



Agenda Item No. 19.

Staff Report

Date: November 10, 2016

To: Mayor Hoertkorn and Council Members

From: Heidi Scoble, Planning Manager

Subject: Alexandrov Residence, 26 Woodside Way, File No. 2016-039

Recommendation

Town Council approval of Resolution 1974 approving a Design Review, a Nonconformity Permit, a Hillside Lot Permit, and a Tree Removal Permit to allow for the remodel and addition to an existing single family residence at 26 Woodside Way.

Property Information:

Owner: Valentin Alexandrov
Design Professional: Maria Barmina
Location: 26 Woodside Way
A.P. Number: 073-251-05
Zoning: R-1:B-6 (Single Family Residence, 6,000 sq. ft. min. lot size)
General Plan: Medium Density (6-10 Units/Acre)
Flood Zone: Zone X (outside 1-percent annual chance floodplain)

PROJECT DATA			
	Zoning Requirements	Existing	Proposed
Lot Area	6,000 square feet	26,403 square feet	No change
Floor Area (FAR)	20%	2,165 sq. ft. 8.1%	3,920 sq. ft. 14.8%
Lot Coverage	20%	2,348 sq. ft. 8.8%	3,790 sq. ft. 14.3%
Impervious Surface	-	4,331 sq. ft. 16%	5,177 sq. ft. 19.6%
Height	30 Feet	24.416 Feet	27.75 Feet
Front Setback	25 Feet	71 feet	68 feet

Left Side Setback	15 Feet	105.25	78.583 feet
Right Side Setback	15 feet	8.75 Feet	No Change
Rear Setback	40 Feet	26.416 Feet	No Change

Project Description

The applicant is requesting Design Review, a Nonconformity Permit, a Hillside Lot Permit, and a Tree Removal Permit to allow for the remodel and addition existing legal nonconforming single family residence. The residence was originally constructed with a nonconforming rear yard setback. The project would include a 1,755 square foot addition. The addition is comprised of a new two-car garage and an enlarged kitchen/family room, and a new second story loft and reconfigured interior stairway. The project would also include an interior remodel and reconfiguration of the living areas on both floors.

The project would maintain a similar architectural style of the existing residence and would include red cedar shingles stained/painted a Driftwood Grey color, wood framed doors and windows painted a Sandstone color, and an asphalt composition shingle roof. Other site improvements would include hardscape improvements (both permeable and impervious surfaces), in addition to the removal of a 14" Maple tree and the installation of on-site detention and dissipaters to disperse water runoff to ensure the project would not result in any net increase in water runoff from the site under pre-project conditions.

- **Design Review is required pursuant to Ross Municipal Code (RMC) Section 18.41.020** because the proposed improvements would result in more than 200 square feet of new floor area to the existing residence.
- **A Non-Conformity Permit is required pursuant to Ross Municipal Code (RMC) Section 18.52.030** to allow for the structural alteration to a nonconforming residence relative to setbacks related to the existing residence.
- **A Hillside Lot Permit is required pursuant to RMC Chapter 18.39** because a portion of the project site is located in a Hazard Zone 3, thus triggering the review of the project.
- **A Tree Removal Permit is required pursuant to Ross Municipal Code (RMC) Section 12-24.080** to allow for the removal of one significant tree (12" in diameter or greater) on improved land.

Background and Discussion

The project site has an average slope of approximately 29.8%. The Marin County Assessor's data shows that the original single family residence was constructed in 1962. Access to the project site is from Woodside Way. The original address given to the project site was 52 Woodside Way. The address was changed to 26 Woodside Way. Four Variances have been granted to allow encroachments within the rear and side yard setbacks (see attached project history).

Advisory Design Group Review

The Advisory Design Review (ADR) Group have previously reviewed the project on March 22, 2016 and May 24, 2015.

At the March 22, 2016 meeting, the ADR Group reviewed the project and unanimously agreed that the project was over designed, had no unifying composition, was proposed with too many materials, had too many roof angles, and too many types of windows. The ADR recommended the following:

- Simplify the overall building design, including the amount of roof angles
- Reduce and simply the amount of building materials
- Soften the building elevation design from the street, such as reducing the amount of windows
- Trim back the deep overhangs
- Incorporate garage and garage door into the design of the residence

At the May 24, 2016 meeting, the ADR Group again unanimously agreed that the project was still over designed, had no unifying composition, was proposed with too many materials, had too many roof angles, and too many types of windows. The ADR recommended the following:

- Simplify and consolidate the overall building design, including the amount of roof angles
- Consolidate the roof into a single hip roof
- Provide a more simple and cohesive building form
- Simplify the window patterns
- Reduce and simply the amount of building materials

At both ADR Group meetings, members from the public spoke both in favor and identified concerns relative to the project's lighting, materials, construction staging, and tree removal. In order to keep the project moving forward, ADR Group Members Winey and Kemp volunteered to work with the applicant to address the design items raised by the ADR Group. Since the May 24, 2016 meeting, the ADR Group Members Winey and Kemp worked closely with the applicants with the result of their efforts being the subject project that is being considered.

Key Issues

R-1:B-6 Zoning District Compliance

The existing residence is found to be in compliance with the R-1:B-6 general development standards (e.g., height, floor area, lot coverage, and front and left side yard setbacks) with the exception of the legal non-conforming rear and right side yard setbacks. The resultant project would also be in compliance with all of the R-1:B-6 general development standards with the exception of legal non-conforming rear and right side yard setbacks. However, as provided by the zoning ordinance, the applicant is able to request a Nonconformity Permit to allow the project to be constructed within the existing legal nonconforming front yard setback (see the below discussion on the proposed Nonconformity Permit).

Architectural Design

The overall purpose of Design Review is to provide excellence in design consistent with the same quality of the existing development, to preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, to discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression, and to upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site. Accordingly, pursuant to Section 18.41.100 of the Ross Municipal Code, a series of Design Review criteria and standards have been developed to guide development.

In reviewing the project, the following design review criteria and standards are most relevant to the project:

1. New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.
2. To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single-plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.
3. Buildings should use materials and colors that minimize visual impacts, blend with the existing land forms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.
4. Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.
5. Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

In response to the ADR Groups comments, the applicant has submitted a revised plan based on the input and direction from ADR Group members Jim Kemp and Dan Winey. As such, the project would be designed to be compatible with the existing mass, scale, and development pattern of the neighborhood, would be designed to be compatible with the existing architectural vernacular of the existing residence, and would utilize high quality building materials and earth tone colors to minimize visual impacts. Additionally, the project would neither obstruct any views of hills and

ridgelines from public streets or parks, nor exacerbate any shading on adjacent properties beyond the existing shading from trees. Furthermore, the applicant has reduced the amount of windows to reduce night glare and all exterior lighting is designed to be shielded and downward facing. Lastly, due to the steep uphill topography and the existing dense vegetation of the site, the applicant is not proposing any new landscaping. The applicant has designed new hardscape improvements to provide access to the residence as well as a retaining wall to be constructed adjacent to the driveway. Therefore, consistent with the ADR Groups direction to support the project, staff suggests that the project meets the purpose of Design Review and suggests the requisite findings to approve the project can be achieved.

In order to address the neighbors concern regarding construction staging and management, a condition of approval is included to require the applicant submit a construction staging, management, and traffic control plan to be approved by Town staff prior to issuance of a building permit. The condition also requires the contractor and construction workers are only permitted to park on-site and not within the Woodside Way public right-of-way. The condition would apply to construction deliveries as well.

Nonconformity Permit

Pursuant to Section 18.54.030(c), a nonconforming structure in a residential zoning district may be enlarged, extended reconstructed or structurally altered with a nonconformity permit approved under Section 18.52.040, except that a floor area ratio variance shall be required to increase the square feet of nonconforming floor area.

In 1962, the Town Council approved a Variance to allow the original residence to be constructed within the right side yard setback and the rear setback. The scope of the project would only entail structural alterations to the existing legal nonconforming building walls within the nonconforming setbacks and would not exacerbate the existing legal nonconformities. As supported by the Findings in Exhibit "A" of the attached Resolution 1974, staff suggest the project can be supported.

Impervious Surfaces

As a result of the project addition, the project would result in a net increase of 846 square feet of new impervious surfaces. The applicant has provided a Stormwater Control Plan prepared by CSW/Stuber-Stroeh Engineering Group, Inc. dated September 19, 2016. The Plan identifies a combination of the use of pervious pavers and on-site retention and dissipaters to slow down the increase in water runoff resulting from the project. The Plan is also designed so that the project would not increase the runoff from the site beyond the pre-project conditions. Additionally, the project stormwater runoff rates would be no greater than the pre-project rates as suggested by the Town's design review criteria and standards. Therefore, staff suggests that based on the existing conditions of the site and as designed, the project would be consistent with the intent and purpose of the Town's stormwater management policies.

Public Comment

Public Notices were mailed to property owners within 300 feet of the project site. Other than a Neighbor Acknowledgement Form that was signed by the property owner at Woodside Way, no public comments have been received as of the writing of the staff report.

Fiscal, resource and timeline impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the project for modifications; or
2. Make findings to deny the application.

Environmental review (if applicable)

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15301 –*additions to existing structures*, because it involves an addition to an existing single family residence, including a detached accessory structure with no potential for impacts as proposed. No exception set forth in Section 15301.2 of the CEQA Guidelines applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources.

Attachments

1. Resolution 1974
2. Project plans
3. Stormwater Control Plan prepared by CSW/Stuber-Stroeh Engineering Group, Inc. dated September 19, 2016
4. Project History
5. ADR Group Minutes from March 22, 2016 and May 24, 2016
6. Neighbor Acknowledgement Form signed by the Property Owner at 21 Woodside Way

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 1974

A RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, A NONCONFORMITY PERMIT, A HILLSIDE LOT PERMIT, AND A TREE REMOVAL PERMIT TO ALLOW THE REMODEL AND ADDITION TO AN EXISTING LEGAL NONCONFORMING SINGLE FAMILY RESIDENCE AT 26 WOODSIDE WAY, APN 073-251-05

WHEREAS, Property owner Valentin Alexandrov has submitted an application for a Design Review, a Nonconformity Permit, and a Tree Permit to allow for the remodel and addition existing legal nonconforming single family residence including a remodel and 1,756 square foot addition, hardscape improvements (both permeable and impervious surfaces), the removal of a 14" Maple tree, and the installation of on-site detention and dissipaters at 26 Woodside Way, Assessor's Parcel Number 073-251-05 (the "project"); and

WHEREAS, the project was determined categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15301 –*additions to existing structures*, because it involves an addition to an existing single family residence, including a detached accessory structure with no potential for impacts as proposed. No exception set forth in Section 15301.2 of the CEQA Guidelines applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources; and

WHEREAS, on November 10, 2016, the Town Council held a duly noticed public hearing to consider the proposed project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review, a Nonconformity Permit, a Hillside Lot Permit, and Tree Permit to allow the project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 10th day of November 2016, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Katie Hoertkorn, Mayor

ATTEST:

Linda Lopez, Town Clerk

EXHIBIT "A"
FINDINGS
26 WOODSIDE WAY
APN 073-251-05

A. Findings

I. In accordance with Ross Municipal Code Section 18.41.070, Design Review is approved based on the following findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in Ross Municipal Code Section 18.41.010:

The project would meet the purpose of the Design Review chapter through its high quality design and materials. The project is designed with a similar architectural style and materials of the existing residence. As the project is not readily seen from public vantage points, the project would not impact the "small town" character of the Town because the project is designed to maintain the overall mass, bulk, and style of the existing development pattern of the property and because the project site is not readily visible from any public vantage point. Additionally, the project would not impact any unique environmental resources due to the location of the project site relative to any sensitive wildlife habitat, species, and/or creeks. Lastly, the project would be designed to address drainage and stormwater and would be required to construct those improvements as part of the building permit process.

b) The project is in substantial compliance with the design criteria of Ross Municipal Code Section 18.41.100.

As supported in the Staff Report dated November 10, 2016 and as conditioned, the project would be consistent with the design review criteria and standards relative to having a nominal impact on the existing site conditions by providing an architectural design that is consistent and compatible with the architecture, materials, and colors of the existing residence. Lastly, the project would address health and safety through the issuance of a building permit to ensure compliance with the building, public works, and fire code regulations.

c) The project is consistent with the Ross General Plan and zoning ordinance.

With the exception of the nonconforming rear and right side yard setback encroachments, the scope of the project is consistent with the allowed structures and uses that may be permitted within the Medium Density land use designation of the General Plan and the zoning regulations. Additionally, the project findings to support the nonconforming setback encroachments can be achieved, therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. Non-conformity Permit (RMC § 18.52.040) – Approval of a non-conformity Permit to allow reconstruction of the existing residence in its existing nonconforming location is based on the following findings:

- a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed.**

The Town records show that the Town Council granted a Variance in 1962 to allow the construction of the residence within the rear setback and the right side yard setback. Therefore, the existing structure is consistent with this finding.

- b) The town council can make the findings required to approve any required demolition permit for the structure.**

The project would not include the demolition of any existing nonconformities. The scope of the project would allow for structural alterations to the existing nonconforming walls that are located within the respective rear and right side yard setbacks.

- c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100.**

See the Design Review Findings above.

- d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and/or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations.**

As supported in the Staff Report dated November 10, 2016, the project is designed to be below the maximum floor area requirements for a property located in the R-1:B-6 zoning district.

- e) Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.**

The project would be required to comply with the Town's Building Code and Fire Code requirements, therefore ensuring the health, safety, and general welfare of the residence residing or working in the neighborhood.

- f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.**

The project site is located within Zone X (outside 1-percent annual chance floodplain) flood zones. Flood insurance is not required for this property. Any improvements to the existing residence would be required to comply with applicable building codes relative to flood zones, as well as any other Federal Emergency Management Agency requirements.

- g) The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.**

The project has been reviewed by the Ross Valley Fire Department (RVFD). The RVFD has stated that the project can be approved subject to the installation of fire sprinklers, smoke detectors, and carbon monoxide detectors.

- h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.**

Indemnification requirements have been included as conditions of approval.

- i) The site has adequate parking.**

The project would provide for a minimum of two on-site vehicle parking spaces as required by the zoning regulations. The two parking spaces would be covered, whereas only one covered parking space is required. The project site is also able to provide additional parking with the driveway.

III. In accordance with Ross Municipal Code Section 18.38.060 - Approval of a Hillside Lot Permit is approved based on the following findings:

- a) The project complies with the stated purposes of the Hillside Lot Ordinance.**

The development is sited in an area that has been previously disturbed and not viewed as public or private open space area, and preserves significant natural features of the site, and would not obstruct views for adjacent sites or the public. The site is already served by public sewer and water and accessed from a private road. The project is feasible from a structural standpoint and will not create slides or other hazards. As conditioned, the project would result in a structure that is more fire safe. The project would also be located within areas of the site with an average slope less than 30%. The project would also be required to comply with the California Building and Fire Codes and conditions of project approval to ensure erosion control, appropriate site drainage and public safety.

Lastly, the site is developed with a residence and the proposed structure would be consistent with the design of the existing residence. No new large understory volumes are created that are not counted towards floor area. The materials are neutral in tone to blend with the hillside setting.

- b) The project complies with the development regulations of Section 18.39.090, or that the Town Council has considered and approved a variance.**

The project would meet the development regulations specified in Section 18.39.090 as follows:

1. The average slope of the lot is less than 30%, therefore the project is not required to comply with the reduced floor area formula.
2. Minimal grading would occur because the project would be primarily constructed within the footprint of the existing residence and previously disturbed areas.
3. The project has been architecturally designed with high quality materials and would have a compatible scale with the neighborhood.
4. The project would not obstruct any public or private views.
5. The project is designed to comply with the Wildland Urban Interface regulations, such as Class A roofing and fire sprinklers.
6. The project would not create any long-term circulation and access impacts along Woodside Way.

c) The project substantially conforms to the hillside development guidelines in Section 18.39.090.

As supported in the above finding, the project would conform to the hillside development guidelines in Section 18.39.090.

IV. In accordance with Ross Municipal Code Section 12.24.080, a Tree Removal permit is approved based on the following findings:

1. The alteration or removal is necessary to allow the economic enjoyment of the property, such as construction of improvements because some of the trees are located over the most feasible development area; and
2. The alteration or removal would not adversely impact the subject property or neighboring properties because a large number of trees will remain; and
3. Tree removal would not result in significant erosion or the diversion of increased flows of surface water because engineered fill would be placed where stumps are removed; and
4. The alteration or removal is necessary due to the Ross Valley Fire Department's requirements for improved on-site circulation. The Ross Valley Fire Department has also approved a Vegetation Management Plan that includes tree removal that is required to comply with state mandated defensible space criteria.

EXHIBIT "B"
Conditions of Approval
26 WOODSIDE WAY
APN 073-251-05

1. This approval authorizes Design Review, a Nonconformity Permit, and a Tree Permit to allow for the remodel and addition existing legal nonconforming single family residence including a remodel and 1,756 square foot addition, hardscape improvements (both permeable and impervious surfaces), the removal of a 14" Maple tree, and the installation of on-site detention and dissipaters at 26 Woodside Way, Assessor's Parcel Number 073-251-05.
2. The building permit shall substantially conform to the plans entitled, "Ross Residence", consisting of 22 sheets date stamp received September 28 2016.
3. Except as otherwise provided in these conditions, the project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the project and will not extend the permitted construction period.
5. The project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. BEFORE FINAL INSPECTION, the applicant shall call for a Community Development Agency staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
7. A Tree Permit shall not be issued until the project grading or building permit is issued.
8. BEFORE ISSUANCE OF ANY BUILDING PERMIT OR GRADING PERMIT, a tree replacement plan shall be submitted to show a 15-gallon tree to replace the 14" maple tree that was approved to be removed. If a replacement tree is not feasible, the applicant may opt to pay an in-lieu fee consistent with the Town's regulations pursuant to Chapter 12.24 of the Ross Municipal Code.

9. BEFORE ISSUANCE OF ANY BUILDING PERMIT OR GRADING PERMIT, tree protection fencing should be installed prior to permit issuance to minimize damage to root systems of preserved trees. Spatial distance from tree trunks of protected trees shall be measured in all directions based on the Town of Ross' tree regulations pursuant to Chapter 12.24 of the Ross Municipal Code. Tree Protection fencing shall designate the Non-Intrusion Zones and will be constructed of at least 4-foot high plastic and attached to metal stakes no less than 12 inches into ground and at 6-foot centers. Signs shall be posted to identify the tree protection fencing.
10. BEFORE ISSUANCE OF ANY BUILDING PERMIT OR GRADING PERMIT, the applicant shall submit proposed exterior lighting fixtures if any new lighting will be installed as a result of the project. All lighting shall be shielded (no bare bulb light fixtures or down lights that may be visible from down-slope sites). Exterior lighting of landscaping by any means shall not be permitted if it creates glare, hazard or annoyance for adjacent property owners. Lighting expressly designed to light exterior walls or fences that is visible from adjacent properties or public rights-of-way is prohibited. No up lighting is permitted. Interior and exterior lighting fixtures shall be selected to enable maximum "cut-off" appropriate for the light source so as to strictly control the direction and pattern of light and eliminate spill light to neighboring properties or a glowing night time character.
11. The project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the project. Any additional costs incurred by the Town, including costs to inspect or review the project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).

- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director. The drainage plan shall be peer reviewed by the town hydrologist at the applicants' expense (a deposit will be required). The plan shall be designed, at a minimum, to produce no net increase in peak runoff from the site compared to pre-project conditions (no net increase standard). As far as practically feasible, the plan shall be designed to produce a net decrease in peak runoff from the site compared to pre-project conditions. Construction of the drainage system shall be supervised, inspected and accepted by a professional engineer and certified as-built drawings of the constructed facilities and a letter of certification shall be provided to the Town building department prior to project final.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the working hours as identified in the below condition 11.n.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of

the building permit to review conditions of approval for the project and the construction management plan.

- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved. (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters

confirming compliance shall be submitted to the building department prior to project final.

- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. PRIOR TO ISSUANCE OF A GRADING PERMIT OR BUILDING PERMIT, the applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The plan shall include a signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediments controls as a "back-up" system. (Temporary seeding and mulching or straw matting are effective controls).
- x. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc, are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department

of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.

12. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or alleging any other liability or damages based upon, caused by, or related to the approval of the project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorneys fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

PROJECT DATA:

ZONE: R1B-S
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V-B
APNE: 073-251-05
YEAR BUILT: 1962
LOT SIZE: 0.6 ACRES (26,403 SF)
SETBACKS (required): FRONT - 25
SIDE - 15
REAR - 40
29% MAX (SEE SITE PLAN)

AVERAGE SLOPE

FIRE SPRINKLERS

EXISTING RESIDENCE HAS NONE. A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE ENTIRE BUILDING WHICH COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13-D AND LOCAL STANDARDS. A SEPARATE DEFERRED PERMIT SHALL BE SUBMITTED BY LICENSED SPRINKLER SYSTEM FIRM. SPRINKLER SYSTEMS IN THE TOWN OF ROSS SHALL BE MONITORED BY UL LISTED MONITORING SERVICE.

(E) SINGLE FAMILY RESIDENCE ADDITION & "SUBSTANTIAL" REMODEL

APNE: 073-251-05

PROJECT ADDRESS

26 WOODSIDE WAY, ROSS, CA 94957

OWNERS: Valentin Alexandrov

PROJECT DESCRIPTION:

GARAGE ADDITION TO EXISTING 2 STORY HOME. REMODEL ENTIRE HOUSE, ADD SQUARE FOOTAGE AT 1ST & 2ND FLOOR. NO GRADING IS PROPOSED UNDER THIS PERMIT

DRAWING INDEX:

A-01	(S) SURVEY
A-02	(S) SITE PLAN
A-03	(E) 1ST FLOOR PLAN
A-04	(E) 2ND FLOOR PLAN
A-05	(E) ELEVATIONS
A-06	(E) ELEVATIONS
A-07	DEMOLITION FLOOR PLANS
A-08	(S) 1ST FLOOR PLAN
A-09	(S) 2ND FLOOR PLAN
A-10	(S) ELEVATIONS
A-11	(S) ELEVATIONS
A-12	(S) ROOF PLAN
A-13	BUILDING SECTIONS
A-14	(S) INTERIOR ELEVATIONS
A-15	WINDOW & DOOR SCHEDULE
A-16	MEP NOTES
A-17	(S) 1ST FLOOR MEP PLAN
A-18	(S) 2ND FLOOR MEP PLAN
T-00	TITLE SHEET

C1 General Notes, Sections & Details
C2 Grading and Drainage Plan
V1 Topographic Map
VMP Vegetation Management Plan

RECEIVED
Planning Department

SEP 28 2015

Town of Ross

LOT COVERAGE:

20% OF LOT AREA (E) LOT COVGE = 2,348.46 SF = 8.89 %
26,403 X 0.2 = 5,280.65F (N) LOT COVGE = 3,790.05 SF = 14.3%

	EXISTING (SF)	PROP. (SF)	TOTAL
HOUSE + CRAWL SPACE	1,302.25+268.65	+761.73+268.65	2,063.98+268.65
DECK	777.55	+48.39	555.74 + 270.21
GARAGE	N/A	+466.70	466.70
COVERED PORCH	N/A	165.77	165.77
TOTAL :	2,348.46		3,790.05

EXISTING HOUSE:**PROPOSED:****PLANNING/
BUILDING
DEPARTMENT:**

TOWN OF ROSS, CA

31 Sir Francis Drake Boulevard
Ross, CA 94957

T415.453.1453 ext. 121
F415.453.1950

CONSULTANTS:

SURVEY BY
CSW/Sluber-Stroeh Engineering Group, Inc
45 Leveroni Court
Novato CA 94949

T415.883.9850

STRUCTURAL ENGINEER
ROBERT H. GORMAN T.
925-376.7230 P.O. BOX 95
MORAGA, CA

TITLE 24
TBS

SOILS ENGINEER
TBS
CIVIL ENGINEER
TBS

FLOOR AREA:

20% OF LOT AREA (E) FLOOR AREA = 2,155.12 SF = 8.2 %
26,403 X 0.2 = 5,280.65F (N) FLOOR AREA = 3,920.74 SF = 14.8%

	EXISTING (SF)	PROPOSED (SF)	TOTAL
1ST FLOOR	1,302.25	+761.73	2,063.98
2ND FLOOR	862.87	+528.19	1,391.06
GARAGE	0	+466.70	466.70
TOTAL :	2,155.12		3,920.74

SUBSTANTIALLY REMODELED FLOOR AREA:

1ST FLOOR	1,302.25	SEE SHEET A-05 FOR LINEAR WALL CALCULATION
2ND FLOOR	862.87	

MAX HEIGHT:

30' max. MEASURED FROM EXISTING GRADE ALLOWED
EXISTING HEIGHT - 24'-5 1/8"
NEW HEIGHT - 27'-9"

PARKING REQUIREMENTS:

NO (E) GARAGE PRESENT AT THE PROPERTY.
NEW 2 CAR GARAGE IS BEING PROPOSED

FLOOD ZONE:

NO

PROTECTED TREES:

N/A

GENERAL NOTES:

THIS PROPERTY IS LOCATED IN THE HILLSIDE LOT AREA OF THE TOWN OF ROSS. CONSTRUCTION IN THE HILLSIDE LOT AREA SHALL CONFORM TO THE CONSTRUCTION REQUIREMENTS IN CHAPTER 17A OF THE BUILDING CODE OR SECTION 17A OF THE RESIDENTIAL CODE.

CODE COMPLIANCE: THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS AND TITLE 24 AS AMENDED BY THE STATE OF CALIFORNIA AND TOWN OF ROSS.

VERIFICATION: CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS PRIOR TO COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR INCONSISTENCIES BETWEEN THESE AND ALL DOCUMENTS OR AGAINST FIELD CONDITIONS SHALL BE AT ONCE REPORTED TO THE DESIGNER & STRUCTURAL ENGINEER IN WRITING.

DIMENSIONS: ALL DIMENSIONS MUST BE VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE DESIGNER & STRUCTURAL ENGINEER. MEASURED DIMENSIONS SUPERSEDE DIMENSIONS OBTAINED BY SCALING. EXTERIOR/INTERIOR DIMENSIONS ARE FROM FACE OF FINISH. NOTIFICATION: DESIGNER IS TO BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS.

DOCUMENTS: THE CONTRACT DOCUMENTS ARE COMPLEMENTARY IN THAT WHAT IS REQUIRED BY ONE SHALL BE AS INDICATED AS IF REQUIRED BY ALL. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES AND DETAILS, WHICH TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, UNLESS OTHERWISE SHOWN OR NOTED.

CONTINUOUS OPERATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK IN ACCORDANCE WITH THE LOCAL BUILDING JURISDICTION OFFICIAL. WORKING HOURS SHALL BE BETWEEN 8:00 AM AND 5:00 PM. THE MOST RESTRICTIVE WORK HOURS SHALL GOVERN. WORKING OUTSIDE OF THE PRE-DEFINED SCHEDULE SHALL BE COORDINATED WITH THE OWNER IN ADVANCE AND THE LOCAL BUILDING OFFICIAL. IF THE PROPOSED WORKING HOURS FALL OUTSIDE OF THAT WHICH IS ALLOWED BY THE BUILDING OFFICIAL, STAGING, STORING MATERIALS AND PARKING SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. SUPPORT: PROVIDE ALL NECESSARY BLOCKING, BRACING AND FRAMING FOR LIGHT FIXTURES, PLUMBING FIXTURES, TOILET ACCESSORIES, HEATING EQUIPMENT AND ALL OTHER ITEMS REQUIRING SUPPORT. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, ETC., DURING CONSTRUCTION AND/OR DEMOLITION.

MISCELLANEOUS: WORD "DEMOLISH" USED IN DRAWINGS MEANS REMOVE AS REQUIRED BY THE SCOPE OF WORK AND DISPOSE OFF-SITE. WORD "PROVIDE" USED IN DRAWINGS MEANS ITEM IS FURNISHED, INSTALLED AND CONNECTED AS REQUIRED FOR COMPLETE INSTALLATION. EXCEPT AS SPECIFICALLY NOTED OTHERWISE, WORD "VERIFY" USED IN DRAWINGS MEANS ITEM, DIMENSION, CONDITION, OR PROVISION SHALL BE ACCURATELY VERIFIED AND WRITTEN CLARIFICATION SECURED FROM DESIGNER PRIOR TO INITIATION OF ASSOCIATED WORK.



MATERIAL: ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL UNLESS INDICATED OTHERWISE. INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE ALLOWED FOR ALL MATERIALS USED.

A. GENERAL:
(1) DELIVER ALL MATERIALS AND EQUIPMENT TO THE PROJECT IN THE MANUFACTURER'S ORIGINAL SEALED, LABELED CONTAINERS. IF ANY AND PROTECT ALL PACKAGED AND UNPACKED ITEMS AGAINST MOISTURE, DUST, TAMPERING OR DAMAGE FROM IMPROPER HANDLING OR STORAGE.
(2) EXCEPT AS SPECIFICALLY NOTED OTHERWISE, THE INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS AND EQUIPMENT.
(3) ALL MATERIALS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN SHALL BE NEW, UNUSED MATERIALS UNLESS SPECIFICALLY MARKED OTHERWISE.

B. SUBSTITUTIONS:
(1) SPECIFIC NAMES ARE INDICATED TO ESTABLISH QUALITY AND FUNCTIONAL STANDARDS REQUIRED TO DO THE WORK, AND TO MEET THE QUALITY AND FUNCTION STANDARD OF THE CONTRACT.
(2) SUBSTITUTE ITEMS SHALL BE EQUAL OR SUPERIOR TO THE ITEMS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

UNDERGROUND UTILITIES: ALL KNOWN UNDERGROUND CONDITIONS HAVE BEEN SHOWN. THE CONTRACTOR SHOULD EXERCISE CAUTION WHEN EXCAVATING TO AVOID DAMAGE TO (E) UNDERGROUND PIPES, CONDUITS, ETC. WHICH ARE TO REMAIN.

SPECIAL INSPECTIONS/TESTING REQUIREMENTS:

A. CONTRACTOR SHALL GIVE THE DESIGNER AND OWNER 3-DAY MINIMUM NOTIFICATION FOR THE TESTS TO BE TAKEN. THE MINOR AMOUNTS OF MATERIAL REQUIRED FOR TESTING SHALL BE FURNISHED BY THE CONTRACTOR. THE COSTS OF TESTS SHALL BE BORNE BY THE CONTRACTOR.

B. SHOULD THE RESULTS OF ANY REQUIRED TESTS OR SAMPLES OF MATERIALS BE TAKEN, THEN THE CONTRACTOR SHALL FURNISH NEW SAMPLES OF NEW MATERIALS, AND ADDITIONAL TESTS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE UNTIL THE MATERIALS ARE FOUND TO MEET TESTING REQUIREMENTS.

CLEAN UP:
A. DURING CONSTRUCTION: CLEAN-UP SITE AND ACCESS AND DISPOSE OF WASTE MATERIALS, RUBBISH AND DEBRIS AT REASONABLE INTERVALS DURING THE PROGRESS OF WORK, TO AVOID UNSIGHTLY OR HAZARDOUS CONDITIONS.

B. FINAL CLEANING OF GROUNDS: REMOVE FROM SITE, WITHIN AREA OF WORK, CONSTRUCTION WASTE AND UNUSED MATERIALS, AND DEBRIS OF ANY DESCRIPTION RESULTING FROM WORK. HOSE DOWN WITH WATER AND SCRUB, WHERE NECESSARY, CONCRETE AND ASPHALT PAVEMENT SOILED AS A RESULT OF THE WORK.

C. FINAL CLEANING OF BUILDING: REMOVE TRACES OF SOIL, WASTE MATERIALS, RUBBISH, AND OTHER FOREIGN MATTER FROM SURFACES. REMOVE TRACES OF SPILLED MATERIALS FROM ADJACENT SURFACES. CLEAN GLASS INSIDE AND OUTSIDE.

PARCEL MAP:**VICINITY MAP:**

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T: 650.704.4501
mbarmina@yahoo.com

ROSS
RESIDENCE
26 WOODSIDE WAY
ROSS, CA, 94957

(E) EAST
ELEVATION,
ROSS MAP
Screen Shot
2016-04-25 at
11:49:32 AM,
ROSS RENDER

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP.
2015-09-21	REV1	PLAN CHECK COMMENTS

DRAWN BY:

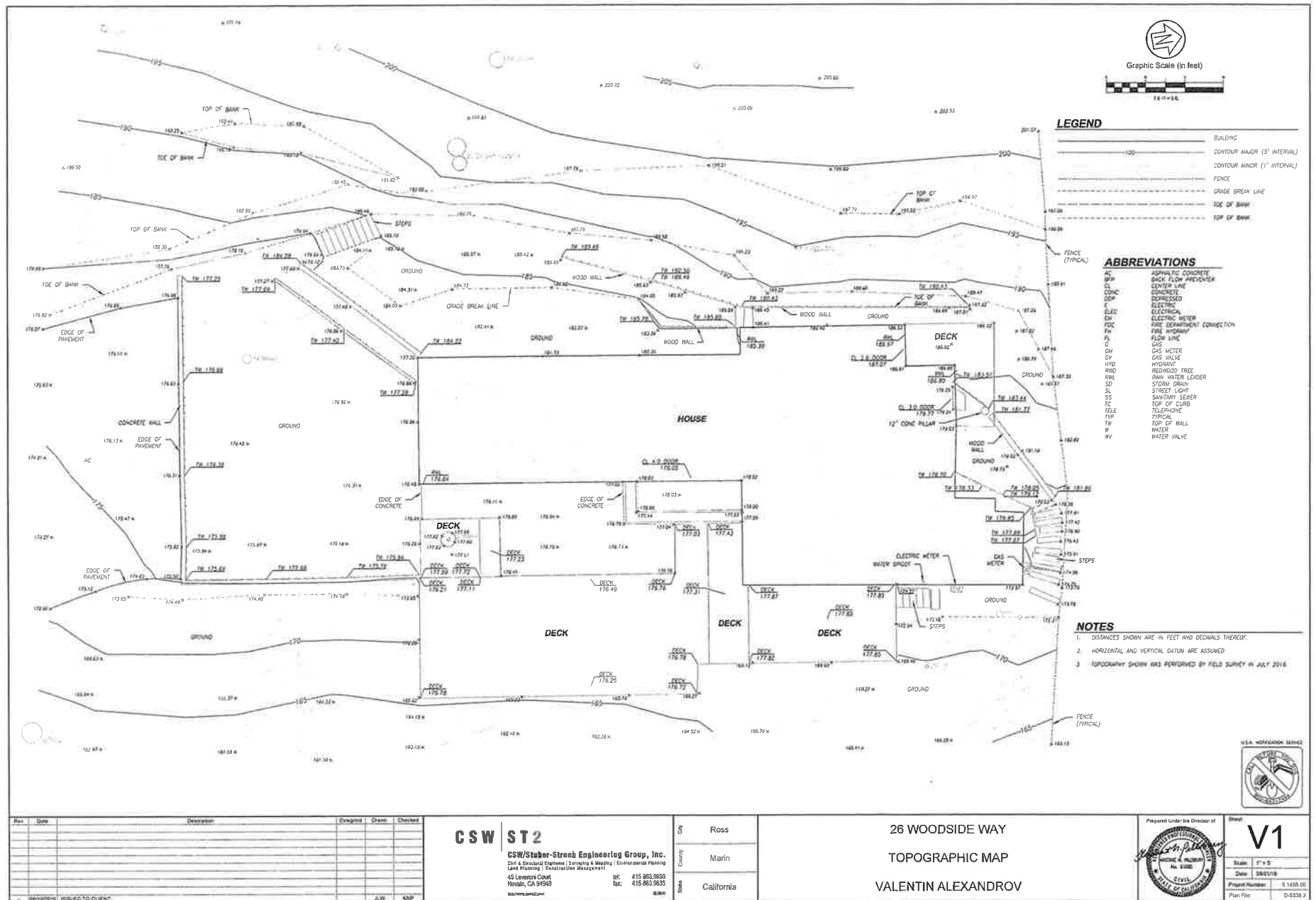
MVB

SCALE AS NOTED

DATE PRINTED:
Sunday, September 25, 2016

SHEET NUMBER:

T-00



Rev	Date	Description	Designed	Drawn	Checked
1	08/16/2016	ISSUED TO CLIENT	JLV	SNP	

CSW ST2

CSW/Stuber-Stroeb Engineering Group, Inc.
Civil & Structural Engineers | Surveying & Mapping | Environmental Planning
Land Planning | Construction Management
45 Levenworth Court
Novato, CA 94949
Tel: 415.863.9650
Fax: 415.863.9635
www.cswst2.com

City: Ross
County: Marin
State: California

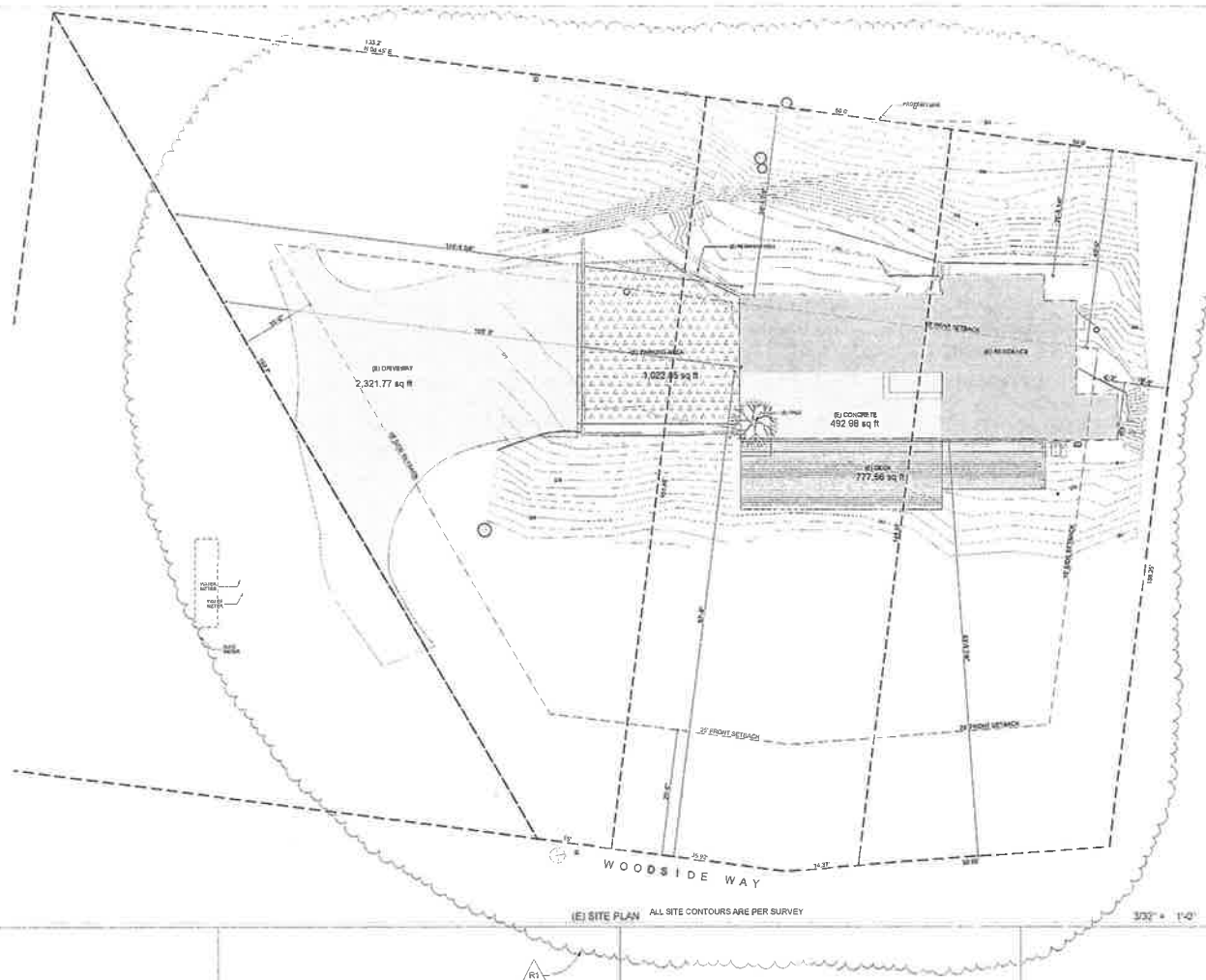
26 WOODSIDE WAY
TOPOGRAPHIC MAP
VALENTIN ALEXANDROV

Prepared Under the Direction of

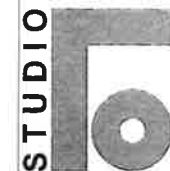
Valentin Alexandrov
Professional Engineer
State of California

