL STANDARDS AND CODES FOR EROSION

CONTROL AND SITE APPEARANCE

17. IMPORTED TOPSOIL: CONTRACTOR TO SUBMIT SOURCE AND TESTING DATA FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
18. ELEVATION UNITS ARE IN FEET AND DECIMALS.
19. CONNECT ALL WALL DRAINS TO STORM DRAIN SYSTEM. SUBMIT A PLAN TO LANDSCAPE ARCHITECT FOR STORM DRAIN SYSTEM.
20. LAWN: NO UTILITY BOXES, IRRIGATION BOXES OR EXPOSED DRAINS SHALL BE LOCATED IN LAWN AREAS. NOTIFY LANDSCAPE ARCHITECT IN WRITING IF THERE IS A CONFLICT WITH THE PLANS.
21. NOTIFY LANDSCAPE ARCHITECT IN WRITING OF CONFLICTS BETWEEN CIVIL ENGINEERING PLANS AND LANDSCAPE PLANS.



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2/21 REVISED

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Project #: 0000
Date: 24 MAY 2021

PERMIT SET

GRADING PLAN

L2.0

NOTES:

- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVING. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UN-SIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
1.5"	21-32 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

0.75"	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT
- EACH DRIP ZONE SHALL RECEIVE A FLUSH VALVE AND OPERATION INDICATOR AT FARTHEST ENDS OF EACH SYSTEM.
- CONTRACTOR TO INSTALL ALL IRRIGATION PIPING TO GO AROUND ALL UTILITY BOX, LIGHTS, SIGNS, ETC. (DRAWINGS ARE DIAGRAMMATIC).
- CONTRACTOR TO LOCATE REMOTE CONTROL VALVE BOXES AWAY FROM PROMINENT, HIGHLY VISIBLE LOCATION. CONTACT LANDSCAPE ARCHITECT FOR EXACT LOCATIONS.

IRRIGATION CONTROLLER "C" WALL MOUNTED WITHIN POOL EQUIPMENT ROOM AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. (2-WIRE CONTROLLER)

FLOW SENSOR WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS

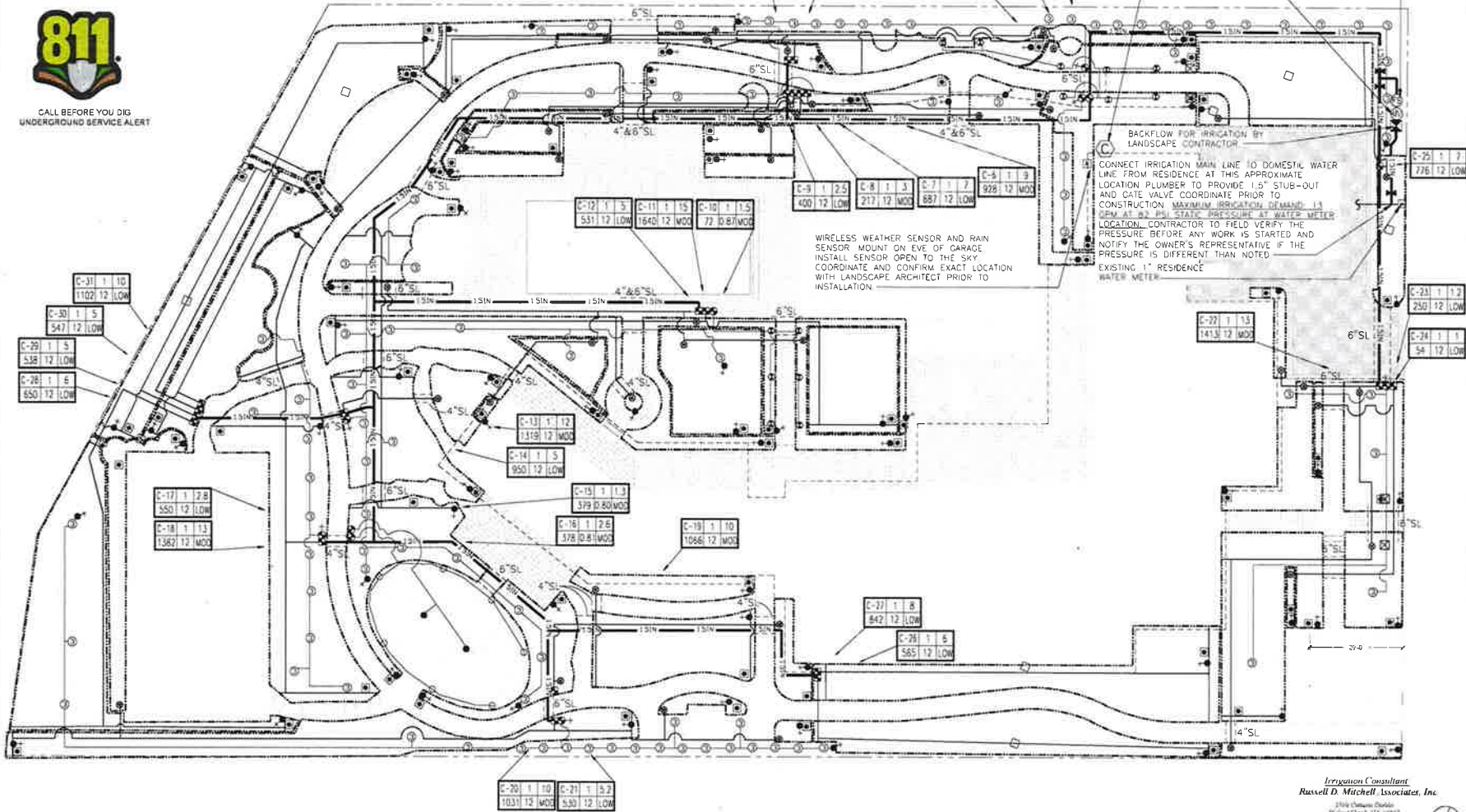
MASTER CONTROL VALVE (LINE SIZE) WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS

BACKFLOW FOR IRRIGATION BY LANDSCAPE CONTRACTOR
 CONNECT IRRIGATION MAIN LINE TO DOMESTIC WATER LINE FROM RESIDENCE AT THIS APPROXIMATE LOCATION. PLUMBER TO PROVIDE 1.5" STUB-OUT AND GATE VALVE COORDINATE PRIOR TO CONSTRUCTION. MAXIMUM IRRIGATION DEMAND: 14 GPM AT 80 PSI. STATIC PRESSURE AT WATER METER LOCATION. CONTRACTOR TO FIELD VERIFY THE PRESSURE BEFORE ANY WORK IS STARTED AND NOTIFY THE OWNER'S REPRESENTATIVE IF THE PRESSURE IS DIFFERENT THAN NOTED. EXISTING 1" RESIDENCE WATER METER

WIRELESS WEATHER SENSOR AND RAIN SENSOR MOUNT ON EYE OF GARAGE. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION



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Revisions

- 05/12/21 PLAN CHECK
- 02/1 REVISIONS
- 05/24/21 PLAN CHECK
- 02/1 REVISIONS

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Project #: 0000
Date: 12 MAY 2021

PERMIT SET

IRRIGATION PLAN

L3.0

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IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED, ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE, THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEMS SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE SHUT-OUT TO THE CONTROLLER(S), PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHOULD BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- IRRIGATION CONTROL WIRES- SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR, PREFERRED WIRE MAKE AND MODEL IS TW-CAB-14 (RAIN MASTER EAGLE) THE PAGE IRRIGATION WIRE. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-Y-8 WATERPROOF SPLICE KIT.
- DECODER GROUNDING SHALL BE PROVIDED EVERY 600 FEET OR EVERY 8 DECODERS, WHICHEVER IS SMALLER, AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH. GROUND WITH A 5/8" X 8" COPPER CLAD GROUNDING ROD #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPLIT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-Y-8.
- SPLICING OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG COIL OF WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS, ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NOS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER) ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS, WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

"A Landscape Irrigation Audit is required. This Audit must be completed by a Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

WATER CONSERVATION STATEMENT
RUSSELL D. MITCHELL AND ASSOCIATES, INC. (RWMA) HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

JOSE E. CRIST
IRRIGATION CONSULTANT-PROJECT MANAGER

Irrigation Consultant
Russell D. Mitchell Associates, Inc.
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(925) 938-3885 • fax (925) 432-7671
www.rdmitchell.com

