



Agenda Item No. 16.

Staff Report

Date: June 10, 2021
To: Mayor Robbins and Council Members
From: Matthew Weintraub, Planner
Subject: Stewart Residence, 187 Prospect Avenue

Recommendation

Town Council approval of Resolution No. 2208 (see **Attachment 1**) approving Design Review and Variance for the subject project as described below.

Project Owner:	Ashley and Andy Stewart
Project Designer:	Scott Tseckares, Denler Hobart Gardens
Street Address:	187 Prospect Avenue
A.P.N.:	072-071-30
Zoning:	R-1: B-10
General Plan:	ML (Medium Low Density)
Flood Zone:	X (Minimal risk area)

Project Summary: The applicant is requesting approval of Design Review and Variance to redevelop the landscape of the existing single-family residence, including: new combination pool/spa, associated patio, shade structure, walls, and mechanical equipment enclosure; new front yard fence; and new landscape plantings for screening and aesthetics. Variance is requested to construct a new patio and shade structure within the minimum required rear (east) yard setback.

Public Notice

Public Notices were mailed to property owners within 300 feet of the project site at least 10 days prior to the meeting date.

Project Data
n/a = not applicable

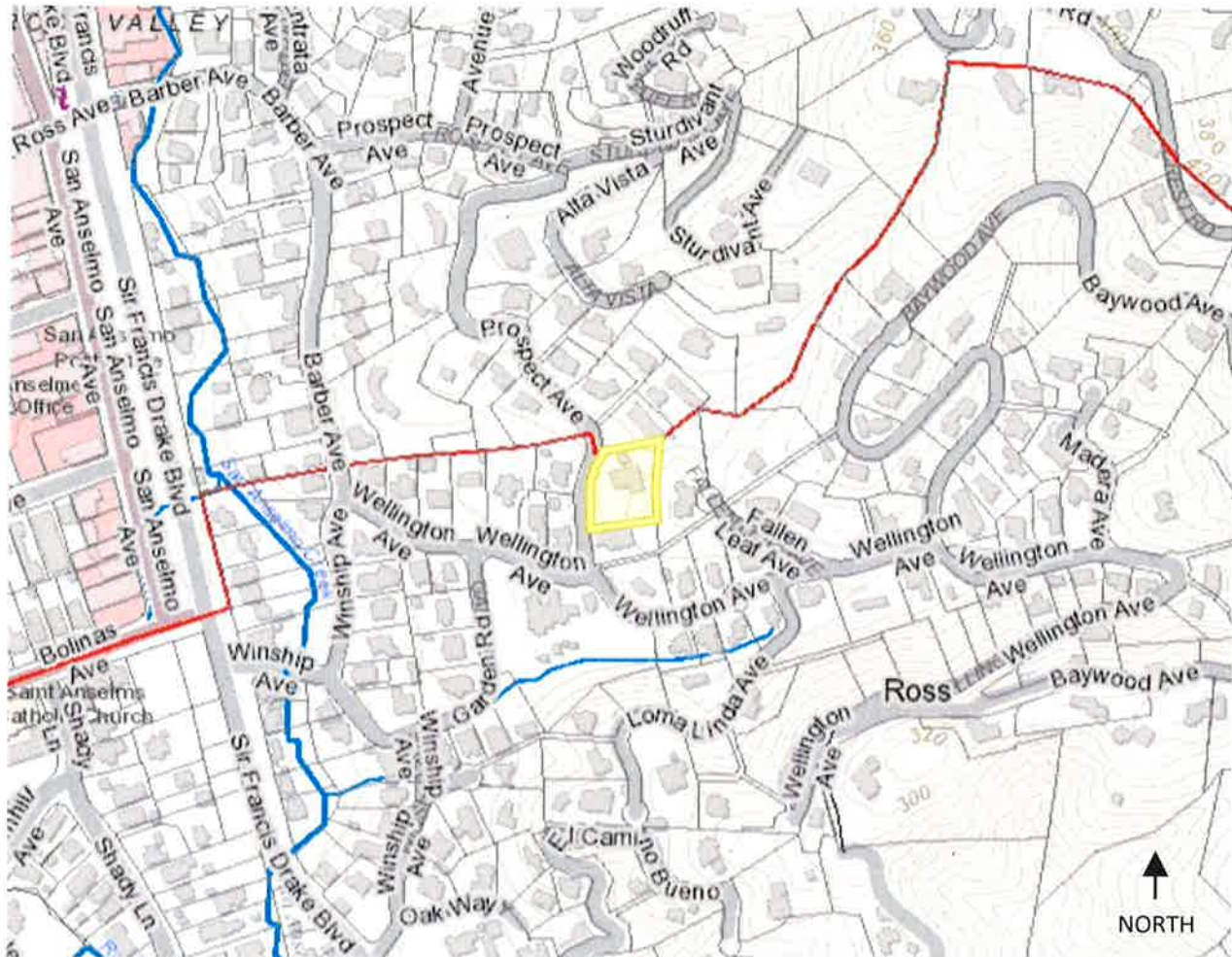
Project Item	Code Standard	Existing	Proposed
Lot Area	10,000 sf min.	20,905 sf	No change
Floor Area	20% max.	n/a	n/a
Building Coverage	20% max.	n/a	n/a
Front Yard Setback, Street/West	25' min.	n/a	Pool equip.: > 25'
Side Yard Setback, North	15' min.	n/a	n/a
Side Yard Setback, South	15' min.	n/a	Pool: > 15' Pool equip.: 15'
Rear Yard Setback, East	40' min.	n/a	Arbor/patio: 31'-6" Pool: > 40'
Building Height	30'; 2 stories max.	n/a	n/a
Off-street Parking Spaces	3;1 covered min.	n/a	n/a
Impervious Surfaces ¹	Minimize and/or mitigate	4,152 sf	5,864 sf

¹ Low Impact Development (LID) for Stormwater Management, Design Review criteria and standards, per RMC Section 18.41.100 (t).

Location Map

Source: MarinMap (www.marinmap.org).

Note: Building locations are approximate and shown for reference only. Please refer to project plans for accurate site data.



Project Site

Source: MarinMap (www.marinmap.org).

Note: Building locations are approximate and shown for reference only. Please refer to project plans for accurate site data.



Project Description

The project would redevelop the landscape of the existing single-family residence. A new combination pool/spa with dimensions of 14.5' x 36' would be constructed in the existing open area south of the existing single-family residence. The pool would conform to the minimum required setbacks, located at least 40' from the rear property line and 15' from the south side property line. Terraced lawns and curved walls (maximum heights 4'-4" and 2'-6") with screening vegetation would be located in front of the pool. Behind the pool, a new patio and open arbor shade structure would be constructed 31.5' from the rear property line, within the minimum required rear yard setback. The arbor would be 11' tall and constructed of wood.

At the southwest quadrant of the property, the project would install new pool mechanical equipment with sound insulation, fence enclosure, and screening vegetation. The new equipment enclosure would conform to the minimum required setbacks, located at least 25' from the front property line and 15' from the south side property line. New screening hedges would be planted along the new front yard fence line, the south side property line, and the rear property line; and new trees would be planted to revegetate open lawn areas at the front and back of the property.

The project would mitigate for the increased impervious surface coverage on the property, resulting primarily from the new pool, patio, and driveway expansion, by installing a new bioretention area designed at 200% the size needed to decrease the velocity of stormwater runoff and allow for infiltration on-site, so that the post-development stormwater runoff rates from the site would be less than existing rates.

The proposed project is subject to the following permit approvals:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for fences and gates greater than 48" in height in any yard adjacent to the street or right-of-way; an activity or project resulting in more than 50 cubic yards of grading; and a project resulting in over 1,000 square feet of new impervious landscape surface.
- **Variance is required pursuant to RMC Section 18.49.010** to allow construction of a new shade structure and patio within the minimum required rear yard setback.

Project application materials are included as follows: Project Plans as **Attachment 2**; Project Description as **Attachment 3**; Arborist Report as **Attachment 4**; and Neighborhood Outreach Description as **Attachment 5**.

Background

The project site is located on the east side of Prospect Avenue, north of Wellington Avenue. The lot is irregular and curved in shape. It has an average slope of 17%. It contains an existing single-family residence and detached garage.

According to the Assessor's Office, development occurred on the site in 1918 and 1985. According to the Town's records, the following approvals were previously granted for the property:

- 4/8/65: Variance for residential addition with nonconforming setback.
- 11/14/89: Variance for residential addition within nonconforming floor area.

The Project History is included as **Attachment 6**.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions to Attics, a Hillside Lot Permit, Variance, and/or ADU Exception.

The Advisory Design Review (ADR) Group reviewed the project on May 18, 2021. The ADR Group received information from the applicant, allowed public comments, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (RMC) and the Town of Ross Design Guidelines. The meeting minutes are included as **Attachment 6**.

On May 18, 2021, the ADR Group unanimously recommended with conditions that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per RMC Section 18.41.100 and therefore conditionally recommended approval of Design Review. The ADR Group made the recommendation of approval conditional on the following revisions to the project design as presented to the ADR Group: provide green screening in front of the new walls; move back the new front fence and obscure it with screening vegetation; and mitigate to a greater degree the visual impacts of the new equipment enclosure, which may include relocating, undergrounding, and/or improved screening.

In consideration of comments received from the ADR Group, the applicant revised the project design to be consistent with the ADR Group's recommendations by adding shrubs, perennials, and ivy in front of the new walls; by moving back the new front fence between 3' and 11' from the sidewalk; by placing the screening hedge on the street side of the new fence; and by adding evergreen shrubbery in a naturalistic pattern to screen the new equipment enclosure. The final revised project design is included in Project Plans as **Attachment 2**.

Public Comment

No public comments were received prior to the finalization of this report.

Key Issues

Variance Request

Pursuant to RMC 18.48.010, where practical difficulties, unnecessary hardships and results inconsistent with the general purpose of the zoning ordinance may result from the strict

application of certain provisions thereof, variances, exceptions and adjustments may be granted, by the Town Council in appropriate cases, after public notice and hearing as provided in the zoning ordinance. Variances shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

In accordance with RMC Section 18.48.010 (c), a Variance is recommended for approval to allow the construction of a new patio and shade structure within the minimum required rear (east) yard setback based on the following mandatory findings:

- 1) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.

