



**Agenda Item No. 15.**

### **Staff Report**

**Date:** February 11, 2021  
**To:** Mayor McMillan and Council Members  
**From:** Matthew Weintraub, Planner  
**Subject:** Hale Residence, 92 Laurel Grove Avenue

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#### **Recommendation**

Town Council approval of Resolution No. 2195 (see **Attachment 1**) approving Design Review to construct a new detached two-story, 1,129-square-foot pool house; new pool, patios, and landscaping; and relocate driveway access from Laurel Grove Avenue to Skyland Way, at the existing single-family residential property.

#### **Property Information**

**Owner:** Rob and Catherine Hale  
**Applicant:** Barbara Chambers, Chambers and Chambers Architects  
**Street Address:** 92 Laurel Grove Avenue  
**Assessor Parcel Number:** 072-211-17  
**Zoning:** R-1: B-A  
**General Plan:** VL (Very Low Density)  
**Flood Zone:** X (Minimal risk area outside the 1% and 0.2%-annual-chance floodplains)

#### **Public Notice**

Public Notices were mailed to property owners within 300 feet of the project site at least 10 days prior to the meeting date.

#### **Project Materials**

Project application materials are included as follows: Project Plans as **Attachment 2**; Project Description as **Attachment 3**; Arborist Report as **Attachment 4**; and Neighborhood Outreach Description as **Attachment 5**.

### Project Data

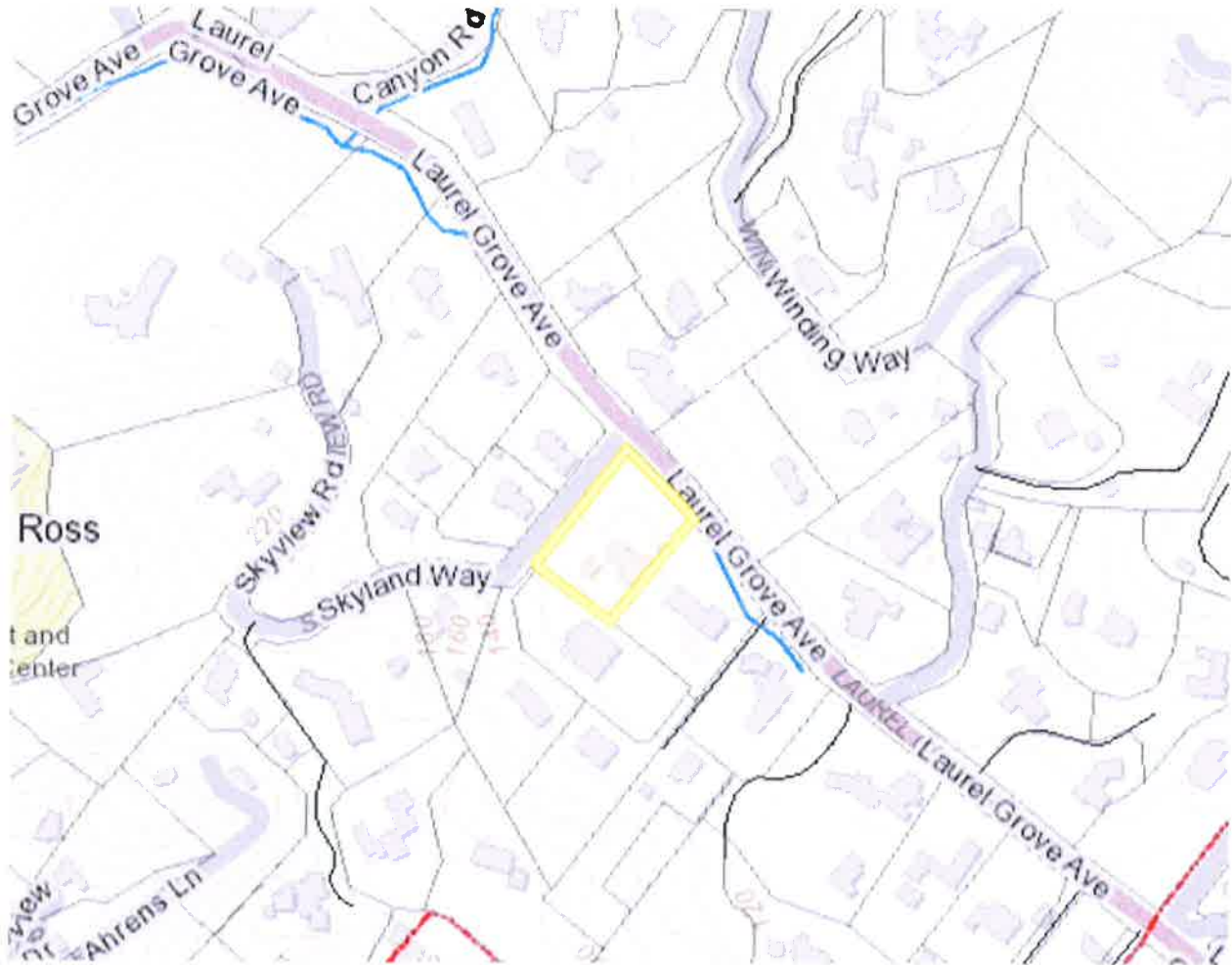
Project Item	Code Standard	Existing	Proposed
Lot Area	1-acre min.	45,800 sf Gross	No change
Floor Area	15% max.	5,861 sf (12.8%)	6,870 sf (15.0%)
Building Coverage	15% max.	4,252 sf (9.3%)	4,732 sf (10.3%)
Front Yard Setback (East)	25' min.	House: 100'+	House: No change Pool house: 100'+
Side Yard Setback #1 (North)	25' min.	House: 80'-2"	House: No change Pool house: 40'
Side Yard Setback #2 (South)	25' min.	House: 16'-1" Shed: 14'-9"	House: No change
Rear Yard Setback (West)	40' min.	House: 50'+ Garage: 26'-9"	House: No change Garage: No change
Building Height	30' (2 stories) max.	House: 26' (2 stories) Garage: 16' (1 story)	House: No change Garage: No change Pool house: 18' (2 stories)
Off-street Parking	4 spaces (2 covered) min.	4 spaces (3 covered)	No change
Impervious Surfaces *	---	12,862 sf (28.1%)	13,774 sf (30.1%)

\* Per Low Impact Development for Stormwater Management, Design Review Criteria and Standards, RMC Section 18.41.100 (t).

### Location Map

Source: MarinMap ([www.marinmap.org](http://www.marinmap.org)).

Note: Building locations are approximate and shown for reference only. Please refer to project plans for accurate site data.



### Project Site

Source: MarinMap ([www.marinmap.org](http://www.marinmap.org)).

Note: Building locations are approximate and shown for reference only. Please refer to project plans for accurate site data.



## **Project Description**

The project proposes to construct a new detached two-story, 1,129-square-foot pool house; new pool, patios, and landscaping; and relocate driveway access from Laurel Grove Avenue to Skyland Way, at the existing single-family residential property.

The new pool house at the north side of the property would be located 40' from the north side property line and more than 40' from the Skyland Way road edge. The two-story building would be 18' at its tallest point. It would feature a double-gable roof, composition shingle roofing, shingle siding, and wood trim at exterior elevations. The pool house would be accessory to the primary residence.<sup>1</sup> East of the new pool house, a new pool (44' x 22') and paved terrace would be located approximately 40' from the north side property line and Skyland Way. New landscape screening would be planted around the new pool house and pool area.

West of the new pool house, a new compact hammerhead driveway/auto court with access on Skyland Way would be constructed of all-weather, load-bearing concrete per standards of the Ross Valley Fire Department (RVFD). New wood entry gates and stone columns would be constructed 30' from the Skyland Way road edge.

The existing long, curving driveway occupying the north side of the property would be removed and the area would be redeveloped for the new pool area and landscaping. An existing pool and shed at the south side of the property would be removed and replaced with lawn and landscaping. The existing vehicle entrance on Laurel Grove Avenue would be abandoned. The existing wire mesh "deer" fencing around the property would be replaced in-kind.

Three new large bioretention areas at the north and east sides of the property would substantially reduce post-development stormwater runoff rates below pre-project rates. By reducing runoff below pre-project rates, the bioretention areas would more than mitigate for a post-project net increase in impervious coverage on the property of 912 square feet. The net increase mostly results from 795 square feet of new pool house coverage and 430 square feet of increased pool/terrace coverage. The driveway coverage would reduce by 1,378 square feet.

The proposed project is subject to the following permit approval pursuant to the Ross Municipal Code (RMC):

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for a new building exceeding 200 square feet of new floor area; for fences and gates greater than 48" in height adjacent to the street right-of-way; for an activity or project resulting in more than 50 cubic yards of grading or filling; and for a project resulting in over 1,000 square feet of new impervious landscape surface.

## **Background**

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<sup>1</sup> Pursuant to RMC 18.12.276 and 18.16.030, a residential accessory structure, including a pool house, may not be used as a dwelling unit unless approved by the Town as a residential second unit by issuance of a Conditional Use Permit and/or Accessory Dwelling Unit (ADU) Permit.

The project site is a 45,800-square-foot corner lot bounded by Laurel Grove Avenue to the east and Skyland Way to the north.<sup>2</sup> It has an average slope of 13%. A perennial stream runs in front of the property along Laurel Grove Avenue. The existing single-family residence and existing detached garage, which are located in the southwest quadrant of the property, are nonconforming with respect to the minimum required setbacks at the south side yard and the west rear yard, respectively.

According to the Town's records, the following approvals were previously granted for the property:

- Variance, Design Review, 10/9/97: Residential additions and alterations with nonconforming setbacks; new garage.
- Demolition Permit, 6/11/98: Amend the previously approved project.

The Project History is included as **Attachment 5**.

### **Advisory Design Review**

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions to Attics, a Hillside Lot Permit, Variance, and/or ADU Exception.

The Advisory Design Review (ADR) Group reviewed the project on October 20, 2020 and January 19, 2021. At the meetings, the ADR Group received information from the applicant, allowed public comments as described further below, and provided recommendations regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (RMC) and the Town of Ross Design Guidelines. The meeting minutes are included as **Attachment 7**.

At the October 20, 2020 meeting, ADR Group Members reviewed a previously proposed version of the project, which proposed to construct two new ADU's on the property. The ADR Group unanimously recommended design revisions that included: reducing the density and number of proposed new units and new development on the property; reorienting the new accessory building to minimize visibility from Skyland Way; and avoiding vertical addition or expansion at the existing garage to avoid impacting views from nearby public ways.

In consideration of comments received from the ADR Group and the general public, the applicant revised the project design and submitted a revised project design for ADR Group review. The applicant's revisions included: reducing the number of proposed new ADU's from two to one; shifting the location and orientation of the proposed new accessory building to minimize the profile from Skyland Way; and omitting any addition or expansion to the existing garage building.

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<sup>2</sup> The subject lot area bordering on Skyland Way and labeled as "14' strip reserved for future roadway" on the Map of Ross Acres (January 1959), and offered for dedication for a period of five years from the date of map filing, was not accepted by the Town within the prescribed five-year period. Therefore, the Town holds no roadway easement on the subject property.

At the January 19, 2021 meeting, the ADR Group unanimously voted that the revised project was consistent with the purpose of Design Review and the Design Review criteria and standards per RMC Section 18.41.100 and therefore recommended approval of Design Review.

The applicant further revised the project to reduce the overall accessory building floor area and coverage, to eliminate the proposed new ADU from the interior of the accessory building, and to use the entire new building space as a pool house. Staff recommends that the final revised project design is consistent with the design reviewed and approved by the ADR Group. The final revised project design is included in Project Plans as **Attachment 2**.

### **Public Comment**

Written public comments received prior to the final report are included as **Attachment 8**.

In summary, public comments expressing support for the project based on the project merits were received from the owner of the following property:

- 4 Skyland Way, 1/26/21.

In summary, public comments expressing objections and/or concerns related to the project were received from the owners of the following properties and stating the following concerns:

- 2 Skyview Road, 10/18/20, 1/17/21: increased unit density and development; potential impacts of new driveway and construction; landscape screening; accessory building uses.
- 16 Skyland Way, 01/15/21, 01/16/21: potential impacts of new driveway.
- 90 Laurel Grove Avenue, 1/17/21: potential impacts of new driveway and construction; landscape screening.
- 1 Skyview Road, 1/18/21: potential impacts of new driveway.
- 6 Skyland Way, 1/19/21: landscape screening.
- 14 Skyland Way, 1/19/21: potential impacts of new driveway and construction.

### **Key Issues**

#### ***Bulk and Mass***

Pursuant to RMC 18.41.100 (c), new structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood; buildings should be compatible with others in the neighborhood and not attract attention to themselves.

The ADR Group recommended that the proposed new two-story, 1,350-square-foot accessory building would be appropriately sited, sized, and scaled for the surrounding residential neighborhood and for Ross. The final revised project design proposes a smaller 1,129-square-foot pool house in the same location.

#### ***Materials and Colors***

Pursuant to RMC 18.41.100 (d), buildings should use materials and colors that minimize visual impacts and are compatible with structures in the neighborhood; natural materials such as wood and stone, and colors in the earth tone and wood tone range, are preferred.

The ADR Group recommended that the proposed design is compatible with existing residential buildings in the neighborhood and Ross, including the use of wood shingle siding; wood doors, windows, and trim; and wood gates.

### ***Circulation***

Pursuant to RMC 18.41.100 (e), walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site; access ways and parking areas should be in scale with the design of buildings and structures on the site; and the area devoted to driveways, parking pads and parking facilities should be minimized.

The project would eliminate an existing driveway access on Laurel Grove Avenue, which is a connector and alternate route to Sir Francis Drake Boulevard. For approximately 0.4 miles between Canyon Road and Makin Grade, inclusive of the project site, traffic on Laurel Grove Avenue is uncontrolled, . The project would add a new driveway access to Skyland Way, which is a sinuous roadway with a single controlled inlet/outlet at Laurel Grove Avenue and which dead-ends approximately 0.3 miles away. The project would remove the existing driveway across the property, which is out of scale with the site and which devotes excessive area to the driveway, and construct a new compact, hammerhead driveway and parking area that better serves the design of buildings and structures at the west side of the property.

### ***Exterior Lighting***

Pursuant to RMC 18.41.100 (f), exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan.

The project includes exterior wall sconces with low wattage incandescent bulbs and glare shielding at the first-story entrances to the ADU and the pool house; and low path lights and step lights in the landscape which are shielded and directed downward to avoid creating off-site glare, hazard or annoyance.

### ***Screening***

Pursuant to RMC 18.41.100 (j), landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

The ADR Group recommended that the proposed new landscape screening along the road frontages of Laurel Grove Avenue and Skyland Way, and around the new accessory building and pool area, provided sufficient screening from off-site locations including from the public way of Skyland Way.

### ***Visual Focus***

Pursuant to RMC 18.41.100 (l), where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site; accessory structures, including but not limited to accessory dwellings, should be sited to minimize their observed presence on the site; accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure; and the number of accessory structures should be minimized to avoid a feeling of overbuilding a site.

The ADR Group recommended that the proposed new two-story accessory building is located and oriented optimally to minimize visibility from off-site locations including Skyland Way; that its size and siting make it less prominent than, and accessory to, the existing primary residence on the property; that its location on a slope mitigates for a two-story appearance at the downslope side only; and that it is consistent with a pattern of minor buildings clustered around the primary residence, which minimizes the observed presence on the site.

### ***Privacy***

Pursuant to RMC 18.41.100 (m), building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties.

The ADR Group recommended that the proposed new pool house, pool, and terrace would be setback from existing roadways, located away from surrounding residential properties, and screened by new landscaping and existing and proposed buildings, to avoid impairing the privacy of surrounding properties or from public ways.

### ***Creek Banks***

Pursuant to RMC 18.41.100 (s), a minimum 50' setback from the top of creek bank is recommended for all new buildings; at least 25' from the top of bank should be provided for all improvements, when feasible; and the area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

The project would not construct any new buildings or improvements within 50' from the top of bank of the creek that runs in front of the property along Laurel Grove Avenue. The project would remove the existing impervious driveway and gate structure located within 50' from the top of creek bank, and it would restore the area to a more natural state by installing new turf and landscape plantings up to the creek bank.

### ***Stormwater Management***

Pursuant to RMC 18.41.100 (t), to the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and

other relevant factors. Vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, should be used to decrease the velocity of runoff and allow for stormwater infiltration on-site.

The post-development stormwater runoff rates from the site would be substantially less than pre-project rates. The project would minimize impervious surfaces to the extent feasible by removing the existing pool, shed, and driveway from the property, and by reducing new building footprints by using more than one floor level. Three new large bioretention areas would treat post-development drainage on the property. By reducing runoff below pre-project rates, the bioretention areas would more than mitigate for a post-project net increase in impervious coverage on the property of 912 square feet.

#### **Fiscal, Resource and Timeline Impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

#### **Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

#### **Environmental Review**

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), because it consists of construction and location of limited numbers of new, small facilities or structures and installation of small new equipment and facilities in small structures.

#### **Attachments**

1. Resolution No. 2195
2. Project Plans
3. Project Description
4. Arborist Report
5. Neighborhood Outreach Description
6. Project History
7. ADR Group Meeting Minutes, October 20 2020 and January 19, 2021 (draft)
8. Public Comments

# ATTACHMENT 1

# TOWN OF ROSS

## RESOLUTION NO. 2195

### A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW TO CONSTRUCT A NEW DETACHED TWO-STORY, 1,129-SQUARE-FOOT POOL HOUSE; NEW POOL, PATIOS, AND LANDSCAPING; AND RELOCATE DRIVEWAY ACCESS FROM LAUREL GROVE AVENUE TO SKYLAND WAY, AT THE EXISTING SINGLE- FAMILY RESIDENTIAL PROPERTY AT 92 LAUREL GROVE AVENUE, APN 072-211-17

**WHEREAS**, property owners Rob and Catherine Hale have submitted an application requesting approval of Design Review to construct a new detached two-story, 1,129-square-foot pool house; new pool, patios, and landscaping; and relocate driveway access from Laurel Grove Avenue to Skyland Way, at the existing single-family residential property (herein referred to as “the Project”) at 92 Laurel Grove Avenue, APN 072-211-17.

**WHEREAS**, the Project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), because it consists of construction and location of limited numbers of new, small facilities or structures and installation of small new equipment and facilities in small structures; and

**WHEREAS**, on February 11, 2021, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review to allow the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 11<sup>th</sup> day of February 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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Julie McMillan, Mayor

**ATTEST:**

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Linda Lopez, Town Clerk

**EXHIBIT "A"**  
**FINDINGS**  
**92 LAUREL GROVE AVENUE**  
**APN 072-211-17**

**A. Findings**

**I. In accordance with Ross Municipal Code (RMC) Section 18.41.010, Design Review is approved based on the following mandatory findings:**

**a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.**

As recommended by the Advisory Design Review (ADR) Group, the project is consistent with the purpose of the Design Review chapter as outlined in Ross Municipal Code Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

**b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.**

As recommended by the Advisory Design Review (ADR) Group, the project is in substantial compliance with the design criteria of RMC Section 18.41.100. The ADR Group recommended that the proposed new two-story accessory building is appropriately sized and scaled for the surrounding residential neighborhood and for Ross, and that the proposed design including the use of wood shingle siding, doors, windows, and trim is compatible with existing residential buildings in the neighborhood and Ross. The proposed building setbacks and landscape screening along the road frontages of Laurel Grove Avenue and Skyland Way, and around the new accessory building and pool area, provide sufficient screening to protect privacy of surrounding properties and from public vantage points. The project would improve circulation in and around the property. Vegetative and landscaping controls would substantially reduce post-development stormwater runoff rates from pre-project rates.

**c) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence zoning regulations, therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

**EXHIBIT "B"**  
**CONDITIONS OF APPROVAL**  
**92 LAUREL GROVE AVENUE**  
**APN 072-211-17**

1. This approval authorizes Design Review to construct a new detached two-story, 1,129-square-foot pool house; new pool, patios, and landscaping; and relocate driveway access from Laurel Grove Avenue to Skyland Way, at the existing single-family residential property (herein referred to as "the project") at 92 Laurel Grove Avenue, APN 072-211-17.
2. The building permit shall substantially conform to the plans entitled, "HALE RESIDENCE, 92 LAUREL GROVE AVENUE, ROSS, CA 94957" dated 02-03-2021, and reviewed and approved by the Town Council on February 11, 2021.
3. Except as otherwise provided in these conditions, the project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the project and will not extend the permitted construction period.
5. The project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:

- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the project. Any additional costs incurred by the Town, including costs to inspect or review the project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction

workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.

