



Agenda Item No. 4A

Staff Report

Date: January 17, 2023
To: Advisory Design Review Group
From: Rebecca Markwick, Planning and Building Director
Subject: 28 Walnut Avenue

Summary Recommendation

The applicant is requesting approval of Demolition, Design Review, Nonconformity Permit and an Accessory Dwelling Unit (ADU) to remodel and renovate an existing home. The project includes remodeling and a renovation of the existing single-family home, removing the office and deck in the side yard setback, replacing the various roof structures with one coherent roof design, and demolition of the carport at Walnut Avenue. The ADU permit is required to exceed the allowable height and size. New landscaping and hardscape is also being proposed throughout the property. Staff recommends that the ADR Group provide a formal recommendation to the Town Council regarding the merits of the project consistent with the Design Review criteria and standards of RMC Section 18.41.100 (see **Attachment 1**).

Project Information

Property Address: 28 Walnut Avenue
A.P.N.: 073-171-03
Applicant: Bressack and Wasserman Architects
Property Owner: John and Gabrielle Bressack Gantus
Zoning: R-1:B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Moderate Risk)

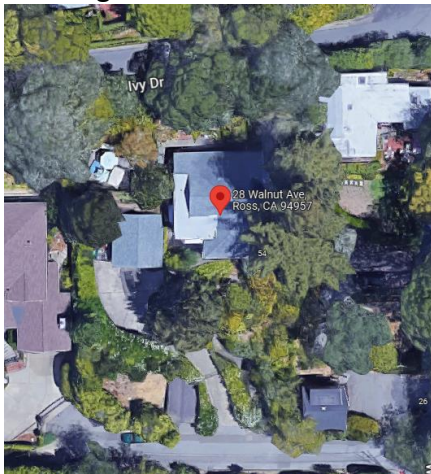
Project Data

Project Item	Code Standard	Existing	Proposed
Lot Area	10,000 SF	14,301 SF	No change
Floor Area	2,860 SF (20%)	2,709 SF (19%)	2,799 (20%) SF (939 SF ADU)
Building Coverage	20% (2,860 SF)	2,194 SF (15%)	2,025 SF (14%)
Front Yard Setback (Street)	25'	86'5"	80'0"
Side Yard Setback (Left)	15'	17'11"	No Change
Side Yard Setback (Right)	15'	12'9"	16'3"
Rear Yard Setback	40'	26'9"	No Change
Building Height	30'	20'	24'
Off-street Parking Spaces	4 (2 covered)	5 (3 Covered)	8 Covered
Impervious Surfaces	Minimize and/or reduce *	7,519 SF	6,858 SF

*Impervious coverage guideline per Low Impact Development (LID) for Stormwater Management, Design Review criteria and standards, RMC Section 18.41.100 (t).

Background

The project site is located off Lagunitas Road. The property is a large lot, far exceeding the 10,000 square foot minimum lot size. The lot is a flat lot in the "X" flood zone, which is minimal risk for flooding.



Project Description

The project proposes to remodel and renovate the existing home. The project includes an extensive renovation to modernize the existing home. The project proposes painted shingles in grey with white trim, a new roof and new lighting. The project includes removing the existing deck and office located in the side yard setback, remodeling the primary suite, kitchen and bathrooms, and replace the different roof styles with one cohesive roof style. There is a small garage at the street, that is proposed to be demolished, however the retaining walls will remain, to preserve the parking space. The existing garage on the property will be renovated and enlarged and an accessory dwelling unit (ADU) is proposed above the garage and will be connected to the home. The existing landscaping and hardscape is proposed to be renovated and replanted. A new auto gate, new paths, a new concrete driveway apron and patios are proposed throughout the property. Additionally, new landscaping is also proposed throughout the property. A new fence is proposed to screen the parking space at the front of the property. A new stone pillar with the address is proposed at the front too.

The architect has provided a thorough project description that is included in attachment 3.