IRRIGATION LEGEND

SYMBOL	NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
⊕	PROD-06-1P540-CV W1000-90	HUNTER POP-UP SPRAY SPRINKLER WITH NO ROTATOR NOZZLE (TURF)	0.37/0.19	40	12-14
⊕	PROD-06-1P540-CV W1000-360	HUNTER POP-UP SPRAY SPRINKLER WITH NO ROTATOR NOZZLE (TURF)	0.65	30	10-12
⊕	DB-04-PC-CV	1080 BUBBLE (SHRUB) W/IN 1 PER SHRUB	0.088	30	TRICLE
⊕	HOL-04-CV	ON GRADE HUNTER HOL DRIP HANG FOR TREES (3 INCHES PER TREE) SEE DETAIL	0.10	30	TRICLE
⊕	CZ-101	HUNTER REMOTE CONTROL VALVE DRIFZONE KIT			
⊕	CV-100	HUNTER REMOTE CONTROL VALVE			
⊕	CZ-101	HUNTER REMOTE CONTROL VALVE DRIFZONE KIT			
⊕	FLD-10V	HUNTER MANUAL FLUSH VALVE			
⊕	ECO-10	HUNTER ECO-INDICATOR			
⊕	1-340-A-1.25"	NIBCO BRASS BALL VALVE			
⊕	CV-1010	HUNTER MASTER VALVE (NORMALLY CLOSED)			
⊕	HC-100-FLOW	HUNTER FLOW METER-PRIVATE METER			
⊕	B7XLS/U-1"	BURKINS REDUCED PRESSURE BACKFLOW ASSEMBLY			
⊕	HCC-800-PL/FEZ-DM	HUNTER HCC (5A) STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH A EZ DECODER SYSTEM			
⊕	EZ-1	HUNTER SINGLE STATION DECODER (1 PER VALVE)			
⊕	EZ-DM	HUNTER DECODER OUTPUT MODULE FOR HCC CONTROLLERS			
⊕	DUAL-S	HUNTER SURGE ARRESTOR (1 EVERY 1000 FEET ALONG WIRE) REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS			
⊕	NOT SHOWN ON PLANS	ROUTE TWO WIRE CABLE TO ALL REMOTE CONTROL VALVES SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR PREFERRED WIRE MAKE AND MODEL: 5 PAGE ELECTRIC WIRE P10720. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-Y-8 WATERPROOF SPLICE KITS OR APPROVED EQUAL. INSTALL 2 WIRE CABLE WITHIN 1 1/2" SCH 40 ELECTRICAL CONDUIT. PULL BOXES SHALL BE LOCATED EVERY 200' NO SPLICES ARE ALLOWED BETWEEN VALVES. REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS.			
⊕	BR-CLK	HUNTER WIRELESS RAIN-CLK SYSTEM. AUTOMATICALLY SHUTS THE SYSTEM OFF AS SOON AS IT STARTS RAINING.			
⊕		CONTROLLER AND STATION NUMBER			
⊕		REMOTE CONTROL VALVE SIZE (IN INCHES)			
⊕		FLOW (GPM)			
⊕		WATER USE CLASSIFICATION OF ZONE			
⊕		APPLICATION RATE (IN/HR) OR DRIFLINE SPACING			
⊕		AREA (SQ. FT.)			
⊕		ASSOCIATED REMOTE CONTROL VALVE			
⊕		MAIN LINE: 1 1/2" AND SMALLER 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS 18" COVER			
⊕		LATERAL LINE: 3/4" AND LARGER SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS 12" COVER			
⊕		DRIFLINE: 3/4" AND LARGER 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS 12" COVER			
⊕		SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE. FOR PIPE DEPTH OF COVER			
⊕		DRIFLINE REMOTE CONTROL VALVE			
⊕		DRIP ZONE: HUNTER HOL SERIES DRIFLINE WITH BUILT IN PRESSURE COMPENSATION AND CHECK VALVE. PART #HOL-08-12-250-CV. USE PLD FITTINGS. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 0-10 GPM, 1 1/2" 11-20 GPM ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1 1/2" SCH 40 FLEXIBLE PVC USE SCH 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.			
⊕		PVC LATERAL			
⊕		DRIFLINE REMOTE CONTROL VALVE			
⊕		APPROXIMATE CONNECTION POINT BETWEEN DRIFLINE TUBING AND PVC SUPPLY WHEN DRIP ZONE IS LESS THAN 3 GPM AND NO PVC SUPPLY/EXHAUST HEADERS ARE NEEDED. REFER TO DRIFLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.			

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Revisions
06/19/2012 PLAN CHECK
001 REVISIONS
05/24/2012 PLAN CHECK
001 REVISIONS

Sheet by: DMFV
Drawing Scale: NTS
Project# 0000
Date: 12 MAY 2021

PERMIT SET

IRRIGATION
LEGEND AND
NOTES

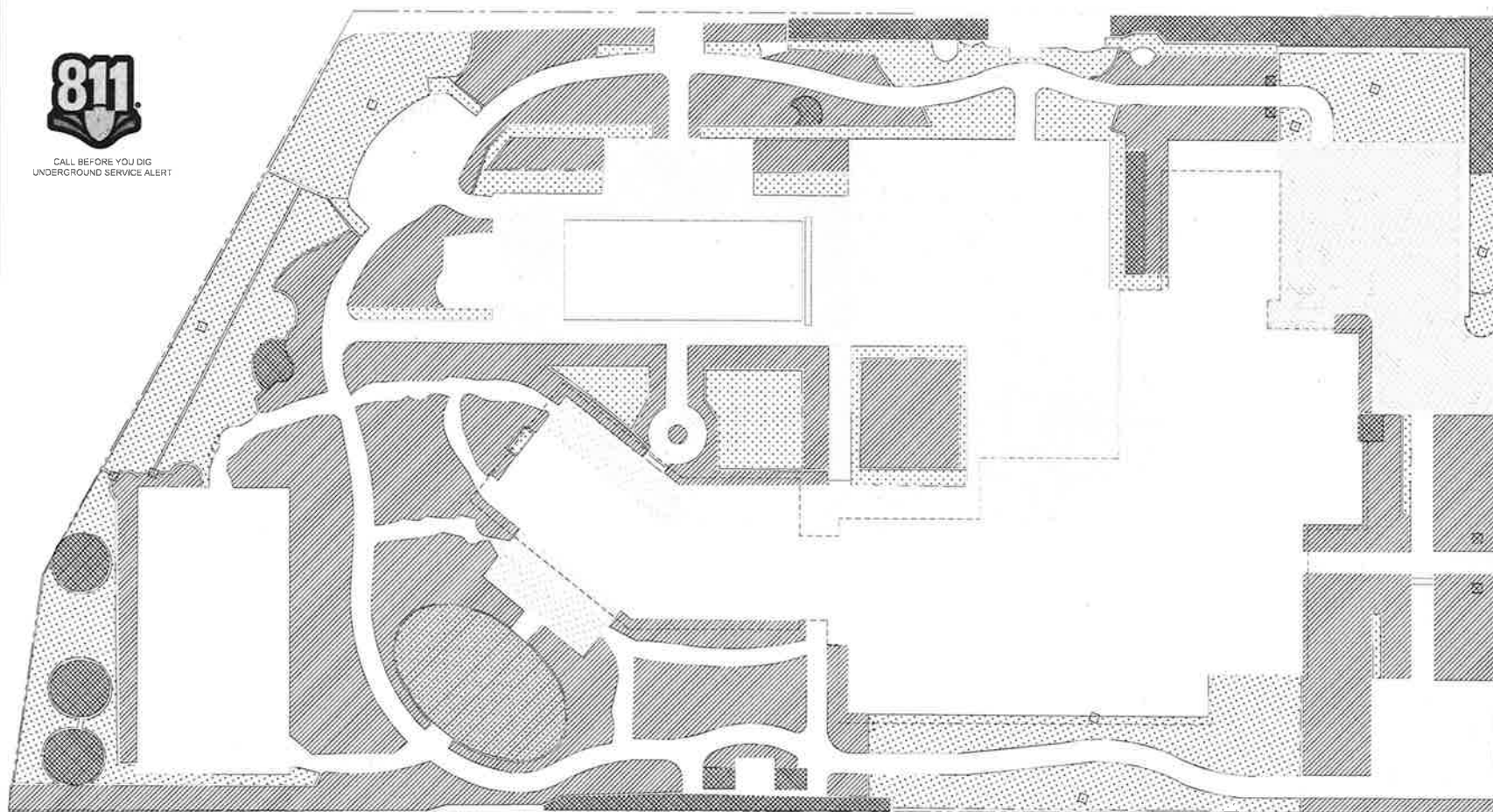
L3.1

HYDROZONE LEGEND

PLAN SYMBOL	DESCRIPTION	WATER USE TYPE	IRRIGATION METHOD	SQ. FT
	HYDROZONE #1	LOW	DRIPLINE @ 12' O.C.	6,884
	HYDROZONE #2	MODERATE	DRIPLINE @ 12' O.C.	9,570
	HYDROZONE #3	MID	TURF	750
	HYDROZONE #4	LOW	DRIP RINGS	1,500



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Revisions

- 03/12/21 PLAN CHECK
- 02/11 REVISIONS
- 05/24/21 PLAN CHECK
- 02/11 REVISIONS

Drawn By: DMF

Drawing Scale: 1"=10'-0"

Project #: 0000

Date: 12 MAY 2021

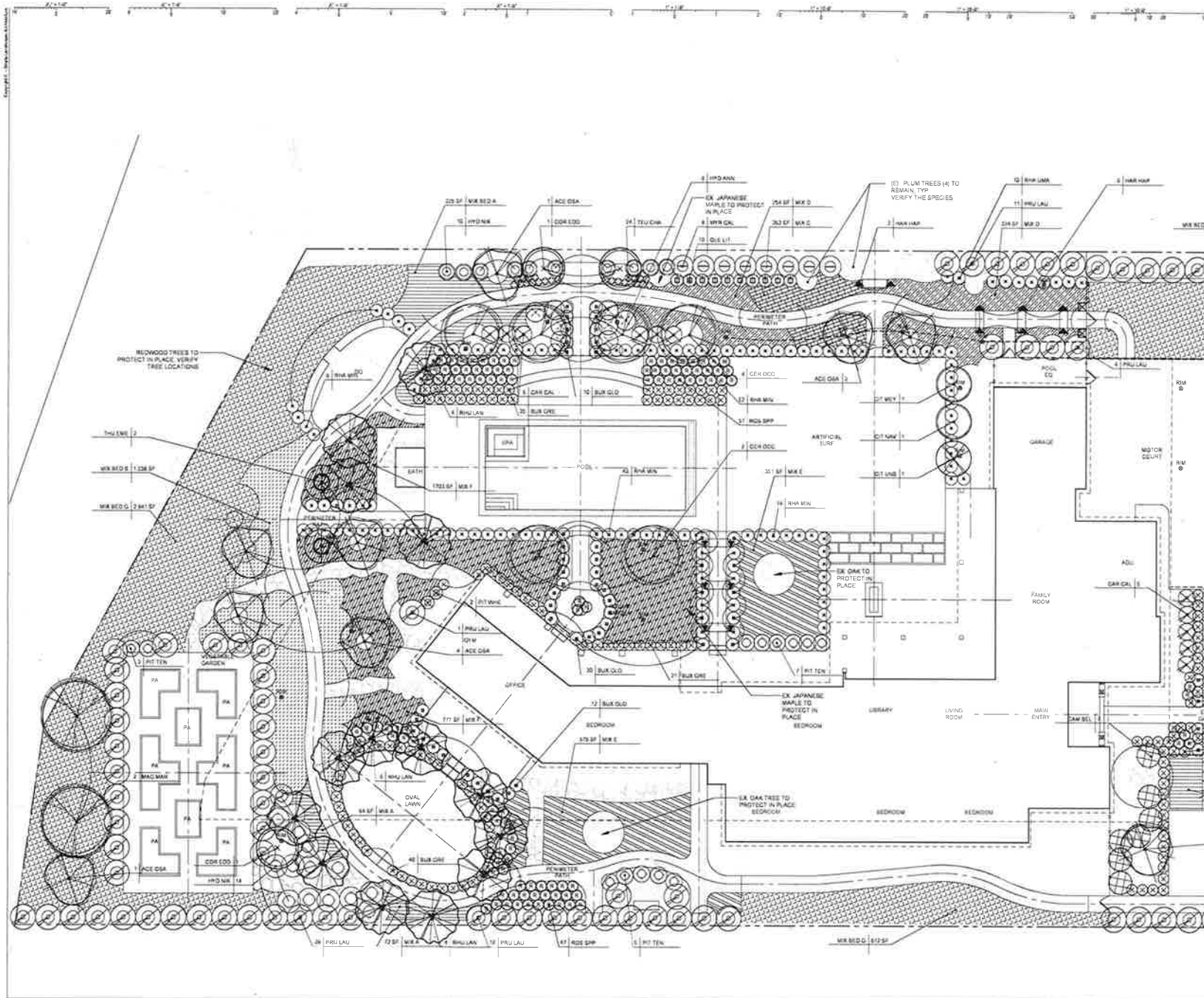
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**HYDROZONE
PLAN**