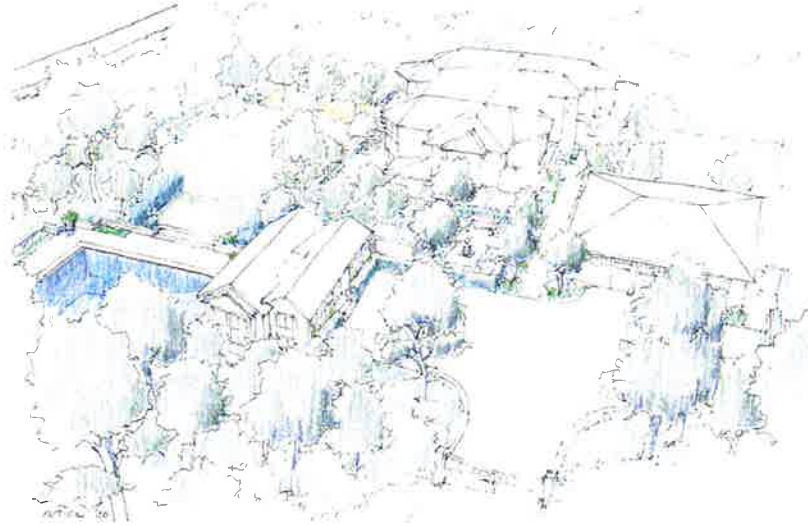
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
- i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.

- ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
  - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or alleging any other liability or damages based upon, caused by, or related to the approval of the project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

# ATTACHMENT 2

# HALE RESIDENCE

## ROSS, CALIFORNIA



CHAMBERS + CHAMBERS  
ARCHITECTS

10000 S. LAUREL GROVE AVENUE, SUITE 100  
ROSS, CALIFORNIA 94957  
TEL: 707.778.1111  
WWW.CHAMBERSCHAMBERS.COM

HALE RESIDENCE  
92 LAUREL GROVE AVENUE  
ROSS, CA 94957

AP # 072-211-17

DATE: 08/11/2021  
BY: J. SANDEN  
PROJECT: HALE RESIDENCE

COVER SHEET

A0.0

### VICINITY MAP



### PROJECT INFORMATION

<b>GENERAL INFORMATION</b>	91.0 A	010-21-1	45800 SF
APN	010-21-1		
JOB AREA			
<b>PROJECT-RELATED PROPERTY INFORMATION</b>	ALLOWED	EXISTING	PROPOSED
LOT COVERED (SQ. FT.)	8470 SQ. FT.	4252 SQ. FT.	4332 SQ. FT.
LOT AREA (SQ. FT.)	9100		
<b>FLOOR AREA</b>			
MAIN HOUSE - 1ST FLOOR	8105 SF	8100 SF	
MAIN HOUSE - 2ND FLOOR	854 SF	1854 SF	
GARAGE - 1ST FLOOR	181 SF	187 SF	
POOL HOUSE - 1ST FLOOR	74 SF	514 SF	
POOL HOUSE - 2ND FLOOR	74 SF	803 SF	
POOL HOUSE - 3RD FLOOR	125 SF	21 SF	
POOL STRUCTURE/SHED	8210 SF	5286 SF	8210 SF
TOTAL FLOORING AREA (SQ. FT.)			
<b>SETBACKS</b>			
FRONT - 50 FT.	29'-0"	79'-5"	109'-1"
REAR YARD SETBACK - 100 FT.	25'-0"	80'-0"	40'-0"
REAR YARD SETBACK - 150 FT.	25'-0"	45'-6"	6'-1"
REAR YARD SETBACK - 200 FT.	40'-0"	26'-1"	26'-1"
<b>ADDITIONAL INFORMATION</b>			
HEIGHT	30'-0"	26'-0"	26'-0"
PARKING	4 TO GOVERNOR	4 TO GOVERNOR	4 TO GOVERNOR
<b>PERMISSIONS / CUT AND FILL</b>			
PERMISSIBLE AREA - 200' X 100'	12282 SF	18274 SF	
MINIMUM AREA - 750' X 100'	74350 SF	52076 SF	
<b>EARTHWORK VOLUMES</b>			
EXCAVATION (CU YD)			
FILL (CU YD)			

### PROJECT DESCRIPTION

RELOCATE EXISTING 10 ACRES AND NEW 170 STORY POOL HOUSE WITH POOL AND LANDSCAPE IMPROVEMENTS.

**EXTERIOR MATERIALS**

1. CLEAR CEDAR SHAKES @ WALLS
2. COMPOSIT ON SINGLE ROOF
3. PALE GLAZED ALUMINUM WINDOWS
4. COPPER GUTTERS AND DOWNSPUTS
5. STONY & AD STAINING PA. S.

**BUILDING CODE NO. IS:**

- ALL VENTILATION IS TO BE AS COMPLY WITH
- ALL NEW BUILDINGS SHALL HAVE 90 MINUTE FIRE RESISTANCE
- ROOF SHALL HAVE TWO HOURS OF BURNING RESISTANCE ON
- BEDROOMS TO HAVE 55 LBSS IN ROOMS

### CONTACT INFORMATION

**OWNER**  
ROSS AND CA-HERNE HALL  
10 LAUREL GROVE AVENUE  
ROSS, CA 94957  
916-506-1036 PHONE

**ARCHITECT**  
BARBARA CHAMBERS  
CHAMBERS + CHAMBERS  
400 MILLER AVE  
SUITE 100  
ROSS, CA 94957  
PHONE: 707.778.1111  
EMAIL: BARBARA@CHAMBERSARCHITECTS.COM

**LANDSCAPE ARCHITECT**  
ELIZABETH SANDEN  
PRINCIPAL, SANDEN DESIGN  
106 CALLEVA, SUITE 1  
SAN FRANCISCO, CA 94103  
(415) 397-1111 PHONE  
EMAIL: ELIZABETH@SANDENDESIGN.COM

**SKETCHYORK CIVIL ENGINEER**  
JAMES CLARK  
OVERSIGHTER & ASSOCIATES CIVIL ENGINEER  
1000 REDWOOD BLVD, SUITE 300  
NOVATO, CA 94945  
(415) 897-0015  
PHONE: CLARK@OVERSIGHTER.COM

### SHEET INDEX

A0.0	COVER SHEET
A1.0	1. EXISTING CONDITIONS ON SITE PLAN WITH EXISTING UTILITY MAPS AND CITY PHOTO
A2.0	2. PROPOSED 5. IF 11' AL. SHIMS AND STONY WSP INFO
A3.0	3. MATERIALS, COLORS AND EXTERIOR PAINT ELEVATION
A4.0	4. POOL HOUSE FLOOR PLAN
A5.0	5. POOL HOUSE ROOF PLAN
A6.0	6. POOL HOUSE LAYOUT PLAN
A7.0	7. LANDSCAPE PLAN
A8.0	8. SITE PLAN WITH EXISTING UTILITY MAPS
A9.0	9. CONCEPTUAL CIVIL SITE PLAN
A10.0	10. EXISTING PLAN AND PROFILE
A11.0	11. DRAINAGE CONTROL PLAN
A12.0	12. DRAINAGE CONTROL PLAN AND SECTION
A13.0	13. LANDSCAPE PLAN
A14.0	14. LANDSCAPE APPROVAL LETTER



PROPOSED PRELIMINARY EXTERIOR LIGHTING



DOWN LIGHT FOR PATHWAYS  
WALKWAY, LAUNDRY



DOWN LIGHT  
CORRIDOR, GARAGE



EXTERIOR WALL SOURCE  
GLORIFICATION, PORCH, ENTRY

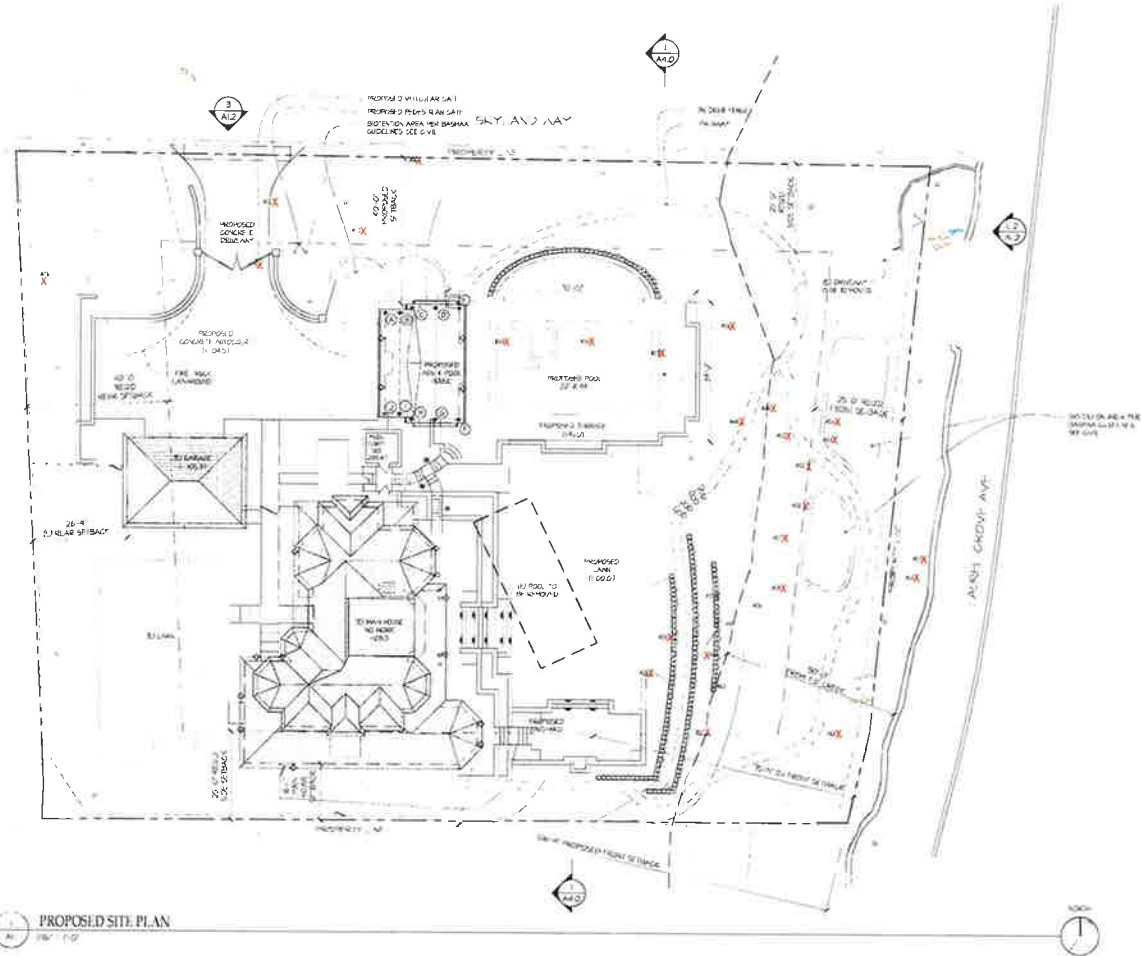
SYMBOL	DESCRIPTION	INSTALL	QUANTITY
●	PATHWAY LIGHT DOWN LIGHT	LED 5A	3
▲	RECESSED DOWN LIGHT DOWN LIGHT	LED 20W	14
○	WALL SOURCE EXTERIOR WALL SOURCE	LED 5A	10



Kimberly + Chambers  
Architects  
1000 17th Street, Suite 100  
Berkeley, CA 94710  
Tel: 415.863.1111  
www.kimberlychambers.com

STORY POLE INFO

POLE #	NA JAMB SHADE ELEVATION	POLE ELEVATION	POLE LENGTH
A	88'2"	35'	14'2"
B	88'5"	35'	11'
C	88'	35'	10'2"
D	87'	35'	9'2"
E	86'25"	35'	17'25"
F	85'	35'	13'4"
G	85'	35'	10'5"
H	85'5"	35'	10'
I	85'5"	35'	10'5"
J	85'	35'	10'5"



PROPOSED SITE PLAN  
FIRST FLOOR

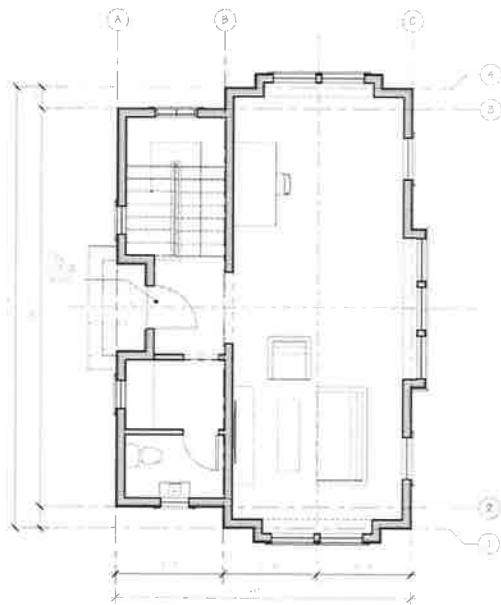
HALE RESIDENCE  
92 LAUREL GROVE AVENUE  
ROSS, CA 94957

AP # 072-211-17  
ISSUED: 08/15/21  
01 12 2021 13K 54 BMM1 (A)

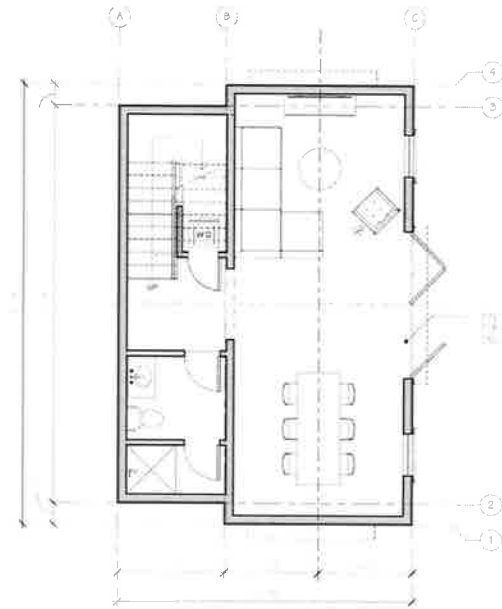
PROPOSED  
SITE PLAN,  
LIGHTING, AND  
STORY POLE INFO

A1.1





2 PROPOSED POOL HOUSE SECOND FLOOR PLAN  
 1/4" = 1'-0"



A21 PROPOSED POOL HOUSE FIRST FLOOR PLAN  
 1/4" = 1'-0"



CHAMBERS + CHAMBERS  
 ARCHITECTS  
 1000 S. GARDEN AVENUE, SUITE 100  
 ANAHEIM, CALIFORNIA 92810  
 TEL: 714.771.1111  
 FAX: 714.771.1112  
 WWW.CHAMBERSCHAMBERS.COM

HALE RESIDENCE  
 92 LAUREL GROVE AVENUE  
 ROSS, CA 94957

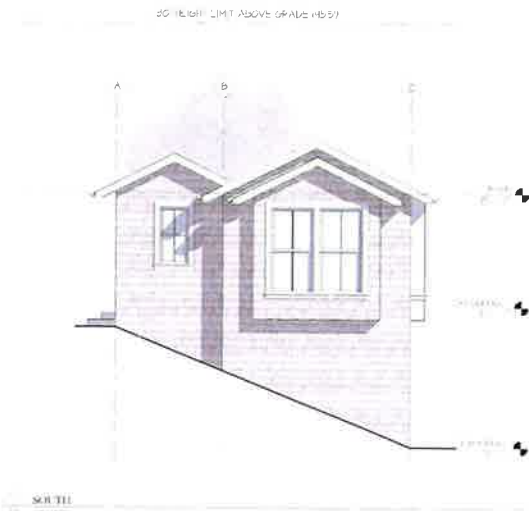
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 FILED 2018  
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 1261-261 (M) (M) (M) (M) (M)

POOL HOUSE  
 FLOOR PLANS

A2.1

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**CHAMBERS + CHAMBERS**  
ARCHITECTS

10000 Wilshire Blvd., Suite 1000  
Beverly Hills, CA 90210  
Tel: 310.274.1111  
Fax: 310.274.1112  
www.chamberschambers.com

**HALE RESIDENCE**  
92 LAUREL GROVE AVENUE  
ROSS, CA 94957

AP # 072-211-17

DATE: 08.0  
BY: J.S. / A.C. / S.B. / K.  
DATE: 08.02 / 08.05 / 08.11 / 08.14

POOL HOUSE:  
ELEVATIONS

**A3.1**



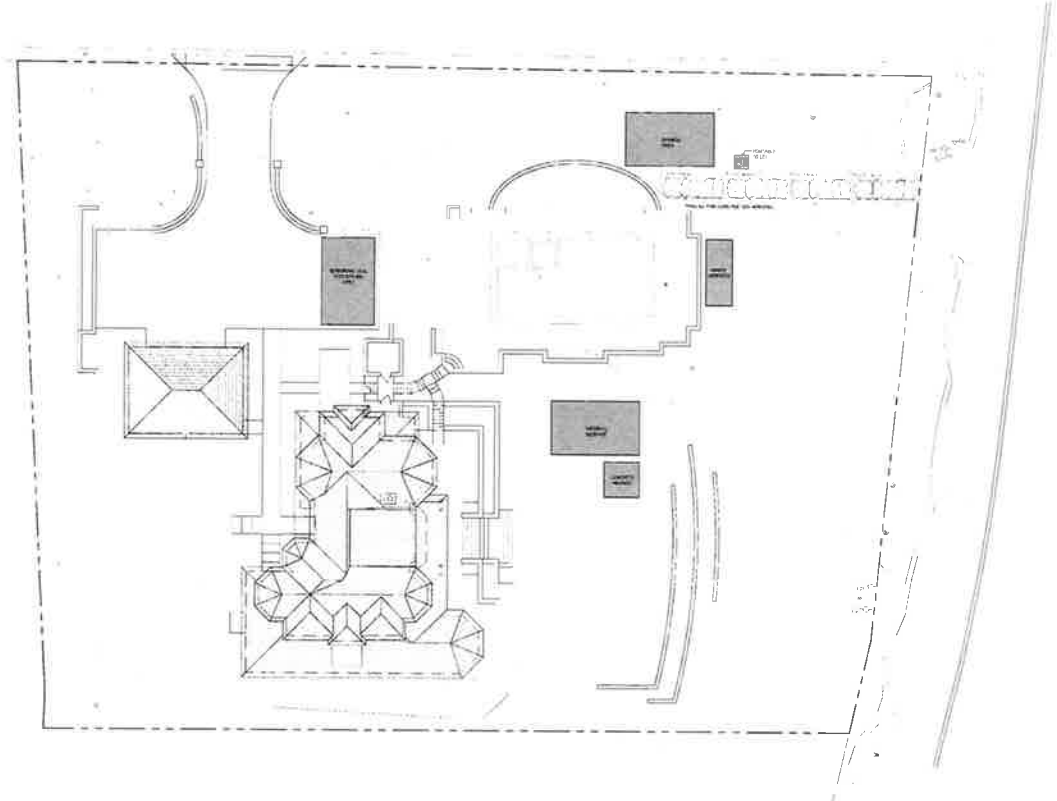
**CONSTRUCTION MANAGEMENT NOTES**

- 1. COURSE OF OPERATION IN ACCORDANCE WITH THE TOWN OF ROSS MUNICIPAL CODE. THE CONSTRUCTION ACTIVITY IS LIMITED FROM 8AM TO 5PM MONDAY THROUGH SATURDAY. CONSTRUCTION IS NOT ALLOWED ON WEEKENDS AND HOLIDAYS.
- 2. PROJECT DELIVERABLES DELIVERIES ARE LIMITED TO WEEKDAYS FROM 8AM TO 5PM.
- 3. TRUCKS AND TRUCKS EXCEEDING 26 FT IN LENGTH SHALL RECEIVE NOTIFICATION FROM DPW BEFORE GOING TO THE SITE. CONTACT DPW AT LEAST TWO DAYS PRIOR. CONTRACTOR IS RESPONSIBLE FOR CHECKING THE ROUTE AND MAKING SURE THAT TRUCKS CAN MAKE THE TURNS AND MAKE IT SAFE. TO 1 FT 5 IN.
- 4. ROAD CLOSURES, LANE CLOSURES, AND SHUTTLE SEPARATION PERMIT FROM DPW IS REQUIRED PRIOR TO CLOSING THE ROAD OR DOING A LANE CLOSURE OR SHUTTLE. ROAD CLOSURES REQUIRE POSTING SIGNS A MINIMUM OF 48 HOURS IN ADVANCE. CONTACT DPW FOR FURTHER INFORMATION. (415-453-4533 EXT. 4).
- 5. MATERIAL STORAGE: ALL CONSTRUCTION MATERIALS, DEBRIS AND EQUIPMENT SHALL BE STORED ON SITE.
- 6. ROADWAY CLEARANCE: A MINIMUM OF 10 FT OF CLEARANCE MUST BE MAINTAINED AT ALL TIMES ALONG THE ROADWAY.