V1

Scale: 1" = 5'
Date: 08/16/16
Project Number: 5-14105.00
Plan File: D-0338.2



(E) SITE PLAN ALL SITE CONTOURS ARE PER SURVEY



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(E) SITE PLAN

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIPTION
2016.09.21	REV1	PLAN CHECK COMMENTS

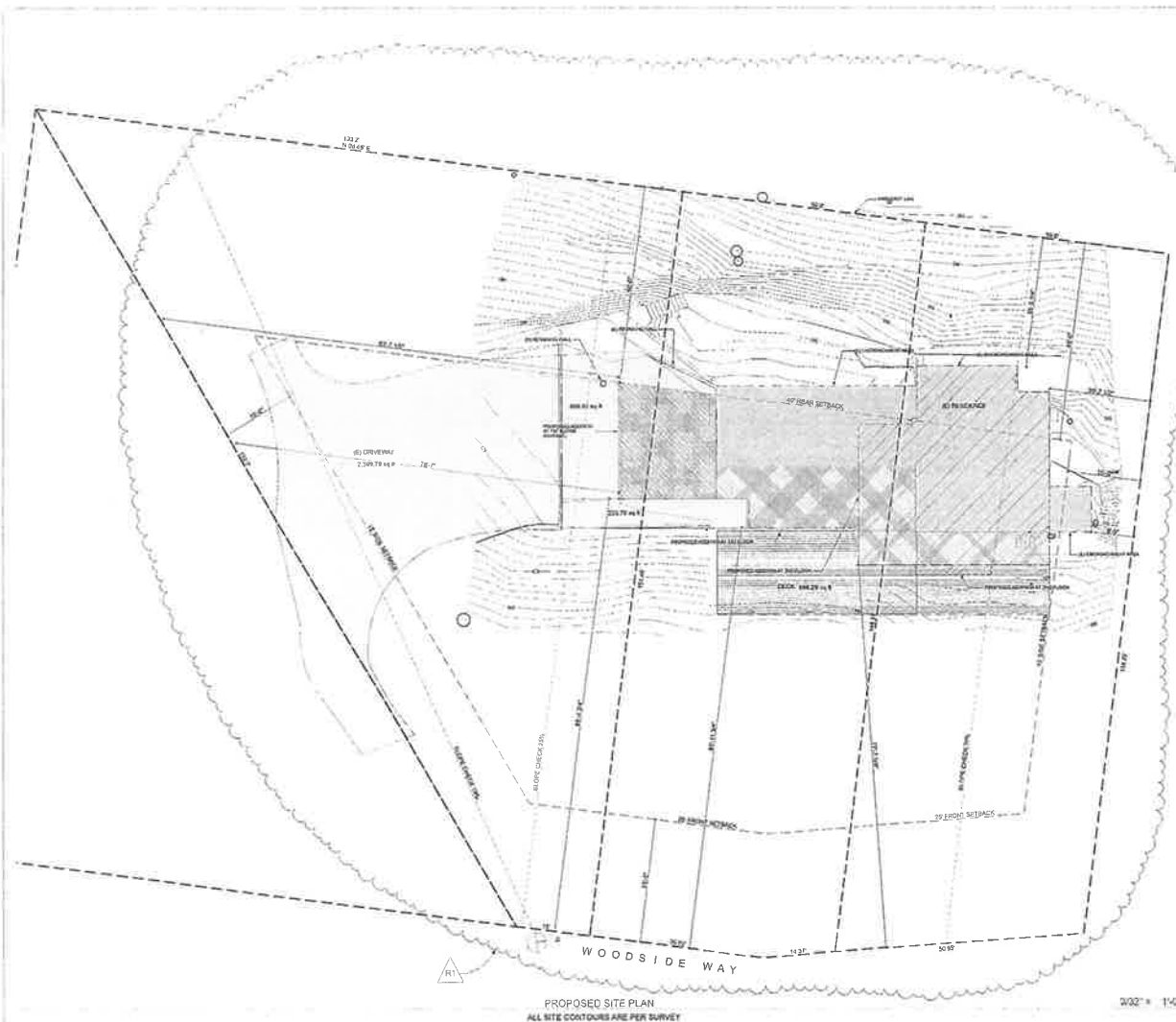
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SHEET NUMBER:

A-01



GENERAL NOTES

1) SCOPE

A. GENERAL DESCRIPTION: REMOVE AND HAUL AWAY ONLY THOSE ITEMS NECESSARY TO ACCOMPLISH THE SCOPE OF WORK.

B. PROVIDE SUPERVISION, LABOR, EQUIPMENT TOOLS, MATERIALS, AND SUPPLIES TO COMPLETE THE PROJECT PER THE DRAWINGS AND SPECIFICATIONS, AND GENERAL TERMS AND CONDITIONS.

C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE WORK DONE ON THIS PROJECT SHALL BE IN STRICT COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.

D. TREE PROTECTION FENCING SHOWN FOR REFERENCE ONLY. REFER TO TREE PROTECTION PLAN FOR ALL TREE PROTECTION REQUIREMENTS.

E. CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET WORK PERMIT FROM THE PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT IS SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

2) PROTECTION AND CONTROLS

A. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE EXISTING SITE AND ITS IMPROVEMENTS THROUGHOUT THE WORK. ALL DAMAGE DONE TO THE EXISTING PROPERTY SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

B. NOT USED

C. ADJACENT PROPERTY AND AREAS: PROTECT ANY ADJACENT AREAS AND IMPROVEMENTS FROM DAMAGE ANY DAMAGE TO ADJACENT AREAS, STREETS AND THE LIKE SHALL BE RESTORED TO ORIGINAL CONDITION WITH NO COST TO THE OWNER.

D. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO DIRT OF CONSTRUCTION DEBRIS ENTERS THE STORM DRAIN SYSTEM.

E. NO ON-SITE STORM DRAIN INLETS EXIST ON THE SITE

F. ANY CITY STORM DRAIN INLET USED SHALL BE PROTECTED FROM DEBRIS WITH SAND BAGS SURROUNDING THE STORM DRAIN INLET GRATE FOR THE DURATION OF THE PROJECT.

G. AT THE END OF EACH WORKDAY AND JUST PRIOR TO RAINFALL, ROADWAYS AND SIDEWALKS MUST BE SWEEPED AND CLEANED OF ALL MATERIALS ATTRIBUTED TO THE PROJECT. WATER CANNOT BE FLUSHED DOWN THE PAVEMENT IN PLACE OF SWEEPING.

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26 WOODSIDE WAY
ROSS, CA 94957

PROPOSED
SITE PLAN

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIPTION
09/25/21	001	PLAN SHEET DOCUMENTS

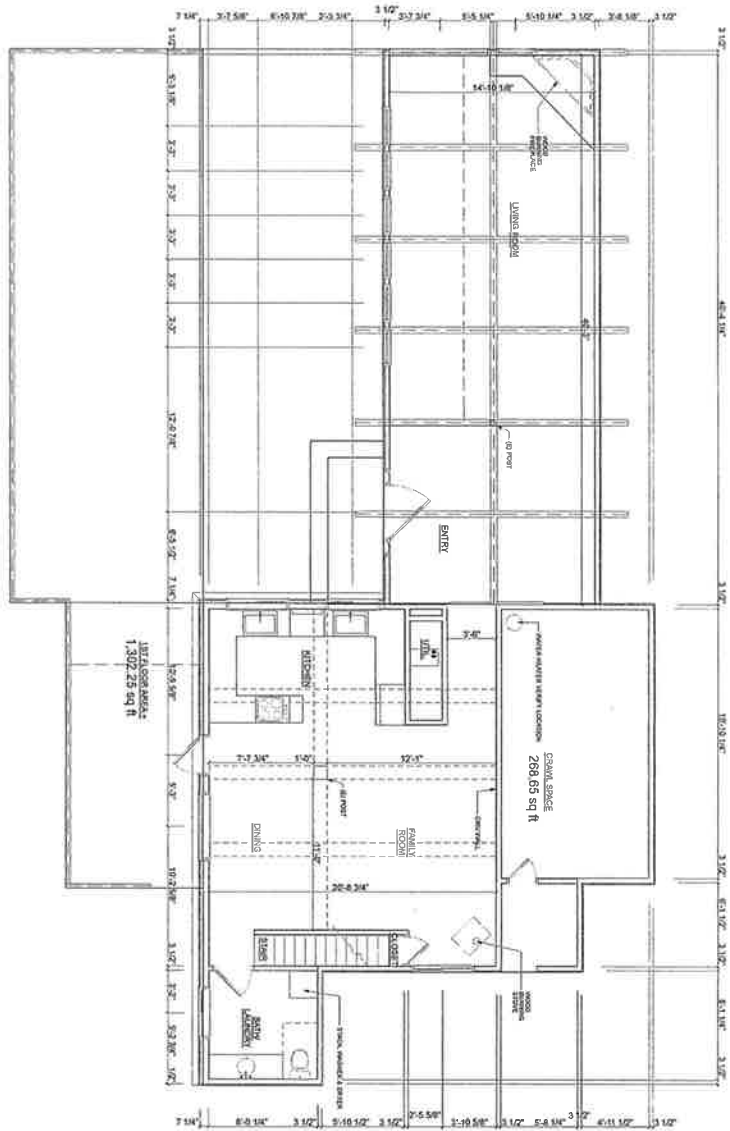
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A-02



(E) 1ST FLOOR PLAN

1/4" = 1'-0"

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MARIA BARMINA
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5151 GREENWICH RD.
SUITE 100
COSTA MESA, CA 92626



(E) 1ST FLOOR PLAN

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE: REV: DESCR:

DATE	REV	DESCR

DRAWN BY:

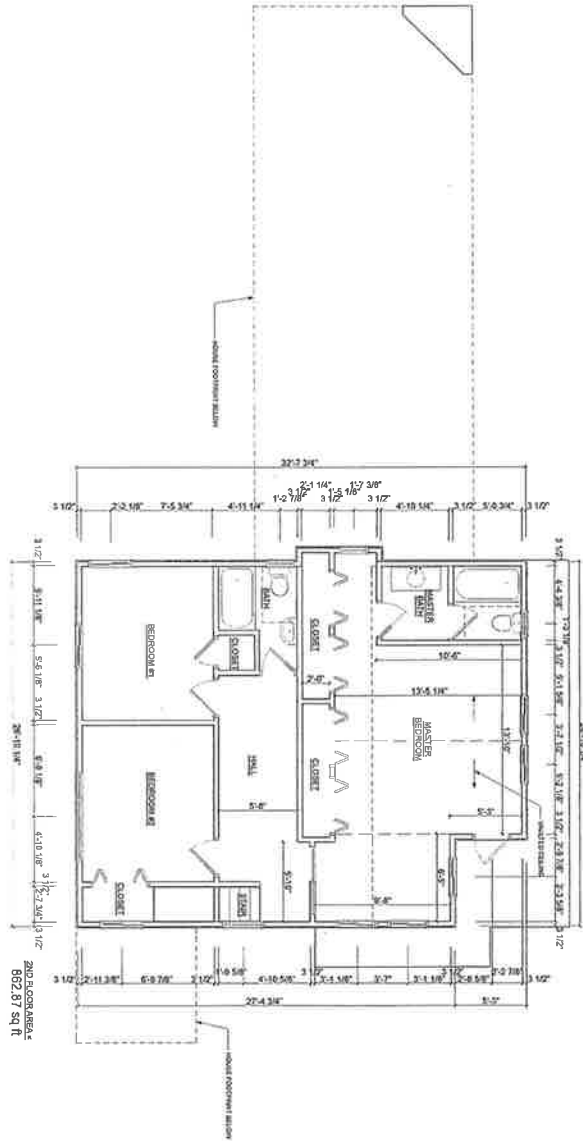
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SHEET NUMBER:

A-03



(E) 2ND FLOOR PLAN

1/4" = 1'-0"

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5710 WOODSIDE RD.
ROSS, CA 94987
CA 94987



(E) 2ND FLOOR PLAN

CLIENT NAME:

Valeriy Alexandrov

REVISIONS:

DATE: 09/25/2016

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DATE PRINTED:

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SHEET NUMBER:

A-04



(E) EAST ELEVATION

1/4" = 1'-0"



(E) SOUTH ELEVATION

1/4" = 1'-0"

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(E) EAST
ELEVATION, (E)
SOUTH
ELEVATION

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP
	1	PLAN CHECK COMMENTS
	2	
	3	

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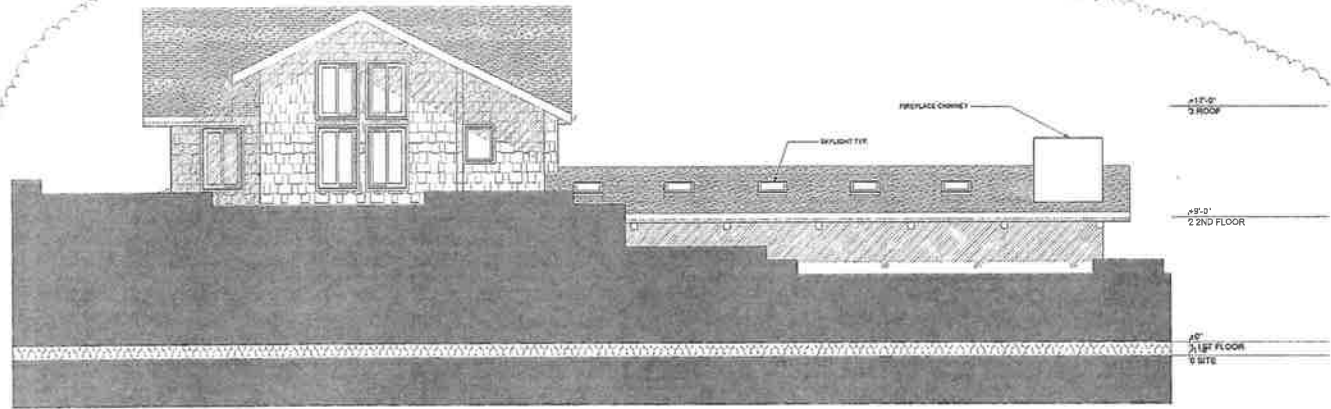
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Sunday, September 25, 2016

SHEET NUMBER:

A-05



(E) WEST ELEVATION

1/4" = 1'-0"



(E) NORTH ELEVATION

1/4" = 1'-0"

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(E) WEST
ELEVATION, (E)
NORTH
ELEVATION

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP.
2016.09.21	REV1	PLAN CHECK COMPLETE

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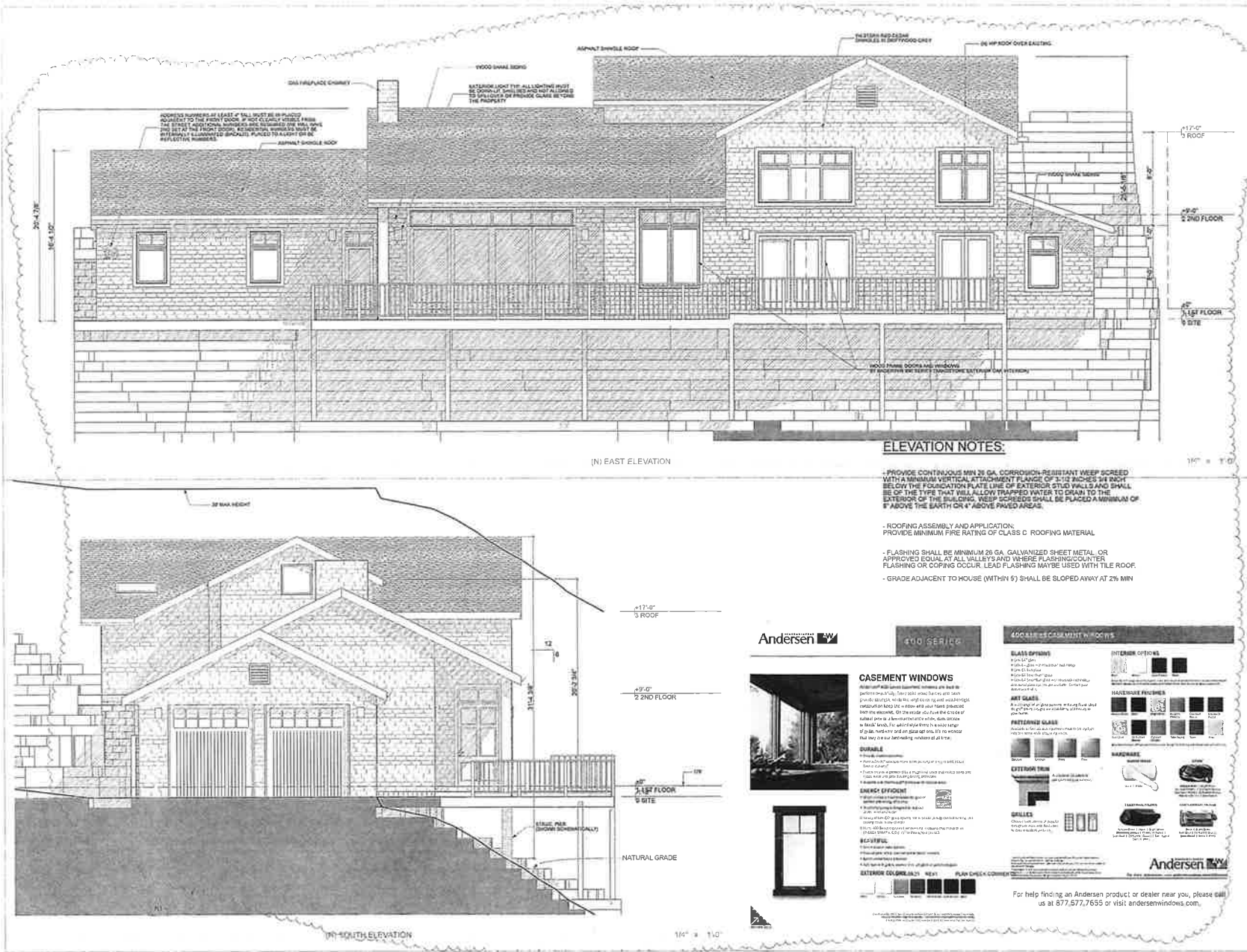
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Sunday, September 25, 2016

SHEET NUMBER:

A-06



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(N) EAST
ELEVATION, (N)
SOUTH
ELEVATION,
400s_casement_
windows_ss_017
_vb_web

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV	DESCRIPTION
2016.09.25	REV1	PLAN CHECK COMMENTS

DRAWN BY:

MVB

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Sunday, September 25, 2016

SHEET NUMBER:

A-10

400 SERIES

CASEMENT WINDOWS

Andersen® 400 Series casement windows are built to perform in any climate. They offer energy efficiency, smooth operation, and a wide range of options to match your style. On the inside, the Andersen 400 Series casement window is a masterpiece of craftsmanship. On the outside, it's a work of art. For all the details, visit us at andersenwindows.com.

AVAILABLE

- Available in a variety of colors and finishes.
- Available in a variety of sizes and shapes.
- Available in a variety of materials.

FINISHES

White, Black, Bronze, Copper, Gold, Silver, Steel, Walnut, and many more.

EXTERIOR COLOURS

White, Black, Bronze, Copper, Gold, Silver, Steel, Walnut, and many more.