The proposed project is subject to the following permit approvals:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for new buildings exceeding 200 square feet of new floor area; fences and gates greater than 48" in height adjacent to the street right-of-way; retaining walls greater than 48" in height; an activity or project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscaping over 2,500 square feet.
- **ADU Permit is required pursuant to RMC Section 18.42.030** to construct a new ADU.
- **Demolition Permit is required pursuant to RMC Section 18.50.020** to demolish an existing dwelling.

Discussion

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and

condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per Ross Municipal Code (RMC) Section 18.41.100 are included as **Attachment 1**.

Public Comment

At the time of finalization of the report, no public comments have been received. The applicant has provided a spreadsheet with comments from neighbors that they reached out to, included as part of attachment 3. Many of the comments consisted of landscape suggestions which the applicants have addressed in their plans.

Attachments

1. RMC Section 18.41.100, Design Review Criteria and Standards
2. Project Plans
3. Project Application and Materials.

ROLE OF THE ADVISORY DESIGN REVIEW GROUP:

The Advisory Design Review (ADR) Group considers and makes formal recommendations to the Town Planner and Town Council on applications and matters affecting the design of buildings, structures, landscaping, and other site improvements consistent with the purpose of Ross Municipal Code (RMC) Chapter 18.41, Design Review. The ADR Group makes non-binding advisory recommendations regarding consistency of applications with the Design Review criteria and standards per RMC Section 18.41.100.

ATTACHMENT 1

Chapter 18.41

DESIGN REVIEW

Sections:

18.41.010	Purpose.
18.41.020	Improvements subject to design review.
18.41.030	Chapter application.
18.41.040	Submittal requirements.
18.41.050	Review authority.
18.41.060	Town Council review.
18.41.070	Approval--Special conditions and findings.
18.41.080	Denial of incomplete or inactive applications.
18.41.090	Administrative review.
18.41.100	Design review criteria and standards.
18.41.110	Noncompliance.
18.41.120	Emergency situations.

18.41.010 Purpose. (a) The “small town” feel and the serene, quiet character of its neighborhoods are special qualities to the town. The existing scale and quality of architecture, the low density of development, the open and tree-covered hills, winding creeks and graciously landscaped streets and yards contribute to this ambience and to the beauty of a community in which the man-made and natural environment co-exist in harmony.

(b) This chapter is intended to guide new development to preserve and enhance these special qualities of Ross and to sustain the beauty of the town’s environment. Other specific purposes include the following:

(1) Provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area. Promote high-quality design that enhances the community, is consistent with the scale and quality of existing development and is harmoniously integrated with the natural environment;

(2) Preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town’s neighborhoods through maintaining historic design character and scale, preserving natural features, minimizing overbuilding of existing lots and retaining densities consistent with existing development in Ross and in the surrounding area;

(3) Preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety. Ensure that site design and intensity recognize site constraints and resources, preserve natural landforms and existing vegetation, and prevent excessive and unsightly hillside grading;

(4) Enhance important community entryways, local travel corridors and the area in which the project is located;

(5) Promote and implement the design goals, policies and criteria of the Ross general plan;

(6) Discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression;

(7) Preserve buildings and areas with historic or aesthetic value and maintain the historic character and scale. Ensure that new construction respects and is compatible with historic character and architecture both within the site and neighborhood;

(8) Upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site.

(9) Preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development to reduce flooding, streambank erosion, sediment in stormwater drainage systems and creeks, and minimize damage to public and private facilities. Ensure that existing site features that naturally aid in stormwater management are protected and enhanced. Recognize that every site is in a watershed and stormwater management is important on both small and large sites to improve stormwater quality and reduce overall runoff.

(c) This chapter establishes procedures and criteria for the review of buildings, structures and improvements necessary to meet this purpose. (Ord. 619 (part), 2010; Ord. 514 §1(part), 1993).

18.41.020 Improvements subject to design review.

(a) Design review is required for the following projects:

(1) All new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area, including enclosing existing open areas.

(2) All building relocations.

(3) Any increase to the existing roof height.

(4) All fences, gates or walls, or a combination of these, greater than forty-eight inches in height in any yard adjacent to the street or right-of-way.

(5) The construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.

(6) New retaining walls with a cumulative total of more than one hundred linear feet.