- 7. PORTABLE TOILETS AND JOB SHEDS: THESE WILL NOT BE PERMITTED IN THE PUBLIC RIGHT OF WAY.
- 8. PARKING: ALL VEHICLES MUST PARK AT THE JOB SITE OR CARPOOL. NO PARKING ON SKYLAND AVE.
- 9. MATERIAL DELIVERIES AND OFF-HAUL (MASS EX AND DEBRIS) TO BE SCHEDULED IN SMALLER TRUCKS (25,000 PLATONS) WITH CAPACITY UP TO 10,000 LBS. BORROWED AND ROAD WAYS AND BETTER NEGOTIATE WITH NEIGHBORHOOD STREET AND PARKING. JOB RELATED TRUCK AND VEHICLE TRIPS TO BE RESTRICTED DURING MORNING AND AFTERNOON SCHOOL DROP OFF AND PICK UP HOURS.
- 10. ALL TREE PROTECTION PER ARBORIST REPORT RECOMMENDATIONS AND BEST PRACTICES. PROTECT EXISTING TREES AGAINST INJURY DUE TO CUTTING, BRACING OR SKINNING OR ROOTS TRUNKS OR BRANCHES, COMPACTION OF ROOT ZONE, OR SHOULDERING CONSTRUCTION MATERIALS, EXCAVATION MATERIALS, OR EQUIPMENT WITHIN THE DRAINAGE OF TREES.
- 11. NO PRUNING OF EXISTING TREES SHALL BE COMPLETED WITHOUT PRIOR APPROVAL BY THE CLIENT AND ARBORIST. GREAT CARE TO BE TAKEN IN WORKING UNDER TREE CANOPIES TO AVOID UNNECESSARY DAMAGE TO THE ROOT SYSTEM OR CLIPPING OF MAJOR STRUCTURAL ROOTS.

- 12. ALL EROSION CONTROL PER CIVIL PLANS AND BEST PRACTICES.
- 13. APPROXIMATE TO CONTROL DUST REQUIREMENTS OR AS NOTIFIED TO PREVENT VISIBL EMISSIONS AND OFF-SITE DUST IMPACTS FROM BUILDING CONSTRUCTION.
- 14. TRUCK ROUTE TO BE VIA SIR FRANCIS DRAKE BOULEVARD TO LAUREL GROVE AVE. ROUTE TO SITE: ARRIVE AT 92 LAUREL GROVE AVE ON RIGHT. TURN LEFT ON SIR FRANCIS DRAKE BLVD. TO LAUREL GROVE AVE. EAST ON LAUREL GROVE AVE. ARRIVE AT 92 LAUREL GROVE AVE ON RIGHT.
- 15. PRELIMINARY CONSTRUCTION SCHEDULE:
 

MOBILIZATION	JUNE 1, 2022
DEMOLITION	JUNE 1, 2022 - JUNE 25, 2022
EXCAVATION AND SITEWORK	JUNE 26, 2022 - SEP 3, 2022
FOUNDATIONS	SEP 4, 2022 - OCT 20, 2022
ROUGH CARPENTRY	OCT 25, 2022 - NOV 26, 2022
PLUMBING, ELECTRICAL, MECHANICAL, ROOF AND EXTERIOR FINISHES	NOV 29, 2022 - DEC 31, 2022
INTERIOR FINISHES	JAN 3, 2023 - APR 4, 2023
POOL HANDICAP AND FINAL WORK	FEB 7, 2023 - MAY 20, 2023
LANDSCAPING	MAY 23, 2023 - OCT 2, 2023
COMPLETION	NOV 9, 2023



**CONSTRUCTION MANAGEMENT PLAN**  
 1/16" = 1' 0"



**CHAMBERS + CHAMBERS**  
 ARCHITECTS

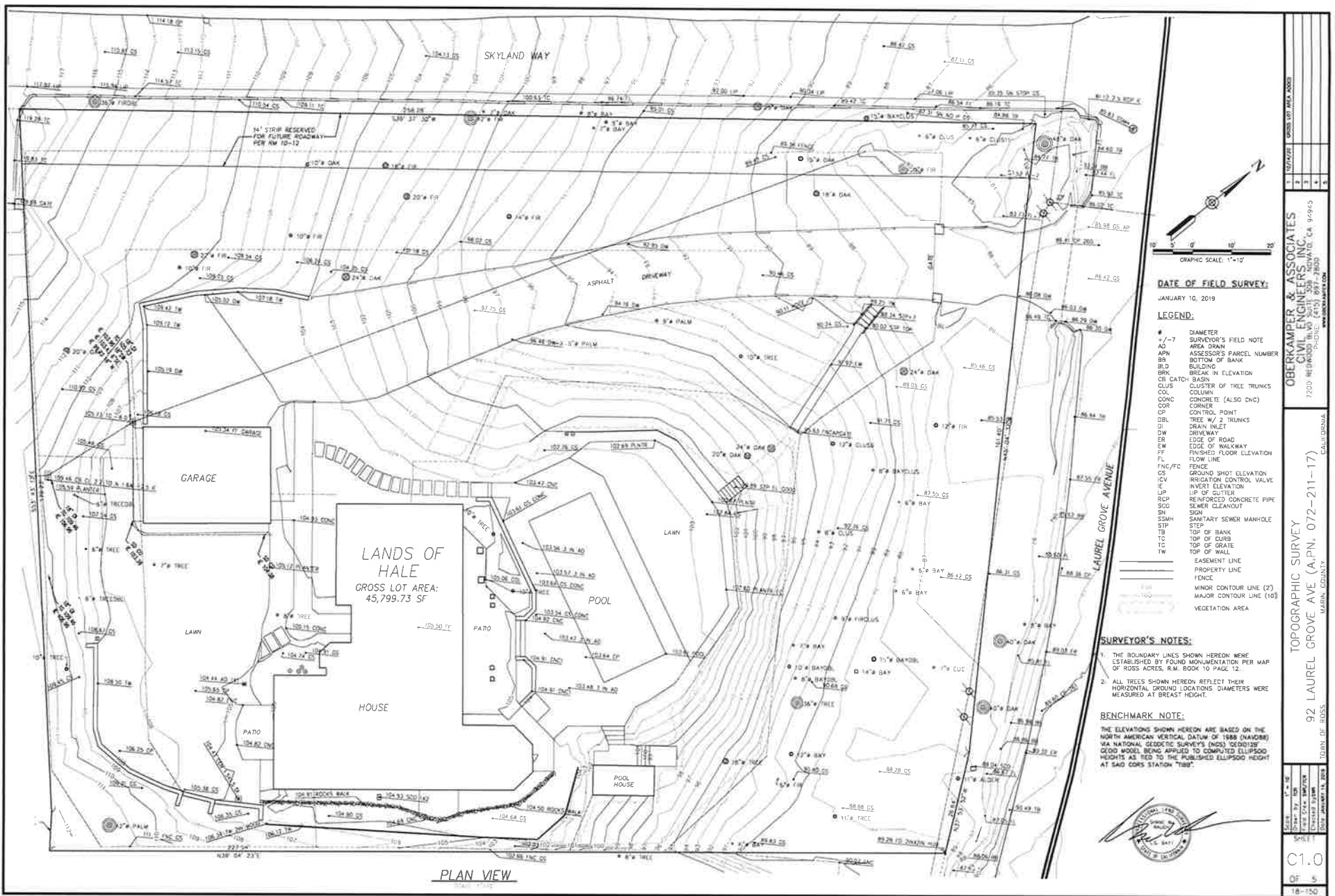
1000 RIVER STREET, SUITE 200  
 OAKLAND, CA 94612  
 TEL: 415.778.1100  
 WWW.CHAMBERSCHAMBERS.COM

**HALE RESIDENCE**  
**92 LAUREL GROVE AVENUE**  
**ROSS, CA 94957**

APP # U72-21-17  
 PERMIT # 2022-001-001  
 02/01/2021 DK SLAVIN I.A.

**CONSTRUCTION MANAGEMENT PLAN**

**CMP**



**DATE OF FIELD SURVEY:**  
JANUARY 10, 2019

- LEGEND:**
- # DIAMETER
  - +/-7 SURVEYOR'S FIELD NOTE
  - AD AREA DRAIN
  - APN ASSESSOR'S PARCEL NUMBER
  - BB BOTTOM OF BANK
  - BLD BUILDING
  - BRK BREAK IN ELEVATION
  - CB CATCH BASIN
  - CLUS CLUSTER OF TREE TRUNKS
  - COL COLUMN
  - CONC CONCRETE (ALSO CNC)
  - COR CORNER
  - CP CONTROL POINT
  - DBL TREE W/ 2 TRUNKS
  - DW DRAIN INLET
  - DW DRIVEWAY
  - ER EDGE OF ROAD
  - EW EDGE OF WALKWAY
  - FF FINISHED FLOOR ELEVATION
  - FL FLOW LINE
  - FNC/FC FENCE
  - CS GROUND SHOT ELEVATION
  - ICV IRRIGATION CONTROL VALVE
  - IE INVERT ELEVATION
  - IP UP OF CUTTER
  - RCP REINFORCED CONCRETE PIPE
  - SCD SEWER CLEANOUT
  - SN SIGN
  - SMH SANITARY SEWER MANHOLE
  - STP STEP
  - TB TOP OF BANK
  - TC TOP OF CURB
  - TO TOP OF GRATE
  - TW TOP OF WALL
  - EL EASEMENT LINE
  - PL PROPERTY LINE
  - F FENCE
  - 2 MINOR CONTOUR LINE (2)
  - 10 MAJOR CONTOUR LINE (10)
  - VEGETATION AREA

- SURVEYOR'S NOTES:**
1. THE BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED BY FOUND MONUMENTATION PER MAP OF ROSS ACRES, R.M. BOOK 10 PAGE 12.
  2. ALL TREES SHOWN HEREON REFLECT THEIR HORIZONTAL GROUND LOCATIONS DIAMETERS WERE MEASURED AT BREAK HEIGHT.
- BENCHMARK NOTE:**
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) VIA NATIONAL GEODETIC SURVEY'S (NGS) "060128" GEOID MODEL BEING APPLIED TO COMPUTED ELLIPSOID HEIGHTS AS RED TO THE PUBLISHED ELLIPSOID HEIGHT AT SAID CORN STATION TIER.



**PLAN VIEW**

1	TOPSCALE	0.0000	100.0000
2	DATE	10/20/2020	
3	TIME	5:26:35 PM	
4	USER	ROSS	

**OBERKAMPER & ASSOCIATES  
CIVIL ENGINEERS, INC.**  
7200 REPUBLIC DRIVE, SUITE 100, C-4 64963  
(417) 897-7800  
WWW.OBERKAMPER.COM

**TOPOGRAPHIC SURVEY**  
92 LAUREL GROVE AVE (A.P.N. 072-211-17)  
MAJOR COUNTY

1	DATE	10/20/2020
2	TIME	5:26:35 PM
3	USER	ROSS

C1.0  
OF 5  
18-150



**LEGEND:**

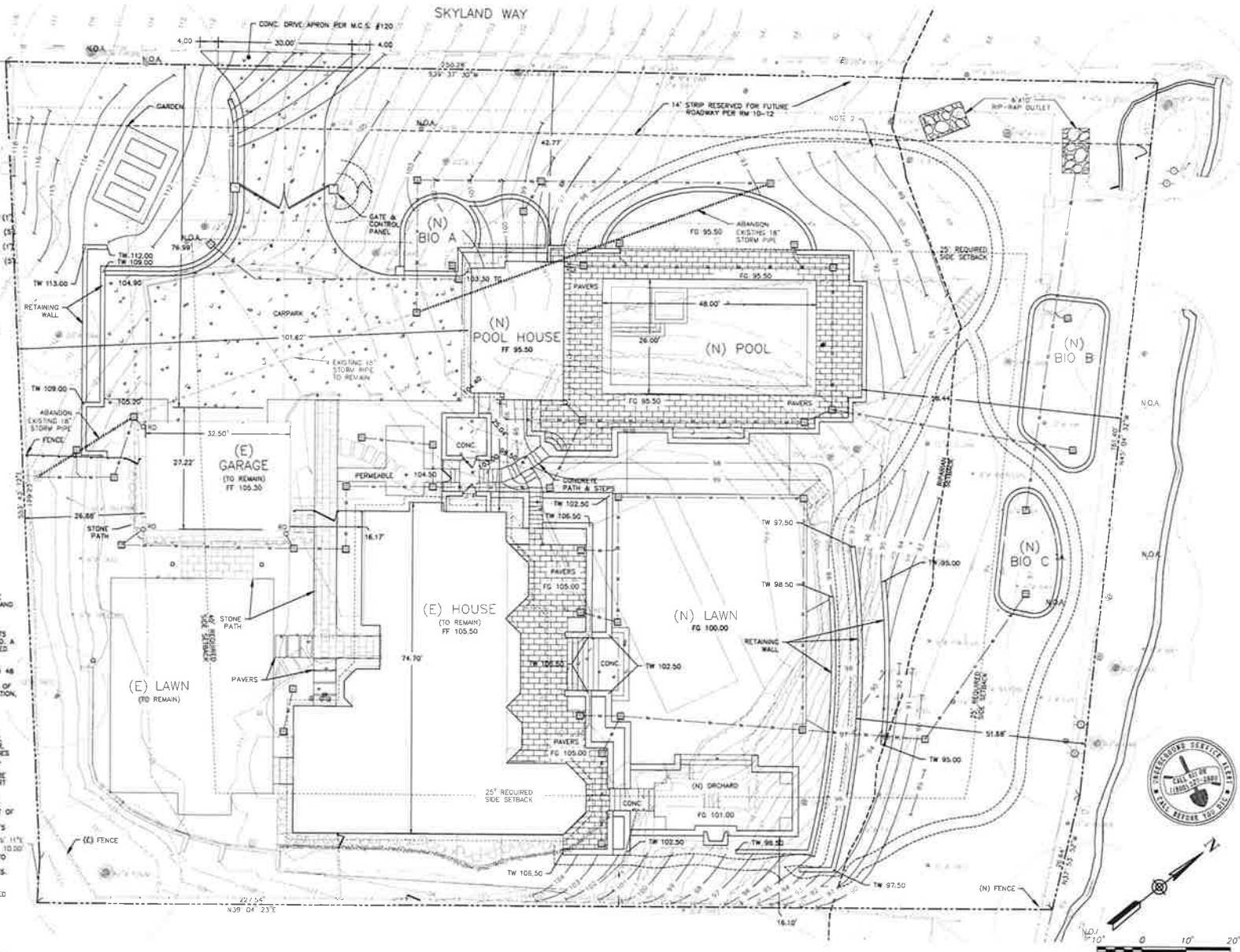
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- RIPARIAN SETBACK LINE
- (E) MINOR CONTOUR LINE (1')
- (E) MAJOR CONTOUR LINE (5')
- (N) MINOR CONTOUR LINE (1')
- (N) MAJOR CONTOUR LINE (5')
- (N) STORM DRAIN
- ABANDON (E) PIPE
- DRAINAGE INLET
- STORM DRAIN CLEAN OUT
- DRAINAGE FLOW ARROW
- (N) CONCRETE
- ▨ (N) COBBLESTONE
- ▩ (N) PAVERS
- ⊞ (N) RIP-RAP

**NOTES**

1. OUTLET ROOF DRAINS TO DRIVEWAY PERMEABLE SURFACE.
2. CONNECT TO EXISTING STORM DRAIN.
3. OUTLET ROOF DRAIN TO SPLASH BLOCK.
4. ALL RETAINING WALL BACK DRAINS TO BE CONNECTED TO STORM DRAINAGE SYSTEM OR DISCHARGED THROUGH WEIR HOLES.

**GENERAL NOTES**

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE UNIFORM CONSTRUCTION STANDARDS FOR CITIES AND COUNTY OF MARIN. PROJECT CONDITIONS OF APPROVAL AND TOWN ORDINANCES.
2. NO WORK SHALL START UNTIL NECESSARY PERMITS ARE OBTAINED FROM THE TOWN OF SAN ANSELMO. A SEPARATE ENCROACHMENT WILL ALSO BE REQUIRED FOR ALL WORK IN THE RIGHT OF WAY.
3. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WORK. ALL SOIL WORK SHALL BE PERFORMED UNDER INSPECTION OF THE GEOTECHNICAL ENGINEER INCLUDING EXCAVATION, PIER DRILLING, WALL BACKFILL AND SUBGRADE PREPARATION. COMPACTION TESTING IS TO BE PROVIDED BY THE GEOTECHNICAL ENGINEER AS NECESSARY.
4. CONTRACTOR SHALL HOLD HARMLESS THE DRIVER, HIS AUTHORIZED REPRESENTATIVES, THE ENGINEER, AND THE TOWN FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.
5. THE EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY. UNDERGROUND UTILITY ALERT SHALL BE CONTACTED AND EXISTING UTILITIES LOCATED PRIOR TO ANY DRIVING OR DIGGING. THE CONTRACTOR SHALL LOCATE ANY OTHER EXISTING UTILITIES PRIOR TO CONSTRUCTION. IN THE EVENT OF A DISCREPANCY OR CONFLICT WITH INFORMATION SHOWN ON THESE PLANS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER IMMEDIATELY.
6. CONTRACTOR SHALL FORTHWITH UTILITY CROSSING TO VERIFY ALL DEPTHS. HAND DIGGING SHALL BE PROVIDED WHERE REQUIRED BY UTILITY COMPANIES.
7. SITE STORM DRAINS SHALL BE PVC 300x30 PIPES WITH MANUFACTURED ELBOWS AND FITTINGS, GULVED AND CONNECTED WATER TIGHT AS PER MANUFACTURER'S RECOMMENDATIONS.
8. WALL BACKDRAINS SHALL BE OUTFITTERS WITH CLEANOUTS INSTALLED 2" ABOVE GROUND.
9. THE SITE IS DEEMED "AREA OF MINIMAL FLOOD HAZARD" (ZONE X) BY FEMA AND NO BASE FLOOD ELEVATION EXISTS FOR THE SITE.