The special circumstances and conditions applicable to the land include the irregular, curved shape of the lot and orientation of the existing residence, which results in much of the useable yard area next to the residence being located within the 40' minimum required rear setback. Consequently, the strict application of the minimum required rear yard setback on the property would prohibit a new patio and shade structure located directly behind the new pool and adjacent to the existing house, which is the most practical and desirable location for a new patio and shade structure. As recommended by the ADR Group, the proposed rear yard setback encroachment results in a superior design as compared to less preferable alternatives such as locating the patio and shade structure in front of the pool and house, moving the entire pool/patio/shade structure forward on the property (which would increase land disturbance and wall heights), or omitting the patio and shade structure.

- 2) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.

Patios, shade structures, and associated landscape improvements are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting of the variance request, in a neighborhood where existing nonconforming setbacks are not uncommon, including on properties directly adjacent to the subject property, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting of the Variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

- 3) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The new patio and shade structure would encroach less than 10' into the 40' minimum required rear yard setback. The patio and shade structure would be located at least 31'-6" away from the

rear property line, which provides adequate privacy based on existing and proposed buffers between properties, including open areas, structures, plantings, and topography. New hedges along the property lines and new and existing trees in the rear yard would provide screening. The owners of adjacent properties have provided written comments in support of the project, including the property at 2 Fallen Leaf Avenue which is the only property located directly adjacent to the proposed rear yard setback encroachment. No members of the general public have expressed concerns or issues with respect to the project.

Privacy

Pursuant to RMC 18.41.100 (m), outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties.

The project provides adequate privacy based on existing and proposed buffers between properties, including open areas, structures, plantings, and topography. The proposed new pool and associated patios and patio structures would be located at least 15' from the south side property line (which conforms to the minimum required side yard setback); the pool would be located at least 40' from the rear property line (which conforms to the minimum required rear yard setback); and the new patio and shade structure would be located at least 31'-6" from the rear property line. The new equipment enclosure would be located at least 25' back from the street and at least 15' from the south side property line (which conforms to the minimum required yard setbacks); and it would be screened by clustered evergreen hedges. Equipment would be enclosed and insulated to conform to the Town's noise maximum standard of 55 decibels at the property line. New screening hedges would be planted around the entire south lawn and new pool/patio area, along the new front fence line and along the south and rear property lines. The owners of adjacent properties have provided written comments in support of the project. No members of the general public have expressed concerns or issues with respect to the project.

Hydrology

Pursuant to RMC 18.41.100 (t), to the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Include vegetative and landscaping controls such as bioretention areas to decrease the velocity of runoff and allow for stormwater infiltration on-site.

The project would mitigate for the increased impervious surface coverage on the property, resulting primarily from the new pool, patio, and driveway expansion, by installing a new bioretention area, integrated into the landscape design. The new bioretention area is designed at 200% the size needed to decrease the velocity of stormwater runoff and allow for infiltration on-site, so that the post-development stormwater runoff rates from the site would be less than existing rates.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Attachments

1. Resolution No. 2208
2. Project Plans
3. Project Description
4. Arborist Report
5. Neighborhood Outreach Description
6. Project History
7. ADR Group Meeting Minutes, May 18, 2021

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2208

A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW AND VARIANCE TO REDEVELOP THE LANDSCAPE OF THE EXISTING SINGLE-FAMILY RESIDENCE, INCLUDING: NEW COMBINATION POOL/SPA, ASSOCIATED PATIO, SHADE STRUCTURE, WALLS, AND MECHANICAL EQUIPMENT ENCLOSURE; NEW FRONT YARD FENCE; AND NEW LANDSCAPE PLANTINGS AT 187 PROSPECT AVENUE, A.P.N. 072-071-30

WHEREAS, applicant Denler Hobart Gardens, on behalf of property owners Ashley and Andy Stewart, has submitted an application requesting approval of Design Review and Variance to redevelop the landscape of the existing single-family residence, including: new combination pool/spa, associated patio, shade structure, walls, and mechanical equipment enclosure; new front yard fence; and new landscape plantings at 187 Prospect Avenue, A.P.N. 072-071-30 (herein referred to as "the Project").

WHEREAS, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on June 10, 2021, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review and Variance to allow the Project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 10th day of June 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Elizabeth Robbins, Mayor

ATTEST:

Linda Lopez, Town Clerk

EXHIBIT "A"
FINDINGS
187 PROSPECT AVENUE
A.P.N. 072-071-30

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the project is in substantial compliance with the design criteria of RMC Section 18.41.100. Natural materials such as wood and stone are used. Exterior lighting is shielded and directed downward to not create glare, hazard or annoyance to adjacent property owners or passersby. Front yard fences are transparent and set back to allow for installation of a landscape buffer to soften the visual appearance. Landscaping includes appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, walls, and equipment. Outdoor areas are sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping is provided to protect privacy between properties. Bioretention is integrated into the landscape design, so that the post-development stormwater runoff rates from the site would be less than existing rates.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The project is consistent with the allowed uses and general development standards associated with the Medium Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations, therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with Ross Municipal Code (RMC) Section 18.48.010 (c), Variance is approved based on the following mandatory findings:

a) That there are special circumstances or conditions applicable to the land, building or use referred to in the application.

The special circumstances and conditions applicable to the land include the irregular, curved shape of the lot and orientation of the existing residence, which results in much of the useable yard area next to the residence being located within the 40' minimum required rear setback. Consequently, the strict application of the minimum required rear yard setback on the property would prohibit a new patio and shade structure located directly behind the new pool and adjacent to the existing house, which is the most practical and desirable location for a new patio and shade structure. As recommended by the ADR Group, the proposed rear yard setback encroachment results in a superior design as compared to less preferable alternatives such as locating the patio and shade structure in front of the pool and house, moving the entire pool/patio/shade structure forward on the property (which would increase land disturbance and wall heights), or omitting the patio and shade structure.

b) That the granting of the application is necessary for the preservation and enjoyment of substantial property rights.

Patios, shade structures, and associated landscape improvements are commonly enjoyed by owners of residential properties in the immediate vicinity. Granting of the variance request, in a neighborhood where existing nonconforming setbacks are not uncommon, including on properties directly adjacent to the subject property, may be deemed necessary for the preservation and enjoyment of the owner's substantial property rights. Granting of the Variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

c) That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The new patio and shade structure encroach less than 10' into the 40' minimum required rear yard setback. The patio and shade structure are located at least 31'-6" away from the rear property line, which provides adequate privacy based on existing and proposed buffers between properties, including open areas, structures, plantings, and topography. New hedges along the property lines and new and existing trees in the rear yard provide screening. The owners of adjacent properties have provided written comments in support of the project, including the property at 2 Fallen Leaf Avenue which is the only property located directly adjacent to the rear yard setback encroachment. No members of the general public have expressed concerns or issues with respect to the project.

EXHIBIT "B"
CONDITIONS OF APPROVAL
187 PROSPECT AVENUE
A.P.N. 072-071-30

1. This approval authorizes Design Review and Variance to redevelop the landscape of the existing single-family residence, including: new combination pool/spa, associated patio, shade structure, walls, and mechanical equipment enclosure; new front yard fence; and new landscape plantings at 187 Prospect Avenue, A.P.N. 072-071-30 (herein referred to as "the Project").
2. The building permit shall substantially conform to the plans entitled, "Stewart Residence, 187 Prospect Avenue, Ross, CA 94957, APN: 072-071-30", dated/revised 5.26.21 ("Town Council"), and reviewed and approved by the Town Council on June 10, 2021.
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
5. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.

9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
 - f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
 - g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
 - h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout

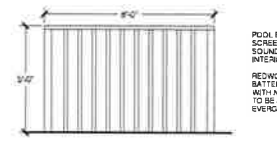
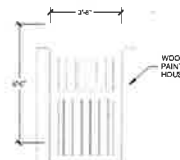
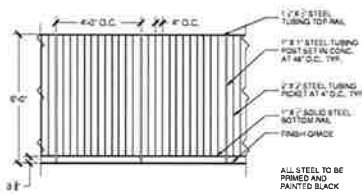
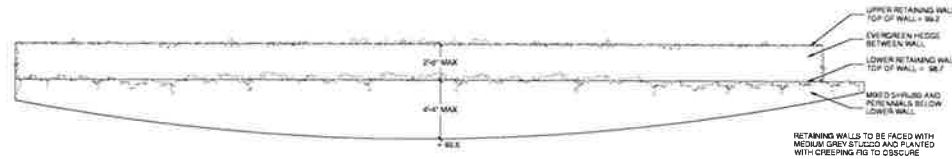
areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.

- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.

- ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2



SHEET INDEX

L-0	INDEX, NOTES, DETAILS AND PLANT LIST
L-1	LANDSCAPE MATERIALS PLAN
ESP	EXISTING SITE PLAN
C-1	COVER SHEET
C-2	CONCEPTUAL GRADING AND DRAINAGE PLAN
C-3	DETAILS
A1.0	TRELLIS PLAN AND ELEVATION
VMP-1	VEGETATION MANAGEMENT PLAN



PROJECT DESCRIPTION

187 Prospect is a beautiful 100 year old Ross residence set in an existing garden, with views to Mt. Tam and Bald mountain. The clients engaged our services to add a swimming pool to their existing landscape. The proposed 30' x 14'-6" pool is sited to take advantage of the existing sloping grade and proximity to the kitchen. A simple wooden arbor and two new wooden gates are proposed at the entry. All garden elements take into consideration the charming character of the architecture. Existing materials such as brick walks are to remain. New hardscape and pool coping will integrate traditional bluestone. Screen planting is proposed 10' from Prospect Street and at the end of the pool to screen from adjacent neighbors.

NOTES

SPOT ELEVATIONS ARE FOR DESIGN INTENT ONLY. SEE CIVIL ENGINEERING DRAWINGS FOR ALL SPOT ELEVATIONS, GRADING, DRAINAGE, AND CONTOURS.

LOCATION OF ADJACENT HOUSES IS APPROXIMATE. LOCATIONS SHOW IS FROM MARINMAP.ORG.

ASHLAR PAVING IS TO BE FULL RANGE, NATURAL CLEFT. NO BROWNS, GREENS, OR PURPLES.

ALL BLUESTONE TREADS TO BE SELECT BLUE, FLAMED SURFACE. 2" THICK. RISERS TO BE 3/4" BLUESTONE APPLIED FLAT TO RISER.

BLUESTONE COPING TO BE 15" WIDE BY 38" LONG (TYP) BY 2" THICK SELECT BLUE. EDGE TO BE DETERMINED.

ALL LANDSCAPE LIGHTING IS TO BE DOWNWARD DIRECTED SO AS NOT TO SHINE TOWARDS ADJACENT PROPERTIES OR RIGHT OF WAYS.

STUCCO TO BE MEDIUM GREY.

ALL PLANTING AREAS TO RECEIVE 3" OF BARK MULCH.