400S CASEMENT WINDOWS

GLASS OPTIONS

- Single-pane glass
- Double-pane glass
- Triple-pane glass
- Low-E glass
- Argon gas fill
- HardieCoat® glass

INTERIOR OPTIONS

- Single-pane glass
- Double-pane glass
- Triple-pane glass
- Low-E glass
- Argon gas fill
- HardieCoat® glass

EXTERIOR FINISH

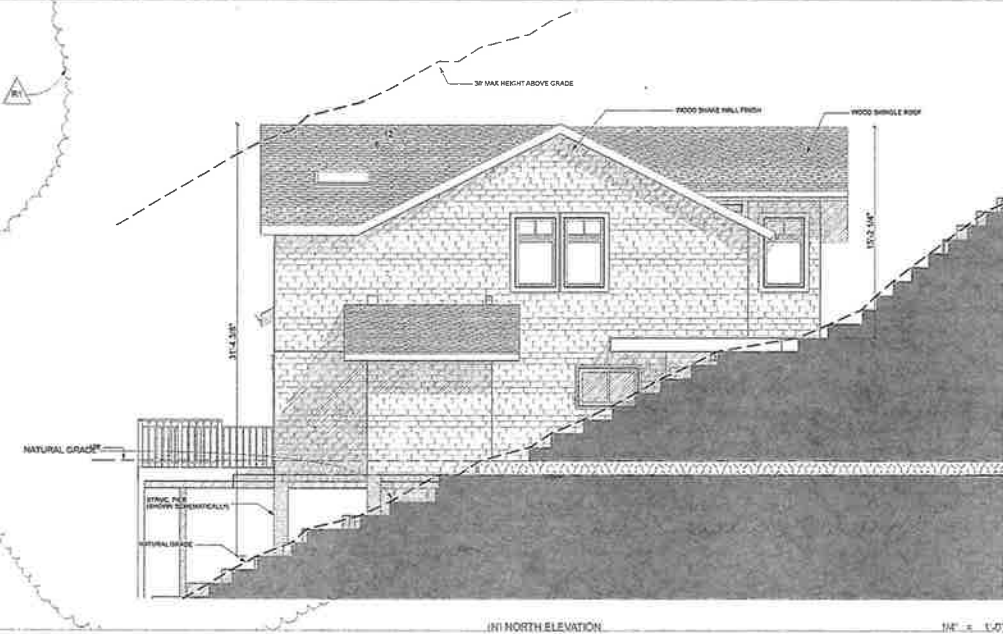
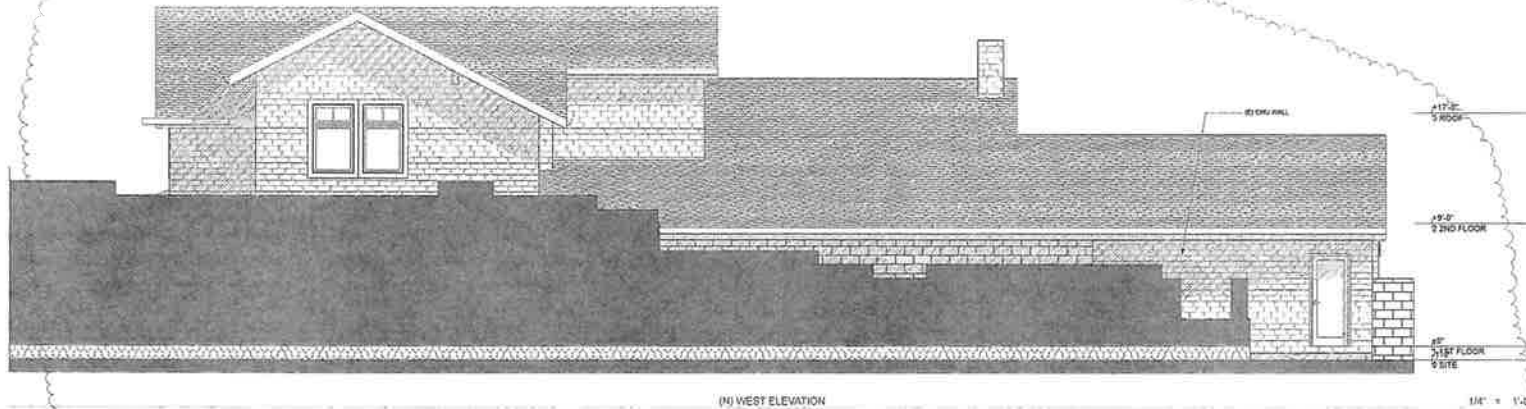
- White
- Black
- Bronze
- Copper
- Gold
- Silver
- Steel
- Walnut

GLAZING

- Single-pane glass
- Double-pane glass
- Triple-pane glass
- Low-E glass
- Argon gas fill
- HardieCoat® glass

Andersen logo

For help finding an Andersen product or dealer near you, please call us at 877.577.7655 or visit andersenwindows.com.



ELEVATION NOTES:

- PROVIDE CONTINUOUS MIN 26 GA. CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES 3/4 INCH BELOW THE FOUNDATION PLATE LINE OF EXTERIOR STUD WALLS AND SHALL BE OF THE TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. WEEP SCREEDS SHALL BE PLACED A MINIMUM OF 6" ABOVE THE EARTH OR 4" ABOVE PAVED AREAS.
- ROOFING ASSEMBLY AND APPLICATION:
PROVIDE MINIMUM FIRE RATING OF CLASS C ROOFING MATERIAL.
- FLASHING SHALL BE MINIMUM 26 GA. GALVANIZED SHEET METAL, OR APPROVED EQUAL AT ALL VALLEYS AND WHERE FLASHING/COUNTER FLASHING OR COPING OCCURS. LEAD FLASHING MAY BE USED WITH TILE ROOF.
- GRADE ADJACENT TO HOUSE (WITHIN 5') SHALL BE SLOPED AWAY AT 2% MIN



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**ROSS
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(N) NORTH
ELEVATION, (N)
WEST
ELEVATION

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP
2016.09.25	REV1	PLAN CHECK COMMENTS

DRAWN BY:

MVB

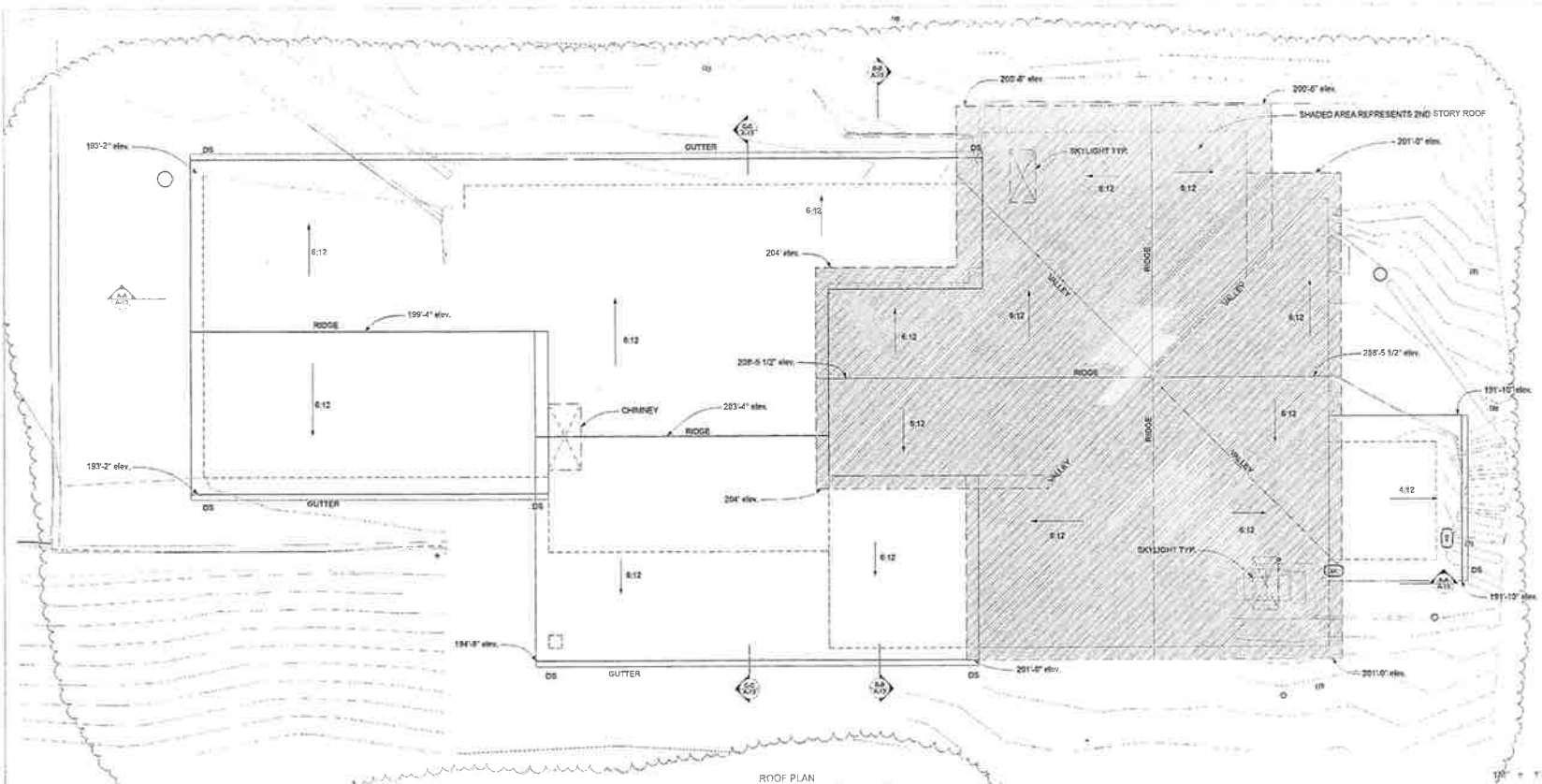
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DATE PRINTED:

Sunday, September 25, 2016

SHEET NUMBER:

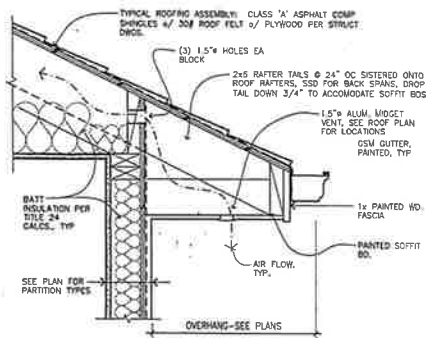
A-11



ROOF PLAN

GAF Model 060652 Internet #10055151 Store SKU #777990
Timberline Natural Shadow Pewter Gray Lifetime Shingles (33.3 sq. ft. per Bundle)

*** (28) *** With a Review • Conditions & Screens (B) *



TYP. EAVE DETAIL



Open Expanded View

Click Image to Zoom



• Lifetime Limited Warranty
 • Features the classic Natural Shadow effect
 • Shingles warranted to withstand winds up to 120 mph

Color/Finish: **PEWTER GRAY**

This item is not available in your store. Please check other stores for availability.

Pick Up In Store: ☐ Unavailable

Item Not Available In Your Store: **San Leandro #425**

Check Inventory at Other Stores

Save to list

PROPOSED ROOFING MATERIAL

ROOF PLAN NOTES:

- ALL ROOF SLOPES AS NOTED
- INSTALLATION SHALL BE IN ACCORDANCE WITH MFG'S INSTRUCTIONS AND APPLICABLE BUILDING CODE
- TYP. SLOPED ROOF - ASPHALT SHINGLE ROOF OVER GRACE ICE & WATER SHEILD OVER 1/2" CDX PLYWD OVER 2X RAFTERS @ 16" O.C.
- DOWNSPOUTS/GUTTERS:
 - GUTTERS @ SLOPED ROOFS SHALL BE 5" HALF-ROUND 26 GA GALVANIZED (UNFINISHED)
 - DOWNSPOUTS AT HALF-ROUND GUTTERS SHALL BE 3" ROUND 26 GA GALVANIZED (UNFINISHED)
 - DOWNSPOUTS AT FASCIA GUTTERS SHALL BE TO BE ALUMINUM 2-1/2" X 3-1/2" PRE-FINISHED BLACK
 - SPLASH BLOCKS REQUIRED AT ALL DOWNSPOUTS
 - ALL FLASHING AND COLLARS SHALL BE 28 GA GALVANIZED SHEET METAL PAINTED TO MATCH ROOFING
 - GANG ALL PLUMBING VENTS WHERE POSSIBLE AND DRIFT TO LOCATIONS NOT VISIBLE FROM ENTRY



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ROOF PLAN,
 TYP. EAVE
 DETAIL
 PROPOSED
 ROOFING
 MATERIAL

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIPTION
2016.09.21	REV 1	PLAN SHEET COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

Sunday, September 25, 2016

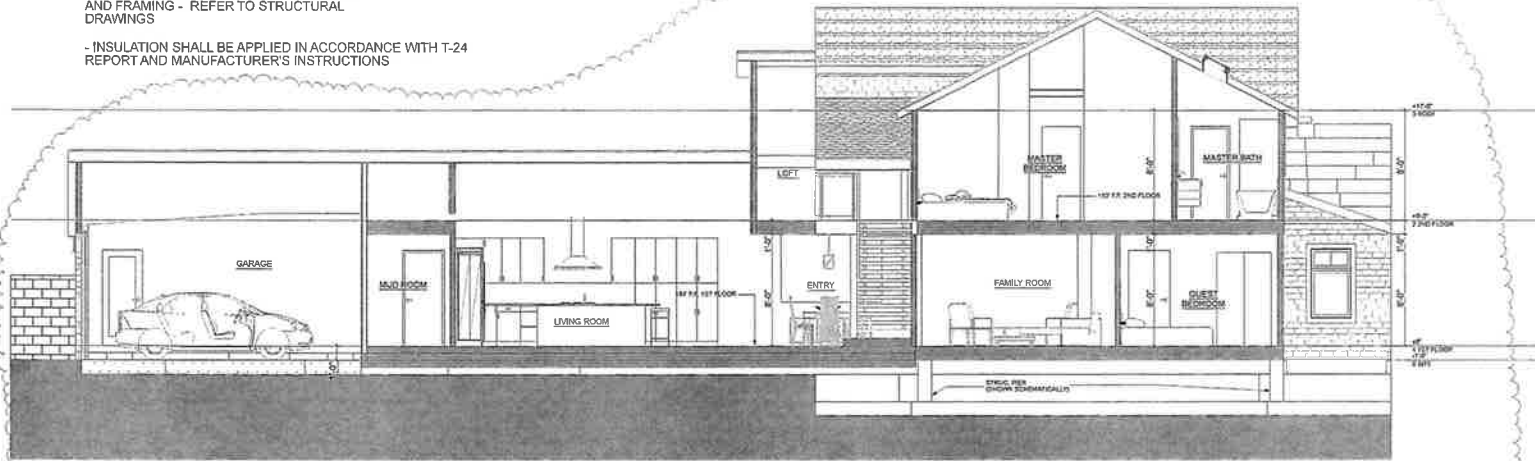
SHEET NUMBER:

A-12

GENERAL NOTES:

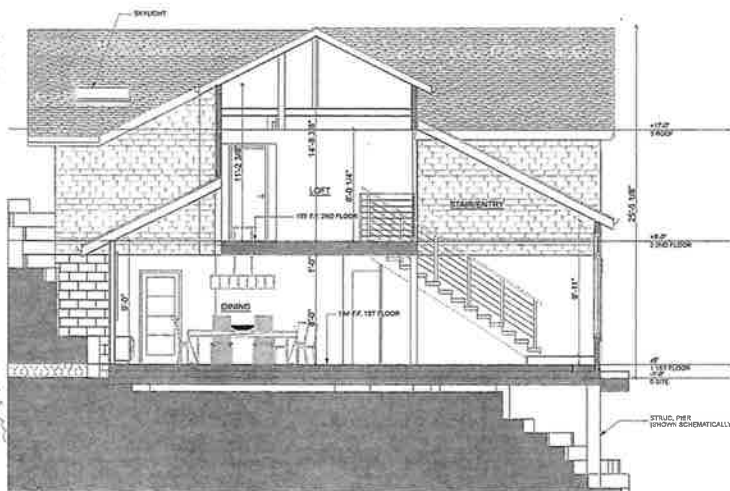
FOR ALL MEMBER SIZES, FOOTING DETAILS
AND FRAMING - REFER TO STRUCTURAL
DRAWINGS

- INSULATION SHALL BE APPLIED IN ACCORDANCE WITH T-24
REPORT AND MANUFACTURER'S INSTRUCTIONS



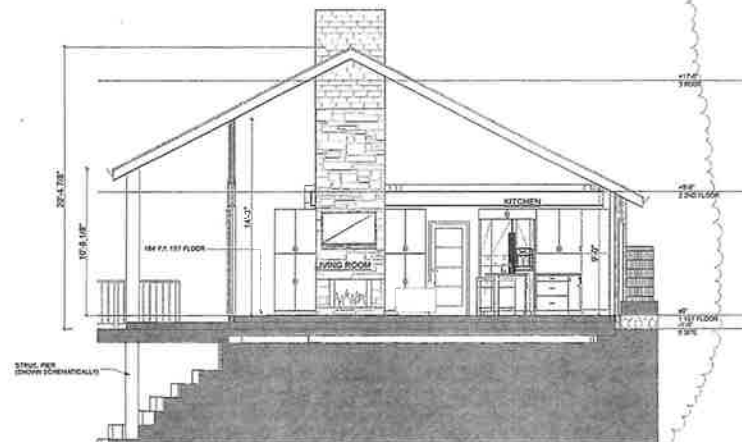
A-A

1/4" = 1'-0"



B-B

1/4" = 1'-0"



C-C

1/4" = 1'-0"

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A-A, B-B, C-C

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP.
2016.09.25	REV 1	PLAN SHEET COMPLETION

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

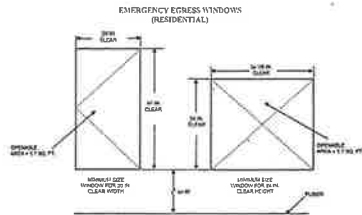
Sunday, September 25, 2016

SHEET NUMBER:

A-13

WINDOW SCHEDULE										
ID	ROOM NAME	WINDOW TYPE/ OPERATION	MANUFACTURER	W x H Size	Window sill height	Window head height	2D Symbol	3D Front View	GLAZING	FRAME
BR1	BEDROOM 1	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
BR1 2	BEDROOM 1	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
BR1 3	BEDROOM 1	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
BR2 1	BEDROOM 2	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
BR2 2	BEDROOM 2	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
ENT1	ENTRY	FIXED	Andersen 400 series	6'-0" x 7'-0"	2'-5" 1/2"	10'-0" 7/8"				
FRM1	FAMILY ROOM	FIXED	Andersen 400 series	16'-0" x 7'-0"	2'-0"	1'-8"				
GAR1	GARAGE	FIXED	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
GAR2	GARAGE	FIXED	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
GAR3	GARAGE VENT	VENT	TBS	2'-0" x 2'-0"	2'-0"	4'-8"				
GBT1	GUEST BATH	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
LFT1	LOFT	AWNING	Andersen 400 series	3'-0" x 3'-0"	10'-0" 9"	12'-0"				
MBR1	MASTER BEDROOM	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
MBTH1	MASTER BATH	CASEMENT	Andersen 400 series	3'-0" x 5'-0"	3'-7"	6'-7"				
OF1	OFFICE	CASEMENT	Andersen 400 series	4'-0" x 5'-0"	3'-7"	6'-7"				

CONTRACTOR TO VERIFY ALL SIZES AND OPENING DIRECTION PRIOR TO ORDERING



2010 IRC Section R310
 Document, habitable areas and every sleeping room shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public alley, yard or court space. The emergency door or window shall be operable from the inside to provide a full, clear opening without the use of separate tools.

The intent of this section is that windows be available so that rescue can be effected from the exterior or, alternatively, by which one may escape from that window in the event of fire without having to travel through the building itself.

- Except for rescue windows shall have a minimum net clear opening area of 5.7 square feet.
- Except for rescue windows, shall have a minimum net clear opening of 5.7 square feet.
- The minimum net clear opening height dimension shall be 20 inches.
- The minimum net clear opening width dimension shall be 20 inches.
- Finished sill height shall not be more than 44 inches above the floor.

GENERAL WINDOW SCHEDULE NOTES:

1. All windows to be weather-stripped per Title 24 energy requirements.
2. All hardware and screen frames to match window frame fin, and color.
3. All windows to be factory finished with double glazed LOW-E glass unless otherwise noted.
4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.
5. For window operation see provided exterior elevations & window schedule.
6. Shop drawings to be provided to the designer/homeowner prior to placement of order.

The contractor is to review all glazing prior to ordering. Refer to SECTION R308.4 GLAZING.