(7) Any sports court fences over 6 feet in height and for gate columns and other decorative fence elements that exceed the permitted fence height limits.

(8) Any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, as determined by the Planner.

(9) Any activity or project resulting in more than fifty cubic yards of grading or filling, whether or not a building permit is required.

(10) Any construction, improvements, grading/filling or other site work within twenty-five feet of a creek, waterway or drainageway, whether or not a building permit is required with the exception of creek projects in accordance with Section 18.41.020(b)(4) of this Code.

(11) Any project resulting in over 1,000 square feet of new impervious landscape surface, whether or not a building permit is required.

(12) Redevelopment, Rehabilitation, and/or renovation of existing landscaping over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood, whether or not a building permit is required.

(b) Design Review is not required for the following:

(1) Repainting existing structures involving no exterior remodeling resulting in additions, extensions or alterations.

(2) Accessory Dwelling Units in Accordance with Chapter 18.42 of this Code.

(3) Attic improvement permitted under Chapter 18.46 unless the project involves exterior work within twenty-five feet of a creek, waterway or drainageway, or if the attic project is associated with a larger project that requires design review.

(4) Creek stabilization and/or stream bank repair and alteration permits subject to issuance of a building permit and local, state, and federal permitting approval.

(5) Improvement of an existing basement in accordance with Chapter 18.45 of this Code.

(6) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in accordance with Section 18.41.090(d) of this Chapter. (Ord. 704 (part), 2020; Ord. 696 (part), 2019; Ord. 624 (part), 2011; Ord. 619 (part), 2010; Ord. 604 (part), 2008; Ord. 578 §7, 2003; Ord. 575 (part), 2003; Ord. 558 (part), 2001; Ord. 557 (part), 2001; Ord. 544 (part), 1999; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.030 Chapter application. No work shall be started or authorized on any matter which is subject to design review on any lot located within the town until a design review application is approved, unless written approval for the work is first given by the town planner. (Ord. 514 §1(part), 1993).

18.41.040 Submittal requirements. Every design review application shall include drawings, plans, specifications and graphic or written material as required by the town planner or town council to clearly and accurately describe the proposed work, its effect on the environment and its relationship to existing improvements. The applicant shall pay a fee as set by the town council. All drawings and plans shall show both existing and proposed elevations and clearly identify all new construction and label all materials as new or existing. A structural engineer's report on the condition of the existing structure and its ability to meet building code requirements without additional modifications shall be prepared as required by the town planner or town council. An extensive termite, dry rot damage report shall be prepared, as required by the town planner or town council, which shall not only identify areas of damage but shall explore to determine the full extent of the damage, both exposed and concealed. Complete photos and a videotape of the structure's exterior shall be provided as required by the town planner or town council. A project manager, hired by the town at the applicant's expense, shall monitor demolition/construction activity as deemed necessary by the town building official. The applicant shall submit a proposed erosion control and sediment control plan, stormwater control plan, and/or stormwater facilities operation and maintenance plan if required by chapter 12.28 of the town code. Standard submittal requirements will be prepared by the town planner. Additional material may be required by the town planner. (Ord. 657 (part), 2014; Ord. 604 (part), 2008; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.050 Review authority. The town council will conduct the design review provided for by this chapter, except as otherwise provided in this chapter. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.060 Town Council Review. Except as otherwise provided in this chapter, the town council will decide design review applications at a public meeting. The town council will review the application at its next available meeting following a determination by the town planner that the application is complete. The town clerk will mail written notice at least ten calendar days prior to the hearing to the applicant and to all owners of property within three

hundred feet from the exterior boundaries of the project site. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.070 Approval--Special conditions and findings.

(a) The town council may approve, conditionally approve or deny an application for design review. The town council shall include conditions necessary to meet the purpose of this chapter and for substantial compliance with the criteria set forth in this chapter. The council may adopt by resolution standard conditions for all projects to meet.

(b) The town council shall make the following findings in approving any project:

(1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.

(2) The project is in substantial compliance with the design criteria of Section 18.41.100.

(3) The project is consistent with the Ross general plan and zoning ordinance.