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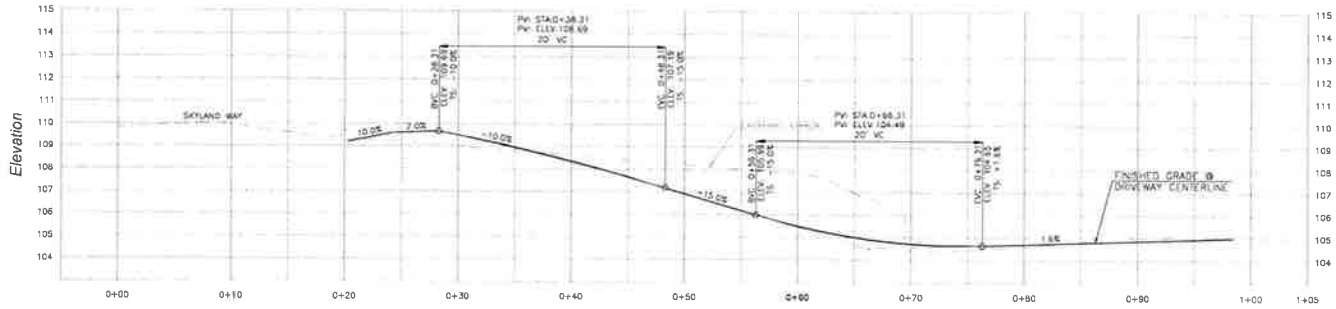
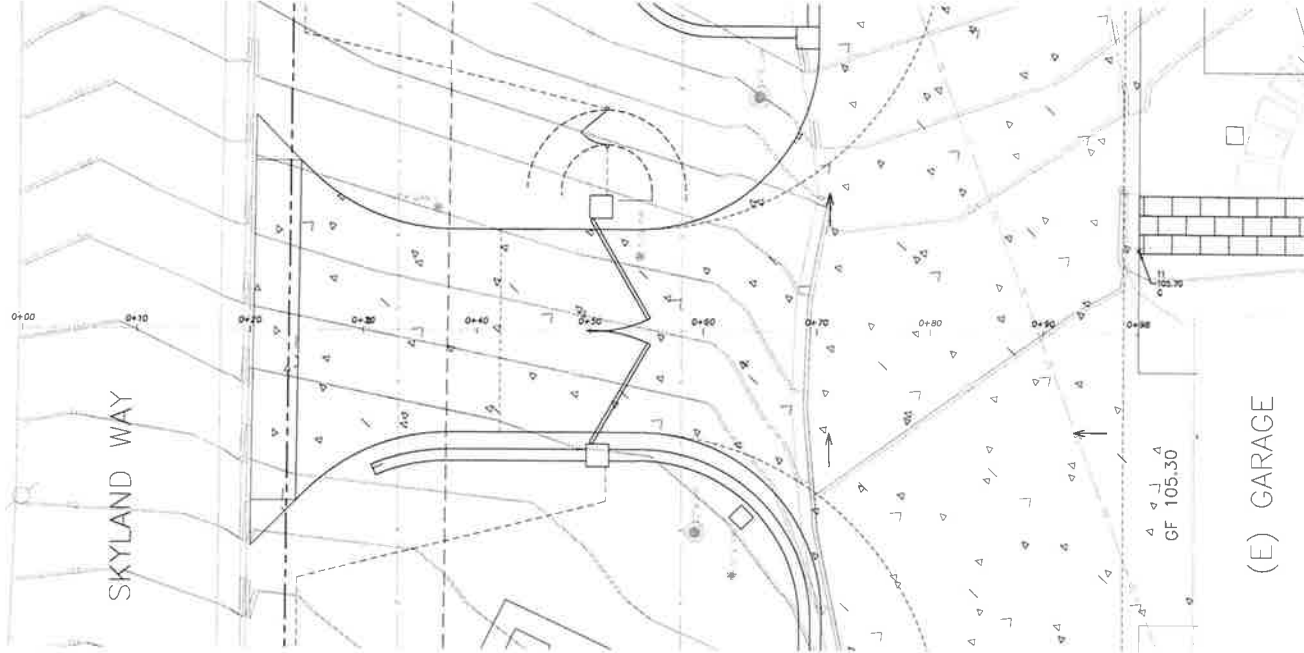
DATE	BY	CHKD BY	APP'D BY	TITLE					
<b>CONCEPTUAL CIVIL SITE PLAN</b> 92 LAUREL GROVE AVENUE MARIN COUNTY, CALIFORNIA									
<b>OVERKAMPER &amp; ASSOCIATES</b> CIVIL ENGINEERS, INC. 7200 REDWOOD BLVD., SUITE 140 SAN ANSELMO, CA 94965 PHONE: (415) 897-2800 FAX: (415) 897-2801 WWW.OVERKAMPER.COM									
SHEET <b>C2.0</b> 2 OF 5 18-150A									

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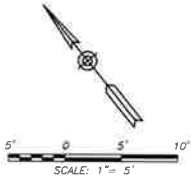


**LEGEND:**

- △ ANGULAR DELTA
- AT CENTERLINE
- BVC BEGIN VERTICAL CURVE
- EOV END VERTICAL CURVE
- ELEV ELEVATION
- TS TANGENT SLOPE



**DRIVEWAY PROFILE**  
 SCALE: HORIZ 5'  
 VERT. 2'-5"



SHEET <b>C3.0</b> 3 OF 5 18-150A	DRIVEWAY PLAN & PROFILE 92 LAUREL GROVE AVENUE MARINE COUNTY, CALIFORNIA	OBERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC. 7200 REDWOOD BLVD., SUITE 1010, CA 94945 TEL: (415) 891-2800 WWW.OBERKAMPER.COM
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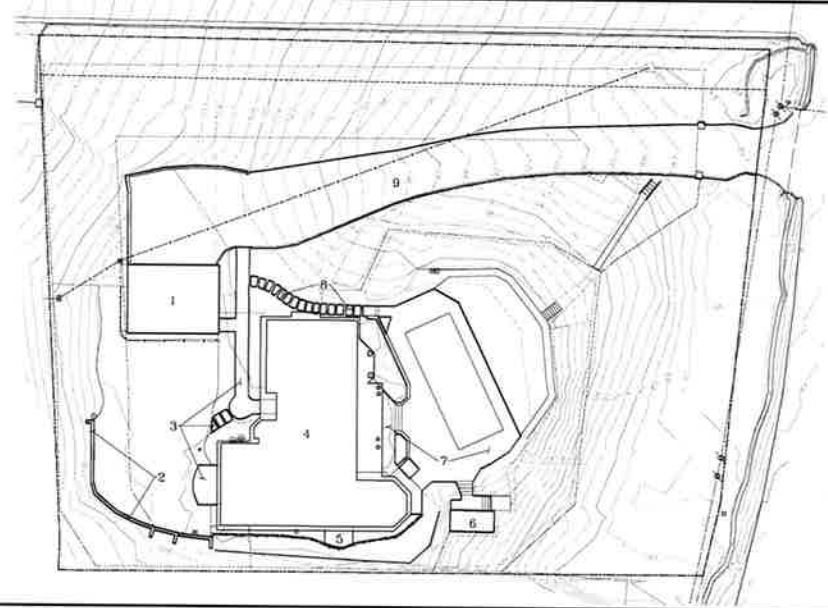
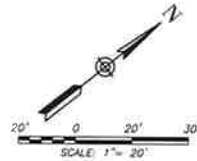


**EXISTING IMPROVEMENTS NOTE:**  
 EXISTING IMPROVEMENTS WILL BE REMOVED FROM THE SITE INCLUDING:  
 POOL, POOL HOUSE, STAIRS, DECKING, SLABS, ETC.  
 MAIN HOUSE & GARAGE TO REMAIN.

**PRE-PROJECT DRAINAGE AREAS**

Area Name	Impervious Area (Square Feet)	Permeous Area (Square Feet)	Existing Project Surface Type
Area 1	562		Garage
Area 2	87		SW Retaining Wall
Area 3	485		SW Walkway/Patio
Area 4	3,850		Main House
Area 5	54		E Concrete
Area 6	210		Pool/Patio
Area 7	3,250		E Concrete
Area 8	118		N Concrete
Area 9	4,842		AC Concrete/Ret Wall
Impervious	20,938		
Permeous	12,862	37,738	(Total Permeous Area)

**EXISTING CONDITIONS**  
**92 LAUREL GROVE AVE**



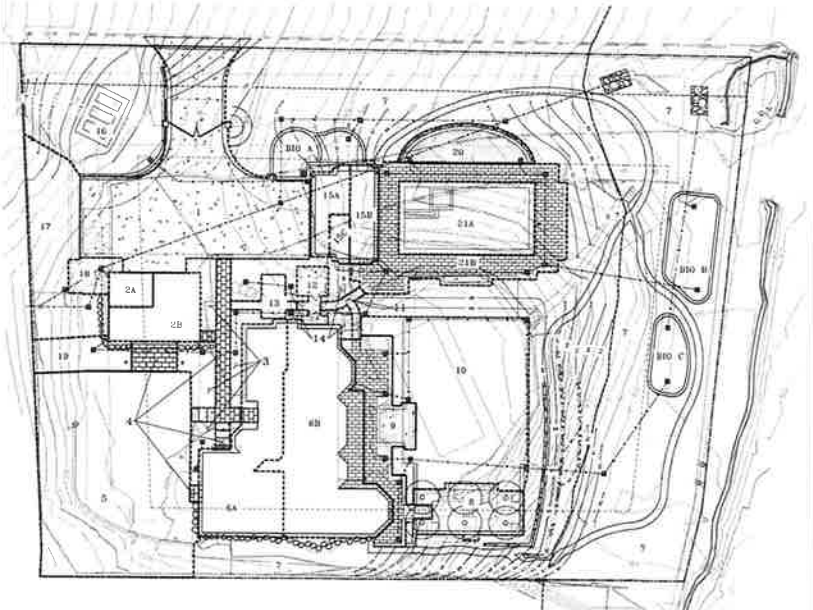
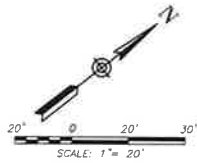
**POST-PROJECT DRAINAGE MAINTENANCE AREAS (DMA'S)**

DMA Name	Impervious DMA Area (SQ. FT.)	Permeous DMA Area (SQ. FT.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name	Minimum Facilities (DMA X 0.05) (SQ. FT.)	Area Used in Design (SQ. FT.)
DMA 1	3,365		Concrete Driveway	1.0	3,365	Storm Inlet	283.2	
DMA 3A	191		Garage Roof	1.0	191	Storm Inlet	15.9	
DMA 15A	321		Pool/Patio Roof	1.0	321	Storm Inlet	25.7	
DMA 16	3,117		Concrete Area	2.1	3,117	Storm Inlet	17.0	
DMA 17	1,312		Landscape Area	0.1	131	Storm Inlet	10.5	
DMA 18	307		Concrete Patio	0.1	31	Storm Inlet	1.7	
Total							215.8	380.3

DMA Name	Impervious DMA Area (SQ. FT.)	Permeous DMA Area (SQ. FT.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name
DMA 7	1,708		Landscape Area	-	-	Self Retaining
Sub A	101	262	Sub Retainer A	-	-	Self Retaining
Sub B	133	347	Sub Retainer B	-	-	Self Retaining
Sub C	71	287	Sub Retainer C	-	-	Self Retaining

DMA Name	Impervious DMA Area (SQ. FT.)	Permeous DMA Area (SQ. FT.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name	Minimum Facilities (DMA X 0.05) (SQ. FT.)	Area Used in Design (SQ. FT.)
DMA 2	588		Garage Roof	1.0	588	Storm Inlet	47.9	
DMA 3	315		Landscape Area	0.1	32	Storm Inlet	2.7	
DMA 4	611		Concrete Patios	2.2	125	Storm Inlet	9.8	
DMA 5	3,048		Landscape Area	0.1	305	Storm Inlet	21.8	
DMA 6A	1,811		Main House Roof	1.0	1,811	Storm Inlet	128.8	
DMA 11	88		Concrete Slabs	1.0	88	DMA 11	7.0	
DMA 12	191		Concrete Patios	1.0	191	DMA 11	15.3	
DMA 13	177		Permeous Patios	0.1	18	DMA 11	1.4	
DMA 14	616		Landscape Area	0.1	62	Storm Inlet	5.2	
DMA 15B/C	874		Pool House Roof	1.0	874	Storm Inlet	37.8	
DMA 19	827		Landscape Area	0.1	83	Storm Inlet	6.2	
DMA 20	126		Permeous Patios	0.1	13	Storm Inlet	1.3	
DMA 21A	1,248		Pool	1.0	1,248	DMA 21B	99.8	
DMA 21B	1,822		Concrete Terrace	1.0	1,822	Storm Inlet	132.8	
Total							677.5	847.3

DMA Name	Impervious DMA Area (SQ. FT.)	Permeous DMA Area (SQ. FT.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name	Minimum Facilities (DMA X 0.05) (SQ. FT.)	Area Used in Design (SQ. FT.)
DMA 8	2,209		Pool House Roof	1.0	2,209	DMA 8	176.7	
DMA 9	548		Concrete	0.1	55	Storm Drain	5.2	
DMA 9	863		Concrete Patios	1.0	863	Storm Drain	69.8	
DMA 10	2,802		Lawn Area	0.1	282	Storm Drain	22.6	
Total							281.3	286.7



1	2	3	4	5
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**OBERKAMPER & ASSOCIATES**  
 CIVIL ENGINEERS, INC.  
 7200 MIDWOOD BLVD. SUITE 308 NAVAJO, CA 94945  
 PHONE: (415) 897-2800  
 WWW.OBERKAMPER.COM

CALIFORNIA

**STORMWATER CONTROL PLAN**  
**92 LAUREL GROVE AVENUE**

DOWN: DR. ROSS

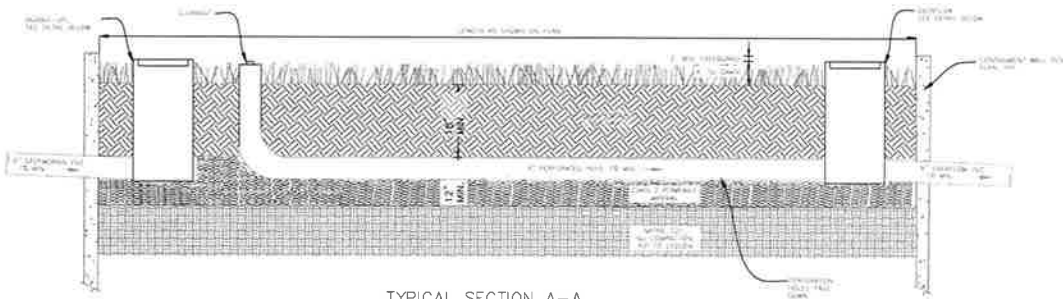
DATE: 11-28-2017  
 DRAWN BY: JRS  
 CHECKED BY: JRS  
 SCALE: 1/8" = 1'-0"

SHEET

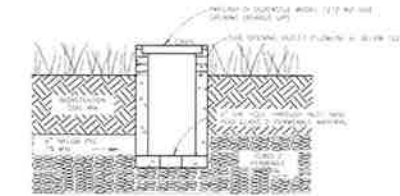
4 OF 5  
 1B-150A

W:\Projects\2018\18-1504\18-1504-01\18-1504-01.dwg, 2/2/2018 9:11:40 AM

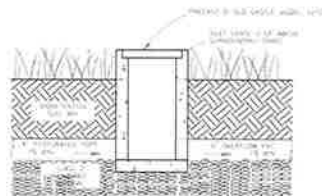
BIORETENTION AREA - PLAN  
NOT TO SCALE



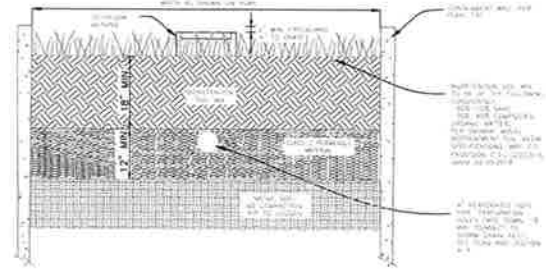
TYPICAL SECTION A-A  
BIORETENTION AREA  
NOT TO SCALE



BUBBLE-UP DETAIL  
NOT TO SCALE



OVERFLOW DETAIL  
NOT TO SCALE



TYPICAL SECTION B-B  
BIORETENTION AREA  
NOT TO SCALE

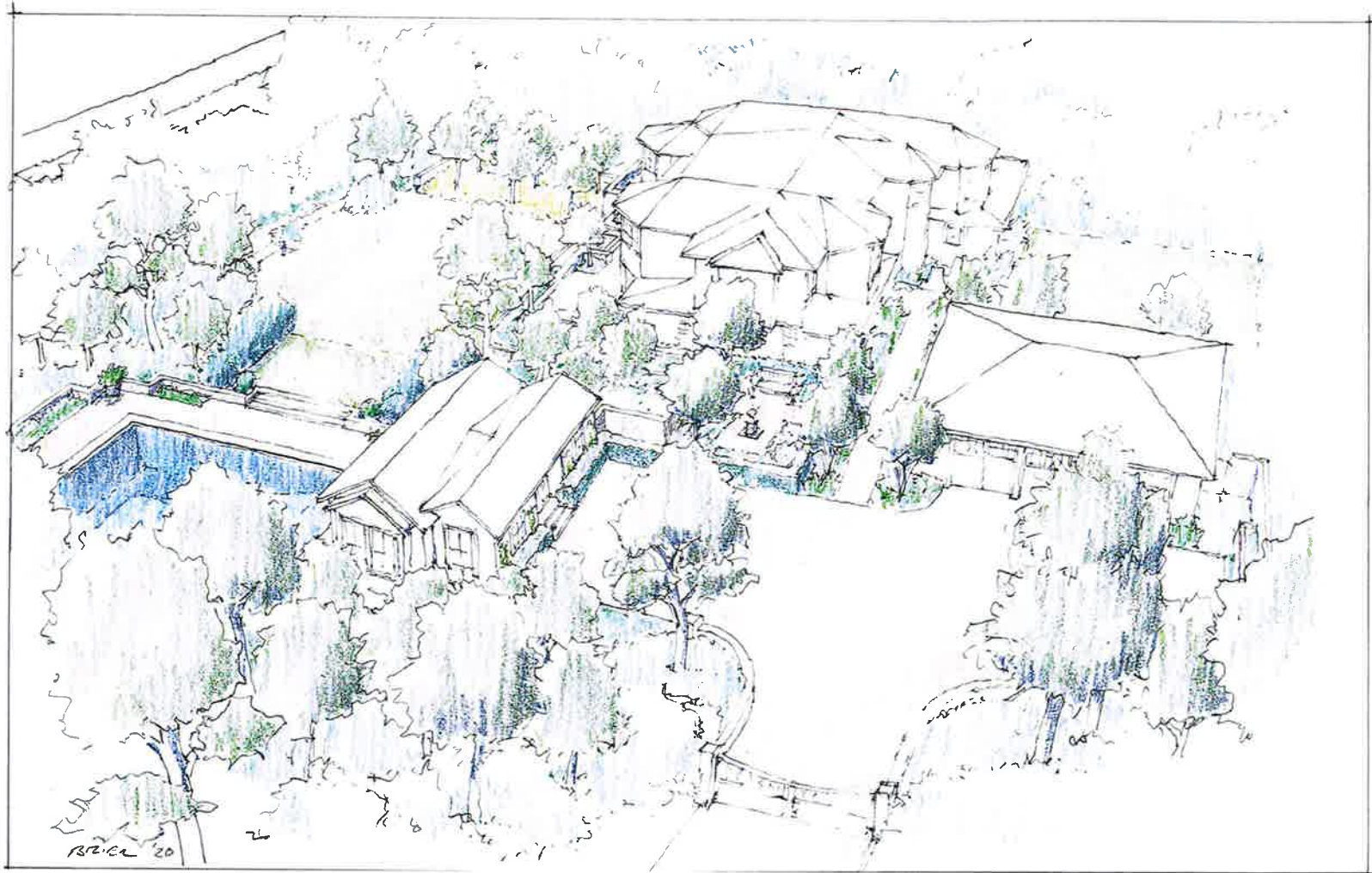
PROJECT IS LOCATED WITHIN A DESIGNATED WILDLAND URBAN INTERFACE ZONE, AND ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 CPC CHAPTER 7A & 2016 CRC SECTION R237. ALL VEGETATION AND CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION.