EXISTING FIRE-PRONE ACACIA TREES TO BE REMOVED FROM PROPERTY (SEE ARBORIST REPORT).

THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH MMWD WATER EFFICIENCY LANDSCAPE CODE AND RVFD STANDARD 220.

TOTAL MODIFIED LANDSCAPE: APPROX. 7170 SF

THIS DRAWING IS FOR PLANNING, DESIGN REVIEW ONLY. NOT FOR CONSTRUCTION.

PRELIMINARY PLANT LIST

	Botanical Name	Common Name	Rated Fire Safe	WUCOLS	Evg or Dec	Native	QTY	Mature Height	Mature Width	Planted Size
Trees and Screen Planting	Arbutus Menziesii	Strawberry Tree	✓	L	E	Y	3	25-40'	25-30'	TBD
	Cornus 'Eddie's White Wonder'	Dogwood	✓	M	D		5	20-40'	15-35'	24" box
	Podocarpus gracilior	Fern Podocarpus	✓	M	E		5	25'	15'	30" box
	Prunus alabamica	Flowering Cherry	✓	M	D		5	20-25'	20-25'	TBD
Shrubs	Prunus laurocerasus	English Laurel	✓	M	E		47	12'	8'	8.8.8
	Abutilon white	Flowering Maple	✓	M	E		TBD	12'	12'	1 gal
	Buddleia nanho blue	Butterfly Bush	✓	L	D		TBD	3-5'	3-5'	5 gal
	Buxus 'Green Beauty'	Boxwood	✓	M	E		TBD	4-6'	4-6'	5 gal
	Calycanthus occidentalis	Spice Bush	✓	M	E	Y	TBD	3-12'	3-12'	5 gal
	Daphne odora	Daphne	✓	L	E		TBD	3-4'	4-6'	5 gal
	Gardenia radicans	California Gardenia	✓	M	E		TBD	1'	2-3'	5 gal
	Hydrangea limelight	Lime Light Hydrangea	✓	M	D		TBD	6-8'	6-8'	5 gal
	Hydrangea quercifolia	Oakleaf Hydrangea	✓	M	D		TBD	5-8'	5-8'	5 gal
	Olea 'Little Olive'	Little Olive Dwarf Olive	✓	L	E		TBD	4-6'	4-6'	5 gal
	Laurocarya nobilis	Laurel	✓	L	E		3	15-40'	15-30'	TBD
	Ligustrum sinense	Waxleaf Privet	✓	M	E		TBD	6-8'	4-6'	15 gal
	Mycrsine africana	African Boxwood	✓	L	E		TBD	4-8'	3-6'	5 gal
	Pitt. Kalmii	Kalmii	✓	M	E		TBD	20-30'	20-30'	5 gal
	Pittosporum tobira	Japanese Pittosporum	✓	L	E		TBD	10-15'	10-15'	5 gal
	Polystichum munitum	Mexican Sword Fern	✓	L	E	Y	TBD	2-4'	2-3'	5 gal
	Prunus caroliniana	Carolina Cherry Laurel	✓	L	E		TBD	20-30'	12-25'	15 gal
	Rhamnus californica	Coffeeberry	✓	L	E	Y	TBD	6-15'	6-15'	5 gal
	Ribes sanguineum	Red-flowering currant	✓	L	D	Y	TBD	6-12'	7'	3 gal
	Sarcococca ruscifolia	Fragrant Sweet Box	✓	L	E		TBD	3-4'	3-4'	5 gal
	Symphoricarpos albus	Snowberry	✓	L	D	Y	TBD	3-6'	3-6'	5 gal
Groundcovers	Syringa vulgaris benardii	ilial	✓	L	D		TBD	8-10'	6-10'	5 gal
	Teucrium fruticosum	Butch Germander	✓	L	E		TBD	3-4'	4-5'	5 gal
	Ceanothus 'Twinkle Blue'	California Lilac	✓	L	E		TBD	2-3'	8-10'	4"
	Ceratostigma plumbaginoides	Dwarf Plumbago	✓	L	E		TBD	6-12'	1-2'	4"
	Convolvulus blue	Ground Morning Glory	✓	L	E		TBD	6-12'	spreading	4"
	Satureja douglasii	Herbaceous Bush	✓	L	E	Y	TBD	6"	3"	4"
	Anemone horopurpurea	Japanese Anemone	✓	M	E		TBD	2-5'	2"	4"
	Aster frikartii	Aster	✓	M	E		TBD	3"	3"	4"
	Centranthus ruber 'Albus'	White Valerian	✓	L	E		TBD	2-3'	2-3'	4"
	Helleborus sp.	Lenten Rose	✓	L	E		TBD	1-2'	1"	4"
Perennials	Impatiens	Douglas Iris	✓	L	E	Y	TBD	1-2'	2-4"	4"
	Monarda villosa	Coyote Mint	✓	L	E	Y	TBD	3"	3"	4"
	Nepeta	Catmint	✓	L	E		TBD	1-2'	2-3"	4"
	Penstemon holy white	Beard Tongue	✓	L	E	Y	TBD	2-3'	2-3"	4"
	Peony	Peony	✓	L	E		TBD	3'	3"	4"
	Salvia amplexicaulis	Salvia	✓	L	E		TBD	3-4'	3-4"	4"
	Salvia greggii	Autumn Sage	✓	L	E		TBD	2-4'	2-4"	4"
	Scabiosa white	Pincushion flower	✓	L	E		TBD	1-2'	1-2"	4"
	Teucrium (dwarf)	Dwarf Germander	✓	L	E		TBD	1-2'	2-3"	4"
	Turf	Bulrush Plus Suet	✓	L	E		TBD			4"

Plants with checks in the "rated fire safe" column were affirmatively rated "safe" on at least one of several lists researched. The remaining plants on the list did not appear on any fire-prone lists researched.



DENIER LOBART GARDENS, LLC
P.O. Box 12071 Ross, California 94057
T: 415 518 1653
DenierLobartGardens.com

REVISIONS

1. 10.21.2021
2. 10.21.2021

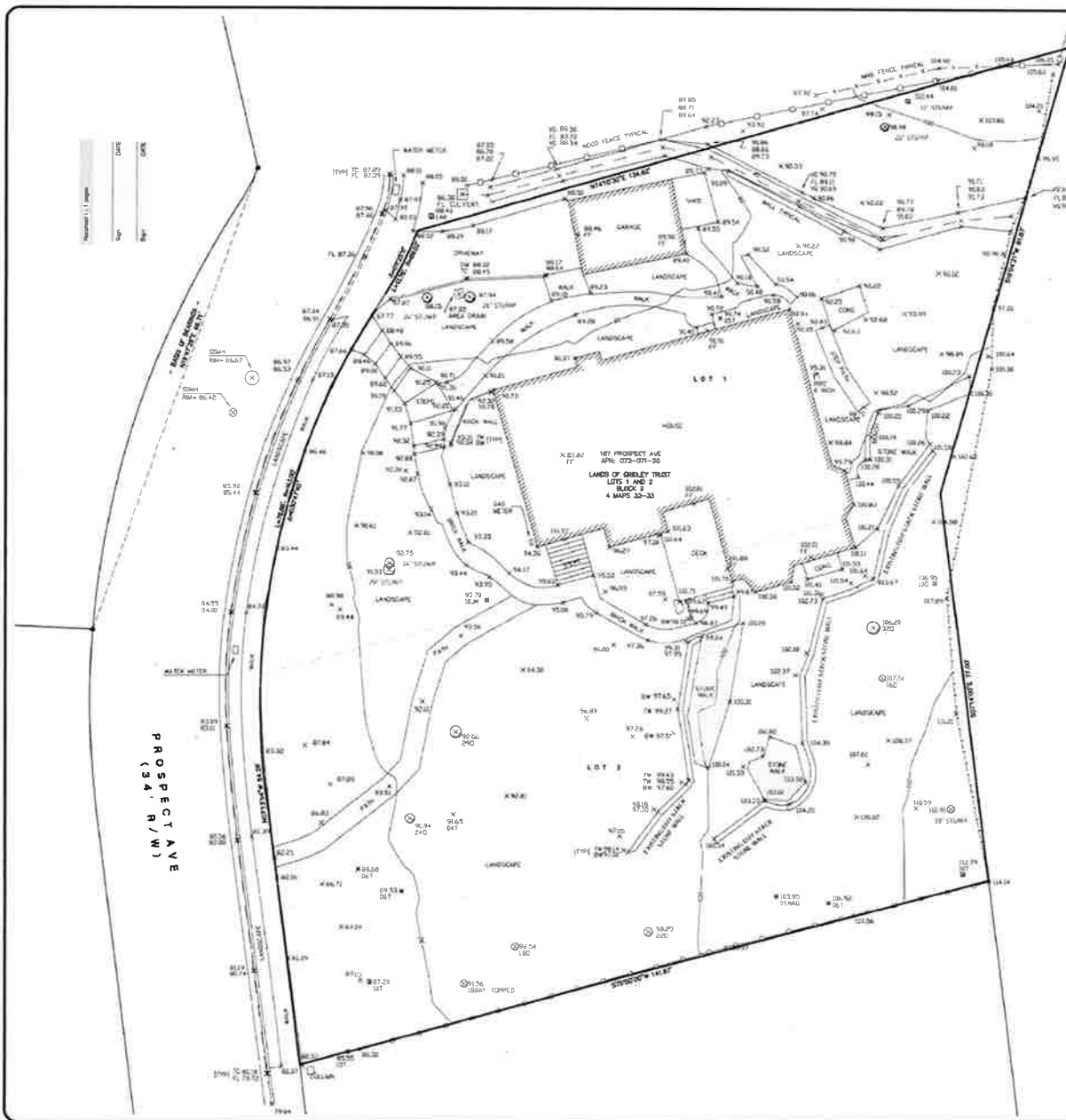
STEWART RESIDENCE

187 Prospect Avenue | Ross, CA 94057
APN: 072-071-30

DATE: MAY 13, 2021
DRAWN BY: DENIER LOBART
SCALE:

Notes: No fire details
and Paving List

L-0



- LEGEND**
- BM BOTTOM OF WALL
 - CONC CONCRETE
 - CP EDGE OF PAVEMENT
 - EP FINISHED FLOOR
 - FL FLOWLINE
 - SMH SANITARY SINKER MANHOLE
 - TC TOP OF CURB
 - TM TOP OF MOUNTAIN
 - VG VALLEY CUTTER
- 1/2" REBAR & CAP 1/2" 5005' PEN 2010 MAPS 34
- 12 WALS INDICATES TREE SIZE AND TYPE
- | | | | |
|-----|----------------|---|---------|
| RAY | RAY LAUREL | R | REDWOOD |
| JA | JAPANESE MAPLE | 1 | TREE |
| MAG | MAGNOLIA | | |
| O | OAK | | |

- NOTES**
1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 2. THE DATE OF THE FIELD SURVEY WAS DECEMBER 4, 2015 AND DECEMBER 11, 2015.
 3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.