(c) The town council shall deny any project for which it cannot make the above findings required in this section. (Ord. 514 §1(part), 1993).

18.41.080 Denial of incomplete or inactive applications. Consistent with state law, the town planner may administratively deny without prejudice any application which remains incomplete or inactive for a period of greater than ninety days or is continued at the applicant's request for more than sixty days. (Ord. 514 §1(part), 1993).

18.41.090 Administrative review. The town planner may administratively approve, conditionally approve or deny the following without notice or a public hearing: (a) An amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulations. Such administrative review may include, but is not limited to, the addition of skylights, greenhouse windows and other minor changes from approved design review plans. (b) Design review of fences pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (c) An application that involves alteration of more than twenty-five percent of the exterior walls, but less than twenty-five percent of the exterior wall coverings of a residence pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (d) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in consultation with the Town's Advisory Design Review Group. (Ord. 704 (part), 2020; Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.100 Design review criteria and standards. This section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

(a) Preservation of Natural Areas and Existing Site Conditions.

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridgelines and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion.

(3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site.

There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

(c) Minimizing Bulk and Mass.

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting.

Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening.

Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a “walled-in” feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate. Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views.

Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning. Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the

same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety.

Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy.

Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations.

Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved

design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District.

The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock.

Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area.

Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) Setbacks.

All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) Low Impact Development for Stormwater Management.

Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) Maximize Permeability and Reduce Impervious Surfaces. Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are

encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

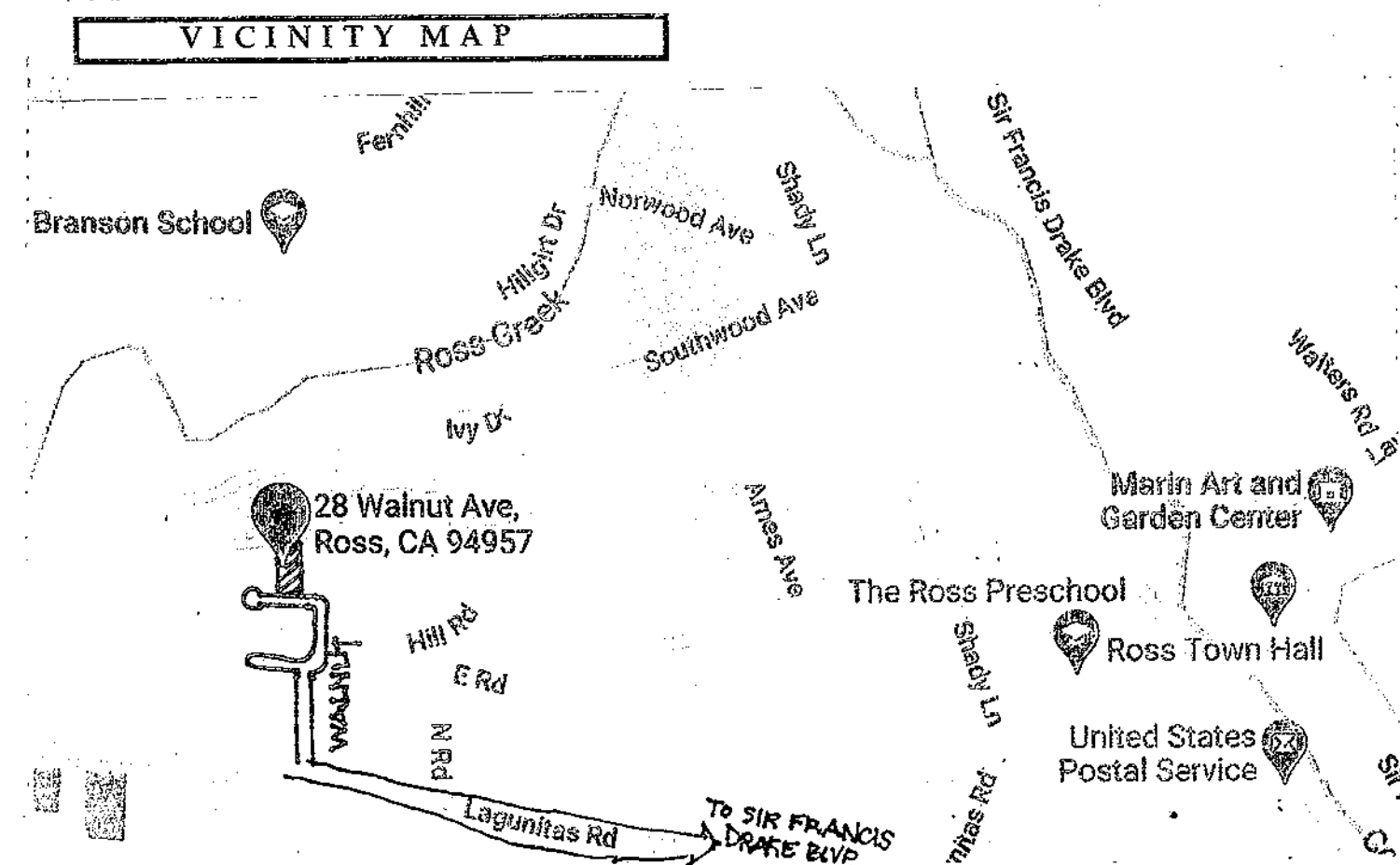
(2) Disperse Runoff On Site. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) Include Small-Scale Stormwater Controls and Storage Facilities. As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or “green roofs”, catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 696 (part), 2019; Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