L3.7

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Revisions

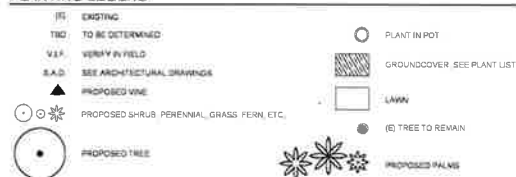
05/24/22 PLAN CHECK
001 REVISIONS

Sheet by DMFY
Drawing Scale: 1"=10'-0"
Project # 0200
Date: 24 MAY 2021

PERMIT SET

PLANTING PLAN

L4.0



PLANTING NOTES

- | | |
|--|---|
| <p>PROVIDE MATING SITES AND FORMS FOR EACH SPECIES FOR THREE INSTALLED IN GRID OR SPACING EQUALLY IN ROWS AS SPECIFIED ON DRAWINGS. PROVIDE PROTECTIVE COVER FOR DRIVES OR WALKWAYS. ADJUST SPACING AS NECESSARY. SUBMIT TO SURVEY BY LANDSCAPE ARCHITECT.</p> <p>2. REMOVE MATCHING SITES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY ON TRIANGULAR OR GRID SPACING. PROVIDE PROTECTIVE COVER WHERE PROUD COVER IS SHOWN. A MATCH, QUANTITIES ARE NOT GIVEN PROVIDE PLANT MATERIAL TO FIT. SPACE SHOWN ON DRAWINGS.</p> <p>3. EQUALLY SPACE TREES PLANTED IN ROWS AGAINST WALLS OR CURBS. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY STAMPS AND SPREAD OUT ONT WALL PAPER TO ATTACHING TO SURFACE. SIMILARLY ATTACH VINES AT WALLS OR POSTS.</p> <p>4. ALL TREES SHALL BE ACCEPTED OR SELECTED BY LANDSCAPE ARCHITECT PRIOR TO BEING TRANSPORTED TO THE PROJECT SITE. COORDINATE WITH LANDSCAPE ARCHITECT WHETHER A NURSERY PHOTO SUBMISSION WILL BE USED FOR EACH TREE SELECTION.</p> <p>5. PLANT SUBSTITUTIONS MUST BE SUBMITTED FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO TRANSPORTATION OF THOSE PLANTS TO THE PROJECT SITE.</p> <p>6. STAKE OUT LOCATION OF EACH PLANT AS SPECIFIED. EACH LOCATION OF ALL TREES SHALL BE ACCEPTED BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLANTATION.</p> <p>7. EXACT PLACEMENT FOR ALL HEADERS SHALL BE ACCEPTED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.</p> <p>8. COORDINATE WITH IRRIGATION PLANTS TO ASSURE CORRECT PLACEMENT OF SPRAY HEADS.</p> <p>9. IN ADDITION TO HEADERS SHOWN ON THE DRAWINGS, PROVIDE AN ALLOWANCE OF 3 PERCENT OF THE TOTAL LINE FOOTAGE TO BE USED TO BE FURTHER ESTABLISHED DURING THE PROGRESS OF THE WORK AS DIRECTED BY THE LANDSCAPE ARCHITECT.</p> <p>10. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.</p> <p>11. MULCH: MULCH IS TO BE WINN PINE BANK CONFORM SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING.</p> <p>12. SOIL AMENDMENT: AMEND SOIL PER SOIL REPORT AND ANALYSIS OF DISEASES. AMENDMENTS TO BE APPLIED AT LOCATION PER L.A. A MINIMUM OF 7% FULLY STABILIZED AND CERTIFIED COMPOST IS TO BE INCORPORATED IN THE TOP 12" OF SOIL.</p> <p>13. SLOW RELEASE FERTILIZER TABLET "AGROMART" GRAM TABLETS WITH 20-20-5 (N-P-K) BY SCOTTS. 10-42-42-5.</p> <p>14. IRRIGATION AND HAND-APPLIED ADJUST TO PLANTING AREAS SHALL BE ACCEPTED BY LANDSCAPE ARCHITECT PRIOR TO ALL PLANTING ACTIVITIES.</p> <p>15. ALL PLANT MATERIALS SHALL BE ACCEPTED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.</p> | <p>6. QUALIFICATIONS: LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE WHOSE JOB IS TO BE FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE, SUPERVISION WITH EXPERIENCE OF PEST CONTROL, SOIL FERTILIZERS AND PLANT IDENTIFICATION.</p> <p>7. MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.</p> <p>8. CONTRACTOR TO INSTRUCT MAINTENANCE CONTRACTOR.</p> <p>9. LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PERIOD.</p> <p>10. AT BEGINNING OF MAINTENANCE PERIOD: VISIT AND MARK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND DETERMINE THE EXISTING IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.</p> <p>11. WATCH ALL MATERIALS WITH SAME MATERIALS USED IN ORIGINAL INSTALLATION.</p> <p>12. STERNER ALL TOOLS USED TO PREPARE TO ANY MAINTENANCE WORK.</p> <p>13. INCLUDE 15% EXTRA BUDGET FOR ADDITIONAL PLANTS.</p> <p>14. ALL TREES AND HEDGES ARE TO BE NOT NEEDED IN GEOMETRIC FORMS AND ARE TO BE LEFT TO A NATURAL, WILD.</p> <p>15. CLOSE OUT: IN CONSTRUCTION MANUAL, LANDSCAPE CONTRACTOR SHALL SUBMIT MANUAL WITH ALL MATERIALS AND PRODUCTS USED IN MAINTENANCE AND MAINTENANCE PERIOD. MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMIT. TO THE OWNER. SUBMIT LOGS OF ALL FERTILIZERS AND HERBICIDES WITH LANDSCAPE ARCHITECT PRIOR TO FINAL MAINTENANCE PERIOD. LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED IMMEDIATELY.</p> <p>16. ARTIFICIAL TURF: FROM DIVE LANS: 1-577-651-5286. INSTALL PER ANNUAL ACTIVITY RECOMMENDATION.</p> <p>17. SOIL AMENDMENT: AMEND SOIL PER SOIL TESTING. CONTRACTOR SHALL SUBMIT SOIL REPORT AND ANALYSIS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FINAL PLANTING. CONTRACTOR SHALL SUBMIT SOIL REPORT AND ANALYSIS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FINAL PLANTING.</p> <p>18. LAWNS NO UTILITY BOXES. IRRIGATION BOXES OR EXPOSED DRAINS SHALL BE LOCATED IN LAWNS AND SHALL BE RELOCATED TO THE OUTSIDE OF LAND AREA. NOTIFY LANDSCAPE ARCHITECT IN WRITING IF THERE IS A CONFLICT WITH THE PLANS.</p> <p>19. ARTIFICIAL TURF SHALL HAVE A DEDICATED IRRIGATION ZONE FOR HYGIENE. THE IRRIGATION ZONE SHALL NOT BE DEDUCTED FROM A BID OR ESTIMATE.</p> <p>20. ARTIFICIAL TURF CANNOT BE PLACED WITHIN FIFTEEN FEET OF A FUTURE ACTIVITY. ANNOTATE ANY CONFLICTS WITH THE PLANS. IF A CONFLICT ARISES BETWEEN CLEARANCES BETWEEN FUTURE ACTIVITY AND ARTIFICIAL TURF, THE TURF SHALL BE REMOVED.</p> |
|--|---|

A. LANDSCAPE MAINTENANCE SHALL BE PROVIDED FOR (90 DAYS)
 AFTER PRELIMINARY ACCEPTANCE. START DATE IS DETERMINED
 BY LANDSCAPE ARCHITECT.

ROSE APR12				
ROS ONE	Rose David Austin 'Climax'	Rose Climax	1 GAL	MODERATE / MEDIUM
ROS HER	Rose david austin heritage	heritage Rose	1 GAL	MODERATE / MEDIUM
ROS ICE	Rose Iceberg	Iceberg Rose	1 GAL	MODERATE / MEDIUM
ROS PCP	Rose 'Flower Carpet Pink'	Flower Carpet Pink Rose	1 GAL	MODERATE / MEDIUM
ROS PK	Rose 'The Knockout'	The Pink Knockout Rose	1 GAL	MODERATE / MEDIUM
ROS PP	Rose 'Mr John Paul II'	Mr John Paul II Hybrid Tea Rose	1 GAL	MODERATE / MEDIUM
ROS WH	Rose 'Flower carpet white'	Flower Carpet White Rose	1 GAL	MODERATE / MEDIUM
ROS WBY	Rose Wilya	English Rose	1 GAL	MODERATE / MEDIUM
ROS PCP	Rose 'Flower Carpet Pink'	Flower Carpet Pink Rose	1 GAL	MODERATE / MEDIUM
ROS WH	Rose 'Flower carpet white'	Flower Carpet White Rose	1 GAL	MODERATE / MEDIUM
ROS PCP	Rose 'Flower Carpet Pink'	Flower Carpet Pink Rose	1 GAL	MODERATE / MEDIUM

FRUIT TREES					
CIT LAT	CITRUS LATIFOLIA	BEARSS LIME	1	15 GAL	MODERATE/ MEDIUM
CIT UNS	CITRUS UNSHUI	SATSUMA MANDARIN	1	15 GAL	MODERATE/ MEDIUM
CIT MEY	CITRUS X MYEYER MEYER LEMON	MEYER DWARF LEMON TREE	1	15 GAL	MODERATE/ MEDIUM

PLANT LIST

JOY	GENUS/SPECIES	COMMON NAME	QTY	SIZE	WATER USE	NOTES
TREES						
ACE GSA	<i>Acacia saligna</i> (Mimosa)	Blackish acacia	9	20' BOX	MODERATE / MEDIUM	
CDR WDU	<i>Conocarpus wrightii</i> (Mimosa)	Evergreen Oregano	2	30' BOX	MODERATE / MEDIUM	
GER GDC	<i>Geranium</i> (Mimosa)	Geranium	6	30' BOX	MODERATE / MEDIUM	
WAG WDU	<i>Wagelia</i> (Mimosa)	Wagelia	2	30' BOX	MODERATE / MEDIUM	
WAG WDU	<i>Wagelia</i> (Mimosa)	Wagelia	6	20' BOX	MODERATE / MEDIUM	
THU LNE	<i>Thuja</i> (Mimosa)	Thuja	2	24' BOX	MODERATE / MEDIUM	
THU LNE	<i>Thuja</i> (Mimosa)	Thuja	14	30' BOX	MODERATE / MEDIUM	