REMARKS

ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

WARRANTY

THE BEARING, HIGH, AND DISTANCE, AS CALCULATED BETWEEN THE TWO FOUND IRON PPK MONUMENTS ON THE WESTERLY RIGHT-OF-WAY LINE OF PROSPECT AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON APRIL 10, 2010 IN BOOK 2853 OF MAPS AT PAGE 24 IN THE OFFICE OF THE RECORDER, NASSAU COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

FILE RECORD STATE

NO ABSTRACT OF TITLE NOR TITLE COMMITMENT OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

FILE INFO

THESE TYPES, DUMP LOTS, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND SPACING CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

DATE: 12/22/15

1 of 1

EXISTING SITE PLAN

ESP

TOPOGRAPHIC SURVEY
LANDS OF GRIDLEY TRUST
187 PROSPECT AVENUE

MUIR CONSULTING, INC.
178 CHURCH AVENUE
SUITE 200
(209) 845-8620 FAX (209) 845-8639
LAND SURVEYING • GPS • PLANNING
www.muirconsulting.com

JOB NUMBER: 4714-01

DATE: 12/22/15

1 of 1

ROSS

	ASPHALT PAVING (IMPERVIOUS)		PROPERTY LINE		CONCRETE PAVING (IMPERVIOUS)		EX ADJACENT RET WALL		SUBDRAIN WITH RATED PIPE
	NEW FLAGSTONE PAVING (IMPERVIOUS)		DRAINAGE DITCH SHOULDER		UNDISTURBED SOIL		COMPACTED FILL MATERIAL		GEOTEXTILE
	NEW CONCRETE PAVERS (SEMI-PERVIOUS)		EROSION CONTROL BLANKET		CURB REINFORCING KEY		STRAIN MATTRESS		RUNOFF FLOW DIRECTION
	NEW WOOD DECK (PERVIOUS)		SHALE FLOW DIRECTION		STORMWATER LEVEE SPREADER		BUBBLE-UP DRAINAGE EMITTER		POP UP DRAINAGE EMITTER
	PERVIOUS PAVING		SUBDRAIN END CAP		SUBDRAIN OR STORMWATER CLEANOUT		SUBDRAIN OUTLET		HYDRO FOUNDATION OR RETAINING WALL
	GRANTED LANDSCAPED AREA		TREE PROTECTION FENCING						
	GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)								
	EROSION CONTROL BLANKET								
	BUILDING ADDITION								
	AREA DRAIN								
	DRAINAGE INLET								
	ROOF LEADER								
	FIRE HYDRANT								
	JOINT POLE								
	GAS METER ELECTRIC METER								
	WATER METER								
	EX TREE								
	EX TREE DOORLINE								

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	LONGITUDINAL GRADINGS AND DRAINAGE PLAN
C-3	DETAILS

[illegible]

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	4.32 SF	986.4 SF
(CONCRETE PAVES (PERVIOUS))	0 SF	0 SF
LANDSCAPE (PERVIOUS)	11,638 SF	5,730 SF
TOTAL LOT AREA	21,740 SF	21,740 SF

1. IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS, POOL AND PATIO.
2. NEW OR REPLACEMENT IMPERVIOUS AREA IS 1655 SF.

CHICK
MASTER SIGNET
181 PROSPECT AVENUE
ROSA, CALIFORNIA 94401
415. 128 4561



ISSUED FOR
REVIEW
NOT FOR
CONSTRUCTION

These documents, and all designs incorporated herein are an instrument of professional service and the property of LTD Engineering Inc. Return of these documents for any other project, in whole or in part, to all or some parties without authorization from LTD Engineering Inc.

WILLIAM H. ROSS, JR.
APN 072-071-30
187 PROSPECT AVENUE
ROSS, CALIFORNIA

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS AND THE SITE TOPOGRAPHY.

EXCAVATION	210 CY
FILL	40 CY
EXCESS	10 CY
MAX EXCAVATION DEPTH	6 FT
MAX FILL DEPTH	5 FT
DISTURBED AREA	0.13 AC

1. QUANTITIES ARE "IN PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
2. LEGALITY OF USE OF EXCESS MATERIAL OFF-SITE.
3. SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDINGS OFFICIALS/DIRECTOR OF PUBLIC AD.

1. THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
2. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

REVISION:	0
SHEET NO:	1 of 3
DRAWING:	C-1

DESIGN REVIEW NOTES

STORMWATER DRAINAGE PLAN

1. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN OF ROSS REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 4,523 SQUARE FEET (50.11) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 2,740.50 SQ. FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 16 PERCENT OF THE TOTAL LOT AREA.
3. THE PROPOSED DEVELOPMENT PLAN ADDS 1712.50 SQ. FT. OF NEW IMPERVIOUS AREA, GIVING A TOTAL OF 6,235.50 SQ. FT. OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 27 PERCENT OF THE LOT AREA.
4. THE INCREASE IN STORMWATER RUNOFF DUE TO CONSTRUCTION OF ADDITIONAL IMPERVIOUS SURFACES WILL BE MITIGATED BY INSTALLING A BIO-RETENTION BASIN. A PIPED STORMWATER DRAINAGE SYSTEM WILL BE USED TO THE POOL DECK (340 SQ. FT.) TO A BIO-RETENTION BASIN. THE BIO-RETENTION BASIN WILL SLOW THE RUNOFF RATE, ALLOW STORMWATER TO INFILTRATE AND PROVIDE STORMWATER TREATMENT. ANY OVERFLOW FROM THE BIO-RETENTION BASIN WILL BE DIRECTED TO THE EXISTING DRAINAGE SYSTEM IN THE STREET.
5. RUNOFF FROM NEW IMPERVIOUS SURFACES WILL BE DISCHARGED DIRECTLY TO LANDSCAPE AREAS.
6. THE BIO-RETENTION BASIN ARE DESIGNED TO CAPTURE THE 10-YEAR STORM AND INFILTRATE IT INTO THE GROUND IN ACCORDANCE WITH MCDONNELL GUIDELINES. THE SURFACE AREA OF THE BASIN AND DETAILS OF CONSTRUCTION COMPLY WITH MCDONNELL GUIDELINES.

EXCAVATION & GRADING PLAN

1. SITE GRADINGS WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN.
2. EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

EROSION CONTROL

1. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAIN MATS WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARP TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BLANKETS AND STRAIN MATS.
2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE LIMITED DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLAN.

STORMWATER POLLUTION PREVENTION

1. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION ACTIVITIES WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL, PROCEDURES CONCERNING REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

UTILITY PLAN

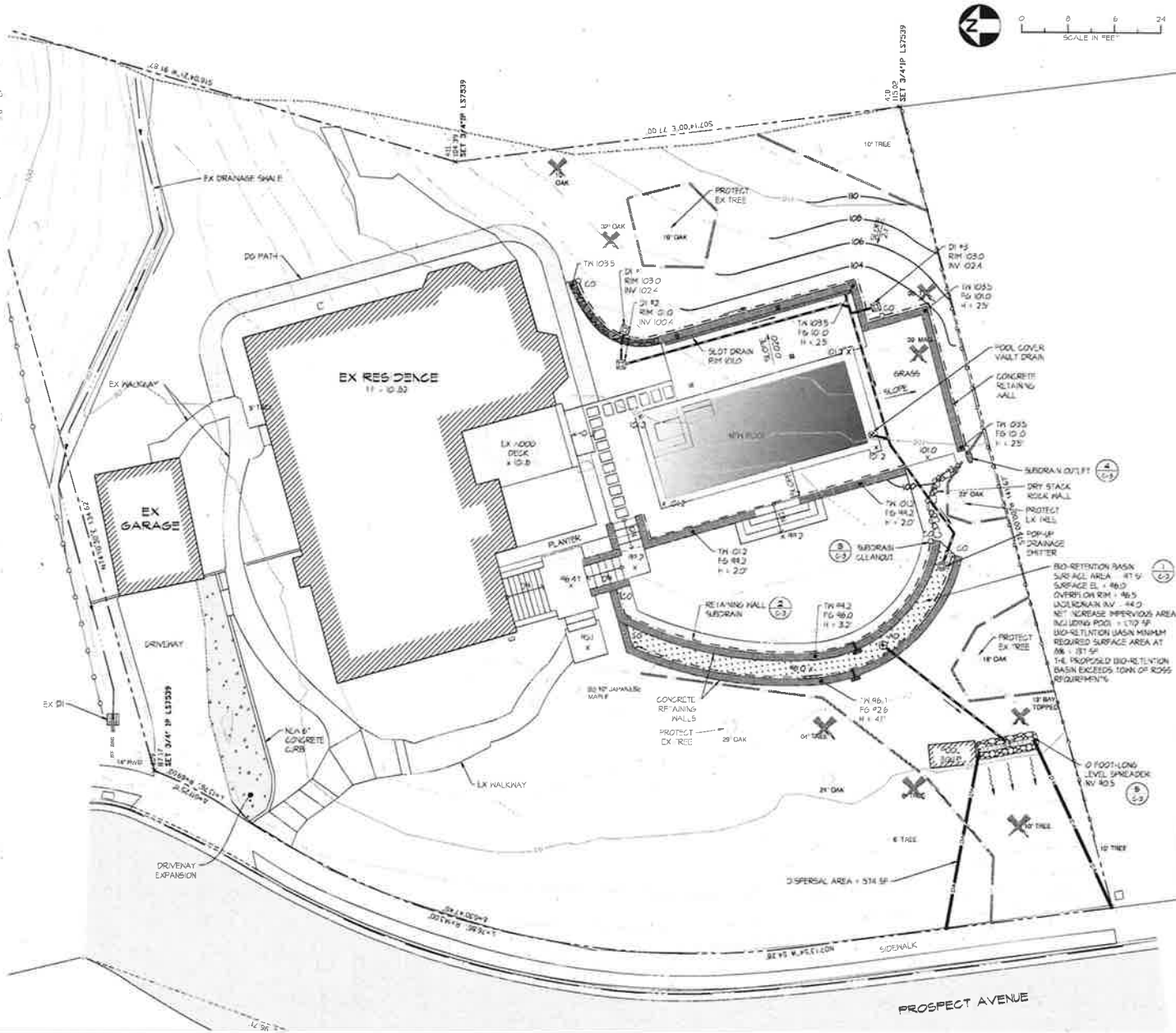
1. ALL UTILITY SERVICES WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE. NO NEW CONNECTIONS TO SERVICE MAINS ARE PLANNED.