18.41.110 Noncompliance. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. Such violation will be subject to the enforcement penalties procedures of Chapter 18.64 of this code. (Ord. 514 §1(part), 1993).

18.41.120 Emergency situations. If a condition exists which requires immediate action to protect public health, safety and welfare, the town building official may, after consultation with the town planner, grant emergency approval to temporarily correct or ameliorate such condition without submitting the matter to the Town Council for design review approval or posting written notice. Permanent corrective measures shall require design review approval in accordance with the provisions of this chapter. The building official and town planner may impose conditions on an emergency permit as necessary to ensure compliance with this chapter. (Ord. 514 §1(part), 1993).

ATTACHMENT 2



SCOPE OF WORK

New roof structure, remodel of kitchen, remodel of primary suite and bathroom, living room addition, new 1/2 bath, new lower level entry, lower level bedroom additions, additions to existing garage: wider garage, ADU on 2 levels.

CODES

The Work is governed by but not necessarily limited to the latest edition of the following codes and regulations:

City of Ross Municipal Code
Federal OSHA and CAL/OSHA

Applicable sections of the 2022 California Administrative Code and Safety Orders

2022 California Residential Code

2022 California Building Code

2022 California Mechanical Code

2022 California Plumbing Code

2022 California Electric Code

2022 California Fire Code

2022 California Energy Code

2022 California Green Building Code

NOTE:

THIS PROJECT IN THE WILDLAND URBAN INTERFACE ZONE SHALL COMPLY WITH 2022 CFC CHAPTER 7A AND CRC SECTION R337.

ZONING PARAMETERS

PROJECT ITEM	CODE STANDARD	EXISTING	PROPOSED
LOT AREA	R1-B10 10,000 SF	14,301 SF	NO CHANGE
FLOOR AREA	20% X 14,301SF MAX		
MAIN HOUSE	2,860 SF	2709.5 SF	2799.5 SF
ADU	800	NA	939 SF
BLDG COVERAGE	20% MAX		
MAIN HOUSE	2,860 SF	2,194 SF	
MAIN HOUSE/ADU			2024.5 SF **
** LOWER GARAGE, OFFICE, AND DECK REMOVED, ADU ADDED			
SETBACKS			
MAIN HOUSE/DETACHED GARAGE			
FRONT SETBACK	25FT	86'-5"/79'-6"	80'-0"/77'-0"
MAIN HOUSE			
REAR SETBACK	40FT	26'-9"	NO CHANGE
MAIN HOUSE			
RIGHT			
SIDE SETBACK	15FT	12'-9"	16'-3"
DETACHED GARAGE			
LEFT			
SIDE SETBACK	15FT	17'-11"	SEE ADU
ADU LEFT			
SIDE SETBACK	4FT	NA	5'-6"
BUILDING HEIGHT	30FT MAXIMUM	20 FT	24 FT
ADU HT	16 FT	NA	15 FT UPHILL 25 FT DOWNHILL
OFF STREET PARKING	4 (2 COVERED)	5 (3 COVERED)	5 (2 COVERED)
IMPERVIOUS	REDUCE OR MINIMIZE	7519 SF	6858 SF
*50% CREDIT FOR PVIOUS DRIVEWAY PAVING			