10000 SCHEDULE										
ID	ROOM NAME	DOOR TYPE	MANUFACTURER	W x H Size	10 Symbol	10 Front View	GLAZING	FRAME MATERIAL	HARDWARE/ LOCK	THRESHOLD
BR1 1	BEDROOM 1			2'-0" x 5'-0"						
BR1 2	BEDROOM 1			2'-0" x 5'-0"						
BR2 1	BEDROOM 2			2'-0" x 5'-0"						
BR2 2	BEDROOM 2			2'-0" x 5'-0"						
COL1	COAT CLOSET			2'-0" x 5'-0"						
CRISP	CRAWL SPACE			2'-0" x 5'-0"						
ENT1	ENTRY		TBS	4'-0" x 8'-0"						
FRM1	FAMILY ROOM	MULTI PANEL DOOR	Andersen 400 series	16'-0" x 7'-0"						
GAR1	GARAGE	OVERHEAD GARAGE DOOR		8'-0" x 8'-0"						
GAR2	GARAGE	OVERHEAD GARAGE DOOR		8'-0" x 8'-0"						
GAR3	GARAGE			2'-0" x 5'-0"						
GBR1	GUEST BEDROOM			5'-0" x 7'-0"						
GBR2	GUEST BEDROOM			2'-0" x 5'-0"						
GBR3	GUEST BEDROOM			4'-0" x 5'-0"						
GBTH1	GUEST BATH			2'-0" x 5'-0"						
KBTH1	KIDS BATH			2'-0" x 5'-0"						
KITH1	KITCHEN			2'-0" x 5'-0"						
LCRY1	LAUNDRY			2'-0" x 5'-0"						
LRM1	LIVING ROOM	MULTI PANEL DOOR	Andersen 400 series	9'-0" x 7'-0"						
MBR1	MASTER BEDROOM			2'-0" x 5'-0"						
MBTH1	MASTER BATH			2'-0" x 5'-0"						
MBTH2	MASTER BATH			2'-0" x 5'-0"						
MRM1	MUD ROOM			2'-0" x 5'-0"						
OF1	OFFICE			2'-0" x 5'-0"						
OF2	OFFICE			4'-0" x 5'-0"						
PWR1	POWDER ROOM		Andersen 400 series	2'-0" x 5'-0"						
UT1	UTILITY			2'-0" x 5'-0"						
WLKCL1	WALK-IN CLOSET			2'-0" x 5'-0"						

Tempered glass to be provided:

- a) Glass in any door;
- b) Glass in any kind of shower, bathtub area, hot tub, steam room, sauna or whirlpool area where the bottom edge of the glass is less than 60 inches above a standing surface and drain outlet;
- c) Glass in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom edge of the glazing is less than 60" above a walking surface;
- d) Glass in fixed or operable panels that meets all of the following conditions:
 - * Bottom edge is less than 18" above floor
 - * Top edge is greater than 36" above floor
 - * Total area of glass is greater than 5 sq. ft. (1256 sq. in.)
 - * One or more walking surfaces within 36" horizontally of the glazing;

e) Glass in walls used as a barrier for indoor or outdoor swimming pools or spas when both of the following exist:

The bottom edge of the glazing is less than 60" above a pool side of the glazing
 The glazing is within 5 feet of a swimming pool or spa deck area;

f) Glass in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60" above a walking surface

GENERAL DOOR SCHEDULE NOTES:

1. All exterior doors to be weather-stripped per Title 24 energy requirements.
2. All exterior glazed doors to be tempered, factory finished double glazed.
3. All doors between heated and unheated areas shall be weather-stripped per energy calculations.
4. For swing of all doors see provided floor plans.
5. Shop drawings to be provided to the designer prior to placement of order.
6. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.

The contractor is to review all glazing prior to ordering, refer to SECTION R308 GLAZING.

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Window List
 Door List, WEST
 ELEVATION

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE REV# DESCRIP

DRAWN BY:
 MVB

SCALE AS NOTED

DATE PRINTED:

Sunday, September 25, 2016

SHEET NUMBER:

A-15

MECHANICAL, ELECTRICAL & PLUMBING NOTES:

ALL ELECTRICAL SWITCH PLATES TO BE 2" ABOVE FINISH FLOOR
 1. ALL ELECTRICAL OUTLETS 18" LESS NOTED OTHERWISE

2. ALL ELECTRICAL OUTLETS, SWITCHES AND 1/2" HOODINGS TO
 BE 1/2" AFF, TO CENTER (UNLESS NOTED OTHERWISE)

3. ALL ELECTRICAL OUTLETS, SWITCHES AND 1/2" HOODINGS TO
 BE 1/2" AFF, TO CENTER (UNLESS NOTED OTHERWISE)

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MEP FLOOR PLAN NOTES:

1. ALL SMOKE DETECTORS IN THE RESIDENCE SHALL BE PROVIDED
 WITH AC POWER AND BE INTERCONNECTED FOR SIMULTANEOUS
 ALARM. DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM,
 OUTSIDE OF SLEEPING ROOMS CENTRALLY LOCATED IN THE
 CORRIDOR AND OVER THE CENTER OF THE STAIRWAYS WITH A
 MINIMUM OF ONE DETECTOR PER STORY OF THE OCCUPIED PORTION
 OF THE RESIDENCE

2. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN EXISTING
 DWELLINGS WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS,
 OR ADDITION EXCEEDS ONE THOUSAND DOLLARS. CO ALARMS SHALL
 BE LOCATED OUTSIDE OF EACH DWELLING UNIT SLEEPING AREA IN
 THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL
 OF A DWELLING UNIT INCLUDING BASEMENTS.

3. PROVIDE MATERIALS PER INDUSTRY STANDARD

4. COORDINATE EXACT LOCATION AND TERMINATION OF
 CONDUIT SUB-OUT AND JUNCTION BOX PLACEMENT
 WITH OWNER PRIOR TO ROUGH-IN

5. LOCATION FOR ALL FIXTURES/DEVICES TO BE APPROVED
 BY HOMEOWNER PRIOR TO ROUGH-IN AND AFTER BOXES
 TACKED IN-PLACE

6. ELECTRICAL SUBCONTRACTOR SHALL FURNISH/INSTALL
 ALL DEVICES AND LIGHT FIXTURES (INCLUDING BLUBS)
 NOT PROVIDED BY OWNER, AND SHALL INSTALL ALL LIGHTING
 FIXTURES/LAMPS PROVIDED BY OWNER IN STRICT
 ACCORDANCE WITH MFC'S WRITTEN INSTRUCTIONS

7. DEVICE STYLE AND TRIM TO BE DECORA WHITE, CONFORM
 COLOR AND STYLE WITH OWNER PRIOR TO ORDERING
 AND PURCHASING

8. ELECTRICAL CONTRACTOR SHALL MAKE USE OF ALL DATA IN THE
 CONTRACT DOCUMENTS AND SHALL VERIFY THIS INFORMATION
 AT THE BUILDING PRIOR TO START OF WORK

9. SMOKE DETECTORS SHALL BE INTERCONNECTED 110V
 WITH BATTERY BACKUP WHICH ARE ALIABLE IN ALL
 SLEEPING AREAS: BEDROOMS, HALLWAYS LEADING
 TO BEDROOMS, ABOVE TOP OF STAIRS IF
 APPLICABLE, AND AT LEAST ONE AT EVERY LEVEL

10. DISHWASHER, TRASH COMPACTOR, MICROWAVE, OVEN, WINE REF,
 REFRIGERATOR AND GARAGE DISPOSAL SHALL BE ON
 SEPARATE CIRCUITS

11. SWITCHES AND RECEPTABLES TO BE MIN 3/4" FROM SPA TUB
 AND LIGHTS TO BE 7/8" MIN ABOVE WATER LEVEL AND
 GFCI PROTECTED

12. PROVIDE ARC-FAULT CIRCUIT INTERRUPTER AT ALL
 BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE-PHASE
 15 AND 20-AMPERE RECEPTABLE OUTLETS INSTALLED
 IN BEDROOMS, FAMILY ROOMS DINING ROOMS, LIVING
 ROOMS, PARLORS, LIBRARIES, DEN'S, SUN ROOMS,
 RECREATION ROOMS, CLOSETS, HALLWAYS AND THE LIKE

13. PROVIDE DEDICATED 20-AMP CIRCUIT TO SERVE
 BATHROOM RECEPTABLES

14. LIGHTING FIXTURES IN CLOSETS SHALL BE
 COMPLETELY ENCLOSED PER DEC ARTICLE 4.10.8(B) AND BE 6"
 MIN FROM STORAGE SPACE

15. PROVIDE (2) DEDICATED 20 AMP SMALL APPLIANCE SERVE
 KITCHEN COUNTER RECEPTABLES

16. PROVIDE DEDICATED CIRCUIT FOR VENTILATING HOOD

17. ALL LIGHTS TO BE DIMMABLE

For all installations performed on or after July 1, 2014 the 2014 Energy Standards will
 require at least half the installed wattage of luminaires in areas shall be high efficacy.
 However, lighting installed inside cabinets may not be required to be included in the wattage
 calculation that determines whether half of the installed wattage is high efficacy. The
 following table details the requirements for high efficacy luminaires (2013 California
 Energy Code)

Luminaire Power Rating	Minimum Luminaire Efficacy
Under 5 watts	45 lumens per watt
Over 5 watts to 15 watts	45 lumens per watt
Over 15 watts to 40 watts	60 lumens per watt
Over 40 watts	90 lumens per watt

Verify or Install Smoke and/or Carbon Monoxide Detectors

- Smoke alarms shall be installed in all sleeping rooms, each area/hallway adjacent to
 sleeping rooms, each story of the building, and any basement. (CPC R314)
- Carbon monoxide alarms shall be installed in each area/hallway adjacent to sleeping
 rooms, each story of the building, and any basement. Carbon monoxide alarms are not
 required if there is no fuel-burning appliances and where the garage is detached from
 the house. (CPC R315)

Countertop

- Countertop receptacles shall be located to meet all of the following requirements: (CEC
 210.8 & 210.9)
- Be GFCI protected
- Countertop areas with a minimum dimension of 12" in width shall be provided with a
 receptacle
- Be located so that no point is more than 24" from a receptacle outlet measured
 horizontally along the wall
- Receptacles shall be located no more than 20" above countertop and may be located
 in the countertop if listed for the location
- Islands/peninsulas shall have at least one receptacle mounted not more than 12"
 below the countertop or in the countertop if listed for the location when the
 island/peninsula is 24" or more inches in the long dimension and 12" or more in the
 short dimension. Peninsulas are measure from the connecting edge.

Note: Receptacles located within an appliance garage are not considered countertop
 receptacles for the purpose of minimum spacing requirements

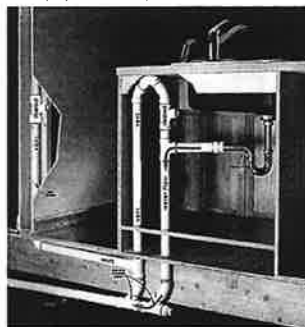
Known receptacles shall be supplied by circuit meeting all of the following 20-amp branch
 circuits: (CEC 210.11(C) 1)

- Countertop receptacles shall be supplied by a minimum of two 20-amp branch
 circuits
- Separate circuits may be required for the garbage disposal, dishwasher, exhaust
 hood, and built-in microwave based on the manufacturer's requirements and the
 motor rating (listed on the equipment/placement). Any new receptacles added in the
 dining area, breakfast room, pantry, or similar area shall be supplied by the 20-amp
 countertop circuit.

Note: The existing electrical panel may have to be upgraded if it cannot accommodate the
 circuit requirements noted above

Plumbing

- An Air Gap for your dishwasher is required



ISLAND VENT & DRAIN

PROVIDE THE FOLLOWING PER 2013
 Residential Mandatory Measures 150.0(d):

A. A 120 V receptacle shall be located
 within three (3) feet of the water heater and
 shall be accessible to the water heater with no
 obstructions.

B. A gas supply line with the capacity to
 provide a maximum of 200,000 BTU/hr to the
 water heater shall be installed.

C. A category III, IV, or a type B vent with a
 straight pipe between the outside termination
 and the space where the water heater is
 located shall be installed.

D. A condensate drain that is a minimum of
 two (2) inches higher than the base of the
 installed water heater that allows rain or drain
 without pump assistance shall be installed.

WATER HEATER NOTE:

T & R relief valve shall discharge to the
 exterior or other approved location and
 pointed down between 6" and 24" above
 grade. CPC 698.5, seismic strapping and
 anchors CPC 507.2, located a min. 18" above
 garage floor CPC 507.1.3 and safety drain
 gas (TPR) shall not discharge into the pan in
 attic or where damage may occur. CPC
 507.4

PLUMBING

- A gas test is required on piping modifications (10 PSI for 15 minutes). A maximum 1/2
 PSI gauge is required for the gas test. A vent gas pressure test may be performed when
 using a venting test gauge. As provided for in CPC section 1214.3
- Gas lines that run under a slab shall run through an approved, vented, gas tight conduit.
 CPC 1214.3.6
- An accessible shutoff valve shall be installed outside each appliance and ahead of the
 union connected thereto and in addition to any valve on the appliance. CPC 1214.5
- A listed air gap is required for the dishwasher drain. CPC 507.4
- The maximum flow rate standards for the sink faucets are 2.5 GPM. CECS 118(a)
- Kitchen Island Venting: Traps for island sinks and similar equipment shall be roughed
 in above the floor and may be vented by extending the vent as high as possible, but not
 less than the drain board height. The vent is then returned downward and connected to
 the horizontal sink drain immediately downstream from the vertical fixture drain. The
 return vent shall be connected to the horizontal drain through a T-branch fitting, and
 shall in addition be provided with a shut vent taken at the vertical fixture vent by means
 of a T-branch fitting immediately below the floor. The shut vent extends to the nearest
 perfon and thence through the roof to the open air, or may be connected to other vents
 at a point not less than (6) inches above the flood level rim of the fixture served.

Water Efficient Plumbing Fixtures (California Civil Code 11914(A))

The California Civil Code requires that all existing non-compliant plumbing fixtures (listed on
 water efficiency) throughout the house be upgraded whenever a building permit is issued for
 remodeling improvements. Residential building code adopted after January 1, 1994 are exempt
 from this requirement. The following table shows the fixtures that are considered to be non-
 compliant and the type of water-conserving plumbing fixture that should be installed:

Type of Fixture	Non-Compliant Plumbing Fixture	Required Water-Conserving Plumbing Fixture (Maximum Flow-Rate)
Water Closet (Toilet)	Greater than 1.6 gallons/flush	1.28 gallons/flush
Showhead	Greater than 2.5 gallons/minute	2.0 gallons/minute at 80 psi
Faucet-Bathroom	Greater than 1.5 gallons/minute	1.0 gallons/minute at 80 psi
Faucet-Kitchen	Greater than 2.2 gallons/minute	1.0 gallons/minute at 80 psi

The State of California requires that all existing non-compliant plumbing fixtures (listed on
 water efficiency) throughout the house be upgraded whenever a building permit is issued for
 remodeling improvements. Residential building code adopted after January 1, 1994 are exempt
 from this requirement. The following table shows the fixtures that are considered to be non-
 compliant and the type of water-conserving plumbing fixture that should be installed:

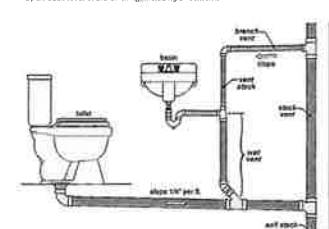
- Battery type units must have a 10-year battery life
- Smoke, carbon monoxide or multiple-purposes alarms (carbon monoxide and smoke alarms)
 must be approved and listed by the State Fire Marshal. The devices must be installed per
 the manufacturer's instructions.

Alarm Location Requirements

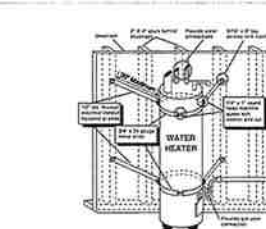
Smoke alarms must be installed:

- a) in each room used for sleeping purposes
- b) in each hallway outside of the sleeping rooms
- c) on each level of the dwelling, including basements

Carbon monoxide alarms must be installed:
 a) outside of each sleeping room in the immediate vicinity of the bedroom(s)
 b) on each level of the dwelling, including basements



BATH PIPING



WATER HEATER STRAPPING

BARMINA DESIGN STUDIO
 MARIA BARMINA
 DESIGNER
 9753 GREENHIDE RD,
 CASTRO VALLEY, CA 94552

ROSS
 RESIDENCE

28 WOODSIDE WAY
 ROSS, CA, 94957

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP
2025.09.25	REV 1	PLAN CHECK COMMENTS

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MVB

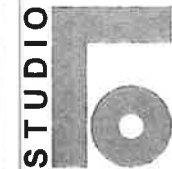
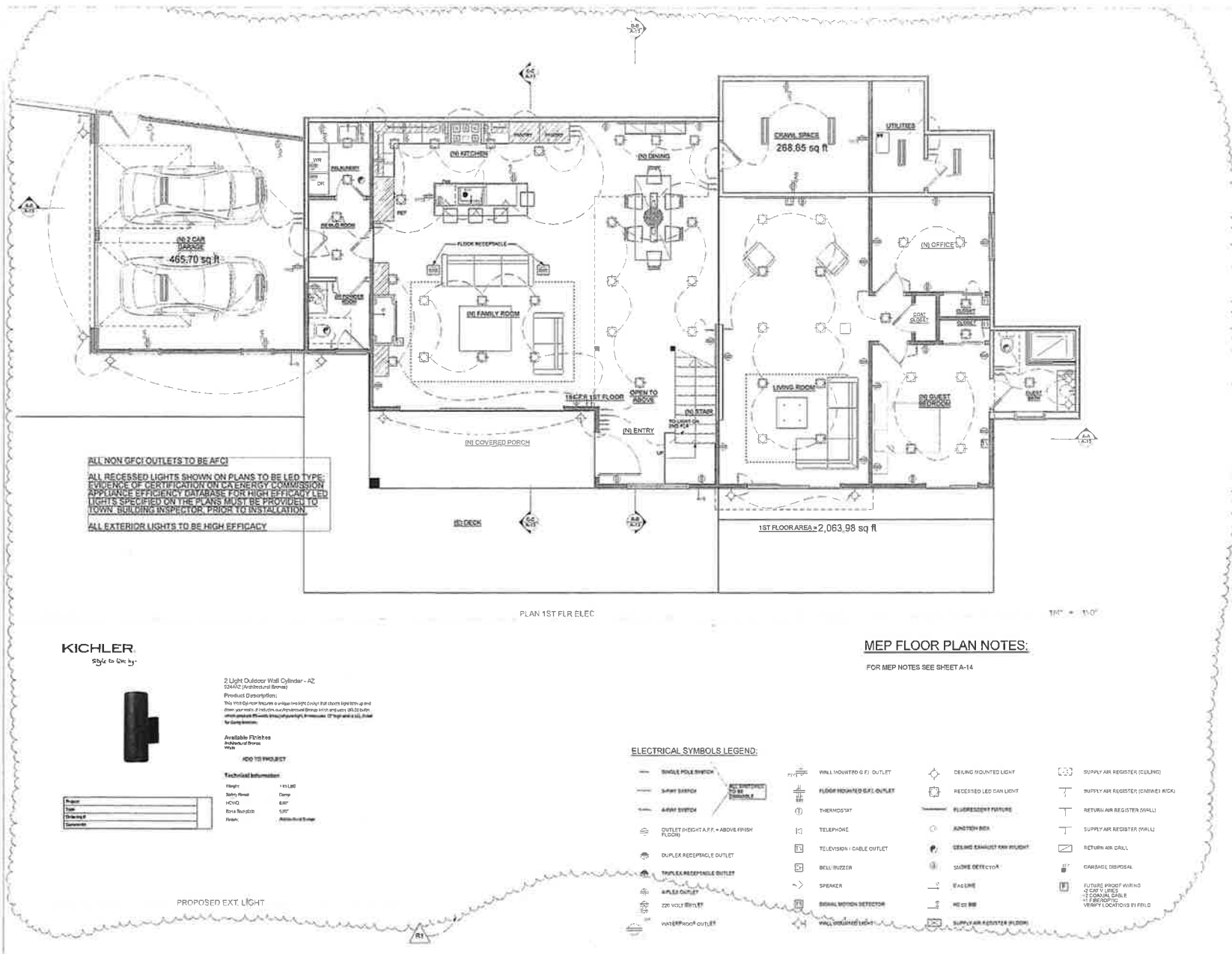
SCALE AS NOTED

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Sunday, September 25, 2016

SHEET NUMBER:

A-16



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 mbarmina@yahoo.com

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 ROSS, CA, 94957

PLAN 1ST FLR
 ELEC. ELEC.
 NOTES
 PROPOSED
 EXT. LIGHT

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCR
2016.09.21	REV#	PLAN CHECK COMMENTS