RETAINING WALL CONSTRUCTION NOTES

1. ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION, SUPPORTED BY SPREAD FOOTINGS OR DRILLED PIERS AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.

EXISTING UTILITY LOCATION

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.



LTD Engineering, Inc.
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Tel: 415.442.4422 Fax: 415.717.8171
geon@ltdengineering.com

DRAWN BY: M. STANLEY
CHECKED BY: J. STANLEY
DATE: 07/10/10
SCALE: 1" = 30'-0"

ISSUED FOR: CONSTRUCTION
NOT FOR CONSTRUCTION

APR 07/2010
187 PROSPECT AVENUE
ROSS, CALIFORNIA

CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	07/10/10	ISSUED FOR REVIEW

DESIGNED BY: G. STANLEY
DRAWN BY: M. STANLEY
CHECKED BY: J. STANLEY
DATE: 07/10/10
SCALE: 1" = 30'-0"

PROJECT NO: 187
SHEET NO: 2 OF 3
DRAWING: C-2

CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISION: 0
SHEET NO: 2 OF 3
DRAWING: C-2

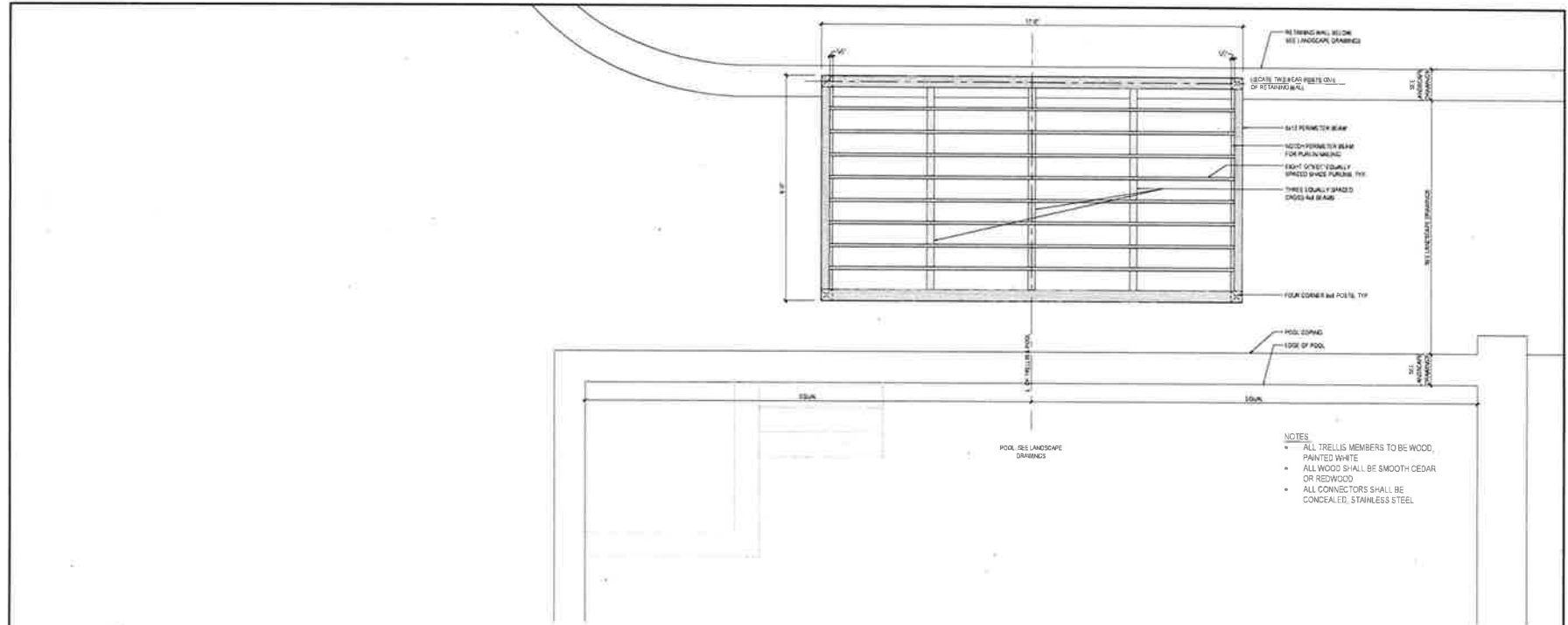


REVISION	0
SHEET NO	3 of 3
DRAWING	C-3

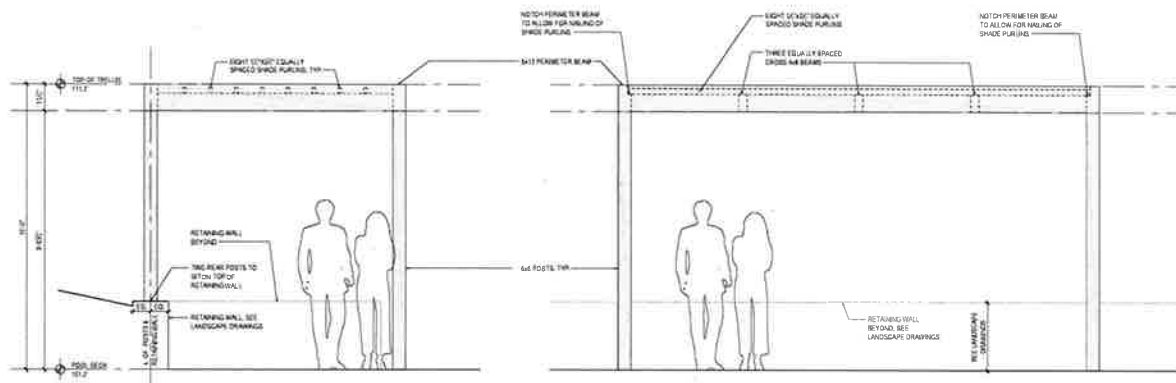


NOT FOR CONSTRUCTION

STEWART RESIDENCE
 A remodel to single family residence
 187 prospect Ave, Ross, CA 94960
 Assessor's Parcel # 072-071-30



3 TRELLIS PLAN
 SCALE 1/2" = 1'-0"



2 TRELLIS - NORTH ELEVATION
 SCALE 1/2" = 1'-0"

1 TRELLIS - WEST ELEVATION
 SCALE 1/2" = 1'-0"

TRELLIS PLAN AND ELEVATIONS

date April 8, 2021
 scale 1/2" = 1'-0"
 sheet

A1.0



VICINITY MAP - N.T.S.

VEGETATION MANAGEMENT PLAN NARRATIVE

- Existing Conditions**
This approximately half-acre property is the site of an existing single family home, surrounded by established gardens and lawn.
- Proposed Scope**
This project proposes to renovate an existing landscape, with the addition of a new pool and spa, new stone paths with walls, stone retaining walls, and new stone paths and stairs. The existing driveway will be widened, and new fencing and privacy hedge will be installed. Much of the existing landscape (including paths) and landscape is to remain.
- Future Planting**
Any future plantings throughout the site will include fire-resistant, irrigated shrubs, perennials, and ground covers as in the FIREsafe Main planting lists located at www.firestorm.org/plants.
- Long-Term Maintenance Schedule and Safety Practices**
 - All fire-prone fuels and dead material will be removed within 100' of the home.
 - Remove branches beneath large trees for a 6-foot minimum clearance.
 - Needles and leaves and other combustible debris and litter shall be removed from roofs and gutters at minimum twice yearly.
 - All weeds and grasses shall be cut regularly to a height of 4" or less.
 - Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed so not to overhang roadways and provide 14' of clearance vertically.
 - All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
 - Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
 - No native grasses shall be planted within Home Ignition Zones 0 and 1.
 - All planted areas inside Home Ignition Zones 0 and 1 shall be irrigated.
 - All planting shall be selected in accordance with the FIREsafe Main planting list. Other fire-resistant plants can be utilized with prior approval of the Fire Code Official.
 - Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy.

PRELIMINARY PLANTING LIST

Plant	Botanical Name	Common Name	Rate	Fire Safe	WUCOLS	Exp or Dec	Native	QTY	Mature Height	Mature Width	Planted Size
Trees and Shrub Planting	Abutilon Marina	Strawberry Tree	V	L	E	F		3	25-40'	25-30'	TBD
	Cornus 'Eddie's White Wonder'	Dogwood	M	H				5	20-40'	15-35'	24" box
	Podocarpus gracilior	Fern Podocarpus	V	M	L			6	25'	15'	16" box
	Pinus akateri	Flowering Cherry	M	D				5	20-25'	20-25'	TBD
	Pinus taeda	Flowering Cherry	M	E				4	12'	8'	8-10"
	Abutilon white	Flowering Maple	M	E				1	12'	12'	5 gal
	Buddleia nana blue	Butterfly Bush	L	D				1	3-5'	3-5'	5 gal
	Buxus 'Green Beauty'	Bowwood	M	E				1	4-6'	4-6'	5 gal
	Calceolus occidentalis	Spinach Bush	M	E				1	3-12'	3-12'	5 gal
	Daphne odora	Daphne	L	E				1	3-4'	4-6'	5 gal
Shrubs	Gardenia radicans	Miniature Gardenia	M	F				1	1-2'	2-3'	5 gal
	Hydrangea limelight	Limelight Hydrangea	M	D				1	6-8'	6-8'	5 gal
	Hydrangea quercifolia	Oakleaf Hydrangea	M	D				1	5-8'	5-8'	5 gal
	Olea 'Little Olive'	Little Olive Dwarf Olive	V	L	E			1	4-6'	4-6'	5 gal
	Laurus nobilis	Sweet Bay	L	E				2	15-40'	15-30'	TBD
	Ligustrum sinense	Waxleaf Privet	M	E				1	6-8'	4-6'	15 gal
	Myrsine africana	African Bowwood	V	L	E			1	4-6'	3-6'	3 gal
	Pieris japonica	Pieris	M	L	E			1	20-30'	20-30'	5 gal
	Pinus strobus	Japanese Pinus	V	L	E			1	10-15'	10-15'	5 gal
	Pinus taeda	Western Sward Fern	V	M	E			1	2-4'	2-3'	5 gal
Groundcovers	Pinus taeda	Carolina Cherry Laurel	V	L	E			1	20-30'	12-25'	15 gal
	Rhamnus californica	Coffeeberry	V	L	E			1	6-15'	6-15'	5 gal
	Ribes sanguineum	Red-flowering Currant	V	L	E			1	6-12'	7'	5 gal
	Sarcococca nuxifolia	Fragrant Sweet Box	V	L	E			1	3-4'	3-4'	5 gal
	Syringophora alba	Snowberry	L	D				1	3-6'	3-6'	5 gal
	Syringa vulgaris	Privet	L	D				1	6-10'	8-10'	5 gal
	Tradescantia virginiana	Bush Geranium	V	L	E			1	4-5'	4-5'	5 gal
	Tradescantia virginiana	California Lilac	V	L	E			1	2-3'	8-10'	4"
	Tradescantia virginiana	Dwarf Plantain	V	L	E			1	6-12'	1-2'	4"
	Tradescantia virginiana	Groundsweeping Glory	V	L	E			1	6-12'	1-2'	4"
Perennials	Tradescantia virginiana	Veronica	V	L	E			1	6"	6"	4"
	Tradescantia virginiana	Anemone	M	E				1	2-5'	2'	4"
	Tradescantia virginiana	Asplenium	V	L	E			1	3'	3'	4"
	Tradescantia virginiana	White Verbena	V	L	E			1	2-3'	2-3'	4"
	Tradescantia virginiana	Helianthus	M	E				1	1-2'	1'	4"
	Tradescantia virginiana	Helianthus	V	L	E			1	2-4'	2-4'	4"
	Tradescantia virginiana	Coyote Mint	V	L	E			1	2'	2'	4"
	Tradescantia virginiana	Cultivar	V	L	E			1	2-2'	2-2'	4"
	Tradescantia virginiana	Penstemon holly white	V	L	E			1	2-3'	2-3'	4"
	Tradescantia virginiana	Penstemon holly white	V	L	E			1	2-3'	2-3'	4"
Turf	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"
	Tradescantia virginiana	Salvia	L	E				1	2-4'	2-4'	4"