[illegible]

GROUNDWORK K&F H&M

VSL-483 SF					
AJJ-BEA	Avocado replant Bronze Beauty	Carpet Bugle		1 GAL	MODERATE / MEDIUM
STA-BIG	Stachys byzantina Big Easy	Lamb's ears		1 GAL	LOW
TBA-ABJ	Trachelium perenniale	Asian Star Jasmine		1 GAL	MODERATE / MEDIUM
VSL-B-1333 SF					
AJJ-BEA	Avocado replant Bronze Beauty	Carpet Bugle		1 GAL	MODERATE / MEDIUM
ANE-HON	Anemone japonica Hosioka joeri	Japanese Anemone		1 GAL	MODERATE / MEDIUM
ANE-BEP	Anemone japonica September Beauty	September Charm Anemone		1 GAL	MODERATE / MEDIUM
TBA-ABJ	Trachelium perenniale	Asian Star Jasmine		1 GAL	MODERATE / MEDIUM
VIN-MIN	Vinca Minor	Pink Violets		1 GAL	MODERATE / MEDIUM
CLA-CGN	Ceanothus Conchii	Concha California Lilac		8 GAL	LOW
VSL-G-162 SF					
GER-PUL	Ceanothus Plumbeus	Dark Plumbeus		1 GAL	LOW
NEP-VIA	Nepeta x Fosterii 'Violet's Joy'	Garden Violet's Joy		1 GAL	LOW
NEP-BK	Nepeta x Six Hills Giant	Giant Six Hills Giant		1 GAL	LOW
TRN-WED	Tringa vulgaris Variegated Blue	Spring Wedgwood Blue		8 GAL	LOW
VSL-G-162 SF					
LAV-HED	Lavandula x Angustifolia Hybrid	Indigo Blue English Lavender		8 GAL	LOW
LAV-GIT	Lavandula x spicata 'Dip Dye'	Spun Lavender		8 GAL	LOW
SAV-CHA	Salvia chamaecristaria	Lavender Catnip		1 GAL	LOW
TBA-ABJ	Trachelium perenniale	Asian Star Jasmine		1 GAL	MODERATE / MEDIUM
FIN-SBP	Finisyon SBP	Brown Tangle		1 GAL	MODERATE / MEDIUM
VSL-B-1333 SF					
AJJ-BEA	Avocado replant Bronze Beauty	Carpet Bugle		1 GAL	MODERATE / MEDIUM
HEU-PHA	Hesperis matronalis	Dark Rite		1 GAL	MODERATE / MEDIUM
STA-BIG	Stachys byzantina Big Easy	Lamb's ears		1 GAL	LOW
TBA-ABJ	Trachelium perenniale	Asian Star Jasmine		1 GAL	MODERATE / MEDIUM
VSL-F-1333 SF					
AJJ-BEA	Avocado replant Bronze Beauty	Carpet Bugle		1 GAL	MODERATE / MEDIUM
TBA-ABJ	Trachelium perenniale	Asian Star Jasmine		1 GAL	MODERATE / MEDIUM
VIN-MIN	Vinca Minor	Pink Violets		1 GAL	MODERATE / MEDIUM
WIT-WHE	Wisteria sikkimensis White Star	Wisteria sikkimensis White Star	2	8 GAL	MODERATE / MEDIUM
ANA-MIN	Anemone multifida Minor	Dark Multifida Minor	138	15 GAL	LOW
VSL-G-1472 SF					
WON-DOD	Wisteria sikkimensis	Wisteria sikkimensis		1 GAL	LOW

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Report by

	05/24/12	PLAN CHECK
	021	REVISIONS

Sheet by DWFY
Project # 0000

Date: 24 MAY 2021

PERMIT SET

PLANT LIST & NOTES

L4.1

EXISTING CONDITIONS, PRE-CONSTRUCTION AND ONGOING MAINTENANCE

[illegible]

TO THE BEST OF OUR KNOWLEDGE, NO PLANTS LISTED ON THE ROSS VALLEY FIRE DEPARTMENT'S "FIRE PRONE SPECIES" LIST EXIST ON THE SITE.

THE LANDSCAPE PLANTING LIST WAS DEVELOPED THROUGH CAREFUL CONSIDERATION OF THE 'FIRE SCAPE' LIST PROVIDED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION'S BROCHURE 'PYROPHYTIC VS. FIRE RESISTANT PLANTS' (HORTSCRIPT, FEBRUARY 1986). ADDITIONAL CRITERIA FOR PLANT SELECTION WERE THE EXISTING SITE CONDITIONS, WATER WISE PLANT CHOICES, DROUGHT TOLERANCE, AND AESTHETICS. THE PLANTS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM TO INSURE ADEQUATE SOIL AND PLANT MOISTURE. THE PLANTING AREAS WILL BE MULCHED USING A RIGID, ALUMINUM METAL MULCH WATERWAY UNIFORM, 30" WIDE.

PRIMARY LANDSCAPE SCREENING WILL BE MADE UP OF A MIX OF MOSTLY NATIVE AND FIRE RESISTANT PLANTS.

PLANT SELECTION TO BE FIRE RESISTANT IN ZONE 1. NON-PYROPHYTIC NATIVE DOMESTIC OR A COMBINATION THEREOF THAT BEST SUITS THE PROJECT SITE. SLOPE, SOIL TYPE, DROUGHT RESISTANCE HAVE BEEN CONSIDERED.

FUTURE PLANTING

ANY FUTURE PLANTINGS THROUGHOUT THE SITE WILL INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MARIN PLANTING LISTS.

LONG TERM MAINTENANCE SCHEDULE AND SAFETY

- LONG TERM MAINTENANCE SCHEDULE AND SAFETY
- ALL FIRE PRONE FUELS AND DEAD MATERIAL SHALL BE REMOVED WITHIN 300' OF THE HOME
 - REMOVE BRANCHES BENATH LARGE TREES FOR A 600' MINIMUM CLEARANCE
 - NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT MINIMUM TWICE YEARLY
 - TRIM TREES AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4 OR LESS
 - VEGETATION SHALL BE TRIMMED TO WITHIN 10% HORIZONTAL OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14' OF CLEARANCE VERTICALLY
 - ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LODGER FUEL
 - COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES, VEGETATION AND LODGER FUELS ON AN ANNUAL BASIS
 - NO WILD GRASSES SHALL BE PLANTED WITHIN HOME EASEMENT LINES 1 AND 2

EXISTING PLANT LIST

KEY		COMMON NAME	QTY	PLANT RESISTANT	REMARK	NOTES
PHI CAL	PHILUS CALLENYANA	CALLENY FERN	3	YES	REMAIN	
END LOG	ENDROSTYMA JAPONICA	LOGIA FERN	1	YES	REMOVE	
PHI CER	PHILUS CANSERIS	PURPLE LEAF PLANT	4	-	REMAIN	
LIQ STY	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	2	-	REMOVE	
ACE PAL	ACER PALMUTUM	JAPANESE MAPLE	3	YES	PLANT/REAR PLANT	
JUN CHE	JUNPERUS CHINENSIS	HOLLAND JO JUMPER	2	PRE-PRONE	REMOVE	
MOQ SEM	SECODIA SEWPERVENS	COFFEE BROWNWOOD	4	-	REMAIN	
DEB DEG	DEODORUS DEODARA	DEODAR CEDAR	1	PRE-PRONE	REMOVE	
OLE LAR	OLEA EUROPAEA	OLIVE	3	-	TRANSPLANT	
PHO CAN	PHOENIX CANARIENSIS	CANARY ISLAND PALM	1	-	REMOVE	
PHI BR	PHILUS SP.	CHERRY	1	-	REMAIN	
MAG GRA	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2	-	REMAIN/REAR OLIVE	
MAG SOU	MAGNOLIA SOULANGIANA	SAUVER MAGNOLIA	1	-	REMAIN	

PROPOSED PLANT LIST

KEY	GENUS + FELDS	COMMON NAME	QTY	DATE	PRE- RESISTANT	REMARK	VOLTERAGE	NOTES
THRES								
ACE GSA	Acer pennsylv. 'Oleaster'	Delawarean Japanese Maple	3	26 DEC	YES	WINGED	MODERATE / MEDIUM	
CCR WBU	Cornus latifolia 'Moureauxii'	Evergreen Dogwood	3	26 DEC	-	WINGED	MODERATE / MEDIUM	ONLY IN ZONE 200-1001
CCR GCR	Cornus Decidua	Western Dogwood	5	26 DEC	YES	WINGED	MODERATE / MEDIUM	
MAO MAR	Magdalenia pumila 31. mary	Euc. Inc. in Wing leaf	2	26 DEC	-	WINGED	MODERATE / MEDIUM	ONLY IN ZONE 200-500
MPH CAL	Myrica salicifolia	Pacific Myric. Wattle	8	26 DEC	YES	WINGED	MODERATE / MEDIUM	
THU DNE	Thuja occidentalis 'Thomae'	Emerald Green Arborvitae	3	26 DEC	YES	WINGED	MODERATE / MEDIUM	ONLY IN ZONE 200-100
BRU LAN	Bruca Lancea	African Sumar	14	26 DEC	YES	WINGED	LOW	

[illegible]

GROUNDWORK MATERIAL

WGA-A-482 SP									
AJJI BEA	Avya tejana Bronze Beauty	Excel Ripe		1 GAL	YES	WGA-FIELD	MODERATE / MEDIUM		
BTA BMS	Blachys byammina Big Ears	Large ears		1 GAL	YES	WGA-FIELD	LOW		
TBA ASI	Tanacetum officinale asiaticum	Asian Star Jasmine		1 GAL	NO	WGA-FIELD	moderate to variable		

988 9.1.2.38. 50

AAJ ASIA	Asplen. asiatica (Strawberry Beauty)	Canada: Quebec	1	CAL	YES	UNRATED	MODERATE / WEAK	
ANE +HN	Arenaria japonica (Harrison's Jewel)	Japan: Asakusa	1	CAL	+	UNRATED	MODERATE / MEDIUM	
ANE SEP	Arenaria japonica (September Pearl)	September: Chama, Asakusa	1	CAL	+	UNRATED	MODERATE / MEDIUM	
FEA ASJ	Trachelodesmium exaltatum	Azusa: San Jose, Japan	1	CAL	YES	UNRATED	MODERATE / WEAK	
VIN MIN	Vincetoxicum	Peru: Lima	1	CAL	+	UNRATED	MODERATE / MEDIUM	
CEA CAN	Centropogon Canadensis	Canada: California (San Jose)	1	CAL	+	UNRATED	LOW	ONLY IN ZONE 1000-1001