SITE WORK NOTES

- Slope finished grades a minimum of 5% for at least 5ft from building perimeter. Direct surface drainage run-off to disperse on site.
- Direct roof downspouts to approved splash blocks (24" length min.), directed away from building for positive flow towards pervious areas of the site wherever possible.
- Slope flatwork and garage slab at minimum of 5% (1/4" per ft) typical unless otherwise noted.

GENERAL NOTES

- These plans are intended to coordinate with the Specifications as part of the Contract Documents. Any reference in one and not in the other shall be executed as if in both.
- Bring any discrepancies in the Contract Documents or conflicts with the actual site conditions to the attention of the Architect before proceeding with the Work.
- Dimensions are to face of stud or face of concrete unless otherwise noted.
- Dimensions take precedence over scale drawings; large scale drawings take precedence over small scale drawings. DO NOT SCALE DRAWINGS for dimensions.
- Contractor is responsible for compliance with all applicable codes and ordinances.
- All items are NEW unless otherwise noted as EXISTING.
- Provide means furnish and install
- Exterior wall studs are 2x6, interior 2x4 unless otherwise noted

PROJECT FACTS

28 Walnut Ave Ross CA 94957

APN 073-17-103

Zoning R-1-B10

Construction type V-B

Occupancy group R-3

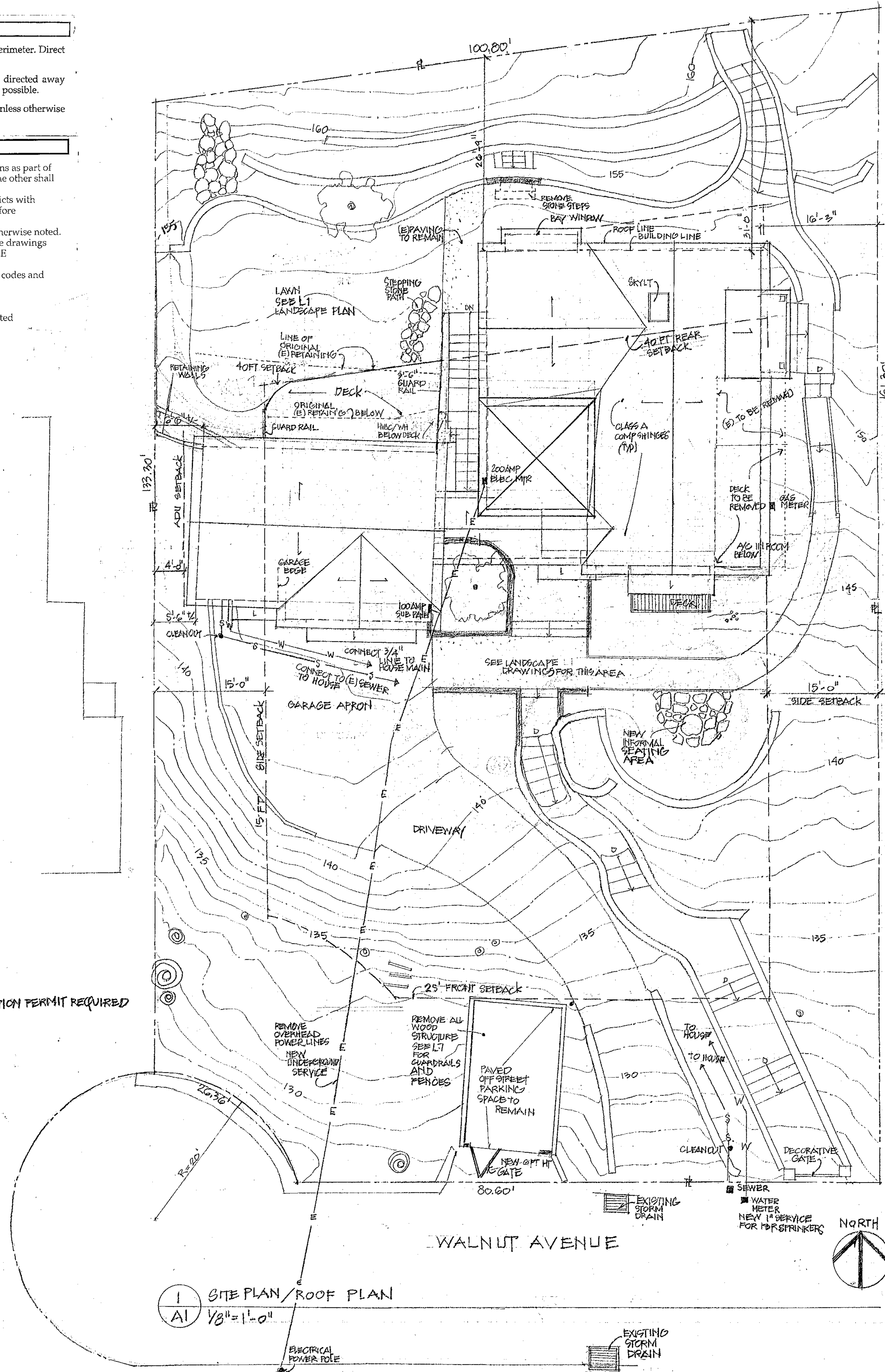
INDEX TO DRAWINGS

- A1 Roof/Site plan, Utilities, General Notes