* Plants with check in the "Listed for sale" column were affirmatively rated "safe" on at least one of several lists researched. The remaining plants on the list did not appear to any fire prone lists researched.

VEGETATION MANAGEMENT PLAN LEGEND

- IMMEDIATE ZONE (ZONE 0): 0'-5'**
The Immediate Zone extends 0-5' from your house. ZONE 0 is the area closest to your house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable, and should be most aggressively maintained for fire resistance.
 - Remove any combustible outdoor furniture.
 - Replace jute or fiber door mats with fire resistant materials.
 - Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
 - Clean all fallen leaves and needles regularly. Repeat often during fire season. No vegetation is recommended within 3' of structures.
 - Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 3' of structures.
 - Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs.
 - Move stored combustibles inside, or at least 30' away from structures.
 - Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.
- INTERMEDIATE ZONE (ZONE 1): 5'-30'**
The Intermediate Zone extends from 5' to 30' from buildings, structures, decks, etc. Keep ZONE 1 "Lean, Clean, and Green" and employ careful landscaping to create breaks that can help influence and decrease fire behavior.
 - Remove all dead plants, grass and weeds (vegetation).
 - Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
 - Trim trees regularly to keep branches a minimum of 10 feet from other trees. Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
 - Remove vegetation and items that could catch fire from around and under decks.
 - Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly.
 - Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder".
 - Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.
- EXTENDED ZONE (ZONE 2): 30'-100'**
The extended zone from 30' to 100' for meters. If required due to steep slopes, nearby vegetation conditions, and/or your local fire department. The goal here is not to eliminate fire but to interrupt fire's path and keep flames smaller and on the ground. This zone should include a minimum
 - Cut or mow annual grass down to a maximum height of 4 inches.
 - Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees.
 - Remove fallen leaves, needles, twigs, bark, cones, and small branches.
 - However, they may be permitted to a depth of 3 inches if erosion control is an issue.
- ACCESS ZONE (ZONE 3): 0'-10'**
Extends 10 feet horizontally from the edge on either side of the road or driveway.
 - Within this zone, plantings shall be fire resistant and shall not extend within the 14 foot vertical clearance above the surface of the roadway or driveway, as required for emergency access.
 - All landscape shall meet the requirements for separation as stated in Zone 2 above.



DENIER LOHART GARDENS, LLC
P.O. Box 1207 | Ross, California 94057
T 415 518 1631
DenierLohartGardens.com

REVISIONS

STEWART RESIDENCE
187 Prospect Avenue | Ross, CA 94057
APN: 072-071-30

DATE
MAY 11, 2021
AIR REVISIT
SCALE: 3/32" = 1'

Vegetation Management Plan
VMP-1

ATTACHMENT 3

Subject: Re: Stewart page 5

Date: Tuesday, April 13, 2021 at 11:55:36 AM Pacific Daylight Time

From: Janell Hobart

To: Scott Tseckares

This beautiful 1918 classic residence is set on .48 acres of existing garden, with views to Mt Tam and Bald Mountain.

The clients are proposing to build a swimming pool and wooden arbor for family enjoyment.

The proposed 36' x 14-6" pool is sited on the property to take advantage of the existing sloping grade, proximity to the kitchen site lines, and surrounding view.

To screen the adjacent neighbor on the south, 12' podocarpus planting is proposed. A simple 9' wooden arbor is requested to be located east of the pool for seating and dining.

This arbor will require a variance, as it is nonconforming in the setback. Behind the arbor, six dogwood trees and additional low water evergreen planting are proposed on the existing slope.

Two new 5' wooden gates are proposed at the entry to the property.

All built garden elements take into consideration the charming character of the architecture.

Existing brick walks to remain. New hardscape and pool coping will integrate traditional bluestone.

6' evergreen screen planting is proposed 10' from the street, as well as a second layer of Cherry trees for spring bloom and additional screening.

Denler Hobart Gardens LLC
Post Office Box 1207
Ross, CA 94957
T 415.518.1653
@denlerhobartgardens
denlerhobartgardens.com

Subject: STEWART page 6 and 7

Date: Tuesday, April 13, 2021 at 12:20:45 PM Pacific Daylight Time

From: Janell Hobart

To: Scott Tseckares

Special circumstances -Substantial Property Rights and Public Welfare

The proposed 9' x 17' x 9' wooden dining arbor, will create an extension of the architecture into the garden. This location adjacent to the pool and kitchen, is one of the few flat locations on the existing site to allow for seating and dining.

Although proposed in the setback, there is no immediate impact on any adjacent neighbor in this proposed location.

The applicant has agreed to plant trees and evergreen shrubbery to enhance the screening of the arbor, as well as take into consideration the privacy of the adjacent neighbors.

Since this residence is set on a significant slope, it makes the western and eastern sides of the property unusable for activities.

DENLER HOBART GARDENS LLC

POST OFFICE BOX 1207

ROSS, CA 94957

415.518.1653

DENLERHOBARTGARDENS.COM

@denlerhobartgardens

ATTACHMENT 4

ARBORIST REPORT

**Tree-Protection Plan
Stewart Residence Improvements
187 Prospect Avenue, Ross, California
(APN:072-071-30)**

Prepared for:
**Andy and Ashley Stewart
P.O Box 28
Ross, CA 94957**

Prepared by:
**Dr. Kent Julin
ISA Certified Arborist
California Professional Forester
ARBORSCIENCE, LLC**

April 6, 2021

ASSIGNMENT

Andy and Ashley Stewart hired ARBORSCIENCE, LLC to prepare a tree-protection plan for proposed landscape improvements including construction of a pool at their home at 187 Prospect Avenue in Ross. I inspected these trees on March 4, 2021 with consideration of Dengler Hobart Gardens' landscape materials plan (revised April 2021).

SCOPE OF WORK AND LIMITATIONS

This tree-protection plan is based on circumstances and observations, as they existed at the time of the site inspection. The opinions in this assessment are given based on observations made and using generally accepted professional judgment, however, because trees are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this assessment are valid only at the date any such observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by Arborscience as to the length of the validity of the results, observations, recommendations and analysis contained within this assessment. As a result the client shall not rely upon this Assessment, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the trees discussed in this assessment should be re-assessed periodically.

SITE DESCRIPTION AND CONTEXT

The home at 187 Prospect Avenue in Ross was first built in 1918 and subsequently remodeled on a gently sloping, 0.48-acre parcel. Improvements include a concrete driveway leading to a detached garage and single-family residence. Landscaping is mature and well maintained.

SUBJECT TREE DESCRIPTIONS

The 22 subject trees include both native and naturalized trees that are generally in good health (Tree-Protection Map and Table 1). Fifteen (15) of the subject trees would likely be considered "protected" by the Town of Ross. Trees native to Marin that grow on the property include coast live oak (*Quercus agrifolia*), California black oak (*Quercus kelloggii*), and California bay (*Umbellularia californica*). Planted ornamental trees on the property include eastern redbud (*Cercis canadensis*), Japanese maple (*Acer palmatum*), English hawthorn (*Crataegus laevigata*), Plum (*Prunus* sp.), silver maple (*Acer saccharinum*), glossy privet (*Ligustrum lucidum*), green wattle acacia (*Acacia decurrens*), and southern magnolia (*Magnolia grandiflora*). An incense cedar (*Calocedrus decurrens*) grows on the 185 Prospect Avenue property near the driveway.

PROPOSED PROJECT AND ATTENDANT TREE IMPACTS

Proposed improvements include updating the landscaping—both new plants and hardscaping, including bluestone paving, brick steps, and wooden fencing—and construction of a pool and spa with associated decking and trellis. Three (3) of the protected trees are planned for removal to update the landscape (Trees 10, 11, 18) and

two (2) of the protected trees are planned for removal to mitigate hazards they present (Trees 21 and 22). Minor damage to the roots of trees planned for retention is expected.