NOTE C-362 2P

2018 FSL	Caratogena (Jumagapod)	Dani Romagosa	1 GAL	A	BRICA F23	LOW	ONLY IN ZONE 200-1001
2019 FAL	Nepota (Jasami) Valder's low	Dani Romagosa	1 GAL	A	BRICA F23	LOW	ONLY IN ZONE 200-1001
2019 SOL	Nepota (Jasami) Valder's low	Dani Romagosa	1 GAL	A	BRICA F23	LOW	ONLY IN ZONE 200-1001
2019 MED	Nepota (Jasami) Valder's low	Dani Romagosa	1 GAL	A	BRICA F23	LOW	ONLY IN ZONE 200-1001

W8 25 162 SP

JAL IND	Lembarula x Argemone Hybrid	Hyacinth Blue English Lavender	1 GAL	YES	IRRIGATED	LOW
JAL DTT	Lembarula x Alchemilla Otto Quail	Spanish Lavender	1 GAL	YES	IRRIGATED	LOW
SAN CHA	Santolina chamaecyparissus	Lavender-Curtain	1 GAL	YES	IRRIGATED	LOW
TRA ASI	Trachelium patulum exaltum	Asian Star Jasmine	1 GAL	YES	IRRIGATED	MODERATE / MEDIUM
PER SPR	Persea indica SPR	Bread-Forget	1 GAL	YES	IRRIGATED	MODERATE / MEDIUM

WOL 1-828 SP

AQUA	Aqua regia (Nitric Acid)	Orange/Yellow	1 GAL	YES	IRRIGATED	MODERATE / MEDIUM	
HEAR	Heather (Marine)	Dark Green	1 GAL	YES	IRRIGATED	MODERATE / MEDIUM	
ISA	Isa (Marine)	Light Green	1 GAL	YES	IRRIGATED	LOW	
ISA	Isa (Marine)	Light Green	1 GAL	YES	IRRIGATED	MODERATE / MEDIUM	

W08 1-1 723 24

[illegible]

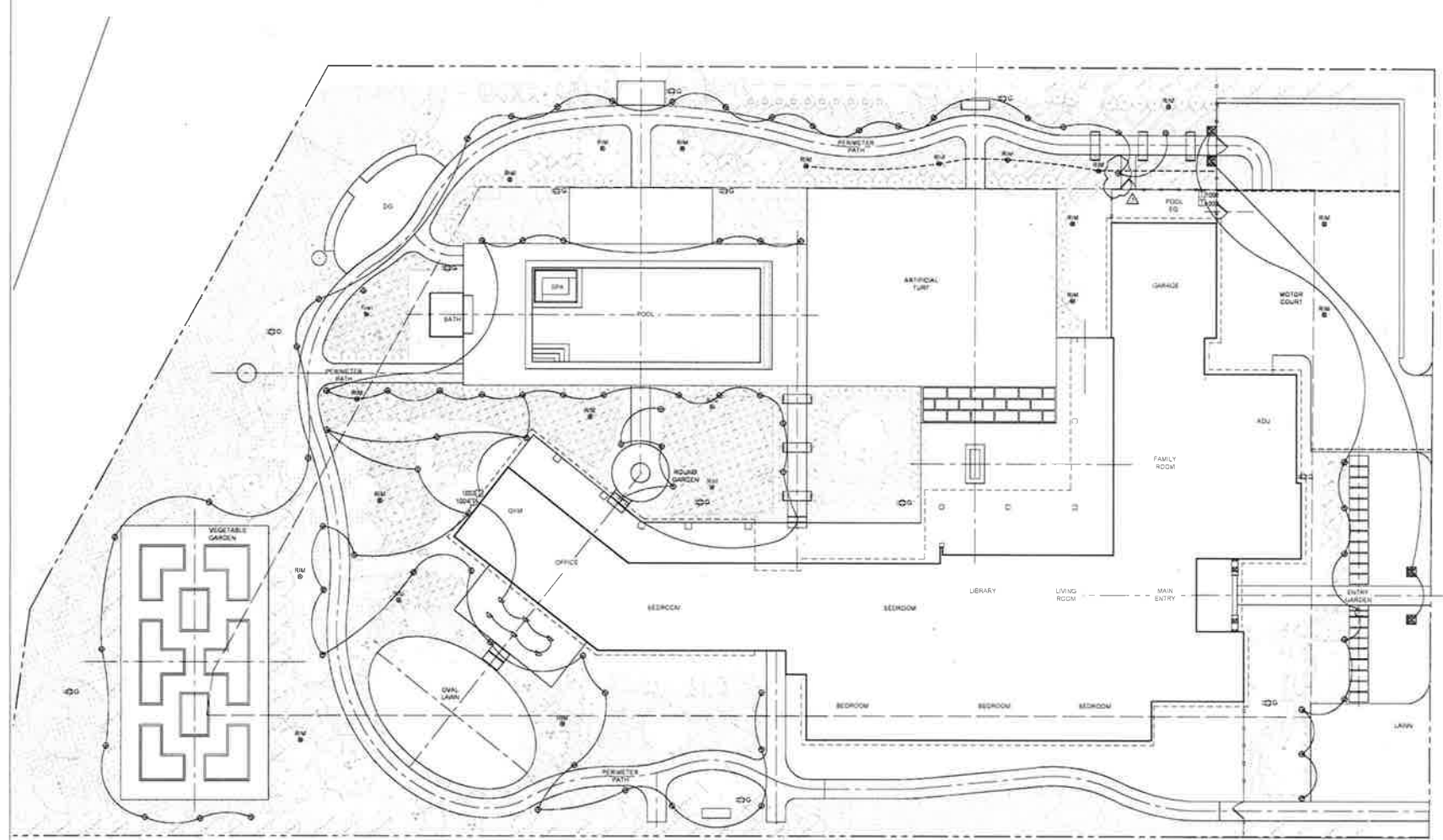
WEX-0-1,472.20

MOH 000	<i>Monarda citrifolia</i>	Western Pennyroyal	1 GAL	YES	IRRIGATED	LOW
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FILED IN

CIT LAT	CITRUS LATIFOLIA	BEARGR LIME	5	15 GAL	FEB	IRRIGATED	MODERATE/MEDIUM	
CIT UNO	CITRUS UNSHOU	SATSUMA MANDARIN	5	15 GAL	FEB	IRRIGATED	MODERATE/MEDIUM	
CIT MEY	CITRUS X MYRTES WILSON LEMON	MYNEN KIWAN LEMON TREE	5	15 GAL	FEB	IRRIGATED	MODERATE/MEDIUM	





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Revisions
05/24/21 PLAN CHECK
021 REVISION

Sheet by: DMFY
Drawing Scale: 1"=10'-0"
Project #: 0000
Date: 24 MAY 2021

PERMIT SET

LIGHTING PLAN

L5.0



LIGHTING NOTES

- GENERAL CONTRACTOR TO PROVIDE EXTERIOR SWITCHING AND POWER SUBCUTS TO 2' FROM FACE OF BUILDING. LANDSCAPE CONTRACTOR TO PROVIDE TRANSFORMERS, LIGHTS, CONNECTIONS, AND INSTALLATION.
- THIS DRAWING IS PROVIDED FOR INFORMATION ON LOCATION OF FIXTURES ON SITE ONLY. ALL ADDITIONAL EQUIPMENT, TRANSFORMERS, VAULTS, CONDUIT, SLEEVING, WIRING, JUNCTION BOXES, PANEL BOARDS, BREAKERS AND SCHEDULES TO BE PROVIDED & INSTALLED BY CONTRACTOR AS NEEDED.
- ALL WIRING UNDER PAVING TO BE SLEEVED IN 2" SCH. 40 PVC (NOT SHOWN ON PLAN). SEE SLEEVING PLAN, SHEET L5.2.
- LIGHT FIXTURES ON PLAN ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. ACTUAL LOCATIONS SHALL BE VERIFIED IN FIELD WITH LANDSCAPE ARCHITECT.
- STEP LIGHTS: ALL STEP LIGHT FIXTURES SHALL BE PLACED 9" ABOVE THE TREAD DIRECTLY BELOW OR CENTERED BETWEEN THE WALL CAP AND THE TREAD BELOW. WHICHEVER IS SMALLER, THE FIXTURE SHALL BE CENTERED ON THE TREAD BELOW. CONFIRM PLACEMENT WITH LANDSCAPE ARCHITECT IN FIELD PRIOR TO SETTING J BOXES.
- INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS.
- COORDINATE INSTALLATION OF TREE UPLIGHTS WITH TREE PLANTING WORK UNDER THE PLANTING SECTION. ALL TREE UPLIGHTS SHALL BE ADJUSTED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL LIGHTING SHALL BE UL APPROVED. ALL LIGHTING DESIGNATED FOR UNDERWATER USE SHALL BE WATERPROOF.
- ALL POLE- AND RISER-MOUNTED LIGHTING SHALL BE INSTALLED PLUMB. ALL
- WALL-MOUNTED LIGHT FIXTURES SHALL BE INSTALLED HORIZONTALLY REGARDLESS OF SLOPE OF ADJACENT WALLS OR SURFACES.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
- COORDINATE ALL SWITCHING WITH LANDSCAPE ARCHITECT, OWNER, LIGHTING DESIGNER AND GENERAL CONTRACTOR.
- ALL EXTERIOR ELECTRICAL WORK TO CONFORM WITH CURRENT ELECTRICAL CODE(S).
- ALL LOADS TO HAVE DIMMERS.
- CONFIRM LOCATION OF ALL TRANSFORMERS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SUBMIT A PLAN FOR APPROVAL SHOWING LOCATIONS FOR ALL TRANSFORMERS PRIOR TO INSTALLATION.
- COORDINATE SWITCHING WITH LANDSCAPE ARCHITECT AND OWNER PRIOR TO RUNNING WIRE.
- ONLY RAW METAL FINISHES IN STAINLESS STEEL, COPPER, BRASS AND BRONZE WILL BE ACCEPTED. NO PAINTED OR POWDER-COATED FINISHES WILL BE ACCEPTED.