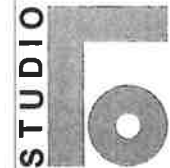
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 Monday, September 26, 2016

SHEET NUMBER:

A-17



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ROSS, CA 94957

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PLAN 2ND
FLOOR ELEC,
ELEC NOTES

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV	DESCRIPTION
2016-09-27	REV1	PLAN CHECK COMMENTS

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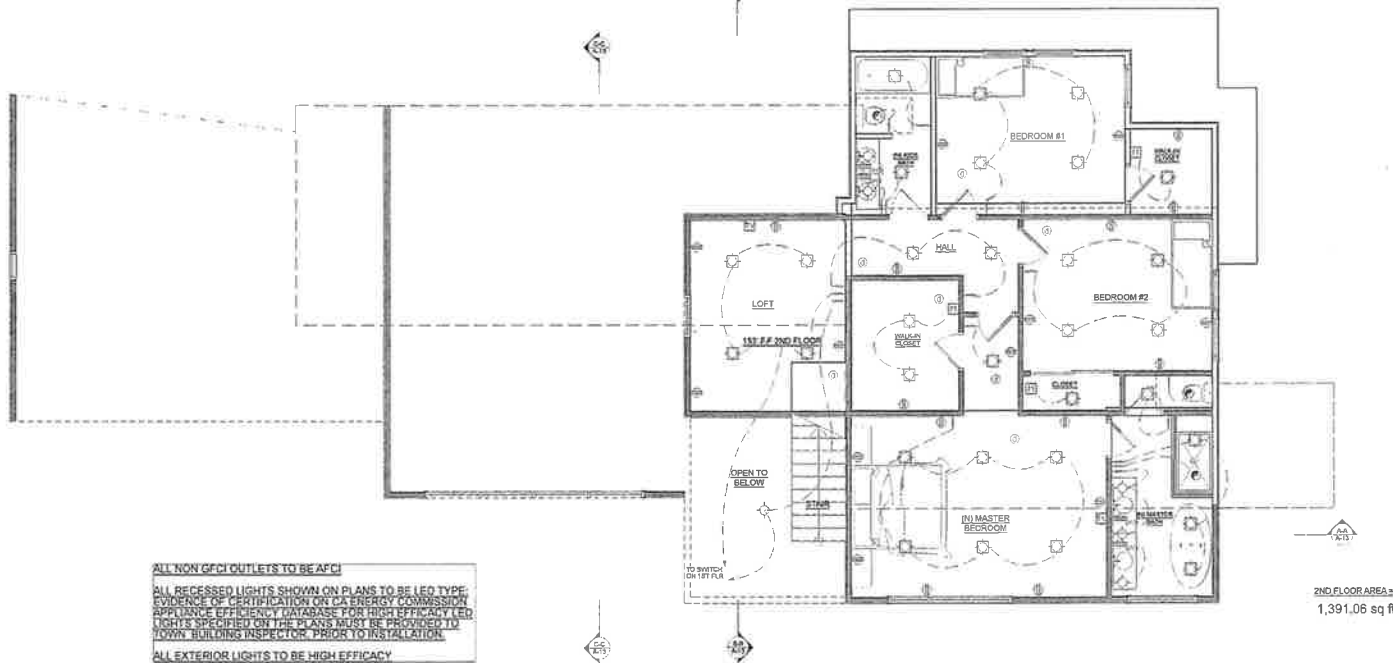
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DATE PRINTED:
Sunday, September 25, 2016

SHEET NUMBER:

A-18



ALL NON GFCI OUTLETS TO BE AFCI
ALL RECESSED LIGHTS SHOWN ON PLANS TO BE LED TYPE
EVIDENCE OF CERTIFICATION ON CA ENERGY COMMISSION
APPLIANCE EFFICIENCY DATABASE FOR HIGH EFFICIENCY LED
LIGHTS SPECIFIED ON THE PLANS MUST BE PROVIDED TO
TOWN BUILDING INSPECTOR PRIOR TO INSTALLATION
ALL EXTERIOR LIGHTS TO BE HIGH EFFICIENCY

PLAN 2ND FLOOR ELEC

2ND FLOOR AREA =
1,391.06 sq ft

1/4" = 1'-0"

MEP FLOOR PLAN NOTES:

FOR MEP NOTES SEE SHEET A-14

ELECTRICAL SYMBOLS LEGEND:

THREE POLE SWITCH	WALL MOUNTED 6 RJ OUTLET	CEILING MOUNTED LIGHT	SUPPLY AIR REGISTER (CEILING)
SWAY SWITCH	FLOOR MOUNTED 6 RJ OUTLET	RECESSED LED CAN LIGHT	SUPPLY AIR REGISTER (CABINET KICK)
4 WIRE SWITCH	THERMOSTAT	FLUORESCENT FIXTURE	RETURN AIR REGISTER (WALL)
OUTLET HEIGHT A.F.F. - ABOVE FINISH FLOOR	TELEPHONE	ANALOG BELL	SUPPLY AIR REGISTER (WALL)
DUPLEX RECEPTACLE OUTLET	TELEVISION / CABLE OUTLET	CEILING EXHAUST FAN (HIGHT)	RETURN AIR SHALL
TRIPLEX RECEPTACLE OUTLET	BELL RINGER	SMOKE DETECTOR	SHARPORE DISPOSAL
APPLY OUTLET	SPEAKER	CAD LINE	FUTURE PROOF WORKING 2 CAT 5 UNITS 2 SIGNAL CABLES 1 FIBER OPTIC VORIFY LOCATIONS IN FIELD
220 VOLT OUTLET	SIGNAL MOTION DETECTOR	NOTE BOX	
VORICRYPT OUTLET	WALL MOUNTED LIGHT	SUPPLY AIR REGISTER (FLOOR)	

HAZARD ASSESSMENT MATRIX

Aspect: West	3
Slope: 43%	8
Fuel Type (0-30 ft.): Hardwood	4
Fuel Type (31-100 ft.): Pseudotsuga hemisphaerica / chaparral	18
Total Hazard Points:	18

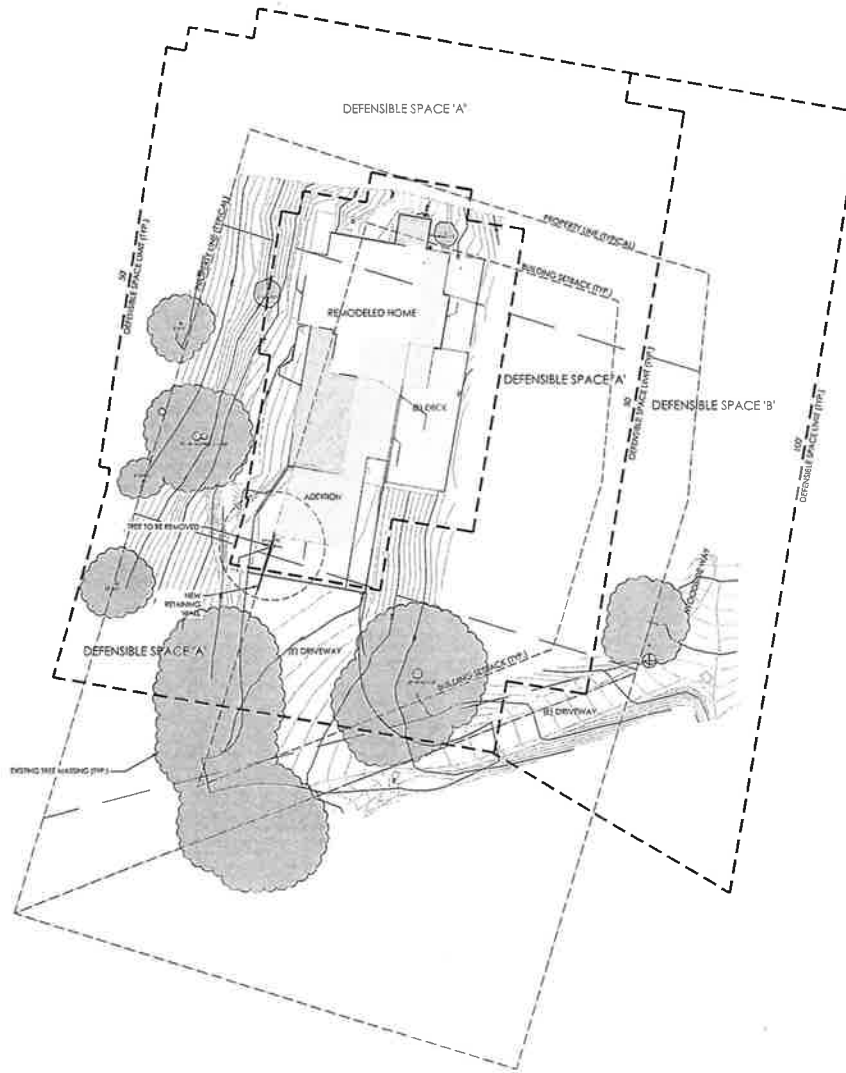
Minimum Horizontal Clearance Requirement in feet: 5.50 x 50 x 100

NOTES

1. REFER TO FIRE HAZARD MITIGATION AND DEFENSIBLE SPACE REPORT (OCT, 18, 2016) FOR PLANTING OPTIONS, MAINTENANCE STANDARDS, ETC.
2. NO NATIVE GRASSES ARE PERMITTED WITHIN THE DEFENSIBLE ZONES.



0 10 20 40 feet
SCALE: 1" = 10'



Rev	Date	Description	Designed	Drawn	Checked
1	10/18/16	SUBMITTAL	NLS	NLS	



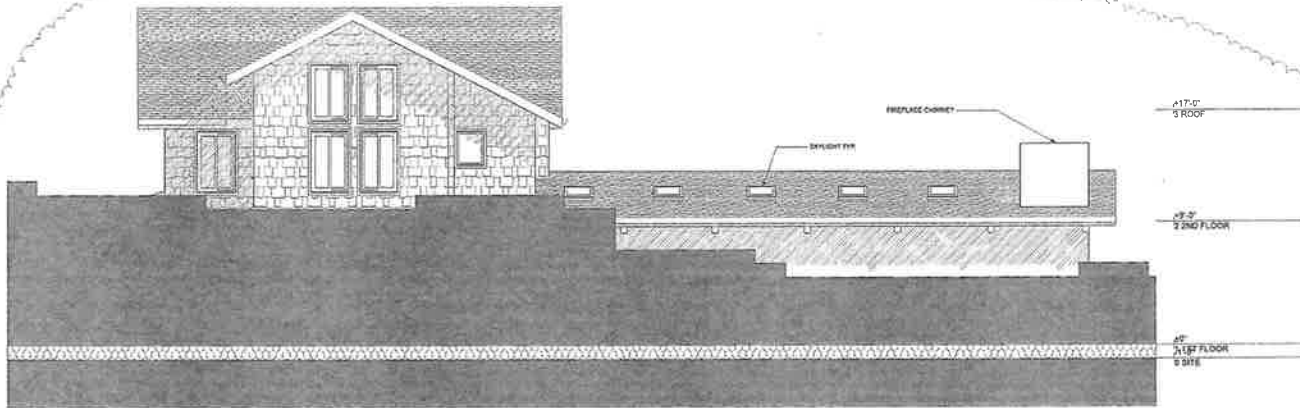
ROD SCACCALOSI
LANDSCAPE ARCHITECT
P.O. box 2083
Petaluma CA 94952
Ph: 707-260-8970
OliveStreetLandscape.com
rscac@sbccglobal.net

City: Ross
County: Marin
State: California

26 WOODSIDE WAY
LANDSCAPE PLANTING &
VEGETATION MANAGEMENT PLAN
HOUSE REMODEL

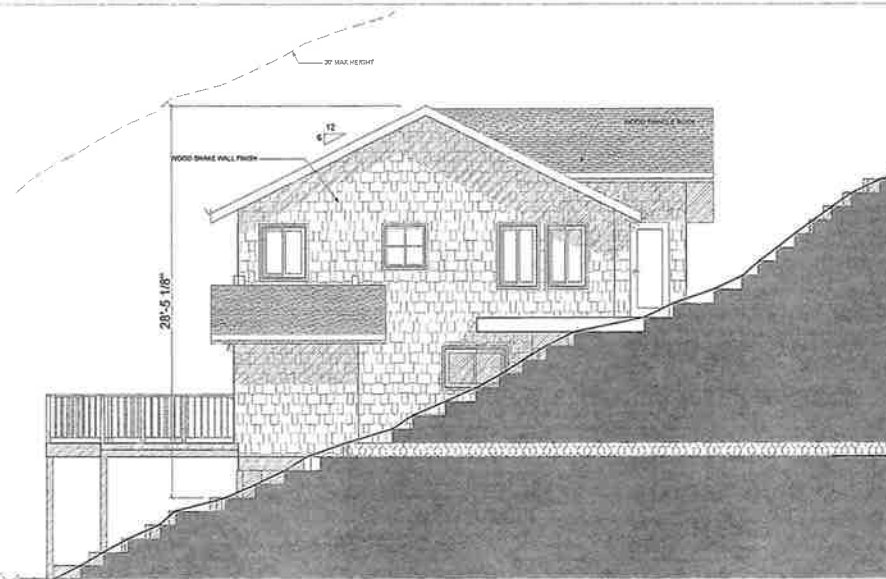


Sheet: VMP-1
Scale: Hor: 1" = 10'
Ver: 1" = 10'
Project Number: 1
Plan File: D:\0000\JXX



(E) WEST ELEVATION

1/4" = 1'-0"



(E) NORTH ELEVATION

1/4" = 1'-0"



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(E) WEST
ELEVATION, (E)
NORTH
ELEVATION

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE REV # DESCRIP.

DATE	REV #	DESCRIP.

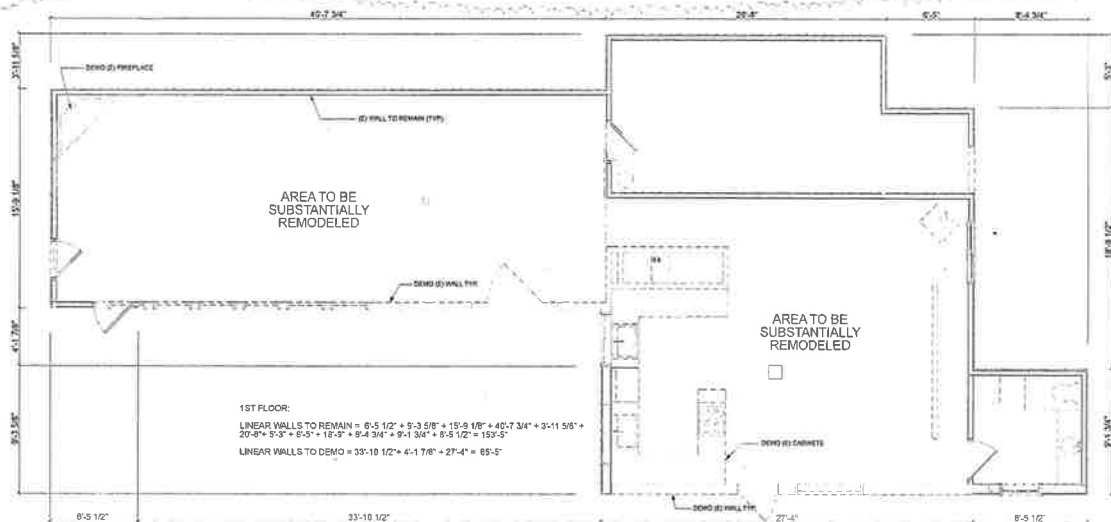
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Sunday, September 25, 2016

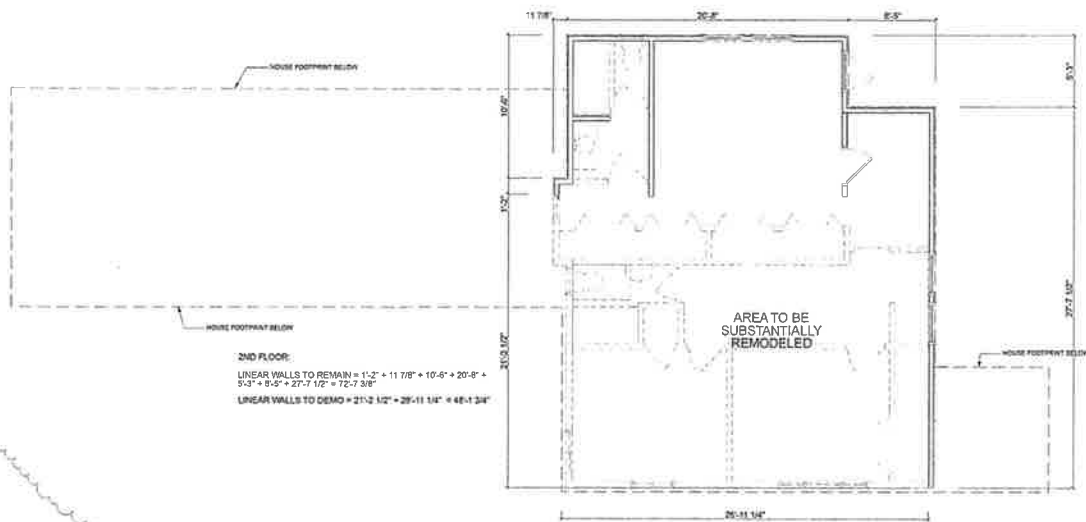
SHEET NUMBER:

A-06



DEMO 1ST FLOOR PLAN

1/8" = 1'-0"



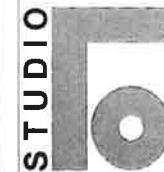
DEMO 2ND FLOOR PLAN

1/8" = 1'-0"

DEMOLITION PLAN NOTES:

THIS IS A SUBSTANTIAL REMODEL, NOT A COMPLETE REBUILD:

- DEMO WALLS SHOWN TO BE DEMOLISHED. KEEP WALLS SHOWN TO KEEP
- DEMO WOOD BURNING FIREPLACE AND PLATFORM, REMOVE CHIMNEY
- DEMO ALL EXISTING BATH FIXTURES, TILE
- DEMO EXISTING CABINETS
- DEMO ALL EXISTING FLOORING
- PROVIDE ADEQUATE TREE PROTECTION
- FOLLOW WINDOW/DOOR SCHEDULE FOR UNITS TO BE DEMOLISHED
- REFER TO CWM PLAN FOR SITE DETAILS AND RECYCLING RULES
- PROVIDE ADEQUATE SUPPORT FOR REMAINING STRUCTURE (CONSULT WITH STRUCT. ENGINEER PRIOR TO REMOVAL OF LOAD BEARING MEMBERS)



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ROSS, CA, 94957

DEMO 1ST
FLOOR PLAN,
DEMO 2ND
FLOOR PLAN

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCR
2016.09.23	REV#	PLAN CHECK COMMENTS