TREE-PROTECTION MEASURES

No work is planned within critical root zones of the protected trees planned for retention. Applicable project design and construction requirements related to tree protection shall be implemented in accordance with International Society of Arboriculture Best Management Practices for Managing Trees During Construction, unless modified or waived by the Town planner in consultation with the project arborist. Following are specific tree-protection measures and considerations:

1. The project arborist will be Kent Julin through the entire length of the project. Any change of arborist will require a new arborist report from the new project arborist.
2. Before the start of any clearing, excavation, construction, or other work on the site, or the issuance of a Building or Demolition Permit, the protected trees shall be securely fenced-off with 4'-high high-visibility plastic fencing at the non-intrusion zone as shown on the Tree-Protection Map (attached). Such fences shall remain continuously in place for the duration of the work undertaken in connection with the development.
3. If the proposed development, including any site work, will encroach upon the non-intrusion zone of protected trees, special measures shall be utilized, as approved by the project arborist, to allow the roots to obtain necessary oxygen, water, and nutrients.
4. Underground trenching shall avoid the major support and absorbing tree roots of the protected trees. If avoidance is impractical, hand excavation undertaken under the supervision of the project arborist may be required. Trenches shall be consolidated as much as possible.
5. Concrete or asphalt paving shall not be placed over the critical root zone of the protected trees.
6. Compaction of the soil within the non-intrusion zone of the protected trees shall be avoided. Use of bridging/protective materials such as layered mulch, trench plates, plywood or rubber mats is encouraged within non-intrusion zones.
7. Any excavation, cutting, or filling of the existing ground surface within the non-intrusion zone shall be minimized and subject to such conditions as the project arborist may impose.
8. Burning or use of equipment with an open flame near or within the non-intrusion zone shall be avoided. All brush, earth, and other debris shall be removed in a manner that prevents injury to the protected trees.
9. Oil, gas, paint, cement, chemicals, or other substances that may be harmful to trees shall not be stored or dumped within the non-intrusion zone of the protected

trees or at any other location on the site from which such substances might enter the non-intrusion zone of the protected trees.

10. Construction materials shall not be stored within the non-intrusion zone of the protected trees. On-site parking shall be kept outside non-intrusion zones.

SCHEDULE OF INSPECTIONS

Following are the inspections that will be completed as needed for the project:

1. Before Equipment Mobilization, Delivery of Materials, and Site Work. The project arborist will meet with the general contractor and owners to review tree-protection measures, identify and mark tree-protection zone fencing, specify equipment access routes and storage areas, and review existing conditions of the oaks to provide any additional necessary protection measures.
2. Following Installation of Tree-Protection Fencing. The project arborist will inspect the site to ensure that all tree-protection measures are properly installed. Review contractor requests for access within the tree-protection zone. Assess changes in tree health since previous inspection.
3. During Soil Excavation or Work Potentially Affecting Protected Tree. The project arborist will inspect the site during any work within non-intrusion zones of the protected trees and document implemented recommendations. Assess changes in tree health since previous inspection.
4. Final Site Inspection. The project arborist will inspect tree health and provide necessary recommendations to promote tree health and longevity. A letter report will be provided to the Town of Ross that summarizes the project arborist's findings and conclusions.

Sincerely,

ARBORSCIENCE, LLC



Dr. Kent R. Julin
ISA Certified Arborist #WE-8733A
ISA Tree Risk Assessor Qualified
California Registered Professional Forester #2648

Table 1. Subject trees growing at 187 Prospect Avenue in Ross

Tree No.	Common Name	Scientific Name	DBH (in.)	Status	Condition	Action	Rationale
1	Incense cedar	<i>Calocedrus decurrens</i>	18	Protected	Good	Protect	-
2	Eastern redbud	<i>Cercis canadensis</i>	3,3,5,5	Protected	Good	Protect	-
3	Japanese maple	<i>Acer palmatum</i>	3,4,5,6,6	Protected	Good	Protect	-
4	English hawthorn	<i>Crataegus laevigata</i>	3,6	-	Good	Protect	-
5	English hawthorn	<i>Crataegus laevigata</i>	4,5,6	Protected	Good	Protect	-
6	Coast live oak	<i>Quercus agrifolia</i>	30	Protected	Good	Protect	-
7	Plum	<i>Prunus sp.</i>	7	-	Good	Remove	Landscape update
8	Coast live oak	<i>Quercus agrifolia</i>	26	Protected	Good	Protect	-
9	Silver maple	<i>Acer saccharinum</i>	6	-	Good	Protect	-
10	Glossy privet	<i>Ligustrum lucidum</i>	2,3,3,3,3,4,10	Protected	Good	Remove	Landscape update
11	Plum	<i>Prunus sp.</i>	1,1,1,2,3,3,3,2,2	Protected	Good	Remove	Landscape update
12	Coast live oak	<i>Quercus agrifolia</i>	22	Protected	Good	Protect	-
13	Green wattle acacia	<i>Acacia decurrens</i>	2,3	-	Fair	Remove	Fire-prone tree
14	Green wattle acacia	<i>Acacia decurrens</i>	2,2,3,4	-	Fair	Remove	Fire-prone tree
15	Green wattle acacia	<i>Acacia decurrens</i>	3,3,3	-	Fair	Remove	Fire-prone tree
16	Green wattle acacia	<i>Acacia decurrens</i>	2,3,3,	-	Fair	Remove	Fire-prone tree
17	Coast live oak	<i>Quercus agrifolia</i>	24	Protected	Good	Protect	-
18	Southern magnolia	<i>Magnolia grandiflora</i>	10	Protected	Good	Remove	Landscape update
19	English hawthorn	<i>Crataegus laevigata</i>	5,6	Protected	Good	Protect	-
20	Coast live oak	<i>Quercus agrifolia</i>	22	Protected	Good	Protect	-
21	California black oak	<i>Quercus kelloggii</i>	20	Protected	Poor	Remove	Hazardous tree
22	California bay	<i>Umbellularia californica</i>	12	Protected	Poor	Remove	Hazardous tree

Notes: Tree 1 is on the 185 Prospect Avenue property
 DBH: Trunk diameter at 54" above grade
 Status: Pursuant to the Ross Municipal Code
 Condition: Overall tree health and structure

ATTACHMENT 5

Neighborhood Outreach

187 Prospect Ave.

5-12-21

Dear Matthew,

Thank you for reviewing our proposed landscaping project.

We are very enthusiastic about upgrading the yard and grounds at our historic home at 187 Prospect Avenue, while respectfully maintaining the integrity of it's past.

Our neighbors have been welcoming and supportive, and we couldn't be more thrilled to create deeper roots in this neighborly area of Ross. Luckily, we know a number of families in the area already, and have been engaged in the community for the last two years, with our children at Ross School.

Andy and I were able to physically walk through the yard and plans with three of our neighbors (193 and 186 Prospect on May 2nd and 2 Fallen Leaf on May 11th), while eagerly hearing about the history of our home. We were happy to make a few accommodations for our neighbors along the fence line, and will continue to engage with them along the way.

Again, thank you for taking the time to review our project! We feel very comfortable in the hands of Denlar Hobart Gardens, who have beautifully and successfully landscaped other homes in Ross, to help us bring our vision to life.

Our best,

Ashley and Andy

Below are emails sent directly to Ross Planning from neighbors as a result of the Stewart's outreach.

From: Stephen Kawaja <skawaja@gmail.com>
Sent: Tuesday, May 04, 2021 12:11 PM
To: Matthew Weintraub <Mweintraub@townofross.org>
Subject: 187 Prospect Avenue

Hi Matthew,

Matthew, Andy and Ashley Stewart, the new owners of the house across the street from me (187 Prospect), shared their landscape and pool plan with me. I have had a chance to review the proposal and am supportive of what they want to do and their proposal to the Town of Ross.

Thanks,

Steve Kawaja

From: jeffrey knaus <jknaus34@yahoo.com>
Sent: Tuesday, May 04, 2021 1:58 PM
To: Matthew Weintraub <Mweintraub@townofross.org>
Cc: Ashley Stewart <ashleywstewart@gmail.com>; Andy Stewart <arstewar@gmail.com>; Amanda Knaus <amyknaus@comcast.net>
Subject: RE: 187 Prospect Ave and the proposed pool

Hello Matthew,
I wanted to take a moment to let you know that we've met with the Stewarts regarding their pool project at 187 Prospect Ave. We are the next-door neighbors to the south, 193 Prospect Ave.

They were kind enough to spend the time to review their project with us thoroughly this past Sunday. I believe it is a well-conceived project with great landscaping, finishes, and so forth, that complements the neighborhood and poses no impact on the neighbors.

We plan to discuss a few items, such as landscaping where our properties meet the street, screening between the properties, and pool equipment soundproofing.

Please don't hesitate to reach out should you have any questions or, if we can help in any regard.

We are in support of the project.

Sincerely, Jeff & Amy Knaus

From: H Murr <hsmurr@yahoo.com>
Sent: Wednesday, May 12, 2021 8:36 AM
To: Matthew Weintraub <Mweintraub@townofross.org>
Cc: Ryan A. Murr <rmurr@gibsondunn.com>; Ashley Stewart <ashleywstewart@gmail.com>
Subject: 187 Prospect Landscape Project

Dear Mr. Weintraub,

I hope this email finds you well. We are the owners of 2 Fallen Leaf, Ross. We received a copy of the plans for the 187 Prospect landscape project. We have reviewed the plans and we have no concerns regarding, or objections to, the project and we are in full support.

Please feel free to contact us if you have any questions. Thank you.

Best,

Heather & Ryan Murr

Heather 858.232.0348

Ryan 858.232.0349

ATTACHMENT 6

Meeting which had been held by the Council on April 1 for the purpose of discussing this application involving use of the Ivancowich house for an antique store. The Clerk read two letters in support of the variance and two in opposition. Mrs. Maude Lindner asked that no action be taken until the citizens have an opportunity to examine the Center Master Plan. She expressed the opinion that the present planning had gone far beyond what was intended by the founders. Mr. Thomas Jones questioned the existence of a hardship at present, and suggested that if the variance were to be granted for a limited period a real hardship might then be created if it were revoked. Mr. John Gilman, representing the Center, stated that this would definitely not be the case, that the Center wanted the variance for a temporary period and for a specific purpose. Mrs. Frank Reeves and Mr. John Chase both questioned the existence of hardship at this time. Mr. Jones and Mr. McAndrew also objected and indicated they would like to see figures to prove any hardship. Mr. McAndrew stated that in essence granting of the variance would be a re-zoning. All Councilmen indicated that they were in favor of the Center and wished to support it. Mr. Martinelli moved that the variance be granted for one year subject to the following conditions: 1) Access to the house be from the interior of the Art and Garden Center property and not from Laurel Grove Ave. 2) The property be fenced along Laurel Grove Ave. 3) The existing garden in front of the house be moved back so that that area can be used for sidewalk. Mr. Allen seconded the motion which passed with Mr. Jones and Mr. McAndrew opposing.