LIGHTING LEGEND

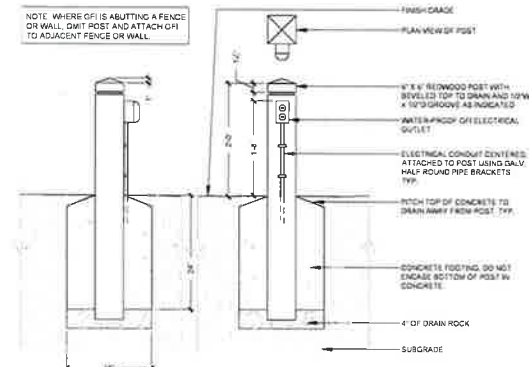
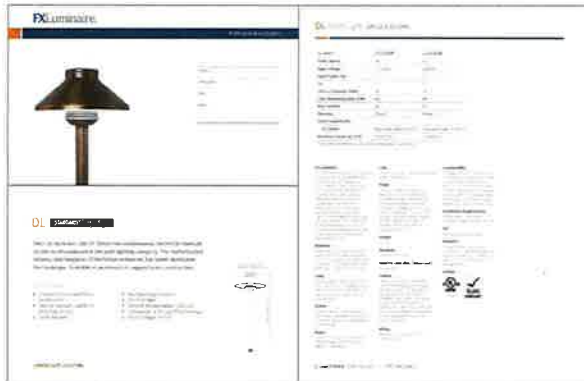
SYMBOL	QTY	TYPE	VENDOR	MODEL	LAMP	FINISH	NOTES/ACCESSORIES
1	1	STEP LIGHT	FX LUMINAIRE	CALL	64 IN 2700K FRODO EMERY ALLEN	NATURAL BRASS (BB)	WWW.FX.COM (760) 744-5240 WWW.EMERYALLEN.COM
2	1	PATH LIGHT	FX LUMINAIRE	2L	64 IN 2700K FRODO EMERY ALLEN	BRONZE METALLIC POWDER COAT (BF)	WWW.FX.COM (760) 744-5240 WWW.EMERYALLEN.COM
3	1	PERGOLA LIGHT	FX LUMINAIRE	NO	4X4 IN 2700K FRODO EMERY ALLEN	180	SEE 3IN FOR LIGHT MOUNT ON BEAM. WWW.FX.COM (760) 744-5240 WWW.EMERYALLEN.COM

AUDIO LEGEND

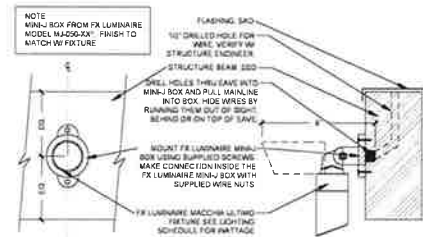
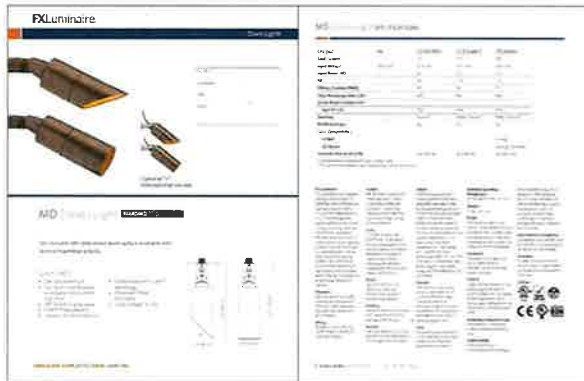
SYMBOL	QTY	TYPE	VENDOR	MODEL	FINISH	NOTES/ACCESSORIES
1	1	SATELLITE SPEAKER	SONANCE	LSAT SAT	BRASS	AMPLIFIERS, WIRING & CONTROLS BY OTHERS. CONFIRM W/ LA AND OWNER BEFORE PURCHASE.

ELECTRICAL LEGEND

SYMBOL	QTY	TYPE	VENDOR	MODEL	FINISH	NOTES/ACCESSORIES
1	12	GFI DUPLEX OUTLET	T&B			SEE DETAIL 1A FOR POST MOUNT.
2	1	SWITCH	T&B			
3	1	TRANSFORMER	VMTA	MT SERIES	BLACK	SIZES AS NEEDED FOR PHASE. VERIFY LOCATION W/ LA IN FIELD.



1 GFI OUTLET MOUNTED ON POST
SCALE: 1" = 1'-0"



2 PERGOLA LIGHT MOUNTED ON BEAM
SCALE: 3" = 1'-0"

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Revised

05/20/22 PLAN CHECK
021 REVISIONS

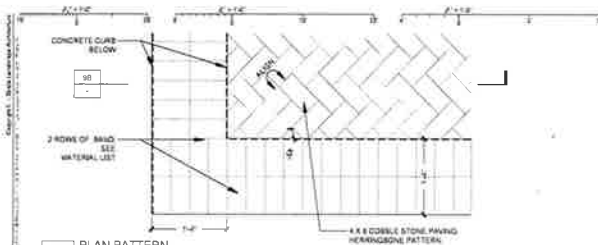
Sheet by: CMVY
Project # 0000

Date: 24 MAY 2021

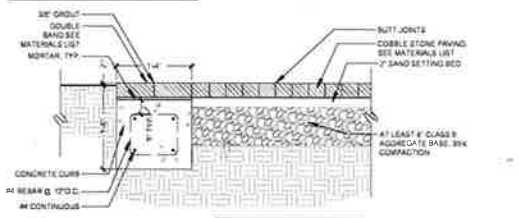
PERMIT SET

LIGHTING
SCHEDULE &
NOTES

L5.1

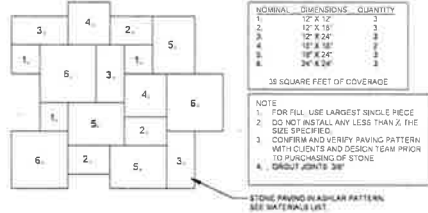


9A PLAN PATTERN

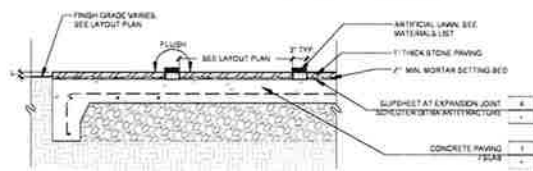


9B SECTION

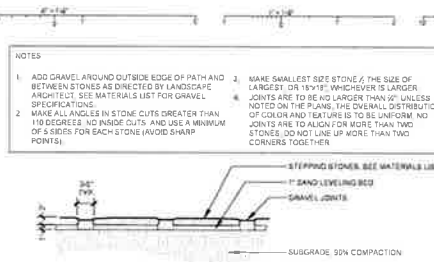
9 COBBLE PAVING W/ BAND @ MOTOR COURT
SCALE: 1" = 1'-0"



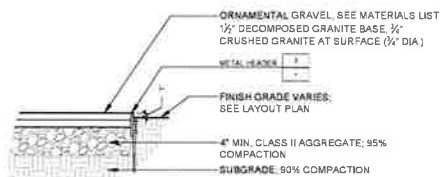
10 RANDOM ASHLAR PATTERN
SCALE: 1/2" = 1'-0"



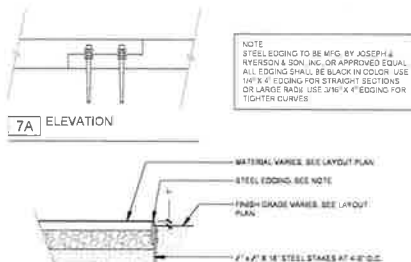
11 STEPPING STONE ON CONCRETE W/ TURF BANDS
SCALE: 1" = 1'-0"



5 STEPPING STONES ON SAND
SCALE: 1" = 1'-0"



6 GRAVEL PAVING
SCALE: 1" = 1'-0"

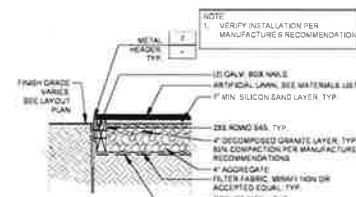


7A ELEVATION

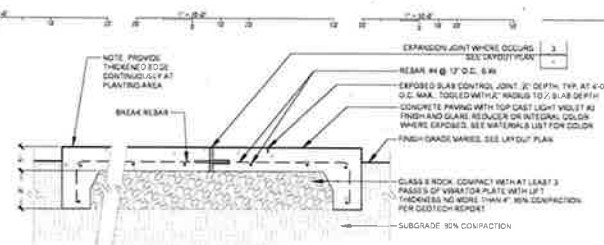


7B SECTION

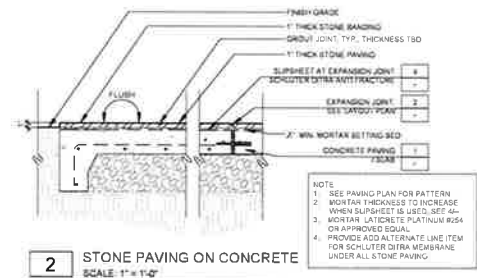
7 METAL HEADER
SCALE: 1" = 1'-0"



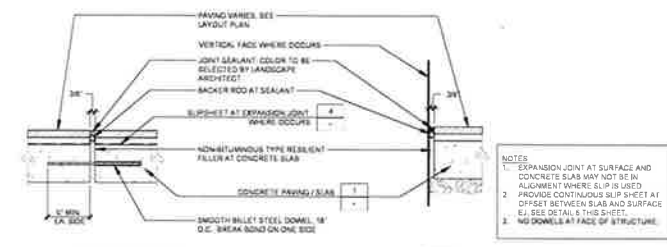
8 ARTIFICIAL TURF
SCALE: 1" = 1'-0"



1 CONCRETE PAVING / SUB-SLAB
SCALE: 1" = 1'-0"



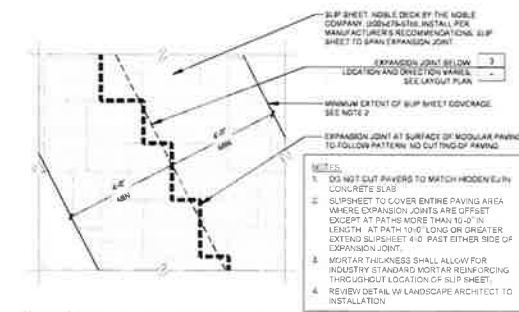
2 STONE PAVING ON CONCRETE
SCALE: 1" = 1'-0"