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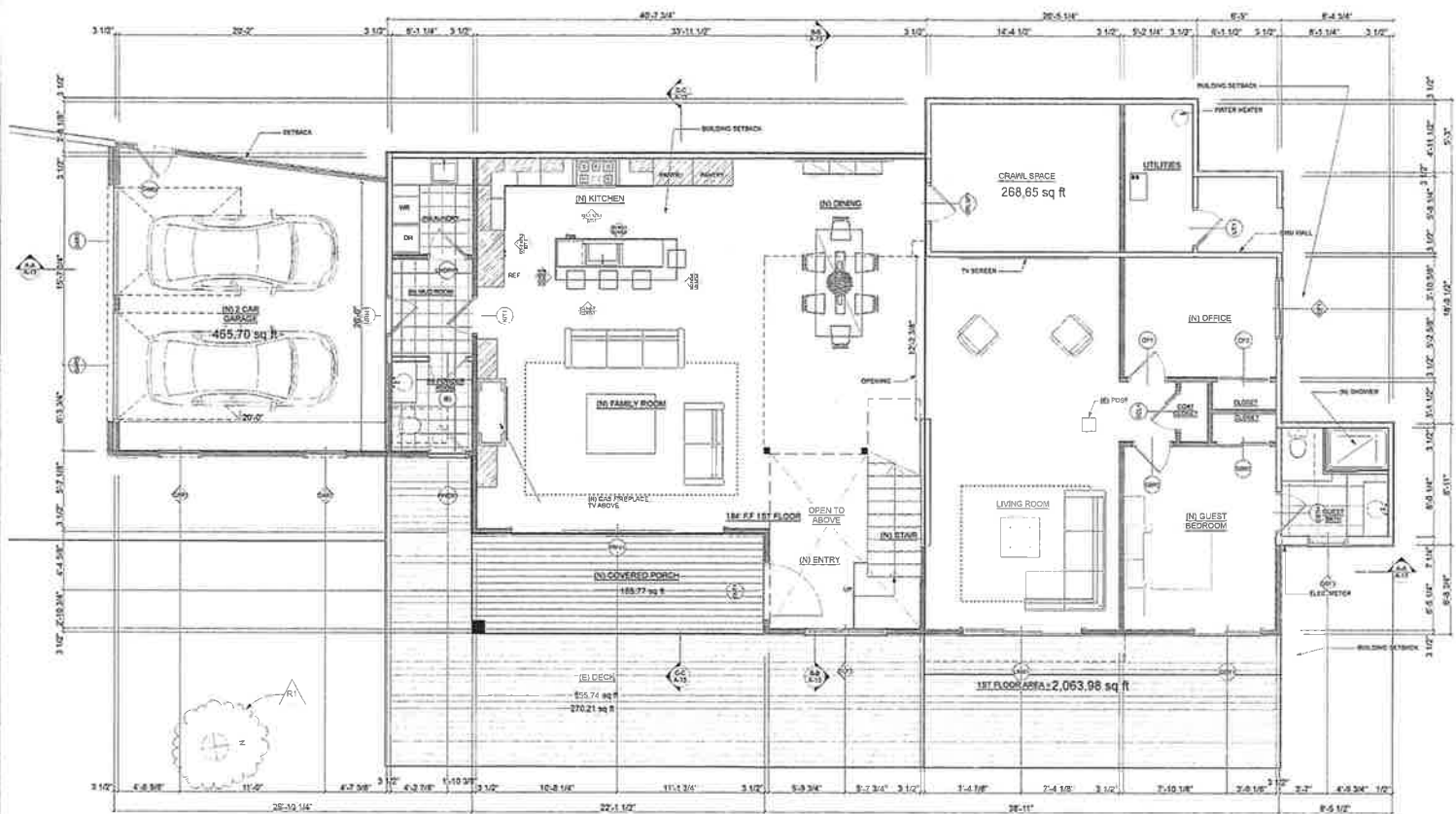
SCALE AS NOTED

DATE PRINTED:

Sunday, September 25, 2016

SHEET NUMBER:

A-07



(N) 1ST FLOOR PLAN

1/8" = 1'-0"

FLOOR PLAN NOTES:

- LOCATION OF ADDRESS NUMBERS SHALL BE PLACED WHERE THEY CAN BE CLEARLY VISIBLE FROM THE ADJACENT STREET OR ROAD.
- LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 3'-0".
- THE LANDING AT AN EXTERIOR DOORWAY IS ALLOWED TO BE NOT MORE THAN 7'-0" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED.
- GYPSUM BOARD SHALL BE 1/2" THICK THROUGHOUT EXCEPT 5/8" TYPE X DRYWALL SHALL BE USED AT STORAGE AREAS UNDER STAIRS AND AT GARAGE CEILING AND WALLS COMMON TO DWELLING AND WALLS SUPPORTING 1 HOUR CEILING.

- FOUNDATION VENTILATION UNDER FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. OPENINGS TO BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. THEY SHALL BE COVERED WITH CORROSION-RESISTANT 1/4" INCH WIRE MESH VENTS.
- (N) 1ST FLR AREA = 7 SQ. FT. 71.59 = 7 SQ. FT. EACH VENT 6"X14" = 8.893 SQ. FT. 70.583 = 7 - PROVIDE 7 FOUNDATION VENTS (SEE (N) FLOOR PLAN & EXTERIOR ELEVATIONS FOR LOCATIONS)
- ATTICS AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION OF EACH SEPARATE SPACE. A MINIMUM OF 1" OF AIR SPACE IS REQUIRED BETWEEN THE INSULATION AND ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED WITH HALF OF THE VENTING LOCATED IN THE UPPER PORTION OF THE SPACE AND THE BALANCE PROVIDED BY SOFFIT VENTS.
- LINEAR VENTS TO BE PROVIDED ALONG ALL ROOF EAVES
- THE MINIMUM NET FREE VENTILATING AREA MAY BE REDUCED TO 1/300 OF THE AREA WHEN AN APPROVED VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH APPROVED MATERIAL WITH OPENINGS A MINIMUM OF 1/4" AND NOT EXCEEDING 1/4".

- ATTIC BATT INSULATION SHALL BE BAFFLED OR BEND DOWNWARD AT EAVES TO MAINTAIN 1" MINIMUM GAP FOR AIR FLOW. USC 1205.3
- SHOWER DOOR SIZE TO HAVE A NET OPENING OF 22" MINIMUM AND MUST BE SAFETY TEMPERED GLAZING
- SHOWER COMPARTMENT REGARDLESS OF SHAPE, SHALL HAVE A MIN FINISHED INTERIOR OF 1.024 SQ. INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 34 INCH CIRCLE. NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD AND SAFETY GRAB BARS OR RAILS ARE ALLOWED
- BUILT-UP SHOWER/TUB HORIZONTAL SURFACES SHALL BE PROTECTED BY APPLYING 2 LAYERS OF 15 LB. ASPHALT FELT WITH 20 LB. 150 FT. ASPHALT BETWEEN LAYERS AND A FLOOD COAT OF 20 LB. 150 FT.
- MEMBRANE MUST EXTEND A MIN OF 8 INCHES UP WALL OR 3 INCHES HIGHER THAN CURB
- PROVIDE BUILDING PAPER & 8 FT. HIGH MINIMUM ON FACE OF STUDS OF SHOWER/TUB SHOWER ENCLOSURE AND FINISH WALLS WITH CERAMIC TILE OVER MORTARS TO A HEIGHT NOT LESS THAN 10 INCHES ABOVE DRAIN
- PROVIDE SAFETY GLASS AT WINDOWS IN SHOWER/BATHTUB ENCLOSURES WITHIN 80" ABOVE THE DRAIN INLET

- MOISTURE RESISTANT GYP BOARD SHALL BE APPLIED AT TUB AND/OR SHOWER WALLS. NOT REQUIRED AT MORTAR OR CEMENT BOARD BASES
- PROVIDE BACKING FOR ALL ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: SHOWER ENCLOSURES, TP HOLDER, TOWEL BARS, MEDICINE CABINET, ETC. - CONDUCT WALK-THRU WITH HOMEOWNER PRIOR TO HANGING GYPSUM BOARD TO IDENTIFY LOCATIONS THAT REQUIRE BACKING
- 1. PROVIDE DWELLING & GARAGE SEPARATION ACCORDING TO TABLE R302.8 (SEE TABLE TO THE RIGHT)
- 2. DOOR BETWEEN PRIVATE RESIDENCE AND GARAGE SHALL BE 20 MIN. FIRE RATED DOOR. IT CAN BE EITHER SOLID WOOD DOOR, OR SOLID HONEYCOMB CORE STEEL DOOR, NOT LESS THAN 1 3/8" INCH THICK SELF-CLOSING AND SELF-LATCHING
- 3. DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. 0.019 INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO GARAGE
- 4. FOR ALL PLUMBING FIXTURE WATER SUPPLY WATER CONSERVING REQUIRED LEVELS REFER TO A-23 CAL. GREEN REQUIREMENTS



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(N) 1ST FLOOR
PLAN

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE	REV #	DESCRIP
DESIGNER	REV	PLAN CHECK COMMENTS

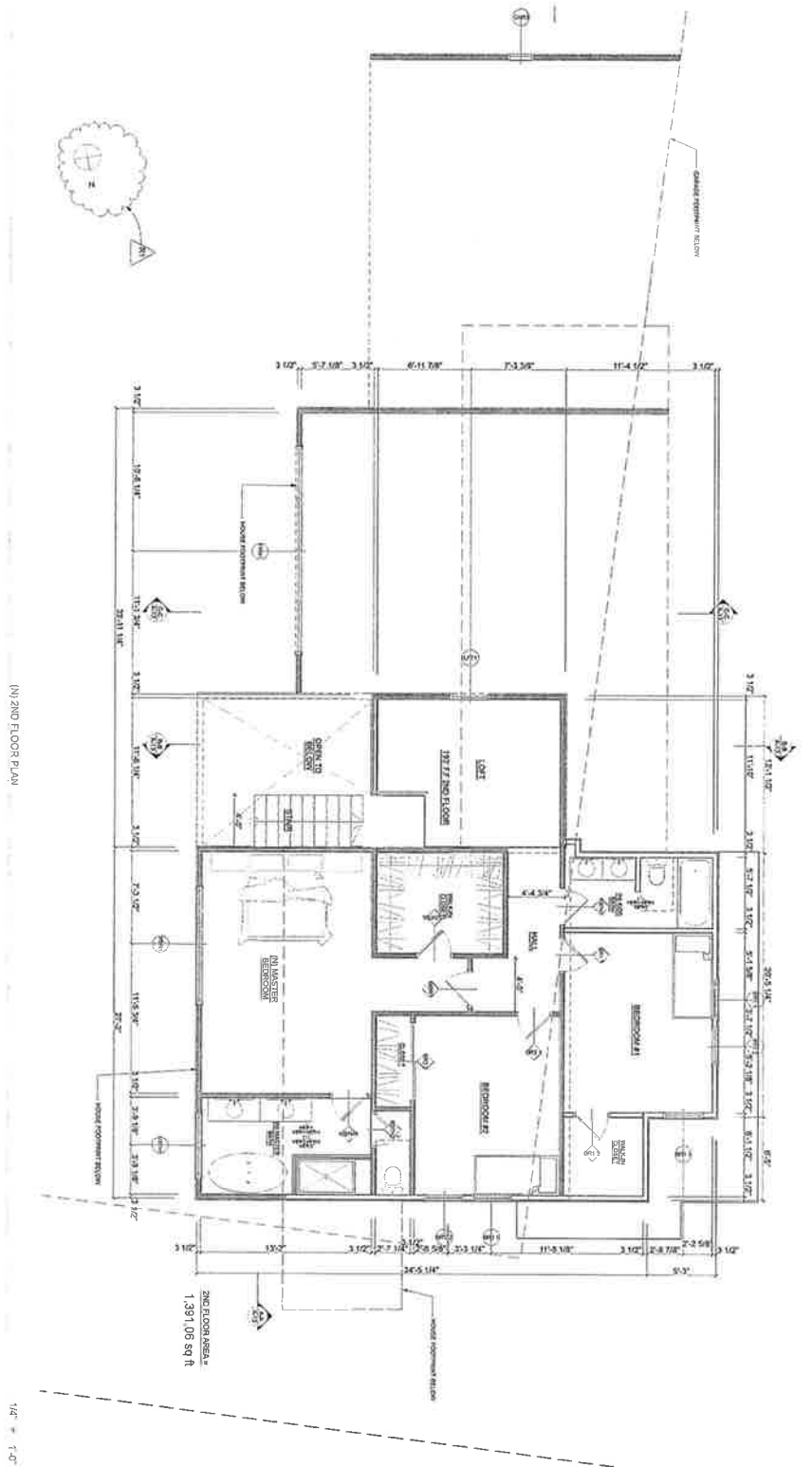
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DATE PRINTED:
Sunday, September 25, 2016

SHEET NUMBER:

A-08



FLOOR PLAN NOTES:
FOR FLOOR PLAN NOTES SEE A-08

(N) 2ND FLOOR PLAN

1/4" = 1'-0"

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RESIDENCE**

26 WOODSIDE WAY
ROSS, CA, 94957



(N) 2ND FLOOR
PLAN

CLIENT NAME:

Valentin Alexandrov

REVISIONS:

DATE: REV: 1: DESCR:

DATE: 10/15/15 MARGA BARMINA

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Sunday, September 23, 2015

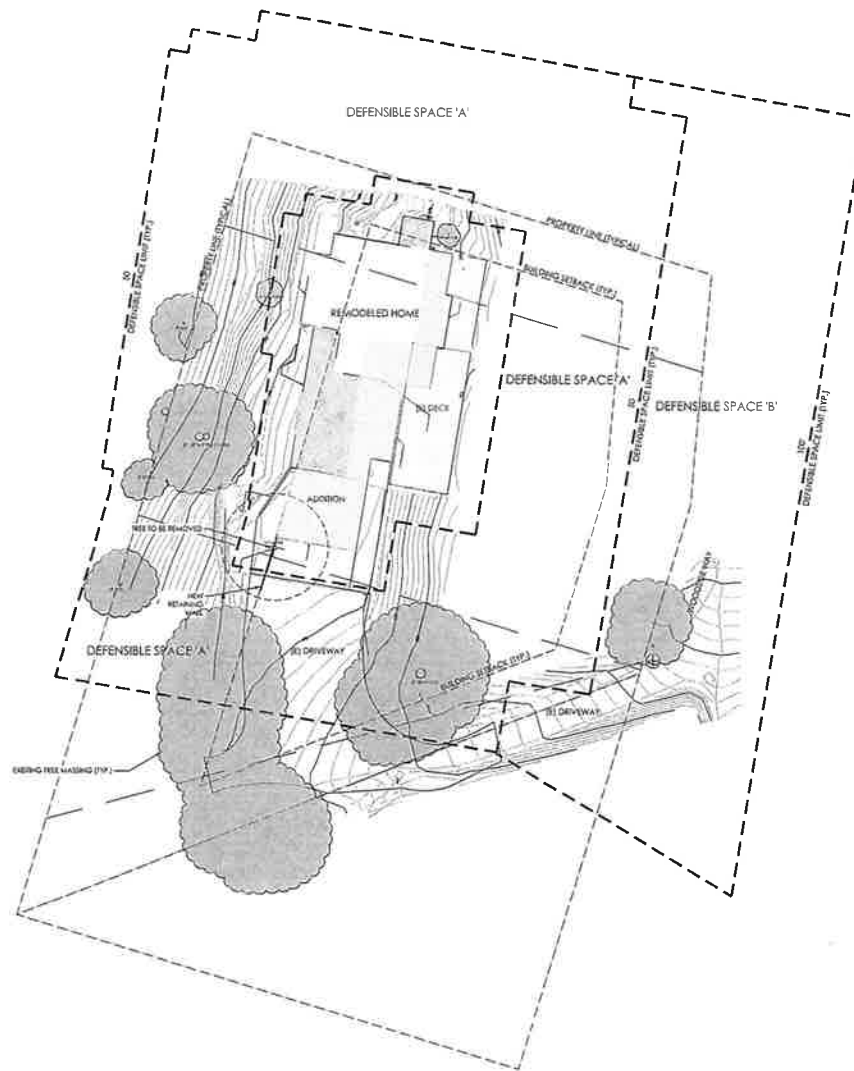
SHEET NUMBER:

A-09

Aspect (West)	3
Slope (3%)	8
Fuel Type (0-30 II): Hardwood	4
Fuel Type (31-100 II): <u>pyramidal hardy endopore</u>	4
Total Hazard Points:	19

Minimum Horizontal Clearance Requirement is least 50 x 50 x 100

1. REFER TO FIRE HAZARD MITIGATION AND DEFENSIBLE SPACE REPORT (OCT. 18, 2016) FOR PLANTING OPTIONS, MAINTENANCE STANDARDS, ETC.
2. NO NATIVE GRASSES ARE PERMITTED WITHIN THE DEFENSIBLE ZONES.

[illegible]

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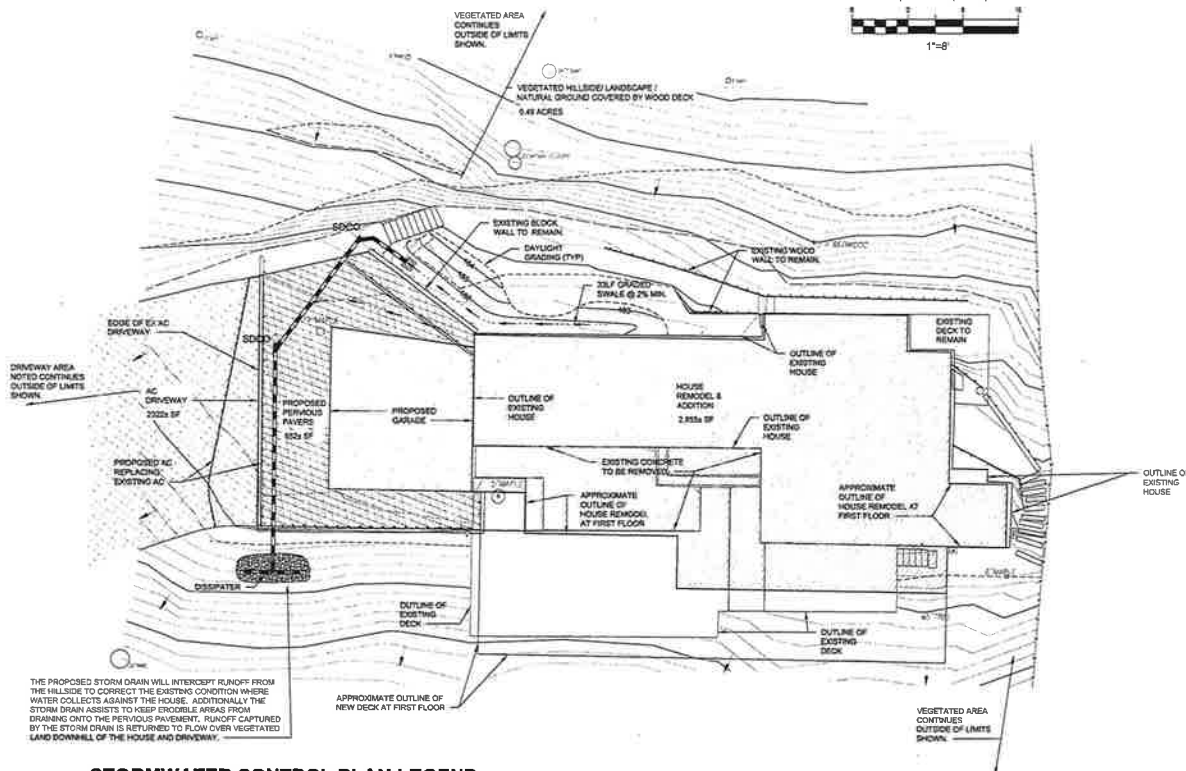
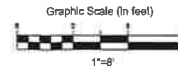
City	Ross
County	Marin
State	California

26 WOODSIDE WAY
LANDSCAPE PLANTING &
VEGETATION MANAGEMENT PLAN
HOUSE REMODEL



Sheet	
VMP-1	
Scale	Hor: 1" = 15'
	Vert:
Project Number:	
Plan File: D:\XXXX\00	

ATTACHMENT 3



SWALE OR DITCH

PERVIOUS PAVERS

ASPHALT DRIVEWAY

HOUSE REMODEL AND ADDITION

VEGETATED HILLSIDE / LANDSCAPE / NATURAL GROUND COVERED BY WOOD DECK

DIRECTION OF FLOW OR SLOPE

Sno	Date	Description	Debit	Credit	Check
099607018		ISSUED TO CLIENT			

CSW/Stuber-Stroch Engineering Group, Inc.
Civil & Structural Engineers | Surveying & Mapping | Environmental Planning
Land Planning | Construction Management

45 Leveroni Court
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tel: 415.883.9850
fax: 415.883.9835

www.cswstg.com E-201

City	Ross
County	Marin
State	California

26 WOODSIDE WAY
STORMWATER CONTROL PLAN
VALENTIN ALEXANDROV



Sheet
SW1
Scale: 1" = 8'
Date: 09/05/18
Project Number: 5.1485.00
Plan File: D-520A.3

Project Name/Number	36 Woodside / 10236-05
Application Submittal Date (As notified by principal staff)	August 22, 2016
Project Location: 8800 Woodside Ave., Santa Clara, CA 95051	36 Woodside Ave., Santa Clara, CA 95051
Name of Owner or Developer	Salinas Irrigation Co.
Project Type and Description (Example: "20 acre Family Residential" or "Park on 100 Acres")	High-Density Residential Development
Total Project Site Area (acres)	61.61 Acres (61.61 acres is owner owned on project)
Total New or Replaced Impervious Surface Area (Requires Permit) (All of impervious area can will be constructed on part of the project)	1,041 +/- square feet
Total Pro-Project Impervious Surface Area	4,822 +/- square feet (4,822 +/- acres)
Total Pro-Project Impervious Surface Area	11,771 +/- square feet (1,242 +/- acres)
Benefit Reduction Measures Selected (Check one or more)	<input type="checkbox"/> 1. Water Runoff is captured and stored <input type="checkbox"/> 2. Permeable Paving <input type="checkbox"/> 3. Greenery on Site or Ponds <input checked="" type="checkbox"/> 4. Alternative Surface or Street Use

[illegible][illegible]

*exp-2-2.8

Palmer



U.S.A. NOTIFICATION SERVICE

ATTACHMENT 4

1. Roll call. The Mayor opened the meeting with a call for the roll at 8:04 p.m.
Present: Mayor Scott, Councilmen Smith, Allen, Bricca and Jones, Town Attorney Elliott, Town Engineer Oglesby.
2. Minutes. Upon motion by Mr. Smith and second by Mr. Bricca, the minutes of the Regular Meeting of April 12 and of the Adjourned Regular Meeting of April 17 were unanimously approved as mailed.