- b. Variance No. 267. Mr. William Hildeburn, Laurel Grove Ave. (72-112-18) Construction of "patio deck" corner of which will be 10' 9" from property line (25' required). Mr. Edward Hageman represented Mr. Hildeburn and explained that, due to a discrepancy in the original topographical map, it is necessary to construct a deck type terrace in lieu of the concrete patio originally planned. Mr. McAndrew pointed out that, if the variance were granted, the property would become non-conforming and that this should be understood by the owner. Approval of adjoining property owners had been obtained; there were no objections voiced from the floor. Mr. Jones moved the variance be granted. Mr. Allen seconded the motion which passed with Mr. McAndrew opposing.
- c. Variance No. 268. Mr. and Mrs. Albert Seidel, 187 Prospect Ave. (72-071-19,20) Addition on south side of non-conforming house of bedroom and bath, structure to come within 19' of rear property line (40' required). House presently has 22' rear setback. Mr. Richard Jessup, representing the applicants, explained that, due to the situation of the house on the lot, and due to an unusual floor plan, it is an extremely difficult house on which to put an addition. There were no objections. All abutting neighbors had signified approval. Mr. Jones moved the variance be granted. Mr. McAndrew seconded the motion which was unanimously passed.

December 14, 1989

- b. Robert Mendelsohn, 9 Willow Hill Road (AP 73-252-18) Acre Zone. Request is to allow the addition of a jacuzzi/greenhouse room at the second level deck (195 sq. ft.); rebuild stair and balcony (main level); rebuild carport with deck over. Non-conforming three story house with carport in side yard setback.

Lot Area	121,968
Present Lot Coverage	7%
Proposed Lot Coverage	7%
Present Floor Area Ratio	2.9%
Proposed Floor Area Ratio	2.9%

(15% allowed)

Councilman Goodman moved approval, seconded by Councilwoman Flemming and passed unanimously.

- c. Al and Ann Seidel, 187 Prospect Avenue (AP 72-071-19 and 20) 10,00 sq. ft. zone. Request is to allow the addition of a partial second floor to include a master bedroom and bathroom; total addition of 635 sq. ft. Proposed addition to be 26 feet from rear property line (40 ft. required). Proposed Floor Area Ratio of 21.6% exceeds the allowable 20%; non-conforming house in side and rear yard setbacks.

Lot Area	22,500
Present Lot Coverage	18.8%
Proposed Lot Coverage	21.6%
Present Floor Area Ratio	13%
Proposed Floor Area Ratio	13%

(20% allowed)

In response to a question, Architect Heide Richardson stated that the basement area is dark and wet and inappropriate for habitation by a young family. She had neglected to include the stairs in the FAR and said that the corrected figures would be 22%.

Mr. Bill Helvestein, the potential owner, stated he needed the extra space because of family size.

Mr. Imants Kaupe felt the applicant should show a hardship.

Mrs. Charles Thissell of Garden Road spoke in opposition to the project.

Mayor Brekhus pointed out that the house was built prior to the adoption of setback standards and thus the preexisting nonconformity should be considered a special circumstance as related to the original siting of the home.

Mr. Helvestein stated that the existing trees are higher than the proposed addition.

Councilman Goodman reminisced that Councilwoman Osterloh had at one time advised an applicant to live in the house for six months to a year and see how he felt at the end of that time. The applicant appeared a year later with a complete new set of plans.

After some discussion, Councilman Lill moved approval subject to the condition that the hydrant located at Wellington and Prospect be upgraded to steamer type and a smoke detector be installed in the new addition. This was seconded by Mayor Brekhus and passed with three affirmative votes. Councilmembers Goodman and Barry voted against.

23. Project Update and Approval of Schoolhouse Plans.

Mayor Brekhus will send a letter thanking Mr. Richard Hoertkorn for the school house. Plans had been received in the Building Department this date.



Approval of Minor Nonconformity Permit

Date: February 22, 2021

To: MICHAEL AND EMILY MILLMAN
7 UPPER AMES AVE
ROSS, CA 94957-9688

BRANDY DUBS - GEISZLER ARCHITECTS
1151 BROADWAY AVE #202
SONOMA, CA 95476

Approved by:

A handwritten signature in black ink, appearing to read "Matthew Weintraub".

Matthew Weintraub, Planner

Subject: Minor Nonconformity Permit at 7 Upper Ames Avenue (APN 073-201-01)

Planning Department staff approves the Minor Nonconformity Permit to allow for minor additions and alterations that comply with the minimum required building setbacks and the maximum allowable building height, and which would not increase the existing nonconforming floor area and building coverage of the existing single-family residence, at 7 Upper Ames Avenue, as depicted on the plans titled "MILLMAN RESIDENCE, 7 UPPER AMES AVE, ROSS, CA 94957" and dated 01-15-2021, subject to the findings and conditions below:

Findings

1. The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure was lawful when constructed.
2. A demolition permit is not required.
3. The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.
4. Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and/or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations.

5. Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
6. The project complies with the Flood Damage Prevention regulations in Chapter 15.36.
7. The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes. or that the project includes alternate measures approved by the fire chief.
8. The applicant has agreed in writing to the indemnification provision in Section 18.40.180.

Conditions of Approval

1. No change from the approved plans shall be permitted without prior Town approval.
2. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

ATTACHMENT 7

MINUTES
Regular Meeting of the
Ross Advisory Design Review Group
7:00 PM, Tuesday, May 18, 2021

Video and audio recording of the meeting is available online at the Town's website at:
townofross.org/meetings.

1. 7:00 p.m. Commencement

ADR Group Chair Mark Kruttschnitt called the meeting to order. ADR Group Members Josefa Buckingham, Laura Dewar, Mark Fritts, and Stephen Sutro were present. Director Patrick Streeter and Planner Matthew Weintraub were present representing staff.

2. Approval of Minutes.

The ADR Group unanimously approved the April 20, 2021 meeting minutes.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications.

a. Millman Residence, 7 Upper Ames Avenue

Project Owner: Michael and Emily Millman

Project Designer: Geiszler Architects

DESCRIPTION: The applicant is requesting approval of Design Review, Accessory Dwelling Unit (ADU) Permit, and Nonconformity Permit to convert an existing attached garage to a new ADU; construct a new two-story addition to the existing single-family residence including a new two-car garage; renovate the front façade including alter and raise the roofline; and rehabilitate the existing landscape including new pool, pool bath, patios, walkways, fences, auto court, artificial lawn, trees and vegetation. Approval of ADU Permit Exception is required to transfer the amount of existing floor area that is converted to an ADU as a floor area allowance for a new addition.

Planner Weintraub introduced the project.

Owner Michael Millman provided background on the project.

Architect Steve Geiszler provided information on the project.

Member Buckingham asked for and received clarification from the applicant and staff with respect to the proposed reconstruction and relocation of existing nonconforming floor area.

No new public comments were received.

ADR Group Members discussed the merits of the project and provided the following comments:

Mark Fritts:

- Appreciates the balanced massing of the project.
- Materials are appropriate.
- Proportions are good.

Mark Kruttschnitt:

- Huge improvement over existing conditions.
- Project massing is good.
- Suggests moving pool steps and hot tub closer to the house.
- Suggests that more existing square footage could be relocated and reconstructed as two-story to provide for a larger yard.

Stephen Sutro:

- Supports the project as submitted.
- Very well done.
- Additional details could include copper gutters and deeply set windows.
- Form and volume are lovely.
- Totally supportable.

Laura Dewar:

- Existing site topography complements/mitigates the proposed massing.
- Appreciates the architecture; great improvement.
- Asked for and received clarification from staff on ADU conversion and floor area allowance.

Josefa Buckingham:

- ADU's are encouraged.
- Lovely project, although prefers detached ADU.
- Project succeeds in bringing floor area from the back of the lot to the front of the lot; nice job of integration.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval of the project as proposed.

Chair Kruttschnitt closed the hearing.

b. Stewart Residence, 187 Prospect Avenue

Project Owner: Ashley and Andy Stewart

Project Designer: Scott Tseckares, Denler Hobart Gardens

DESCRIPTION: The applicant is requesting approval of Design Review and Variance to redevelop the landscape of the existing single-family residence, including: construct a new combination pool/spa, associated patio and arbor, and mechanical equipment enclosure; construct paths, walls, and planters; install new trees, groundcover, and vegetation; and construct a new front yard fence. Variance is required to construct a new patio and arbor structure within the minimum required rear (east) yard setback.

Planner Weintraub introduced the project.

Owner Andy Stewart provided background on the project.

Architect Scott Tseckares provided information on the project. ADR Group Members asked for and received further information from the applicant with respect to the proposed landscape plan.

No new public comments were received.

ADR Group Members discussed the merits of the project and provided the following comments:

Josefa Buckingham:

- Fully supports it.
- Great project.

Stephen Sutro:

- Fully supports the project.
- Existing topography, vegetation, and graciousness of the street perspective justifies locating the shade structure in the rear yard setback.
- The lot cannot take full advantage of open space at the front of the lot for pools and patios due to the existing conditions.
- Recommends to the Council that the proposed rear yard setback encroachment does not negatively affect the neighbor, who has not objected.
- Project siting is natural and takes advantage of site topography in a beautiful way.
- Recommends minor conditions/revisions:
 - 1) Include plantings in front of walls for screening/aesthetics.
 - 2) Screen the fence with plantings so it's minimally visible.
 - 3) Improve appearance of the equipment enclosure/screening.

Laura Dewar:

- Recommends improving the appearance of the equipment enclosure/screening.
- Recommends minimizing visibility of the new pool area from the street.
- Supports the project.

Mark Kruttschnitt:

- Fence should be located behind the hedge to minimize visibility of the fence.
- Recommends improving the appearance of the equipment enclosure/screening; possibly relocating and/or undergrounding it.
- Supports the project.

Mark Fritts:

- Recommends improving the appearance of the equipment enclosure/screening; possibly relocating and/or undergrounding it.
- Supports location of the shade structure in the rear yard setback; appropriate location.
- Recommends no lighting on the shade structure.
- Fence should be located behind the hedge to minimize visibility of the fence.
- Recommends moving the front yard fence back from the street to provide a yard buffer and maintain open appearance from the streetscape.

Architect Scott Tseckares responded to comments and provided information on proposed design alternatives with respect to fencing, landscaping, and mechanical equipment enclosure/screening.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval; and that the majority recommended approval upon conditions that the project design be revised to locate the fence behind the hedge for screening and aesthetics; to move the fence back from the street to provide an open lawn buffer at the streetscape; and to consider alternate locations and/or screening measures for the pool equipment.

Chair Kruttschnitt closed the hearing.

5. Conceptual Advisory Design Review. None.

6. Communications

a. Staff

Director Streeter provided information on the Corte Madera Creek Flood Control Project.

b. ADR Group Members

Chair Kruttschnitt may be absent from the June 15, 2021 meeting.

Member Dewar may be absent from the July 13, 2021 meeting.

7. Adjournment

Chair Kruttschnitt adjourned the meeting at 8:17 PM.