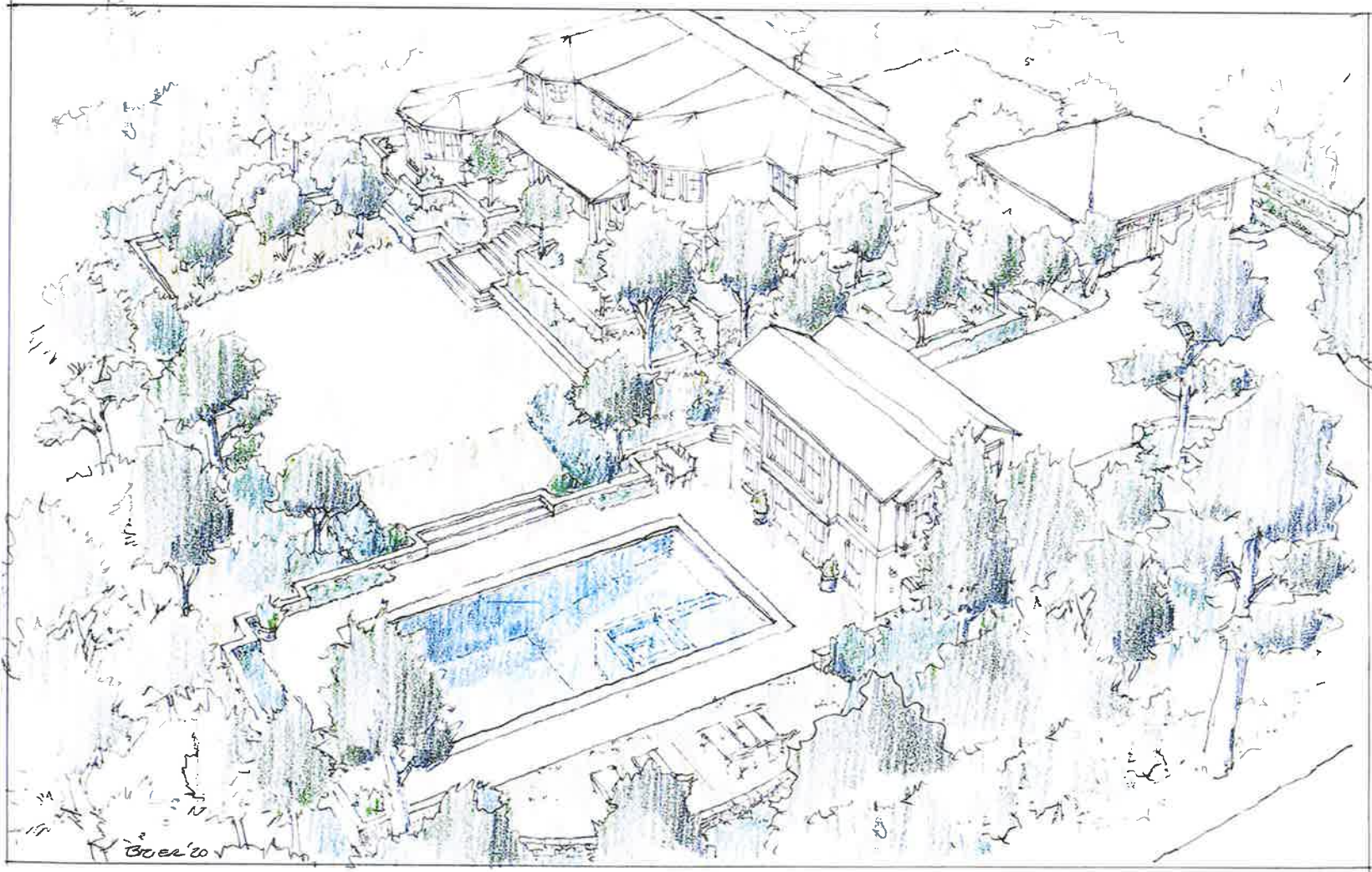
OBERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC. 7020 REDWOOD BLVD., SUITE 100, CA 94945 PH: (415) 897-7800 WWW.OBERKAMPER.COM	
STORMWATER CONTROL NOTES & DETAILS 92 LAUREL GROVE AVENUE MARIN, CALIF. 94945	
SHEET C4.1 5 OF 5 18-1504	DATE 2/2/2018 DRAWN BY JAC CHECKED BY JAC

Hale Residence

*Landscape Appendix, January 2021*

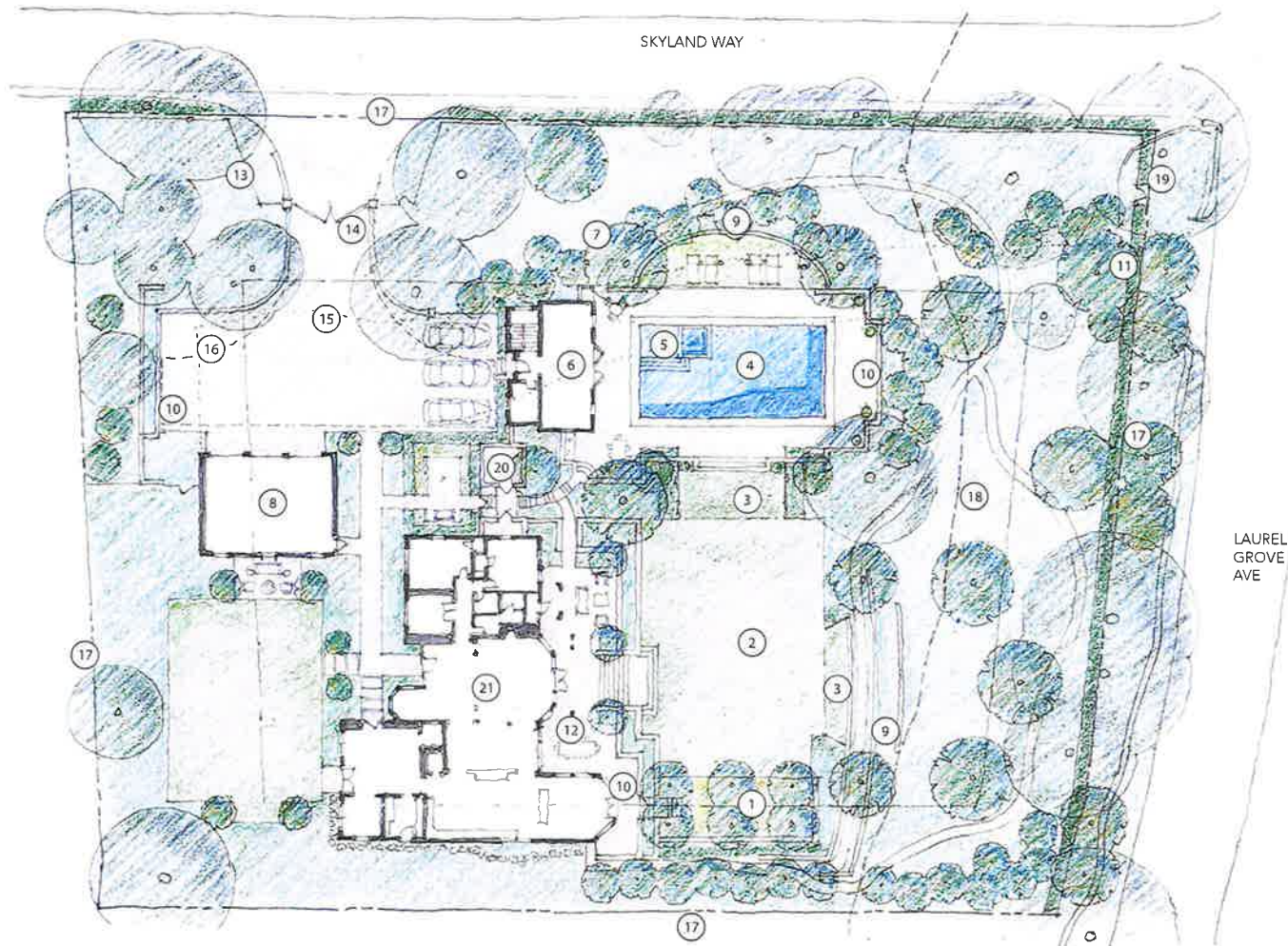


NORTH WEST VIEW



NORTH EAST VIEW

Hale Residence | 92 Laurel Grove, Ross CA | January 2021



Features

- |  |   |                             |
|--|---|-----------------------------|
| 1 Orchard                              | 10 Engineered Stone Wall (24-48" tall)                | 19 Screening Hedge          |
| 2 Lawn                                 | 11 Existing Driveway & Vehicular Gate (To Be Removed) | 20 Pool Equipment Enclosure |
| 3 Sloped Lawn                          | 12 Terrace  | 21 Residence                |
| 4 Pool                                 | 13 14 Foot Setback Reserved for Future Roadway        |                             |
| 5 Spa                                  | 14 New Vehicular Gate                                 |                             |
| 6 ADU                                  | 15 Existing Driveway (To Be Removed)                  |                             |
| 7 New Screening Trees                  | 16 Driveway Hammerhead (Fire Truck Turnaround)        |                             |
| 8 Garage                               | 17 Property Line                                      |                             |
| 9 Dry Stacked Stone Wall (12-30" tall) | 18 Riparian Setback                                   |                             |



3 Sloped Lawn



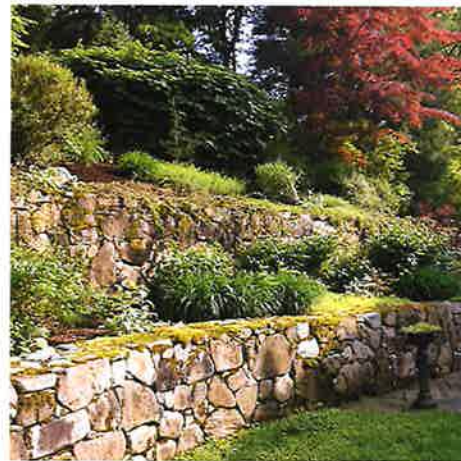
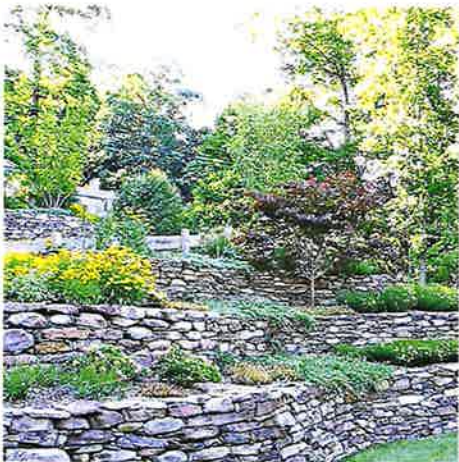
4 Pool



⑦ New Screening Trees



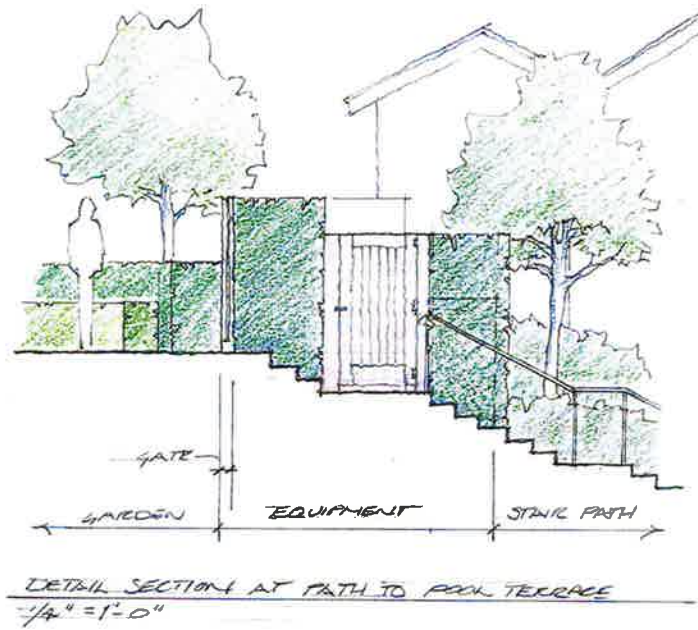
10 Engineered Stone Wall (24-48" tall)



9 Dry Stacked Stone Wall (12-30" tall)



14 New Vehicular Gate - Wood with Stone



20 Pool Equipment Enclosure

# ATTACHMENT 3



# ATTACHMENT 4

## ARBORIST REPORT

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**Tree Inventory  
92 Laurel Grove Avenue  
(APN:072-211-17)**

*Prepared for:*

**Rob and Catherine Hale**

[d.robert.hale@gmail.com](mailto:d.robert.hale@gmail.com)

[catherine.j.hale@gmail.com](mailto:catherine.j.hale@gmail.com)

*Prepared by:*

**Dr. Kent Julin**

**ISA Certified Arborist**

**California Professional Forester**

**ARBORSCIENCE, LLC**

**April 29, 2019**



P.O. Box 111 • Woodacre, CA 94973-0111  
Office: 415.419.5197 • Field: 415.419.6960 • PayPal: [kent.julin@gmail.com](mailto:kent.julin@gmail.com)  
Web: <http://arborscientist.com>

## ASSIGNMENT

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Rob and Catherine Hale hired ARBORSCIENCE, LLC to inventory trees surrounding their home in Ross. I conducted my inspections of the trees on May 26 and 29, 2019.

## SCOPE OF WORK AND LIMITATIONS

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I evaluated the subject trees using a Level 2 Basic Assessment following International Society of Arboriculture Best Management Practices for Tree Risk Assessment. Tree characteristics including form, degree of lean, vigor, and rooting stability were evaluated in relation to nearby targets. In addition, I used a dead-blow hammer to evaluate the presence and extent of internal decay. This assessment is based on the circumstances and observations, as they existed at the time of the site inspection. The opinions in this assessment are given based on observations made and using generally accepted professional judgment, however, because trees are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this assessment are valid only at the date any such observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by Arborscience as to the length of the validity of the results, observations, recommendations and analysis contained within this assessment. As a result the client shall not rely upon this Assessment, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the trees discussed in this assessment should be re-assessed periodically.

## SITE DESCRIPTION AND CONTEXT

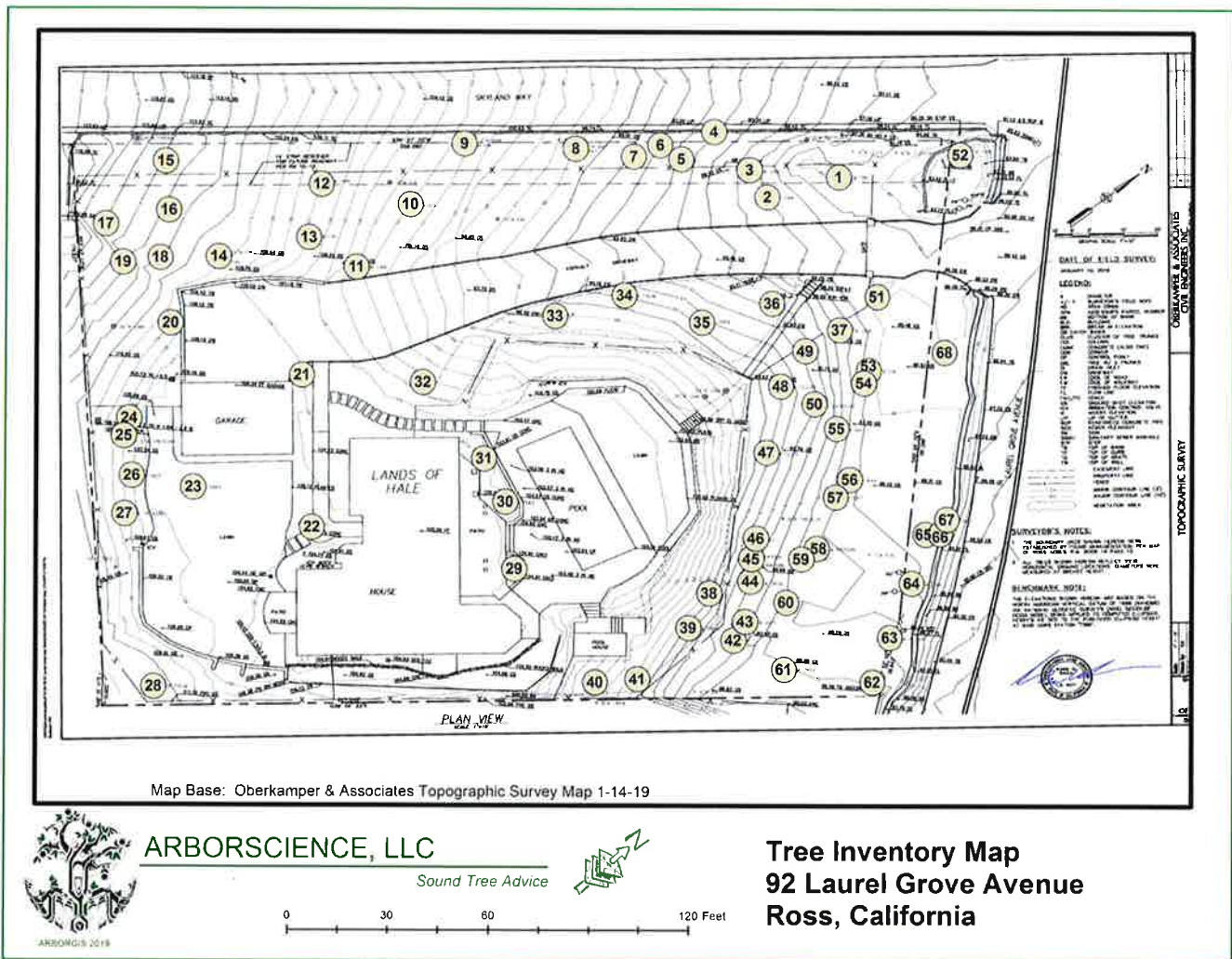
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The home at 92 Laurel Grove in Ross was constructed in 2000 on a gently sloping, northeast-facing, 0.94-acre parcel (APN: 072-211-17). Improvements included a gated asphalt driveway leading to a detached garage, single-family home, and pool. Gardens are nicely landscaped with both native and ornamental trees, shrubs, perennial flowers, and lawns.



## SUBJECT TREE DESCRIPTIONS

Trees on the property add considerable value in terms of privacy screening, sound dampening, shade, beauty, fruit, and wildlife habitat. Marin-native trees on the property include coast live oak, valley oak, California bay, and coast redwood. Planted trees consist of deodar cedar, incense cedar, Lawson's cypress, Monterey cypress, Japanese maple, white mulberry, Chinese elm, English elm, Marina madrone, blackwood and green wattle acacia Chinese windmill palms, green and purple leaf plum, orange, olive, Canary Island date palm, crepe myrtle, and fan palms. Locations of the subject trees are plotted on the Tree Inventory Map below. Names and sizes of these trees are presented in Table 1. Most of the trees are in good condition (On a scale of 1 to 5, where 24, 1 = poor and 5 = excellent). The large Monterey cypresses (Trees 9 and 10 are declining), one coast live oak (Tree 35 has sudden oak death), one blackwood acacia (Tree 49) with multiple trunks has failed and presents a hazard. Several trees (Trees 38, 40, and 41) have significant trunk decay. The Ross Valley Fire Department considers all of the California bays and acacias fire-prone.



**Table 1. Subject trees growing at 92 Laurel Grove Avenue in Ross.  
Condition is on a scale of 1 to 5, where 1 = poor and 5 = excellent**

Tag	Common Name	Scientific Name	DBH (in.)	Condition
1	coast redwood	<i>Sequoia sempervirens</i>	20, 24	5
2	coast live oak	<i>Quercus agrifolia</i>	15	4
3	valley oak	<i>Quercus lobata</i>	9	4
4	coast live oak	<i>Quercus agrifolia</i>	11	4
5	Canary Island date palm	<i>Phoenix canariensis</i>	36	4
6	coast live oak	<i>Quercus agrifolia</i>	11	4
7	deodar cedar	<i>Cedrus deodara</i>	12	4
8	coast live oak	<i>Quercus agrifolia</i>	9	4
9	Monterey cypress	<i>Hesperocyparis macrocarpa</i>	30	2
10	Monterey cypress	<i>Hesperocyparis macrocarpa</i>	28	2
11	coast live oak	<i>Quercus agrifolia</i>	21	4
12	coast live oak	<i>Quercus agrifolia</i>	13	4
13	deodar cedar	<i>Cedrus deodara</i>	10	4
14	deodar cedar	<i>Cedrus deodara</i>	13, 24	4
15	coast live oak	<i>Quercus agrifolia</i>	6	4
16	coast live oak	<i>Quercus agrifolia</i>	7	4
17	coast live oak	<i>Quercus agrifolia</i>	17	4
18	coast live oak	<i>Quercus agrifolia</i>	18	4
19	purple leaf plum	<i>Prunus cerasifera</i>	4, 4, 6	4
20	coast live oak	<i>Quercus agrifolia</i>	17	4
21	purple leaf plum	<i>Prunus cerasifera</i>	2, 3, 3	4
22	crepe myrtle	<i>Lagerstroemia indica</i>	6	4
23	white mulberry	<i>Morus alba</i>	7	4
24	cotoneaster	<i>Cotoneaster sp.</i>	3, 4, 7	1
25	purple leaf plum	<i>Prunus cerasifera</i>	3, 4, 5	4
26	green leaf plum	<i>Prunus sp.</i>	4, 5	4
27	Chinese elm	<i>Ulmus parviflora</i>	9	4
28	Canary Island date palm	<i>Phoenix canariensis</i>	36	4
29	orange tree	<i>Citrus sinensis</i>	2, 2, 3	4
30	Marina madrone	<i>Arbutus x marina</i>	9	5
31	Marina madrone	<i>Arbutus x marina</i>	9	5
32	crepe myrtle	<i>Lagerstroemia indica</i>	5	5
33	Chinese windmill palm	<i>Trachycarpus fortunei</i>	8	4
34	Chinese windmill palm	<i>Trachycarpus fortunei</i>	7	4
35	coast live oak	<i>Quercus agrifolia</i>	13	2
36	incense cedar	<i>Calocedrus decurrens</i>	13	4
37	coast live oak	<i>Quercus agrifolia</i>	16, 18	3
38	blackwood acacia	<i>Acacia melanoxylon</i>	7, 8	2
39	blackwood acacia	<i>Acacia melanoxylon</i>	21	4
40	California bay	<i>Umbellularia californica</i>	4-11 (8)	2

Tag	Common Name	Scientific Name	DBH (in.)	Condition
41	California bay	<i>Umbellularia californica</i>	2-9 (7)	2
42	Lawson's cypress	<i>Chamaecyparis lawsoniana</i>	5	3
43	California bay	<i>Umbellularia californica</i>	11	4
44	California bay	<i>Umbellularia californica</i>	7-21 (3)	4
45	California bay	<i>Umbellularia californica</i>	5-9 (5)	4
46	California bay	<i>Umbellularia californica</i>	4, 7	4
47	California bay	<i>Umbellularia californica</i>	7-8 (4)	4
48	California bay	<i>Umbellularia californica</i>	2-6 (5)	4
49	blackwood acacia	<i>Acacia melanoxylon</i>	5-16 (8)	1
50	California bay	<i>Umbellularia californica</i>	4-8 (3)	4
51	coast live oak	<i>Quercus agrifolia</i>	20	4
52	valley oak	<i>Quercus lobata</i>	56	4
53	Incense cedar	<i>Calocedrus decurrens</i>	13	4
54	blackwood acacia	<i>Acacia melanoxylon</i>	5	4
55	California bay	<i>Umbellularia californica</i>	2, 6	4
56	California bay	<i>Umbellularia californica</i>	6	4
57	California bay	<i>Umbellularia californica</i>	7	4
58	California bay	<i>Umbellularia californica</i>	14, 15	4
59	blackwood acacia	<i>Acacia melanoxylon</i>	14	4
60	California bay	<i>Umbellularia californica</i>	3, 4, 8	4
61	blackwood acacia	<i>Acacia melanoxylon</i>	11	4
62	blackwood acacia	<i>Acacia melanoxylon</i>	6	4
63	English elm	<i>Ulmus procera</i>	12	4
64	valley oak	<i>Quercus lobata</i>	26	4
65	valley oak	<i>Quercus lobata</i>	31	4
66	blackwood acacia	<i>Acacia melanoxylon</i>	4, 6, 8	4
67	green wattle acacia	<i>Acacia decurrens</i>	5, 6, 6	4
68	English elm	<i>Ulmus procera</i>	13	4

Sincerely,

**ARBORSCIENCE**



Dr. Kent R. Julin  
 ISA Certified Arborist #WE-8733A  
 ISA Tree Risk Assessor Qualified  
 California Registered Professional Forester #2648

# ATTACHMENT 5



CHAMBERS + CHAMBERS  
ARCHITECTS

**92 Laurel Grove Avenue**  
**Neighborhood Outreach Regarding Proposed Project**  
Update January 29, 2021

***Outreach related to Advisory Design Review Group Meeting held October 20, 2020***

On Friday Sept 18, 2020, the Hales, homeowners of 92 Laurel Grove Avenue, contacted their neighbors at 90, 91, 93 and 94 Laurel Grove and 3, 4 & 9 Skyland way to invite them to a group Zoom meeting or a one on one meeting to discuss the proposed project. The Hales contacted their neighbors by email using the email addresses in the Ross Town Directory.