3. Proposed work on Gas Tax eligible streets. The Town Engineer informed the Council that he computed the Gas Tax funds available at \$8,696.46, plus a balance of \$1,854.05, and minus \$1000 for engineering. He said, too, that in any consideration of street work the Council should keep in mind that Sir Francis Drake Blvd. will require resurfacing "before too long".

In regard to Shady Lane, the Town Engineer felt that it was in urgent need of work from Lagunitas to Phoenix Creek which he estimated as \$2300. To resurface Shady Lane through its full length was estimated at \$5300. Upon motion by Mr. Smith and second by Mr. Bricca, the Town Engineer was requested unanimously by the Council to seek approval by the State for this work.

The Engineer estimated that it would cost \$2483.66 to provide Winding Way with turn-outs and widening in much the same manner as was previously performed on Upper Road. Mr. Smith moved that the Town Engineer be authorized to draw up plans and request estimates for this work; seconded by Mr. Bricca and unanimously passed.

4. Variances.

- a. Variance No. 202, Andrew Noble, Olive and Walnut Avenues (73-171-34). Addition to porches and new stairs to non-conforming structure. Does not add to non-conformance.

After Mr. Noble's explanation of his application, Mr. Allen moved that the variance be granted; seconded by Mr. Jones and unanimously passed.

- b. Variance No. 203, O. Ross Turney, 52 Woodside Way (73-251-05). Addition of living room to within 17 feet of rear property line (40 feet required), and of a deck to within 7 feet of north side line (15 feet required). Structure now non-conforming.

5-10-62
In Mr. Turney's description of his application, it was noted that the rear yard would be 23 feet instead of 17 feet. F. B. Hulting said that he was opposed to the application due to the closeness of the new structure to the rear line and to his property. It was brought out, however, that Mr. Hulting did not use his property. Members of the Council noted that the structural addition would be of one-story to a present two-story home and that the angle of its location precluded its affecting the Hulting property. After reviewing the plans, Mr. Hulting withdrew his objection. In the absence of any other objections, Mr. Smith moved that the application be granted; seconded by Mr. Allen and unanimously passed.

- c. Variance No. 204, Theodore and Grace Zeiss, 11 Olive Avenue (73-171-330). Remodeling interior of house and adding 5 ft. extension on west side to within 13 ft. 4 inches (15 ft. required) of west side line. Mr. Zeiss

20.

No. 27 Hillside Lot Construction

James E. Egger, Winding Way (72-091-08) Acre Zone. Construction of house on lot having an average slope in excess of 30%.

Mr. Hoffman reported that the drainage plan has been submitted and studied and he recommended granting the request, subject to 12 conditions, so that the water meter will not expire on October 1st. Mr. Jones moved granting the request, subject to the following:

1. All foundations to be extended and keyed into solid rock.
2. Soils report to include data on location of solid rock strata where foundations are to be placed prior to foundation design.
3. Study to be made of driveway approach to determine practical width.
4. Provision to be made for controlled disposal of water collected behind upslope retaining walls.
5. Landscaping plan to be provided, containing means of preventing slope erosion.
6. Relief drain to be furnished so garage flooding does not occur if driveway drain gets plugged.
7. All drainage from impervious surfaces to be tied into main downslope drain, including that from roof.
8. Main drain downslope to be at least 6".
9. Main drain to be placed underground and trench above pipe backfilled with grouted rip rap.
10. Satisfactory detail furnished, showing proper disposal of water onto Winding Way.
11. Proper disposal of subsurface water from behind retaining walls to be shown.
12. Applicant's engineer to inspect and certify completion of all above conditions.

Mr. Maginis seconded the motion, which was unanimously passed.

21.

Encroachment Request to Build Six Foot Rock Wall on Town Property at end of Woodside Way.

Following presentation of plans by Stephen Lowe and Phillip Paisley, Mr. Jones moved approval of construction plans as submitted, subject to approval by Town staff. Mr. Chase seconded the motion, which was unanimously passed.

7-18-74.

9. Variances.

1. Variance No. 423 Mr. and Mrs. Arthur W. Morford, 74 Wellington Avenue (72-121-12, 34 & 35) 10,000 sq. ft. zone.

Enclosure of existing deck to form new living room, extension of southwest wall to enlarge dining room, addition of deck surface on top of new construction and relocation of front entrance. Non-conforming house 18'8" from front property line.

Mr. Morford explained that the new deck will provide much needed sunlight and that the construction will correct many deficiencies. Mr. Jones moved granting the variance, Mr. Chase seconded the motion and it was unanimously passed.

2. Variance No. 424 Mr. David L. Peterson, 88 Baywood (72-131-15) Acre Zone.
Construction of deck 25' from rear property line. Mr. Peterson reported that the Hanson-Peterson parcel map was recorded on August 13, 1974. On motion by Mr. Chase, seconded by Mr. Jones, Variance No. 424 was unanimously granted.

3. Variance No. 425 Phillip and Carol Paisley, 52 Woodside Way (73-251-04) 6,000 sq. ft. zone.
Construction of deck on front of non-conforming house 8'15" from north sideline, 14'15" from rear property line.

Mr. Paisley explained that the deck is needed because on a lot of almost one acre, there is less than 1200 square feet of level ground. A variance for the deck was granted to the former owner, who did not use it. On motion by Mrs. Osterloh, seconded by Mr. Jones, variance No. 425 was unanimously granted.

4. Variance No. 426 Louis Bartolucci, 8 Norwood (73-091-40) 10,000 sq. ft. zone.
Coverage of 16' x 8' pool equipment 4' from property sideline.

Mrs. Bartolucci explained that the pool equipment was placed in its present location because it is hidden by hydrangeas. They hope to use the structure for storage, in addition to covering the equipment. Mr. Jones moved granting the variance for a structure not to exceed 6 feet.

Mr. Chase seconded the motion, which was unanimously passed.

9-12-79

Mayor Goodman said he did not see anything in the previous minutes about the property being split in two by the creek and that the applicants do not get full use and enjoyment of their property. He felt this should be in the findings. Town Planner Broad felt that at minimum there should be a five-foot separation between the common property line with the parcel to the west.

Concilmember Reid moved approval with the findings in the staff report and the following conditions:

- a. Revised plans shall be submitted for staff review and approval prior to the issuance of a building permit. The deck shall be redesigned to provide a five-foot minimum setback from the side property line.
 - b. A landscape plan for the area between the deck and west side yard property line shall be submitted for staff review and approval prior to project final. Landscape screening shall be provided along the common property line within three months of deck completion. The Council reserves the right to request further landscaping.
 - c. Any new exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
 - d. The decks may not be roofed nor further enclosed without Town approval. The decks may not be "traded-off" to allow additional interior building construction.
 - e. No additional decks may be constructed.
 - f. A local alarm shall be provided as required by the Building Department.
 - g. No changes from the Council approved plans shall be permitted without prior approval of the Town of Ross.
- This was seconded by Councilmember Brown and passed with four affirmative votes. Councilmember Barry voted against.

24. DESIGN REVIEW AND VARIANCE.

Bob Cameron and Flora Sun, 26 Woodside Avenue, AP 73-256-28, R-1:B-6 (Single Family Residence, 6,000 sq. ft. minimum)
Variance and design review to allow the construction of a two-story addition to an existing residence. The 2,360 square foot addition will include 2-covered parking spaces, two bedrooms and a bath, a mudroom/entry/sitting area and an enclosed walkway to the existing house.

Lot Area	26,403 sq. ft.
Present Lot Coverage	8.8%
Proposed Lot Coverage	14.3% (20% permitted)
Present Floor Area Ratio	10.7%
Proposed Floor Area Ratio	19.6% (20% permitted)

The existing residence is nonconforming in rear and side yard setback. No covered parking is currently provided on-site (one space required.)

Councilmember Brown moved approval with the findings in the staff report and the following conditions:

1. A landscape plan shall be submitted to Town staff prior to building final. The Town Council reserves the right to require landscape screening for up to two years from project final.
2. New exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
3. Any recommendations of the Town Arborist to ensure the preservation and protection of trees proximate to grading/construction shall be incorporated into the final building plans.

4. The decks may not be roofed nor further enclosed without Town approval. The floor area resulting from the decks may not be "traded-off" to allow additional interior building construction.
5. All dead or dying flammable materials shall be removed and cleared as per Ross Municipal Code Chapter 12.12, subject to Ross Public Safety Department approval. A smoke detector shall be provided as required by the Building Department.
6. No changes from the Council approved plans shall be permitted without prior approval of the Town of Ross.
7. The drainage pipe crossing the driveway shall be replaced with a new inlet structure subject to the approval of the Town Building Official.

This was seconded by Councilmember Reid and passed unanimously.

26. Other Business.

a. Use Permits Granted to 7 Redwood Drive, AP 73-272-16.

Mayor Goodman explained that on March 10, 1994, a use permit was granted to Mr. Lord for 7 Redwood Drive. One of the conditions of approval was that the parking lot at No. 9 Redwood be used for the tenants at 7 Redwood. He said that this was a very clear condition. However, it has now come to his attention that Mr. Lord is renting those parking spaces to Hollywood Films. In turn, the movie company is providing the tenants parking spaces in the lot by the Post Office.

Councilmember Brown said that all the neighbors signed a letter of agreement as to this arrangement.

Mayor Goodman said that the use permit takes precedence and it should not be used by the movie company. He said that if Mr. Lord received money, he should return it.

Councilmember Brown said that Mr. Lord knew she was against his renting the lot to the movie company and he told her that he needed the rental money to do the required work on the sidewalks. Councilmember Brown added that all the homes on Redwood are allowing the movie company to use their driveways and she understood that they are all being paid by the movie company.

Councilmember Reid said that Mr. Lord should have come before the Council and requested a month's reprieve and he should have told the Council that any money received would be used for the improvement of the property.

Mrs. Garril Page of Shady Lane felt that there was no way Mr. Lord could not have understood the Council's direction when approving the use permit.

Councilmember Scott asked if all the other neighbors should have obtained use permits to allow the parking of trucks on their properties.

Mr. Broad responded that staging for a film crew is in violation of the C-L District uses and technically is not allowed in the residential section either.

Councilmember Reid said that a letter should be sent stating that it is the Town's understanding that Mr. Lord has violated his agreement by renting to the movie company and advise him that he is in violation of his use permit.

There was further discussion and Mr. Broad explained that Town Code requires that the applicant be notified in writing ten days prior to the hearing at which the matter is to be heard.

just "old" but the structure should have intrinsic historic value. He asked how one would determine if he/she had a historic residence.

Mr. Elias said that staff would submit this information at the next meeting. Mr. Elias further said that Federal Standards would also be included.

There was a question from the audience as to whether this would have tax implications and if the structure would be exempt.

Ms. A. Phifer of Woodside Drive said that she felt very sad when she walked by the Glenwood Avenue home and saw it being demolished.

Councilmember Curtiss responded that the Council looked at this project very carefully. He said that the interior of the structure had been abused and half of the building was built as a rooming house.

Councilmember Gray said that there are many houses in Town that need to be renovated and he felt that Council should make it easier to rehabilitate the homes. He said that this particular home on Glenwood had many problems.

Councilmember Gray moved that this matter be placed on next month's agenda and that the Council sitting as a Planning Commission consider whether the Council should adopt this ordinance.

This was seconded by Councilmember Curtiss.

Councilmember Gray wondered if a house is deemed historic, does this limit what the owner can do? Even if his next door neighbor just missed the deadline by a couple of years? Does it effect his property value?

Town Planner Broad said that these standards would be incorporated into the Design Review and Demolition ordinances. Mayor Reid called for a vote, the motion passed unanimously.

17. USE PERMIT.

Dallas Saunders (tenant); Vito and Sonia Badalamenti (owner) 27 Ross Common (2nd floor), AP 73-273-09, Local Commercial Graphic design office in 1,300 square feet of tenant space. Two employees and two to three part-time employees working different days, one at a time. Office hours will be Monday to Friday from 9 a.m. to 5 p.m. with occasional Saturday hours. This space will also be used as a showroom and art gallery with eight Sunday openings annually from 1 to 4 p.m. Two to four clients are anticipated each day.

USE PERMIT NO. 224. Councilmember Gray moved approval with the findings in the staff report and the condition that a business license be obtained from the Town of Ross.

This was seconded by Councilmember Curtiss and passed unanimously.

Councilmember Gray asked staff to get information from Mr. Lord concerning his commercial properties, prior to his receiving any further use permits. Mayor Reid said that if there is no response, Mr. Elias should draft a letter for the Mayor's signature.

18. DESIGN REVIEW AND VARIANCE.

Bob Cameron and Flora Sun, 26 Woodside Avenue, AP 73-251-05, R-1:B-6 (Single Family Residence, 6,000 sq. ft. minimum). Variance and design review to allow the construction of a two-story addition to an existing residence. The 2,360 square foot addition will include 2-covered parking spaces, two bedrooms and a bath, a mudroom/entry/sitting area and an enclosed walkway to the existing house.

Lot Area	26,403 sq. ft.	
Present Lot Coverage	8.8%	
Proposed Lot Coverage	14.3%	(20% permitted)
Present Floor Area Ratio	10.7%	
Proposed Floor Area Ratio	19.6%	(20% permitted)

The existing residence is nonconforming in rear and side yard setback. No covered parking is currently provided on-site (one space required.) The Council previously approved this project in September, 1995. The approval expired because construction did not begin within one year.

Town Planner Broad explained that this issue came before the Council and was approved in 1995 with seven conditions; however, the variance expired.

Mr. J. Wilcox of 21 Woodside said he lived right across the street and was not aware of the conditions of approval. Mr. Broad read the conditions and said that he would recommend that additional landscape planting include screening of decks in front of the residence be an added condition.

Mr. Wilcox said that the conditions did address some of his concerns but there have been changes in circumstances. He said that trees have been cut making the structure more visible, whereas previously the house was screened. He was concerned that the landscaping would not screen the decks, that there is a fire hazard, the flood lights would be directed to his home, soil on his property, construction vehicles breaking up the road, parking on Madrona, use of his and the Tully driveway, and windows facing his property. He felt that the plans presented a massive building.

Councilmember Curtiss said that he would like to hear all the neighbors concerns.

Mayor Pro Tempore Brown expressed disappointment that the neighbors had not contacted the Council prior to the meeting. She said she was not aware of any neighborhood concerns.

Mr. Wilcox replied that the circumstances have changed.

Mr. T. Nowell said that he did not receive a notice for the original hearing. He said he was not contiguous but that the proposed plans would have a major impact on his property. The clerk reported that the records showed that Mr. Nowell was sent a notice for both hearings.

Mayor Reid said that in light of the neighborhood concerns he felt the issue should be continued.

Councilmember Goodman also expressed disappointment that he had not been notified of any concerns. He said that there were no objections expressed at the original hearing so he did not review the property for this hearing.

Ms. Sun objected to the continuance. She said that had she known about the concerns, she would have met with the neighbors. She said she met with Mr. & Mrs. Wilcox but they cannot meet all their concern.

Councilmember Gray expressed concern over the adjoining property on the hillside and possible slides. He asked that staff review the property as soon as possible. He added that the parking on Madrona is a separate issue and should not be part of this application.

Councilmember Goodman moved to continue the matter and that the renoticing fee be waived, seconded by Mayor Pro Tempore Brown and passed unanimously.

Mr. Wilcox asked that storey poles be installed.

Ms. Suzanne Phifer offered to arrange the neighborhood meeting. She added that the house was not visible prior to the removal of the trees.

Mrs. Yoder said that she would set a neighborhood meeting concerning the parking on Madrona.

19. VARIANCE.

Peter and Susan Chase, 22 Allen Avenue, AP 73-241-11, R-1:B-7.5 (Single Family Residence, 7,500 sq. ft. minimum). Variance to allow after-the-fact approval for a 10 foot X 19 foot free-standing trellis encroaching four feet into the required rear yard setback (40 feet required, 36 feet proposed) which replaced a shed.

ATTACHMENT 5

MINUTES
Meeting of the
Ross Advisory Design Review Group
*****EXCERPT*****

Tuesday, March 22, 2016

Alexandrov Residence (Application No. 2016-14) – 26 Woodside Way

Planning Manager Scoble provided a summary of the project. Project architect Maria Barima and property owner Valentin Alexandrov provided a presentation to the ADR.

Jim and Joanne Wilcox, 21 Woodside Way stated that they were concerned regarding the removal of trees, the architectural design of the project, light pollution and glare onto their property, and construction staging.

EF Patterson, 28 Woodside Way echoed the Wilcox's concerns and was concerned with the structural integrity of the existing foundation.

The ADR unanimously agreed that the project was over designed, had no unifying composition, was proposed with too many materials, had too many roof angles, and too many types of windows. The ADR recommended the following:

- Simplify the overall building design, including the amount of roof angles
- Reduce and simply the amount of building materials
- Soften the building elevation design from the street, such as reducing the amount of windows
- Trim back the deep overhangs
- Incorporate garage and garage door into the design of the residence

MINUTES
Meeting of the
Ross Advisory Design Review Group
Tuesday, May 24, 2016
*****EXCERPT*****

6:08 p.m. Commencement

Mark Kruttschnitt, Chair, called the meeting to order. Jim Kemp, Joey Buckingham, Peter Nelson, Eric Soiffer, Stephen Sutro, and Dan Winey were present. Heidi Scoble was present representing staff.

Alexandrov Residence (Application No. 2016-14) – 26 Woodside Way

Planning Manager Scoble provided a summary of the project. Project architect Maria Barima and property owner Valentin Alexandrov provided a presentation to the ADR.

Although the project had been slightly redesigned, the ADR unanimously agreed that the project was still over designed, had no unifying composition, was proposed with too many materials, had too many roof angles, and too many types of windows. The ADR recommended the following:

- Simplify and consolidate the overall building design, including the amount of roof angles
- Consolidate the roof into a single hip roof
- Provide a more simple and cohesive building form
- Simplify the window patterns
- Reduce and simplify the amount of building materials

Jim Wilcox, 21 Woodside Way, stated that he liked the garage, the gradual increase of the building's mass and scale. Mr. Wilcox stated concern regarding light pollution and that he prefers shingles.

In order to keep the project moving forward, ADR Group members Winey and Kemp volunteered to work with the applicant's to address the design items raised by the ADR.

ATTACHMENT 6

RECEIVED
Planning Department

AUG 22 2016

Town of Ross



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Phone (415) 453-1453, Ext. 121 Fax (415) 453-1950

Web www.townofross.org

Email esemonian@townofross.org

NEIGHBOR ACKNOWLEDGEMENT FORM

Written acknowledgement of the proposed development is required from the owners, lessees, and occupants of all abutting property, including property across any street, lane or roadway.

Project Address and Assessor's Parcel No. 26 Woodside Way, Ross, CA
Owner(s) of Parcel 073-251-05 | 94957,
Architect (Or applicant if not owner) Valentin Alexandrov

I am a neighbor of the project site identified above. The applicant has reviewed the project plans with me and I understand the scope of work. My signature below indicates that I am aware of the project and does not constitute approval or disapproval of the project.

Note: the information on this form will become part of the public record for this project and providing personal information is optional.

Jim + Joanne Wilcox
Neighbor Name(s)

Jim A Wilcox
Neighbor Signature(s)

August 18, 2016
Date

21 Woodside Way, PO Box 1382
Neighbor Address

415-456-7656 ja.wilcox@comcast.net
Neighbor Phone Number and Email jt.wilcox@comcast.net

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105