3A SECTION IN PAVING

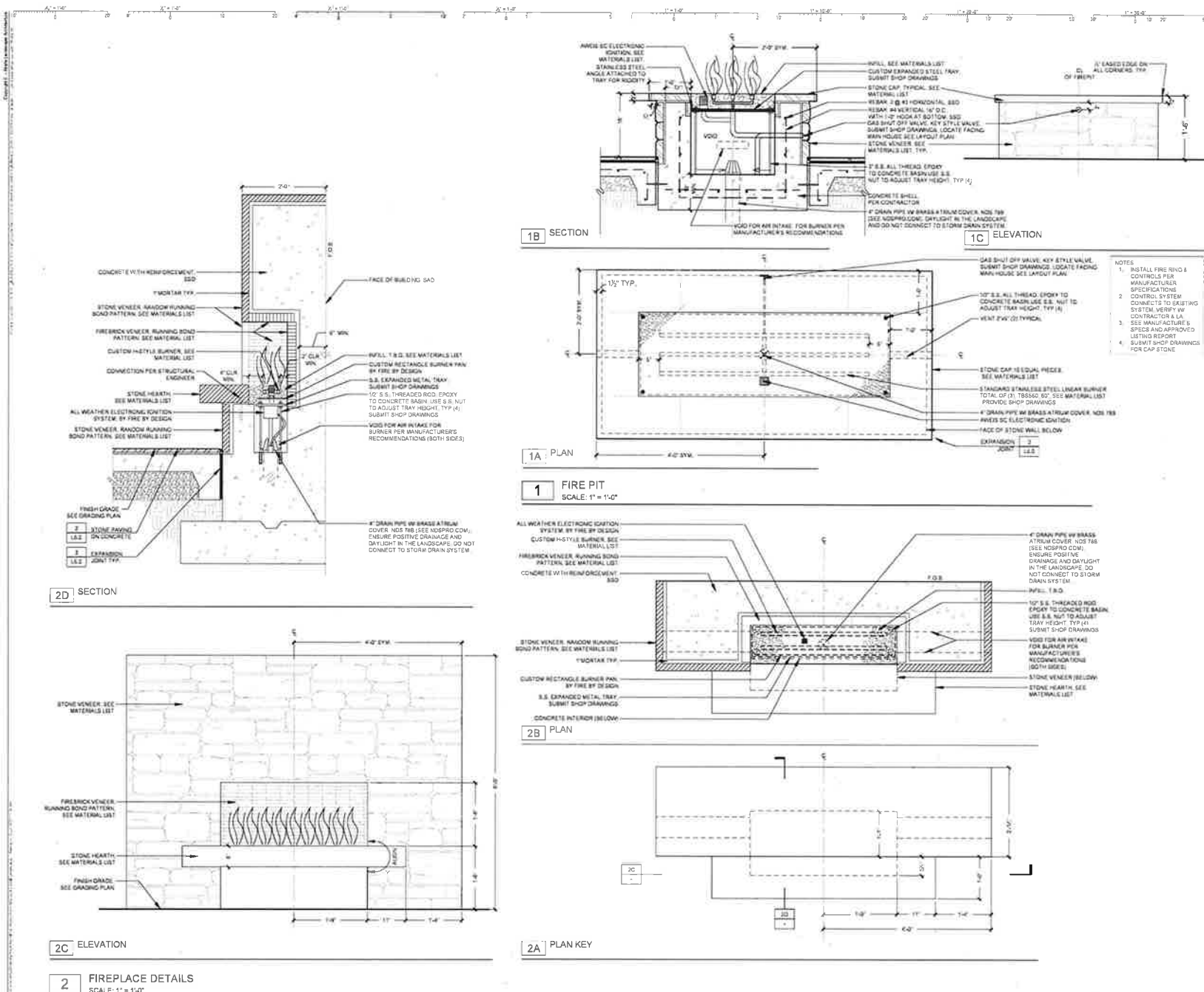


3B SECTION AT FACE OF STRUCTURE



4 EXPANSION JOINT IN MODULAR PAVING
SCALE: 1/2" = 1'-0"





ATTACHMENT 3

Written Project Description – *may be attached.*

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

NEW ACCESSORY DWELLING UNIT WITHIN EXISTING RESIDENCE, 593 SF

NEW ATTACHED GARAGE WITH LIVING SPACE ABOVE.

NEW ROOF LINE AT FRONT ELEVATION.

EXISTING ROOF TO BE ALTERED. EAVES REDUCED, ROOFING TO BE REPLACED IN KIND.

NEW LANDSCAPE AND POOL.

ATTACHMENT 4



GEISZLER
ARCHITECTS

April, 9 2021

Ross Planning Department
Ross, CA 94957

RE: 7 Upper Ames Avenue
Neighborhood outreach for Design Review Submittal

To Whom it May Concern:

In anticipation of this Design Review submittal, a formal letter and email was sent out on April 6, 2021 outlining the proposed scope of work. The letters were sent to neighbors at the following properties:

3 Upper Ames Ave.

5 Upper Ames Ave.

9 Upper Ames Ave.

12 Upper Ames Ave.

140 Lagunitas Rd.

150 Lagunitas Rd.

2 De Witt Dr.

4 De Witt Dr.

Many thanks,

Brandy Dubs

Geiszler Architects.

ATTACHMENT 5

Lot Area	87,846 sq. ft.
Present Lot Coverage	6.9%
Proposed Lot Coverage	10.4% (15% permitted)
Present Floor Area Ratio	9.8%
Proposed Floor Area Ratio	14.1% (15% permitted)

Town Planner Broad stated that after talking to the architect, it was determined that a demolition permit is not required for this application. Mitch Wiener, Contractor, stated that they hired a new architect, Mr. Kenneth Cardswell from U.C. Berkeley. Mr. Broad informed the Council that the project proponents agreed to allow the Town to retain Carey and Co., historic architects, at their expense. They submitted a report on the architectural value of the existing residence and on the appropriateness of the proposed modifications to the residence and site. Several of the Councilmembers were concerned with the location of the swimming pool, garage, guest house, etc., and the type of roof. Councilmember Scott expressed concern over fire safety and shingled homes. Mrs. Levinsohn said that the plans drawn up by the architect were not what they had in mind; there was a lack of communication with the architect and new plans would be submitted. She stated that they would never demolish the structure but wished to maintain the charm of the existing home. After a short discussion, this matter was continued.

17. VARIANCES & DESIGN REVIEW.

- a. Steen Moller, owner; Tami Gendel, realtor; 69 Wellington Avenue, AP 72-072-09, R-1:B-10 (Single Family Residence, 10,000 sq. ft. minimum). Request is to allow: Amendment to the approved conditions of approval for Variance No. 897 approved by the Ross Town Council on August 11, 1988. The conditions of approval required that the deck and hot tub at the south side of the property be removed. This application requests that this condition of approval be deleted to permit the deck and hot tub, which have never been removed, to remain.

This matter was withdrawn by the applicant. Councilmember Goodman asked why the hot tub and deck had not been removed, when it was made a condition of approval. He felt it should be put on the agenda as a "Show Cause."

In response to a question, Public Works Director Elias said that a final had been given on this property but such noncompliance of conditions would not happen again because the Town Planner now accompanies the building inspector on final inspections to assure that all conditions are met.

Mr. Broad said that the new owners are in escrow and plan to remove the deck and hot tub. He informed the Council that the realtor had put a stop payment on the check submitted for planning fee.

Mayor Brekhus directed Mr. Broad to contact and realtor's office and the title company concerning this nonpayment.

- b. Thomas and Sandra Bertelsen, 7 Upper Ames Avenue, AP 73-201-01, R-1:B-A (Single Family Residence, One Acre Minimum). Request is to allow: Variance and design review to allow the construction of a 462 square foot conservatory and potting area in the rear of an existing residence/garage. An existing 118 square foot bathroom and 140 square foot arbor will be removed.

Lot Area	43,560 sq. ft.
Present Lot Coverage	21.8%
Proposed Lot Coverage	22.2% (15% permitted)

Variance
1074
D.R.#21

Present Floor Area Ratio	16.4%
Proposed Floor Area Ratio	17.5%(15% permitted)

The existing residence is nonconforming in side yard setback.

Jim McDonald, AIA, said that all adjoining neighbors had seen the plans and had no objections. He said that the plans represent an authentic English conservatory and will be shipped from England to the site. After consideration, Councilmember Reid moved approval with the condition that the Town Council reserves the right to require additional landscaping for one year from project final. This was seconded by Councilmember Barry and passed unanimously.

- c. Carl Arnold, 10 Skyview Road, AP 72-191-08 and 10, R-1:B-A (Single Family Residence, One acre minimum). Request is to allow a Variance for construction of an entrance to 10 Skyview Road including an eight foot high metal gate bordered by a wall with pillars and trellising at a height of eight feet. The wall/trellis will extend for approximately 30 feet on both sides of the gate and be located on the side property line of 10 Skyview Road (25 feet setback required) and on the rear property line of 2 Skyview Road (40 foot setback required.)
This matter was continued.

18. Insurance Claim (Gallagher).
Mrs. Garril Page of Shady Lane witnessed this accident and felt it was very minor. It was the consensus of the Council to pay the sum of \$126. Public Works Director Elias was directed to get a release.
19. Insurance Claim (Taves).
It was the consensus of the Council that this was an act of God and a natural condition where the Town had no prior knowledge.
Councilmember Barry moved denial, seconded by Councilmember Scott and passed unanimously.
20. Other Business.
1. Mr. Elias reported that he would hire someone to take care of the Buffano Bear.
 2. Mayor Brekhus asked Roger Sciutto to respond to the letter on fire safety received from the people on Woodhaven Road.
 3. Mr. Elias was directed to research the drainage on Winship Avenue.
 4. Mayor Brekhus asked that the Minutes reflect that in response to the auditor's request for the Town's need for adequate accounting procedures and records for fixed assets, Councilmember Goodman is taking an inventory.
Councilmember Goodman stated that he had taken inventory of the Mayor's office, the Clerk's office, Public Works and Public Safety.
 5. Councilmember Reid asked that the Council start preparing for the July Fourth Festivities, especially the need for a marching band.
 6. Councilmember Scott spoke of personnel files and the need to review these procedures.
 7. Councilmember Reid favored making plans for another Council retreat - there was no unanimity as to where this should be held.
22. Adjournment.
The meeting was adjourned at 9:30 p.m.

A T T E S T:

Virginia Stott
VIRGINIA STOTT, TOWN CLERK

PETER B. BREKHUS, MAYOR
Laura Thomas
LAURA THOMAS, TOWN SECRETARY

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Mr. Dennis Furby, engineer, said that they agreed with the Herzog report and they will do a full examination of the driveway after plans are approved.

Mr. Sogge asked that inspection maintenance of the hillside be done to prevent any further risks.