On Sunday Sept 20, 2020, Rob Hale met with Bruce Chatley at **3 Skyland Way** in person. Mr. Chatley had questions about the project, primarily related to landscape screening and placement of the driveway. After discussing the project with Mr. Hale, Mr. Chatley was satisfied and said he supported the project.

On Tuesday Sept 22, 2020, the Hales met with Jeff Leon at **4 Skyland Way** via Zoom and sent him the plans. Mr. Leon had questions about the placement of the driveway and gate, parking during construction and the number of parking spaces after completion of the project. After the Hales addressed the questions, Mr. Leon indicated he enthusiastically supported the project and thought it would improve the value of properties on Skyland Way. Mr. Leon asked the Hales to trim the branches of a pine tree on Skyland Way during the project, which the Hales agreed to do. Additionally, the Hales committed to avoid parking directly across from Mr. Leon's driveway during construction.

On Tuesday Sept 22, the Robinsons at **94 Laurel Grove** requested the Hales send the plans for the project by email for review. After reviewing them, the Robinsons indicated on Wednesday Sept 23 they supported the project and their only question was regarding the construction timeline.

On Friday, October 9, the Hales met the Polskis at **90 Laurel Grove** in person who indicated full support of the project. The Polskis wanted to be sure there was plenty of screening from the pool house. The Hales agreed to trim trees overhanging Skyland Way and to the Polskis's requested there be a parking spot on Skyland Way for their visitors during construction.

On Sunday, October 18, Rob Hale met Chris Fasano at **9 Skyland Way** in person. Rob addressed Chris' questions about the project including construction time, parking and duration since the Fasanos also have an upcoming renovation project. Chris indicated full support of the project.

The Hales attempted to reach out to the neighbors at 6 and 8 Skyland but were not able to locate their contact information prior to the first ADR Group Meeting held October 20<sup>th</sup>.

***Outreach related to Advisory Design Review Group Meeting held January 19, 2021***

In response to comments received by the town planner before the Advisory Design Review Group Meeting on January 19, 2021, as well as comments made by neighbors during this meeting, the Hales



conducted additional outreach.

On Tuesday January 19, the Rob Hale communicated with Natalie Wilson at **6 Skyland Way** by email after Ms. Wilson contacted the town planner. Mr. Hale offered explanation of the project by email and Ms. Wilson reviewed the plans. Ms. Wilson indicated that she believed the new design is an improvement from the existing design of the property. She commented that she hoped that the ADR would review the fencing and landscaping plan to ensure there is enough screening. Aside from this, she indicated that both she and her husband supported the project.

During the January 19<sup>th</sup> ADR Group Meeting, three residents commented on the project: Eileen Sheldon of **1 Skyview Road**, Amelia Maccoun of **16 Skyland Way** and Barbara Van Meurs of **14 Skyland Way**. Their concerns all related to traffic and parking at the bottom of Skyland Way. The Hales had not discussed their project with any of these residents before the meeting due to their locations further up the road and away from the Hales' property. In the days following the ADR Group Meeting, the Hales contacted each of these residents by email, indicating that they regretted not explaining their project in advance and then offering an explanation for the project. The Hales explained their view that the project will bring the aesthetic of the property into line with the Laurel Grove and Skyland neighborhood, will improve traffic safety and will improve the parking situation in the neighborhood. The Hales also made assurances that construction parking would be managed carefully to minimize the burden on Skyland Way during the project. After receiving this email, Eileen Sheldon indicated she supported the project, Amelia Maccoun reiterated her objection to moving the driveway to Skyland Way due to parking and traffic concerns, and Barbara Van Meurs had not responded as of the date of this letter.

\* \* \*

In summary, the Hales' direct outreach and explanation of their project encompassed five face to face meetings and three email-only correspondences. Of these eight, seven indicated support for the project including from all owners of abutting properties of 92 Laurel Grove Ave and those directly across Skyland Way from it. One of eight objected to the relocation of the driveway even after explanation. The Hales assured all that they would make efforts to minimize disruption from construction and be attentive to concerns and requests during the construction process.

# ATTACHMENT 6

Tushers/Gabrielsen/Nicholsons properties, he did not have a problem. Accordingly, he moved approval with the findings in the staff report and the following conditions:

1. Applicant shall submit a landscaping plan 30 days from date of issuance of building permit and shall show type, height and size of the screening along the entire property lines of the Tusher/Gabrielsen/Nicholsons properties. Landscaping shall be installed as soon as possible, prior to the start of construction.
- 2. The Town Council reserves the right to require landscape screening for up to one year from project final.
3. Applicant shall comply with all requirements of the Ross Public Safety Department.
4. Any exterior lighting shall not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting shall be shielded and directed downward.
5. No change from the approved plans shall be permitted without prior Town approval.
6. Portable toilets shall be off the street and out of public view.

This was seconded by Councilmember Curtiss and passed unanimously.

23. VARIANCE AND DESIGN REVIEW.

Geoff and Sandy Barnett, 92 Laurel Grove Avenue, AP 72-211-17, R-1:B-A (Single Family Residence, One acre minimum)  
 Variance and design review to allow modifications to an existing residence, including: 1) adding a 1,497 square foot second story with a roof encroaching within the east side yard setback (16 feet proposed, 25 feet required); 2) converting the attached garage into living space; 3) replacing the main level porch with a den within the side yard setback (16 feet proposed, 25 feet required; 4) adding a covered walkway, covered terrace and stairway at the main level. A 768 square foot 3-car garage is proposed to the rear of the residence. A play structure is proposed in the rear and side yard setbacks.

V-12  
 DA 137

Lot Area	45,850 sq. ft.	
Present Lot Coverage	6.7%	
Proposed Lot Coverage	10.0%	(15% permitted)
Present Floor Area Ratio	6.7%	
Proposed Floor Area Ratio	13.9%	(15% permitted)

The existing residence is nonconforming in side yard setback.

MAYOR DELANTY BROWN HANDED THE GAVEL TO MAYOR PRO TEMPORE GRAY, STEPPED DOWN FROM THE COUNCIL CHAMBERS AND TOOK A SEAT IN THE AUDIENCE.

Architect Hank Bruce presented the plans and mentioned that Mr. Bruce Chatley, the adjoining neighbor, was concerned about viewing the proposed addition from his property. The applicants proposed landscaping to screen the area. Mr. Chatley said that it was a one-story home and a two-story is proposed, 20 ft. from his front door. He said that his daughter's bedroom window would look directly into the window of the proposed bedroom and he asked that the window be relocated. He asked what type of trees would be planted and that they not be deciduous. Mr. Chatley said that he did not want to see skylights and Mr. Bruce responded that no skylights were proposed. Mr. Bruce said that it would not be feasible to relocate the bedroom window.

There was some discussion concerning the play structure within the setbacks and the applicant withdrew this portion of the application. There was also further discussion concerning the type and height of trees. After consideration, Councilmember Goodman moved approval with the findings in the staff report and the following conditions:

1. Approvals do not include the play structure in the setbacks.
2. Landscape screening shall be provided between the residence and the property to the south. A landscape plan for this area shall be submitted for Town and Mr. Chatley's approval prior to building final. This landscaping shall be installed within 3 months of project final, unless extended by the Town due to weather conditions. If the neighbors do not come to an agreement, the matter shall be brought back to the Town Council. The Town Council reserves the right to require additional landscape screening for up to two years from landscape installation.
3. New exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
4. A new culvert shall be provided under the driveway at Laurel Grove Avenue as approved by the Director of Public Works.
5. The entry pylons shall not exceed a maximum height of 6 feet.
6. A 24-hour monitored alarm system shall be provided subject to the Ross Public Safety Department's approval.
7. The final plans for improvement of the lower terrace shall be submitted for Town Planner approval prior to terrace construction. All areas greater than 18" from existing grade shall constitute additional floor area.
8. No changes from the approved plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits.
9. Portable toilets shall be off the street and out of public view.

This was seconded by Councilmember Reid and passed unanimously.

24. VARIANCE AND DESIGN REVIEW.

Steve and Jessica Carroll, 201 Bolinas Avenue, AP 73-031-04, R-1:B-7.5 (Single Family Residence, 7,500 square foot minimum). Request is to allow a variance and design review to allow modifications to an existing residence, including: 1) the addition of 180 square foot family room; 2) the enclosure of an existing stairway to the garage upper level within the side yard setback (15 feet required, 8 feet proposed; 3) a lower level garage expansion and upper level bedroom/storage/multi-purpose room addition within the side yard setbacks (15 feet required, 8 and 10 feet proposed). Continued at the request of the applicant.

25. Correspondence.

Council noted a letter received from Councilmember Paul Chignell of San Anselmo. It was the consensus of the Council that 41 Willow Avenue be placed on the next agenda for a show cause.

26. Other Business.

Councilmember Goodman expressed concern that the under areas of hillside lots are being developed. A Council/staff retreat was set for Sunday, November 23, 10:00 a.m. to 3 p.m.

27. Adjournment.

The meeting was adjourned at 12:15 a.m.

Virginia Stott Mary Delanty Brown  
Virginia Stott, Town Clerk Mary Delanty Brown, Mayor

Laura Thomas  
Laura Thomas, Admin. Town Clerk

approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

This was seconded by Councilwoman Brown and passed unanimously.

24. DESIGN REVIEW AND VARIANCE.

Tom and Cary Nowell, 2 Spring Road, AP 73-252-05, R-1:B-6 (Single Family Residence, 6,000 square foot minimum)

Design review to allow the construction of a 6-foot high grape stake fence and gate across the front of the property along Spring Road. A variance is requested to allow a 3-foot high grape stake fence on top of an existing retaining wall along the entry walkway, resulting in a combined fence/wall height ranging from 6 feet to 9 feet (6 feet permitted.)

Town Planner Broad explained the proposal. He said that it is essential that the fence be pulled back to allow for vegetation.

Councilmember Hart asked if there were any comparable fencing in the neighborhood. Mr. Broad responded that the Tully residence also has a solid fence.

Mr. Nowell said that the Stafford property has solid fencing. He explained that they have a two story home close to the roadway. He said that without a solid gate his car would be visible and the gate would give them privacy from the street. Mayor Pro Tempore Goodman said that he did not have a problem with the design.

Mayor Gray suggested that the applicant plant a hedge, adding that a four foot fence would not have to go before the Council. Mr. Nowell said that they planned to landscape the front of the fence and wysteria would drape over the fence. He said that a four foot fence would not solve the privacy issue.

Mayor Pro Tempore Goodman moved approval with the findings and conditions in the staff report and that the fence be lowered to five feet with a solid gate. This was seconded by Councilmember Hart and failed to pass with Councilmembers Gray, Delanty Brown and Curtiss voting against.

25. VARIANCE AND DESIGN REVIEW. 4/16/97

Herbert and Nancy Tully, 19 Woodside Way, AP 73-252-03, R-1:B-6 (Single Family Residence, 6,000 sq. ft. minimum.)

Variance to allow the replacement of an existing covered patio to the east of the residence with a 192 square foot study within the rear yard setback from Spring Road (40 feet required, 22 feet proposed.) Design review to allow the construction of a new 6-foot high fence with a fenced-in refuse area in the southeast portion of the property along Spring Road.

Lot Area	23,516 sq. ft.
Present Lot Coverage	18.2%
Proposed Lot Coverage	18.2% (20% permitted)
Present Floor Area Ratio	18.2%
Proposed Floor Area Ratio	18.2% (20% permitted)

The existing residence, pool and patio are nonconforming in setbacks.

(Continued at request of applicant.)

26. DEMOLITION PERMIT.

Geoff and Sandy Barnet. 92 Laurel Grove Avenue, A.P. No. 72-211-17, R-1:B-A (Single Family Residence, One acre minimum) Demolition permit to allow an existing approximately 2,300

square foot residence and 2-car garage to be demolished in conjunction with the design review and variance approvals the Town Council granted in October, 1997. The approvals permitted modifications to the existing residence, including a 1,497 square foot second story addition with a roof encroaching within the east side yard setback and converting the attached garage into living space. No changes in the final exterior appearance of this residence from the previous approval are proposed.

Lot Area	45,850 sq. ft.	
Present Lot Coverage	6.7%	
Approved Lot Coverage	10.0%	(15% permitted)
Present Floor Area Ratio	6.7%	
Approved Floor Area Ratio	13.9%	(15% permitted)

The existing residence is nonconforming in east side yard setback.

**COUNCILWOMAN DELANTY BROWN STEPPED DOWN FROM THE COUNCIL CHAMBERS AND TOOK A SEAT IN THE AUDIENCE.**

Town Planner Broad explained that this was approved in 1997 and at that time the plans indicated which exterior walls would remain. However, the project proponents came back to staff and requested that they be permitted to demolish the existing residence and rebuild on the same site.

Ms. Lynn Chatley asked if the upstairs bedroom window could be moved 90 degrees to one side or the other to provide for privacy to her home.

Mrs. Barnet said that the second story is not in the setback and they planted three trees to mitigate the privacy issue discussed at the previous Council meeting.

Councilmember Hart asked the AIA if the window could be relocated. Mr. Bruce responded that this was the most appropriate location for light and air and the landscaping would mitigate the privacy issue.

Mayor Gray said that if the Council required them to reconstruct the house within the setbacks, it would be costly and inefficient.

Councilmember Goodman said that if the demolition was granted, the applicants could start with a clean piece of property and would have to justify why they were not building in the setback. Mrs. Barnet responded that the foundation lies in relationship to the driveway and pool, slope and sunlight and they would have to rebuild the driveway and pool if the house site were changed.

Town Planner Broad said that it is a sloping area with existing vegetation and if relocated, could result in additional site disturbance to the topography.

Mayor Pro Tempore Goodman moved approval subject to the findings in the staff report with the additional finding that moving the house would require moving driveway and pool and existing vegetation and cause more damage to the site.

Following are the conditions of approval:

1. The landscaping shall be reviewed as part of the granting of the building permit rather than at the end of the construction.
2. All conditions from the October 1997 Council approval shall remain in full force and effect.
3. The applicants and/or owners shall defend, indemnify and hold the Town harmless along with its boards, commissions, agents, officers, employees and consultants from any claim, action or proceeding against the Town, its boards, commissions, agents, officers, employees and consultants attacking or seeking to set aside, declare void or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action or

proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

This was seconded by Councilmember Hart and passed with four affirmative votes.

COUNCILWOMAN DELANTY BROWN RETURNED TO THE COUNCIL CHAMBERS.

27. AMENDMENT TO AN APPROVED DEMOLITION PERMIT AND DESIGN REVIEW APPLICATION.

*D.K. 153*

William and Liebe Patterson, 51 Glenwood Avenue, A.P. No. 73-071-11, R-1:B-A (Single Family Residence, One acre minimum)

An amendment to an approved demolition permit application to allow the demolition of an additional 2,292 square feet of the residence's existing first story. The existing entry hall, dining room, kitchen, library, studies and rear bedroom will be removed. The previous approval allowed the removal of a 2,529 square foot, 2-story addition added in 1936, a 180 square foot addition west of the living room, a caretaker's quarters and a barn with a living unit.

An amendment to the design review approval to allow the reconstruction of this 2,292 square feet of additional removed area is requested. No changes in the residence's final exterior appearance from the previous approval are proposed. The lot coverage and floor area ratios will remain as previously approved.

Lot Area	99.735 square feet
Present Lot Coverage	10.0%
Approved Lot Coverage	9.7% (15% permitted)
Present Floor Area Ratio	14.2%
Approved Floor Area Ratio	13.8% (15% permitted)

Town Planner Broad explained that there were no variances granted in the initial approval. He consulted with the historical architect at Carey and Co. was told that the proposed plans represented a reasonable approach. They recommended that photographs be taken from all angles and close up detail photographs prior to the work being done. These photographs are to be taken from far away and close up. Councilwoman Delanty Brown moved approval with the findings in the staff report and the following conditions.

1. All conditions from the January 1998 Council approval shall remain in full force and effect. No changes from the January 1998 design review approval are authorized by this approval.
2. Prior to the issuance of a building permit, the project proponents shall submit labeled photographs of all elevations of the original residence providing detailed documentation of the appearance of the original structure. Reconstructed areas shall replicate existing development in character and design details, subject to Town staff approval.
3. No changes from the approved demolition or design review plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits. No changes in the approved building permit plans related to demolition or design review shall be permitted without prior approval of the Town Planner.
4. A street number must be provided (minimum 4 inches on contrasting background.)
5. The applicants and/or owners shall defend, indemnify and hold the Town harmless along with its boards, commissions, agents, officers, employees and consultants from any claim, action or proceeding against the Town,

# ATTACHMENT 7

**MINUTES**  
Meeting of the  
Ross Advisory Design Review Group

Tuesday, October 20, 2020

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](http://townofross.org/meetings).

**1. 7:00 p.m. Commencement**

Chair Mark Kruttschnitt called the meeting to order. Josefa Buckingham, Laura Dewar, Mark Fritts, and Stephen Sutro were present. Planning and Building Director Patrick Streeter and Planner Matthew Weintraub representing staff were present.

**2. Approval of Minutes – September 15, 2020.**

The ADR Group unanimously approved the September 15, 2020 minutes.

**3. Open Time for Public Comments**

No comments were provided.

**4. Planning Applications.**

**a. Hale Residence, 92 Laurel Grove Avenue**

**Owner:** Hale Revocable Trust (Rob and Catherine Hale)

**Applicant:** Chambers and Chambers Architects/ Barbara Chambers

**DESCRIPTION:** The applicant is requesting approval to: construct a new 800-square-foot, detached accessory dwelling unit (ADU) in the north side yard; construct a new 718-square-foot, second-story, attached ADU above an existing, reconstructed nonconforming garage in the west (rear) yard; relocate the driveway access from Laurel Grove Avenue to Skyland Way; construct a new pool, patios, and outdoor living areas; and install new landscaping.

Planner Weintraub introduced the project and summarized written comments received in objection to the project from Jane Heath at 2 Skyview Way, citing concerns about proposed density, potential traffic impacts, and landscape impacts.

Stephen Sutro asked staff to discuss potential findings for variances and/or exceptions. Planner Weintraub discussed the factors and findings to be considered with respect to requested variances and/or exceptions, including ADR Group recommendations.

Josefa Buckingham asked staff for clarification of ADU allowable floor area. Planner Weintraub provided clarification.

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The applicant, Kim Ngo of Chambers & Chambers Architects, provided an update on neighborhood outreach and setback clarification.

ADR Group Members discussed the merits of the project. ADR Group Members provided the following comments:

Mark Kruttschnitt:

- New 2-story ADU structure would dominate views from upper Skyland Way and it would exacerbate nonconformities.
- New 1-story ADU structure would appear tall and would not be attractive from Laurel Grove Avenue.
- New nonconforming south patio should not encroach into setback.

Josefa Buckingham:

- The lot may be too small to accommodate 2 ADU's – each of which may involve 2-3 new residents and/or vehicles associated with the property. Off-street parking should be provided.
- The project should locate new development closer to the center of the lot and the existing residence, and away from the periphery of the lot.
- New 1-story ADU could be relocated away from the road to minimize the height. The street-facing architectural elevation should be improved/articulated.
- New 2-story ADU structure would exacerbate nonconformities. Landscaping may not provide adequate visual screening.
- Supports driveway relocation.
- The property does not present hardships typically associated with variance/exception approvals.

Stephen Sutro:

- Agrees with Mark Kruttschnitt and Josefa Buckingham on all their points.
- ADU bulk and mass are architecturally inappropriate and would not support overall findings for project approval. Too much bulk and mass to justify variances/exceptions.
- Recommends lowering plate height of new 1-story ADU and shifting location away from road. The street-facing architectural elevation should be improved/articulated.
- Not entirely comfortable with the new 2-story ADU per comments by Mark Kruttschnitt and Josefa Buckingham.

Mark Fritts:

- Concurs with previous comments regarding bulk and mass, building location, improving/articulating street-facing elevations, and minimizing requested variances/exceptions.
- Recommends carrying over style/character of 2-story ADU to 1-story ADU.
- Supports driveway relocation.
- Does not support south patio setback encroachment.

Laura Dewar:

- Agrees with previous comments.
- Concerned that new ADU structures would become the new primary visual focus from roadways.

Natalie Wilson provided a written public comment expressing concerns about potential loss of on-street parking, and asking if the house address would be changed to Skyland Way and if the new pool would involve a tall retaining wall. Chair Mark Kruttschnitt replied that these issues would be addressed by staff and/or reviewed when a revised project is reviewed by the ADR Group.

Chair Mark Kruttschnitt summarized the ADR Group's unanimous recommendations:

- Too much bulk and mass.
- Too much development at the periphery of the property.
- Lack of "hardship" justification for requested variances/exceptions.
- Nonconformities should not be exacerbated.
- The proposed design is not consistent with the Design Review criteria and standards of RMC Section 18.41.100.

Chair Mark Kruttschnitt closed the hearing.

**b. Dickerson Residence, 105 Bolinas Avenue**

**Owner:** Roger and Melissa Dickerson

**Applicant:** Imprints Landscape Architecture

**DESCRIPTION:** The applicant is requesting approval to construct a new 420-square-foot combination pool/spa, new stone patio, new mechanical equipment enclosure, and associated new landscape screening.

Planner Weintraub introduced the project and summarized a written comment received in support of the project from Trevor Buck at 83 Bolinas Avenue and the applicant's Neighborhood Outreach Description indicating support of Richard Petovello at 107 Bolinas Avenue.

Josefa Buckingham asked the applicant to explain the proposed location. Brad Eigsti of Imprints Landscape Architecture replied that the rear yard is occupied by large redwood trees, whereas the side yard is currently underutilized.

ADR Group Members discussed the merits of the project. ADR Group Members provided the following comments:

Mark Fritts:

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- Rear yard seems to be a more natural location for a new pool; may be less impactful on neighbors and a rear yard setback variance could be justified. However, a rear yard pool location is not ideal because removal of redwood trees is typically not preferred, and a pool in proximity to redwood trees is problematic.
- Proposed pool location in side yard may create noise impacts that minor location adjustments would not mitigate. The side yard may not be an appropriate pool location.
- If a pool is located in the side yard, recommends revising size/location to avoid setback encroachment and to increase distance to neighbor.
- In summary, the side yard location does not appear suitable and the rear yard location is preferred.

Laura Dewar:

- Understands the reasoning of avoiding the redwood trees in the rear yard.
- Notes that the side yard setback encroachment is minimal and the pool location allows for access to the existing residence.
- The proposed pool location is currently visible from the public right-of-way and additional screening is preferred.
- In summary, the generally narrow lot configurations and existing nonconforming situations along Bolinas Avenue seem to justify the request.

Stephen Sutro:

- Understands the reasoning of avoiding the rear yard; but does not mean that the side yard location is suitable.
- Difficult to justify an exception for a design that does not quite fit.
- In summary, the generally narrow lot configurations and existing nonconforming situations along Bolinas Avenue seem to justify the request.

Mark Kruttschnitt:

- The rear yard would be the obvious pool location choice if the redwood trees were not present.
- A rear yard pool location at the back of the lot would justify tree removal.
- A side yard location requires setback encroachment to allow for access to the existing residence, and minor adjustments to the proposed side yard location would not result in meaningful improvements with respect to potential impacts on the adjacent neighbor.
- Recommends screening the west yard from the public right-of-way by raising the west yard fence to 6' in height and/or planting a hedge.

Josefa Buckingham:

- The Town Council has requested that the ADR Group provide decisive guidance and recommendations.
- Existing neighbor relationships should not be the basis for design decisions.

*October 20, 2020 ADR Group Meeting Minutes*

- The ADR Group should focus on: Is this good design for the Town? Is this the best design?
- Concerned that proximity of the new pool to the adjacent residence is not good design.
- Prefers removing trees and locating the pool in the rear yard.
- Side yard does not appear to be an appropriate pool location.

Owner Roger Dickerson described the environmental values of and desire to preserve the existing redwood trees in the rear yard; and explained the predominant shade in the rear yard that makes the rear yard less suitable. Applicant Brad Eigsti explained existing development and constraints in and around the side yard; and described existing fencing and landscaping.

John Boesel at 103 Bolinas Avenue provided a written public comment in support of the project and describing a Marin Municipal Water District drainage pipe that runs through the rear yards of properties on Bolinas Avenue including the subject property.

The ADR Group voted 3-2 that the proposed design is consistent with the Design Review criteria and standards of RMC Section 18.41.100. Josefa Buckingham and Mark Fritts dissented and preferred a rear yard location for a new pool rather than a side yard location.

Chair Mark Kruttschnitt closed the hearing.

**c. Stevens Residence, 5 Madera Avenue**

**Owner:** Stevens Family Trust (Ann and Chuck Stevens)

**Applicant:** Pedersen Associates

**DESCRIPTION:** The applicant is requesting approval to construct a new 6'-tall retaining wall and 3'-6" guardrail in order to expand the width of an existing driveway, and to renovate the existing front entry area exterior to the existing single-family residence including new landings, stairs, walkways, walls, and plantings.

Planner Weintraub introduced the project.

ADR Group Members discussed the merits of the project. ADR Group Members provided the following comments:

Mark Kruttschnitt:

- Supports retaining wall improvements in Ross.

Mark Fritts:

- Asked for and received clarification from architect Pete Pedersen that there are existing stucco surfaces on the garage, and the existing railing design and elements would be reused.
- No concerns about the project.

Stephen Sutro:

- Looks fine with proposed wall plantings.

Josefa Buckingham:

- Project is a great improvement that should be done.
- Applicant may consider rebuilding/expanding the garage to better match the house; architect Pete Pedersen responded that nonconforming setbacks are an issue, but owners may consider as future improvement.
- New retaining wall would not be noticeable after construction.

Laura Dewar:

- Staircase is a nice improvement.
- Expanded driveway/parking area makes sense at the dead-end street.
- Asked for and received clarification from architect Pete Pedersen that the retaining wall would be planted and minimally visible from neighboring properties.
- Supports all of the work.

Chair Mark Kruttschnitt summarized the ADR Group's unanimous recommendation that the proposed design is consistent with the Design Review criteria and standards of RMC Section 18.41.100.

Chair Mark Kruttschnitt closed the hearing.

**5. Conceptual Advisory Design Review.**

**a. Newell Road Trust Residence, 3 Newell Road**

**Owner:** Newell Road Trust

**Applicant:** Ken Linsteadt Architects

**DESCRIPTION:** The applicant is requesting Conceptual Advisory Design Review of a preliminary proposal to demolish the existing single-family residence and construct a new single-family residence.

Director Streeter introduced the Conceptual Advisory Design Review.

Architect Ken Linsteadt described the conceptual design for single-family residential construction.

ADR Group Members provided the following Conceptual Advisory Design Review comments:

- It is difficult to tell how visible the house would be from other residential properties and from offsite locations; more detailed visual analysis will be necessary.

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- Consider the impacts on viewshed of pushing the 2-story element back, especially considering tree removal.
- Be aware of design review standards and guidelines with respect to ridgelines.
- Current fire safety requirements can take precedent over design considerations. For example, Fire Department required tree removal at 1 Upper Road which resulted in greater visibility of massing.
- Consider requesting that the Fire Department identify specific trees that would be required to be removed, especially in the tightly contoured part of the site near the 2-story element of the house, prior to making design decisions.
- Josefa Buckingham recommends pushing the house back as far as possible to leave more open flat space at the house level which could provide for a pool location near the house, rather than at the lower level.
- Mark Fritts recommends maximizing the potential for solar and renewable energy; appreciates the split-massing design.

Chair Mark Kruttschnitt closed the hearing.

**6. Communications**

**a. Staff**

Director Streeter provided an update on downtown developments.

**b. ADR Group Members**

None.

**7. Adjournment**

The Chair adjourned the meeting at 8:57 PM.

**MINUTES**  
Regular Meeting of the  
Ross Advisory Design Review Group  
7:00 PM, Tuesday, January 19, 2021

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](http://townofross.org/meetings).

**1. 7:00 p.m. Commencement**

ADR Group Chair Mark Kruttschnitt called the meeting to order. ADR Group Members Josefa Buckingham, Laura Dewar, Mark Fritts, and Stephen Sutro were present. Director Patrick Streeter and Planner Matthew Weintraub were present representing staff.

**2. Approval of Minutes.**

The ADR Group unanimously approved the December 15, 2020 minutes.

**3. Open Time for Public Comments**

No comments were provided.

**4. Planning Applications.**

**a. Hale Residence, 92 Laurel Grove Avenue**

**Owner:** Rob and Catherine Hale

**Applicant:** Chambers and Chambers Architects/ Barbara Chambers

**DESCRIPTION:** The applicant is requesting approval to construct a new detached two-story, 1,350-square-foot accessory building, containing separate areas with 850-square-foot, one-bedroom accessory dwelling unit (ADU) and 500-square-foot pool house; new pool, patios, and landscaping; and a new driveway with access on Skyland Way, at the existing single-family residential property.

*The application was previously reviewed at the October 20, 2020 meeting. The applicant submitted a revised project design for review at the January 19, 2021 meeting.*

Planner Weintraub introduced the project.

Written comments expressing concerns and/or objections to the project were received from the following property owners: 16 Skyland Way; 2 Skyview Road; 90 Laurel Grove Avenue; 1 Skyview Road; 14 Skyland Way; 6 Skyland Way. Concerns and/or objections cited the new driveway, construction activities, accessory building uses, and landscape screening.

Applicant Robert Hale described the project.

Eileen Sheldon, 1 Skyview Lane, spoke concerns about traffic and circulation on Skyland Way. Planner Weintraub provided information.

Amelia Morris, 16 Skyland Way, spoke concerns about traffic and circulation on Skyland Way. Director Streeter provided information.

Barbara Van Meurs, Skyview Lane, spoke concerns about traffic and circulation on Skyland Way and the Town's noticing requirements. Planning staff provided information about Council hearing dates and public notice requirements.

ADR Group Members discussed the merits of the project and provided the following comments:

Josefa Buckingham:

- Circulation and architecture are separate issues.
- Previous ADR Group comments were addressed by the revised design.
- Favors the minimized massing and bulk.
- Supports the architectural design.
- New driveway on Skyland Way is a superior design if safety standards are met. The existing driveway on Laurel Grove Avenue is not safe.
- An ADU is allowable according to State mandate.
- Recommends using the existing driveway for parking/staging during construction to minimize offsite impacts.
- The project would provide substantial off-street parking.

Mark Kruttschnitt:

- Revised project design addresses bulk and mass issues.
- Setbacks are compliant and generous.
- Increasing the number of driveways on Skyland Way should be a minimal impact.

Laura Dewar:

- Revised design addresses previous ADR Group concerns and comments.
- Architectural design is greatly improved.
- Removing the existing long driveway and adding the new driveway on Skyland Way is a superior design.

Mark Fritts:

- Expressed concerns that pool house and ADU spaces would be combined.
- The new driveway on Skyland Way would have minimal impact on parking and circulation.
- Supports the project.

Stephen Sutro:

- Agrees with comments by other ADR Group Members.
- Superior architectural design would allow for ADU exception.

- Fully supports the project as submitted.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval.

Planner Weintraub provide information on the allowable use of an ADU.

Chair Kruttschnitt closed the hearing.

**b. Berry Residence, 51 Sir Francis Drake Boulevard**

**Owner:** Noah Berry

**Applicant:** James Coy Architect

**DESCRIPTION:** The applicant is requesting approval to raise the existing one-story single-family residence 2.7' above its current elevation in its existing location in order to avoid inundation of the existing living space during stormwater flood events. The maximum building height at the roof ridge would increase from 16'-1" to 18'-10". Associated with lifting the existing building in place, the project would reconstruct the existing entry stairs and existing rear deck at the proposed new floor height.

Planner Weintraub introduced the project.

Architect James Coy and owner Noah Berry described the project.

No public comments were received.

Mark Fritts:

- Suggests retaining a single-sided entry stairway.
- Supports the project.

Stephen Sutro:

- Open substructure at rear elevation is not an offsite visual issue; could be screened in the future if necessary.
- Supports the project as proposed.

Laura Dewar:

- Open substructure at rear elevation is not an offsite visual issue; could be screened in the future if necessary.
- Suggests improving the garage in the future.
- Supports the project.

Josefa Buckingham:

- Suggests improving the garage in the future.
- Supports the project.

Mark Kruttschnitt:

- Suggests retaining a single-sided entry stairway.
- Suggests improving the garage in the future.
- Supports the project.

Chair Kruttschnitt summarized that the ADR Group unanimously recommended Design Review approval.

Chair Kruttschnitt closed the hearing.

**5. Conceptual Advisory Design Review.** None.

**6. Communications**

**a. Staff**

Next regular meeting date: February 16, 2021.

**b. ADR Group Members**

None.

**7. Adjournment**

Chair Kruttschnitt adjourned the meeting at 8:09 PM.

# ATTACHMENT 8

## Matthew Weintraub

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**From:** Jaheath <jaheath@ix.netcom.com>  
**Sent:** Sunday, October 18, 2020 7:55 AM  
**To:** Matthew Weintraub  
**Subject:** Re: building project at 92 Laurel Grove Avenue

### Re 92 Laurel Grove Avenue

Two additional units on this property would take the density of development way above the surrounding area. And be out of keeping and with currently allowed limits. Allowing this increase in density would set a precedent for the neighborhood and subsequently detrimentally change its character.

This proposal includes a new access onto Skyland way a relatively small, steep side road that already provides the single entry/exit for 19 properties (most of which were not informed of this proposal) This road is quite hazardous with the number of vehicles using it relative to its size and steep drop off on one side. Skyland Way has a sharp right turn onto Laurel Grove Avenue adjacent to an open large ditch/creek. This turn causes vehicles to have to swing out wide onto Laurel Grove Avenue into the path of on coming traffic. Vehicles have miss judged this in the past and got their vehicles struck here. I'm sure the fire department have a record of this. I have also witnessed several near misses. As 92 is on Laurel Grove Avenue, a much wider straighter road where the sight lines are far superior, any expansion of this property should be required to access from Laurel Grove Avenue and not add additional traffic and onto Skyland Way.

This Property has had several lengthy construction and landscaping projects in the past few years. Each time their workers vehicles park the length of Skyland Way while leaving their own driveway empty. I have spoken at least four times drivers who ignore the 'no parking' zone at the end of Skyland Way. This area is to be kept clear for sight line safety and ease of emergency vehicle access. There have been many more times when no one was around to speak to. I noticed when weeks were spent removing trees from there property last year, that the neighbor opposite their new pedestrian entrance on their Skyland Way boundary had to resort to putting out signs and cones to keep access opposite their drive way clear for access. Thus I hope that for any future building project on this site that you do all in your power to insist that their workers NOT be allowed to park in Skyland Way.

Last year after removing natural vegetation from the side and front of the property, leaving a open scar on the natural wooded feel of Laurel Grove Avenue, they planted an avenue of palm trees along their drive. The result is so out of character with Ross that just what their intentions are for the final look of this property is concerning.

I find this proposal so out of keeping with the neighborhood and a detriment to Skyland Way and Skyview residents in relation to traffic and access, that I cannot see any reason to support it and I trust that you will neither.

Sorry for this late comment but I only learnt of this proposal late last week.

Your sincerely  
Jane Heath  
Two Skyview

Sent from my iPhone

On Oct 15, 2020, at 12:43 PM, Matthew Weintraub <Mweintraub@townofross.org> wrote:

Hello Jane,

It was a pleasure to talk with you. Please find attached a copy of the public notice for the 10/20 ADR Group meeting. Please feel free to contact me if you have any questions or comments.

Best,  
Matthew

Matthew Weintraub  
Planner  
Town of Ross | Planning  
P.O. Box 320 | 31 Sir Francis Drake Blvd.  
Ross, CA 94957-0320  
415.453.1453 x116 (Planning)  
415.453.1950 fax  
mweintraub@townofross.org  
Municipal Code | MARINMAP

-----Original Message-----

From: jaheath@ix.netcom.com <jaheath@ix.netcom.com>  
Sent: Thursday, October 15, 2020 12:36 PM  
To: Matthew Weintraub <Mweintraub@townofross.org>  
Subject: Fwd: building project at 92 Laurel Grove Avenue

Dear Matthew

Thank you for taking the time to talk with me earlier. I very much appreciate your explanation of the planning and building process in Ross.

I would be grateful if you would forward the notice of the proposal to me as you indicated on the phone.

Jane Heath  
jaheath@ix.netcom.com

<ADR NOTICE 10-20-20 - 92 LAUREL GROVE AVE.pdf>

## Matthew Weintraub

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**From:** Patrick Streeter  
**Sent:** Friday, January 15, 2021 2:29 PM  
**To:** designreview  
**Subject:** FW: Protesting driveway entrance on Skyland Wah

Please find comments, below, regarding an item on Tuesday's agenda.

**From:** Ken Morris <kenmorris6@comcast.net>  
**Sent:** Friday, January 15, 2021 2:03 PM  
**To:** Patrick Streeter <pstreeter@townofross.org>  
**Subject:** Protesting driveway entrance on Skyland Wah

As the owner of 16 Skyland Way (Ken and Amelia Morris), I am submitting a strong protest to the proposed driveway access for 92 Laurel Grove being moved to Skyland Way. Not only would the construction on our already too-narrow road be a burden, but Skyland Way—especially at the bottom of the hill, near Laurel Grove—is already often clogged with parked cars and both commercial and residential traffic. Adding another driveway (which would also force parked cars to move even further up Skyland Way) is a horrible idea that places an unfair burden on all of us who live further up the street.

This should not be allowed. When the applicant's purchased their property, they did so with the understanding they had driveway access from Laurel Grove NOT Skyland Way. We should not be burdened with the lengthy inconvenience of heavy construction equipment or the increased congestion at the foot of Skyland Way once their driveway is moved.

Ken Morris  
415-497-2298  
16 Skyland Way

Hale Residence, 92 Laurel Grove Avenue : Owner: Rob and Catherine Hale Applicant: Chambers and Chambers Architects/ Barbara Chambers DESCRIPTION: The applicant is requesting approval to construct a new detached twostory, 1,350-square-foot accessory building, containing separate areas with 850-squarefoot, one-bedroom accessory dwelling unit (ADU) and 500-square-foot pool house; new pool, patios, and landscaping; and a new driveway with access on Skyland Way, at the existing single-family residential property. The application was previously reviewed at the October 20, 2020 meeting. The applicant submitted a revised project design for review at the January 19, 2021 meeting

## Matthew Weintraub

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**From:** Patrick Streeter  
**Sent:** Monday, January 18, 2021 3:44 PM  
**To:** designreview  
**Subject:** FW: 92 Laurel Grove comment

**From:** amelia morris <ameliamaccoun@gmail.com>  
**Sent:** Saturday, January 16, 2021 9:20 AM  
**To:** Patrick Streeter <pstreeter@townofross.org>  
**Subject:** 92 Laurel Grove comment

Hello - I'm writing in regards to the proposed remodel at 92 Laurel Grove. I would like to register my objection to re-orienting the existing drive from Laurel Grove to Skyland Way. Skyland Way is a narrow road with public parking on one side of the road only, the east side, which is the side of the proposed new driveway. The new drive would not only take away from existing very limited parking (recall there is no parking on Laurel Grove), it would also add to the already congested area at the bottom of the hill. Vehicles currently have difficulty navigating the turn and the stop sign given the narrow road, and often are required to wait for cars to pass on what becomes a one-car road. When busy, traffic can also get backed up on Laurel Grove. The design of Skyland Way does not support an additional driveway.