Mr. Santa said that in reference to the FAR, the closest neighbor is 405 feet away.

Councilmember Reid asked about the slope and if a fire truck could have access. He was very concerned about FAR, history of sliding and drainage.

Councilmember Gray was concerned about FAR, drainage, Forest Preserve, maintenance of hillside. He felt that the matter should be continued.

Councilmember Goodman was concerned about the mass and bulk - he questioned the long hallway and felt that if it were deleted, the structure could be pulled back from the slope.

Mr. Gary Scales said that the Lagunitas Club will have an engineer look at the drainage, prior to the next meeting.

Councilmember Goodman moved that the matter be continued, seconded by Councilmember Reid and passed unanimously.

19. **VARIANCE AND DESIGN REVIEW.**

Thomas and Sandra Bertlesen, 7 Upper Ames Avenue, AP 73-201-01, R-1:B-A (Single Family Residence, One acre minimum).

Variance and design review to allow the following: 1.) a 163 square foot kitchen addition; 2.) an 88 square foot entry porch extension and the enclosure of 64 square feet of existing entry within the east side yard setback (25 feet required, 21 feet proposed; 3.) an arbor addition above a gate within the front yard setback (25 feet required, 9 feet proposed); 4.) a new roof over the pool equipment enclosure, cabana, residence, garage and covered patios. The roof of the residence will encroach within the east side yard setback (25 feet required, 21 feet proposed) and the garage columns within the front yard setback (25 feet required, 22.5 feet proposed.)

Lot Area	43,560 sq. ft.	
Present Lot Coverage	22.2%	
Proposed Lot Coverage	24.9%	(15% permitted)
Present Floor Area Ratio	17.5%	
Proposed Floor Area Ratio	18.1%	(15% permitted)

The existing residence is nonconforming in side yard setback.

Town Planner Broad said that Councilmember Goodman felt that the size of the lot would be a hardship.

Mr. Tom Bertelsen said he purchased the home in 1974 and wanted to give the property some depth and eliminate the long wall.

Councilmember Gray moved approval with the findings and the following conditions:

1. The Town Council reserves the right to require landscape screening for up to two years from project final. A detailed landscape plan including plant size, type and location shall be submitted for Town Planner approval prior to building final.
2. Any new exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
3. All Public Safety Department requirements shall be met.
4. No changes from the approved plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits.
5. Any portable chemical toilets shall be placed off the street and out of public view.

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6. The applicants and/or owners shall defend, indemnify and hold the Town harmless along with its boards, commissions, agents, officers, employees and consultants from any claim, action or proceeding against the Town, its boards, commissions, agents, officers, employees and consultants attacking or seeking to set aside, declare void or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.
7. The floor area of the covered patios may not be "traded-off" to allow additional interior living space.

Councilmember Reid seconded the motion which passed unanimously.

20. VARIANCE AND DESIGN REVIEW.

Rich Petovello, 107 Bolinas Avenue, AP 73-041-10, R-1 (Single Family Residence). Variance and design review to allow a 750 square foot addition to the rear of an existing residence. The addition will encroach within the east and west side yard setbacks (15 feet required, 8 feet and 3.5 feet proposed.)

Lot Area	6,400 sq. ft.
Present Lot Coverage (est.)	20.3%
Proposed Lot Coverage (est.)	30.9 (20% permitted)
Present Floor Area Ratio	18.7%
Proposed Floor Area Ratio	28.3 (20% permitted)

The existing residence is nonconforming in front and side yard setbacks and in covered and uncovered parking requirements (no spaces provided, one covered and one uncovered required.)

Mr. Broad referred to his staff report which reflected his difficulties with smaller parcels in Town. He felt this could be worthy of a study to reexamine Bolinas Avenue and other such areas.

Mr. Petovello said that the house was built in 1918 as a servant's quarters. The last time it was upgraded was 25 years ago. He wished to keep the simple cottage-type appearance and the neighbors supported the project.

Mr. Steve Sipewhich commended Mr. Broad's observations whereby certain zoning should be explored.

Mr. Scott Schaefer expressed support of the project and agreed that the Town should revisit the zoning. He said that the only concern he has is monitoring the drainage.

Public Works Director Elias said that there are problems with the drainage in that area. He said the applicant installed a 12-inch pipe that has to be removed or Mr. Petovello has to retain an engineer to justify the pipe. Mr. Elias was directed to check on this.

Councilmember Curtiss sympathized with the applicants and felt that the zoning could be reviewed.

Councilmember Goodman said that not only the FAR is an issue but also the narrow lot and even with a 30% allowable FAR, the lots would still be nonconforming because of setbacks.

Councilmember Curtiss said the setbacks could also be changed. Mr. Petovello explained that he wished to move his bedroom off Bolinas Avenue to the rear of the property. He said that construction trucks are on the street at 5:30 a.m.

ATTACHMENT 6

MINUTES
Regular Meeting of the
Ross Advisory Design Review Group
7:00 PM, Tuesday, May 18, 2021

Video and audio recording of the meeting is available online at the Town's website at:
townofross.org/meetings.

1. 7:00 p.m. Commencement

ADR Group Chair Mark Kruttschnitt called the meeting to order. ADR Group Members Josefa Buckingham, Laura Dewar, Mark Fritts, and Stephen Sutro were present. Director Patrick Streeter and Planner Matthew Weintraub were present representing staff.

2. Approval of Minutes.

The ADR Group unanimously approved the April 20, 2021 meeting minutes.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications.

a. Millman Residence, 7 Upper Ames Avenue

Project Owner: Michael and Emily Millman

Project Designer: Geiszler Architects

DESCRIPTION: The applicant is requesting approval of Design Review, Accessory Dwelling Unit (ADU) Permit, and Nonconformity Permit to convert an existing attached garage to a new ADU; construct a new two-story addition to the existing single-family residence including a new two-car garage; renovate the front façade including alter and raise the roofline; and rehabilitate the existing landscape including new pool, pool bath, patios, walkways, fences, auto court, artificial lawn, trees and vegetation. Approval of ADU Permit Exception is required to transfer the amount of existing floor area that is converted to an ADU as a floor area allowance for a new addition.

Planner Weintraub introduced the project.

Owner Michael Millman provided background on the project.

Architect Steve Geiszler provided information on the project.

Member Buckingham asked for and received clarification from the applicant and staff with respect to the proposed reconstruction and relocation of existing nonconforming floor area.

No new public comments were received.

ADR Group Members discussed the merits of the project and provided the following comments:

Mark Fritts:

- Appreciates the balanced massing of the project.
- Materials are appropriate.
- Proportions are good.

Mark Kruttschnitt:

- Huge improvement over existing conditions.
- Project massing is good.
- Suggests moving pool steps and hot tub closer to the house.
- Suggests that more existing square footage could be relocated and reconstructed as two-story to provide for a larger yard.

Stephen Sutro:

- Supports the project as submitted.
- Very well done.
- Additional details could include copper gutters and deeply set windows.
- Form and volume are lovely.
- Totally supportable.

Laura Dewar:

- Existing site topography complements/mitigates the proposed massing.
- Appreciates the architecture; great improvement.
- Asked for and received clarification from staff on ADU conversion and floor area allowance.

Josefa Buckingham:

- ADU's are encouraged.
- Lovely project, although prefers detached ADU.
- Project succeeds in bringing floor area from the back of the lot to the front of the lot; nice job of integration.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval of the project as proposed.

Chair Kruttschnitt closed the hearing.

b. Stewart Residence, 187 Prospect Avenue

Project Owner: Ashley and Andy Stewart

Project Designer: Scott Tseckares, Denler Hobart Gardens

DESCRIPTION: The applicant is requesting approval of Design Review and Variance to redevelop the landscape of the existing single-family residence, including: construct a new combination pool/spa, associated patio and arbor, and mechanical equipment enclosure; construct paths, walls, and planters; install new trees, groundcover, and vegetation; and construct a new front yard fence. Variance is required to construct a new patio and arbor structure within the minimum required rear (east) yard setback.

Planner Weintraub introduced the project.

Owner Andy Stewart provided background on the project.

Architect Scott Tseckares provided information on the project. ADR Group Members asked for and received further information from the applicant with respect to the proposed landscape plan.

No new public comments were received.

ADR Group Members discussed the merits of the project and provided the following comments:

Josefa Buckingham:

- Fully supports it.
- Great project.

Stephen Sutro:

- Fully supports the project.
- Existing topography, vegetation, and graciousness of the street perspective justifies locating the shade structure in the rear yard setback.
- The lot cannot take full advantage of open space at the front of the lot for pools and patios due to the existing conditions.
- Recommends to the Council that the proposed rear yard setback encroachment does not negatively affect the neighbor, who has not objected.
- Project siting is natural and takes advantage of site topography in a beautiful way.
- Recommends minor conditions/revisions:
 - 1) Include plantings in front of walls for screening/aesthetics.
 - 2) Screen the fence with plantings so it's minimally visible.
 - 3) Improve appearance of the equipment enclosure/screening.

Laura Dewar:

- Recommends improving the appearance of the equipment enclosure/screening.
- Recommends minimizing visibility of the new pool area from the street.
- Supports the project.

Mark Kruttschnitt:

- Fence should be located behind the hedge to minimize visibility of the fence.
- Recommends improving the appearance of the equipment enclosure/screening; possibly relocating and/or undergrounding it.
- Supports the project.

Mark Fritts:

- Recommends improving the appearance of the equipment enclosure/screening; possibly relocating and/or undergrounding it.
- Supports location of the shade structure in the rear yard setback; appropriate location.
- Recommends no lighting on the shade structure.
- Fence should be located behind the hedge to minimize visibility of the fence.
- Recommends moving the front yard fence back from the street to provide a yard buffer and maintain open appearance from the streetscape.

Architect Scott Tseckares responded to comments and provided information on proposed design alternatives with respect to fencing, landscaping, and mechanical equipment enclosure/screening.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval; and that the majority recommended approval upon conditions that the project design be revised to locate the fence behind the hedge for screening and aesthetics; to move the fence back from the street to provide an open lawn buffer at the streetscape; and to consider alternate locations and/or screening measures for the pool equipment.

Chair Kruttschnitt closed the hearing.

5. Conceptual Advisory Design Review. None.

6. Communications

a. Staff

Director Streeter provided information on the Corte Madera Creek Flood Control Project.

b. ADR Group Members

Chair Kruttschnitt may be absent from the June 15, 2021 meeting.

Member Dewar may be absent from the July 13, 2021 meeting.

7. Adjournment

Chair Kruttschnitt adjourned the meeting at 8:17 PM.