Thank you for your assistance in this matter.

Amelia Morris  
16 Skyland Way

## Matthew Weintraub

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**From:** Jane Heath <jaheath@ix.netcom.com>  
**Sent:** Sunday, January 17, 2021 8:56 AM  
**To:** Matthew Weintraub  
**Subject:** amended building project at 92 Laurel Grove Avenue

I forward the following comments with regard to the latest proposal for 92 Laurel Grove.

Firstly, once again I have only by chance learned of the proposed plans. I sent in comments on the previous proposal, that I also by chance heard about. So although it was known that I was an concerned neighbor, no-one thought it appropriate to notify me. While I understand that Ross may have "no legal obligation " to do so, in this time of COVIC-19 when some of us are actually following state and country laws and staying home, and working not only our jobs, but also remotely devoting all our spare time to those who are not as privileged as the residents of Ross, a little extra effort to keep its residents informed would be appreciated. So, while I am fearful that that these comments may again be too late to be officially considered I hope the points I raise will be thought about in the decision-making process.

1. The description on the application is I believe incredibly miss leading. I have no confidence at all that the description of 850-square-foot, one-bedroom accessory dwelling unit (ADU) and 500-square-foot pool house are what will actually result.
2. No one needs a 500-square-foot pool house! This is bigger than many people's apartments outside of Ross! Thus, it raises the question what is it going to be used for?
3. I am not clear what your definition or restrictions are precisely on "an accessory building", but I also have no faith that it will be used as an accessory to the current residence. Once again this is this a common practice. And in these days of easy on-line rentals this is hard to monitor and a very lucrative business and source of income for homeowners. And with a 500-square-foot pool house, and pool what a great party rental!
4. Being a two story building with 850-square-foot, one-bedroom with a 500-square-foot pool house below will conveniently enable a future, if not the current, owner to quickly and quietly convert it to a **1,350-square-foot two story, independent residence** as soon as the owner believes no one is watching. As a former town planner, I say this because this is common practice.
5. The additional traffic onto Skyland Way will be considerable. Already there are times when it is so restricted by parked vehicles that it is access is difficult for larger vehicles such as garbage and emergency. Although the existing owner already uses Skyland as a parking lot for all the service, maintenance and construction vehicles for this property.
6. Although during COVID-19 restrictions traffic accessing the properties on Skyland Way and Skyview has been drastically reduced, one assumes that this will not be the case post pandemic once full movement is once again possible. If the access to this property is moved to Skyland Way is it possible to secure any land needed and incorporate improvements to the treacherous corner where Skyland Way meets Laurel Grove Avenue with the exposed ditch? At present instead to an adequate turn radius it is currently almost a 90 degree turn and a hazardous sharp exposed drop. If the corner of this property was given to the Town this could be rectified.

I respectfully ask that you consider these comments..

Jane Heath

Begin forwarded message:

**From:** Matthew Weintraub <[Mweintraub@townofross.org](mailto:Mweintraub@townofross.org)>  
**Subject:** RE: building project at 92 Laurel Grove Avenue  
**Date:** October 19, 2020 at 2:29:41 PM PDT  
**To:** Jaheath <[jaheath@ix.netcom.com](mailto:jaheath@ix.netcom.com)>

Hello,

Thank you for the comments. They will be included in the public hearing materials for the project.

Best,  
Matthew



Matthew Weintraub

*Planner*

Town of Ross | Planning

P.O. Box 320 | 31 Sir Francis Drake Blvd.

Ross, CA 94957-0320

415.453.1453 x116 (Planning)

415.453.1950 fax

[mweintraub@townofross.org](mailto:mweintraub@townofross.org)

[Municipal Code](#) | [MARINMAP](#)

**From:** Jaheath <[jaheath@ix.netcom.com](mailto:jaheath@ix.netcom.com)>  
**Sent:** Sunday, October 18, 2020 7:55 AM  
**To:** Matthew Weintraub <[Mweintraub@townofross.org](mailto:Mweintraub@townofross.org)>  
**Subject:** Re: building project at 92 Laurel Grove Avenue

Re 92 Laurel Grove Avenue

Two additional units on this property would take the density of development way above the surrounding area. And be out of keeping and with currently allowed limits. Allowing this increase in density would set a precedent for the neighborhood and subsequently detrimentally change its character.

This proposal includes a new access onto Skyland way a relatively small, steep side road that already provides the single entry/exit for 19 properties (most of which were not informed of this proposal) This road is quite hazardous with the number of vehicles using it relative to its size and steep drop off on one side. Skyland Way has a sharp right turn onto Laurel Grove Avenue adjacent to an open large ditch/creek. This turn causes vehicles to have to swing out wide onto Laurel Grove Avenue into the path of on coming traffic. Vehicles have miss judged this in the past and got their vehicles struck here. I'm sure the fire department have a record of this. I have also witnessed several near misses. As 92 is on Laurel Grove Avenue, a much wider straighter road where the sight lines are far superior, any expansion

of this property should be required to access from Laurel Grove Avenue and not add additional traffic and onto Skyland Way.

This Property has had several lengthy construction and landscaping projects in the past few years. Each time their workers vehicles park the length of Skyland Way while leaving their own driveway empty. I have spoken at least four times drivers who ignore the 'no parking' zone at the end of Skyland Way. This area is to be kept clear for sight line safety and ease of emergency vehicle access. There have been many more times when no one was around to speak to. I noticed when weeks were spent removing trees from there property last year, that the neighbor opposite their new pedestrian entrance on their Skyland Way boundary had to resort to putting out signs and cones to keep access opposite their drive way clear for access. Thus I hope that for any future building project on this site that you do all in your power to insist that their workers NOT be allowed to park in Skyland Way.

Last year after removing natural vegetation from the side and front of the property, leaving a open scar on the natural wooded feel of Laurel Grove Avenue, they planted an avenue of palm trees along their drive. The result is so out of character with Ross that just what their intentions are for the final look of this property is concerning.

I find this proposal so out of keeping with the neighborhood and a detriment to Skyland Way and Skyview residents in relation to traffic and access, that I cannot see any reason to support it and I trust that you will neither.

Sorry for this late comment but I only learnt of this proposal late last week.

Your sincerely  
Jane Heath  
Two Skyview

Sent from my iPhone

On Oct 15, 2020, at 12:43 PM, Matthew Weintraub <[Mweintraub@townofross.org](mailto:Mweintraub@townofross.org)> wrote:

Hello Jane,

It was a pleasure to talk with you. Please find attached a copy of the public notice for the 10/20 ADR Group meeting. Please feel free to contact me if you have any questions or comments.

Best,  
Matthew

Matthew Weintraub  
Planner  
Town of Ross | Planning  
P.O. Box 320 | 31 Sir Francis Drake Blvd.  
Ross, CA 94957-0320

415.453.1453 x116 (Planning)

415.453.1950 fax

[mweintraub@townofross.org](mailto:mweintraub@townofross.org)

Municipal Code | MARINMAP

-----Original Message-----

From: [jaheath@ix.netcom.com](mailto:jaheath@ix.netcom.com) <[jaheath@ix.netcom.com](mailto:jaheath@ix.netcom.com)>

Sent: Thursday, October 15, 2020 12:36 PM

To: Matthew Weintraub <[Mweintraub@townofross.org](mailto:Mweintraub@townofross.org)>

Subject: Fwd: building project at 92 Laurel Grove Avenue

Dear Matthew

Thank you for taking the time to talk with me earlier. I very much appreciate your explanation of the planning and building process in Ross.

I would be grateful if you would forward the notice of the proposal to me as you indicated on the phone.

Jane Heath

[jaheath@ix.netcom.com](mailto:jaheath@ix.netcom.com)

<ADR NOTICE 10-20-20 - 92 LAUREL GROVE AVE.pdf>

## Matthew Weintraub

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**From:** Patrick Streeter  
**Sent:** Monday, January 18, 2021 3:45 PM  
**To:** designreview  
**Subject:** FW: 92 Laurel Grove plans  
**Attachments:** 2020 08 11\_92 LAUREL GROVE\_ADR landscape-1.pdf; 2020 08 11\_92 LAUREL GROVE\_ADR arch-1.pdf

**From:** Kirsten Polsky <kirstenpolsky@gmail.com>  
**Sent:** Sunday, January 17, 2021 3:07 PM  
**To:** Patrick Streeter <pstreeter@townofross.org>  
**Cc:** Steven Polsky <steve@juvo.com>  
**Subject:** 92 Laurel Grove plans

hi there

we live at 90 Laurel Grove. Our back garden gate faces the proposed new driveway and house entrance. The Hales shared their plans with us. Although, I'm sure the property will be greatly improved. We had a few concerns.

We are concerned that moving the entrance (the address of the property) will create more traffic and congestion on narrow Skyland Way. Can you please take a closer look? Not sure that the narrow street was meant for more driveways, hardscapes, and overall congestion.

Secondly, when we went over the plans, we requested that the contractor's vehicles, subs, and construction trucks do not park on narrow Skyland Way. Could these vehicles park inside the property gates during work hours? There is a lot of room! The Hales suggested that the project will go on for a year and a half, maybe more.

Lastly, we asked the Hales to include tree screening landscape along the property line going up Skyland way. Mature trees. What do you suggest for screening and noise reduction? Please take another look at their landscape and advise.

best,  
Kirsten Polsky

## Matthew Weintraub

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**From:** Patrick Streeter  
**Sent:** Monday, January 18, 2021 3:51 PM  
**To:** designreview  
**Subject:** FW: Skyland Way Impact and Concern

**From:** eileen sheldonemail.com <eileen@sheldonemail.com>  
**Sent:** Monday, January 18, 2021 8:37 AM  
**To:** Patrick Streeter <pstreeter@townofross.org>  
**Subject:** Skyland Way Impact and Concern

Dear Patrick,

I was recently made aware of the plans for the Hale family to redirect their driveway from 92 Laurel Grove to Skyland Way. As a long-time resident at 1 Skyview Road, I am disappointed that their outreach did not extend to all residents of Skyland Way and Skyview, as this decision impacts all of us who live on these streets and depend on its not-a-through nature.

My husband and I are not in support of adding more pressure and traffic to the already busy Skyland Way. The street is at capacity in terms of vehicle traffic, which can be experienced by anyone who accesses it during a typical weekday. Additionally, Skyland Way is narrow in width and two vehicles are unable to pass one another from opposite directions without concern. Similarly, there is minimal clearance for residents like Bruce Chatley and Jeff Leon to turn onto Skyland Way from their driveways, which impacts the flow and safety of traffic traveling up and down the road. Of greatest concern, is the frequent use of the bottom of Skyland Way for staging and overflow parking. There are often times more than two or three vehicles parked on this portion of road, which makes turning onto Skyland Way or onto Laurel Grove dangerous and frustrating. Adding a driveway to that dynamic will only increase the pressure of vehicle traffic on that portion of road, and will make it increasingly unsafe.

At the very least, all residents of Skyland Way and Skyview Road should be presented the details of this project before a decision is made.

Eileen Sheldon  
1 Skyview Road

## Matthew Weintraub

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**From:** Natalie Wilson <wiznat@comcast.net>  
**Sent:** Tuesday, January 19, 2021 4:10 PM  
**To:** Matthew Weintraub  
**Cc:** Rob Hale  
**Subject:** Re: 92 Laurel Grove

Thank you Matthew. I see there is an email from the Hales in my inbox and I have included Rob in this reply.

I do have a comment for tonight to pass onto the committee.

The new design is such an improvement and compliments the existing property. My comment is similar to what the Poliski's expressed on the first plan, especially now that the pool has been relocated. On Skyland Way the plan calls for 'in kind' fence, and currently that is just t-posts and wire, and the planting of 5gal laurels along the fence line. Laurels have been planted in the last year and they will take a few years to provide screening. My concern is that there isn't enough privacy for the Hales at their pool deck and perhaps a different fencing should be considered. It is hard for me to know how the other plantings closer to the pool deck will screen the outdoor area but I want to bring it to everyone's attention, especially since they have young children. Aside from this, both my husband and I support the project.

Thank you for connecting us to the Hales.

Best,  
Natalie Wilson & Bill Whistler

> On Jan 19, 2021, at 8:48 AM, Matthew Weintraub <Mweintraub@townofross.org> wrote:

>

> Hi Natalie,

>

> I have forwarded your contact information to the Hales. Per the Ross Municipal Code (RMC), the Town mailed notices to property owners located within 300' of the project site at least 10 days in advance of the hearing. Per the RMC, notices are mailed to the owner addresses on file with the County Assessor. Your notice was mailed to:

> Owner(s): WHISTLER-WILSON REVOC TRUST ETAL /WHISTLER WILLIAM D /TR/ ETAL

> Owner Address:

> PO BOX 577

> ROSS, CA 94957

>

> Thank you,

> Matthew

>

> Matthew Weintraub

> Planner

> Town of Ross | Planning

> P.O. Box 320 | 31 Sir Francis Drake Blvd.

> Ross, CA 94957-0320

> 415.453.1453 x116 (Planning)

> 415.453.1950 fax

> mweintraub@townofross.org

>

>

>  
> -----Original Message-----  
> From: Natalie Wilson <wiznat@comcast.net>  
> Sent: Sunday, January 17, 2021 8:41 AM  
> To: Matthew Weintraub <Mweintraub@townofross.org>  
> Subject: Re: 92 Laurel Grove  
>  
> Hi Matthew,  
> Thank you for the information on our property. Bill will stop in and speak with Linda.  
>  
> I have read through the application for the project and just want you to know that I am not sure how I would be able to submit any comments on the project if the first time I saw the revisions was when it was posted on 1/15- did I miss a mailing? Additionally our contact information is in the Ross directory but if you could please pass it onto the Hales that would be appreciated:  
> Ph 415-456-4427 or 415-706-7544, POB 577. I was surprised to read that they made no real effort to contact us or #8 given we have all been close to home in here.  
>  
> Thanks again and if I have any questions I will email you ahead of the meeting but if they are addressed during the discussion, please disregard.  
>  
>  
>  
> Natalie Wilson  
> Sent from my iPad  
>  
>> On Jan 12, 2021, at 9:41 AM, Matthew Weintraub <Mweintraub@townofross.org> wrote:  
>>  
>> Hello Natalie,  
>>  
>> The 1/19 ADR Group meeting information is located online at <https://www.townofross.org/advisorydesignreview/page/advisory-design-review-group-meeting-128>. The project plans and other meeting materials will be available at that webpage after noon on Friday, 1/15.  
>>  
>> Please find attached the 7/10/2008 Council meeting minutes including the application at 6 Skyland Way. No ADR Group meeting minutes or other digital files were found. You can review the Planning printed file for 6 Skyland Way at Town Hall between 8AM and 4PM Monday-Friday. Please obtain the file from Linda Lopez in the Town Clerk's office. Due to the health order, you will have to review the file outside of the office (there are benches for sitting). Please do not remove any materials from the file or take the file offsite. If you need copies of any materials, please ask Linda to make copies.  
>>  
>> Thank you,  
>> Matthew  
>>  
>> Matthew Weintraub  
>> Planner  
>> Town of Ross | Planning  
>> P.O. Box 320 | 31 Sir Francis Drake Blvd.  
>> Ross, CA 94957-0320  
>> 415.453.1453 x116 (Planning)  
>> 415.453.1950 fax  
>> mweintraub@townofross.org  
>> Municipal Code | MARINMAP

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>> -----Original Message-----

>> From: Natalie Wilson <wiznat@comcast.net>

>> Sent: Monday, January 11, 2021 3:51 PM

>> To: Matthew Weintraub <Mweintraub@townofross.org>

>> Subject: 92 Laurel Grove

>>

>> Hello Matthew and happy new year! Please send me the revised project plans at your convenience and the link to the ADR meeting next Tuesday. Thank you.

>>

>> By chance, do you have any project plans or ADR comments for my house, 6 Skyland Way? We purchased it in 2014 but know it was remodeled around 2008/09. Whatever you may have digitally would be appreciated.

>>

>> Best,

>> Natalie Wilson

>> 415 706 7544

>> <July 10, 2008.pdf>

>

## Matthew Weintraub

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**From:** Patrick Streeter  
**Sent:** Tuesday, January 19, 2021 7:03 PM  
**To:** designreview  
**Subject:** FW: Jan 19th Meeting Re: Hale Project & Proposed Driveway on Skyland Way

**From:** Barbara Van Meurs <[vmeurs@comcast.net](mailto:vmeurs@comcast.net)>  
**Sent:** Tuesday, January 19, 2021 6:58 PM  
**To:** Patrick Streeter <[pstreeter@townofross.org](mailto:pstreeter@townofross.org)>  
**Subject:** Fwd: Jan 19th Meeting Re: Hale Project & Proposed Driveway on Skyland Way

My Comments concerning Hale Project

- 1) No driveway on Skyland, as Hale's have plenty of frontage on Laurel Grove to make changes.
- 2) The bottom of Skyland is already narrow and is a bottleneck, mainly due to many contractor crews, gardeners, cleaning persons, etc.
- 3) Many autos are parked there up to 9 hours a day, probably nearby construction crews.

There are already 6 driveways using the bottom for overflow parking, to remove any legal parking spaces would be problematic.

In conclusion, they bought a home on Laurel Grove and that is where the driveways need to be positioned.

Thank you and looking forward to the zoom call tonight,

Barbara Van Meurs

[vmeurs@comcast.net](mailto:vmeurs@comcast.net)

----- Forwarded Message -----

**Subject:** Jan 19th Meeting Re: Hale Project & Proposed Driveway on Skyland Way  
**Date:** Mon, 18 Jan 2021 10:17:20 -0800  
**From:** Barbara Van Meurs <[vmeurs@comcast.net](mailto:vmeurs@comcast.net)>  
**To:** [pstreeter@townofross.org](mailto:pstreeter@townofross.org)  
**CC:** Eileen Sheldon <[eileen@sheldonemail.com](mailto:eileen@sheldonemail.com)>

Dear Mr. P. Streeter,

As a resident of Skyland Way, I would like to be part of the Zoom meeting on Jan 19 @ 7pm. I will submit my comments prior to the meeting, as I believe that The Hales can reposition their driveway on Laurel Grove, as they have plenty of frontage on Laurel Grove. The bottom of Skyland is already too congested to handle another driveway.

Best regards,

Barbara Van Meurs  
14 Skyland Way  
Ross, CA 94957

## Matthew Weintraub

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**From:** Jeff Leon <jeff@glencrestgroup.com>  
**Sent:** Tuesday, January 26, 2021 7:05 AM  
**To:** Matthew Weintraub  
**Subject:** The Hale Project, 92 Laurel Grove, Ross, CA

Dear Matthew,

I am the owner and resident of 4 Skyland Way. I would like to offer my direct comments in support of the proposed project by the Hales at 92 Laurel Grove Avenue before Town Council. I fully support their project and told them this when they approached me about it last summer. I think moving their driveway from Laurel Grove to Skyland makes a lot of sense and will improve the neighborhood both aesthetically (removing the appearance of a long asphalt driveway as you turn into the Skyland neighborhood) and in terms of traffic safety and parking.

I understand that some other residents further up Skyland and Skyview have concerns that moving the driveway to Skyland will exacerbate parking and traffic problems on Skyland. I think they are misunderstanding the current situation and the impact of the project. I live directly across Skyland from the Hales so I have a good understanding of the parking and traffic issues. I am convinced that their redesign will actually pull parking off of Skyland and onto their property because there will be more parking onsite and the driveway will go straight into their garage instead of regarding a wide angle turn in the current design which prevents more parking currently.

I also think their driveway curb cut will effectively widen the road and offer another place for cars to pass one another on Skyland when necessary. And I think moving their driveway off Laurel Grove will also reduce the safety hazard of blind driveway pull-outs onto Laurel Grove.

I would like to make sure the Hales and the town are thoughtful about construction parking during the project, but in the long run this will be great for our neighborhood

Thank you for taking my comments and please let me know if you have questions.

Best,

Jeff Leon  
4 Skyland Way

### Jeffrey S. Leon

HLA Ventures - Managing Member  
Glencrest Group – Senior Advisor  
One Embarcadero Center, Suite 220  
San Francisco, CA 94111  
415.713.3601

[www.glencrestgroup.com](http://www.glencrestgroup.com)  
[www.mjcappart.com](http://www.mjcappart.com)