- Abbreviations, Project Facts, Project Scope, Zoning Parameters table, Governing Codes, Vicinity Map
- A1.1 Comparative Site Plans: Existing and Proposed, Added space diagrams, RVFD A.L. METHOD APPROVAL
- A2 Lower Floor plans, Reserved for Interior Elevations
- A3 Upper floor plan, Reserved for Interior Elevations, Door and Window Schedules,
- A4 Exterior Existing and Proposed Elevations
- A5 Exterior Existing and Proposed Elevations
- A6 Exterior Existing and Proposed Elevations, Building Section
- A7 Reserved for Electrical
- A8 Reserved for Electrical
- A9 Existing lower floor plan/demolition plan
- A10 Existing upper floor plan/demolition plan
- L0.0 Landscape cover sheet and narrative
- L0.01 Existing conditions
- L1.0 Landscape site plan
- L2 Preliminary) grading & drainage plan
- L3.0 Vegetation Management plan
- L4.0 Planting plan
- L4.01 Planting images
- L5.0 Irrigation zone plan/WELO Calculations
- L6.0 Impervious surface plan
- L7.0 Fence and Gate elevations and materials
- L8.0 Outdoor landscape lighting plan
- Survey
- T24-1 Reserved for Title 24 Compliance
- GB 1 Reserved for Green Building

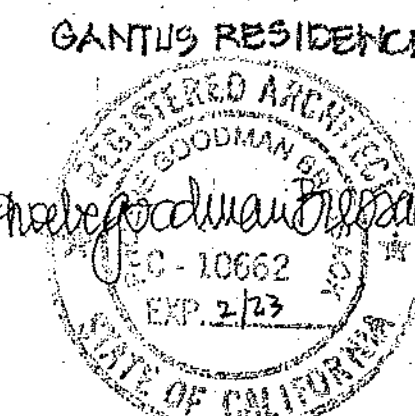
NOTES FOR RVFD

- THIS IS A SUBSTANTIAL REMODEL. DEMOLITION PERMIT REQUIRED
- 13 R SPRINKLERS ARE A DEFERRED SUBMITTAL ITEM
- FINAL INSPECTION OF VEGETATION MANAGEMENT/DEFENSIBLE SPACE AND SPRINKLER INSTALLATIONS BY RVFD REQUIRED

NOTE: TREE REMOVAL PERMIT REQUIRED



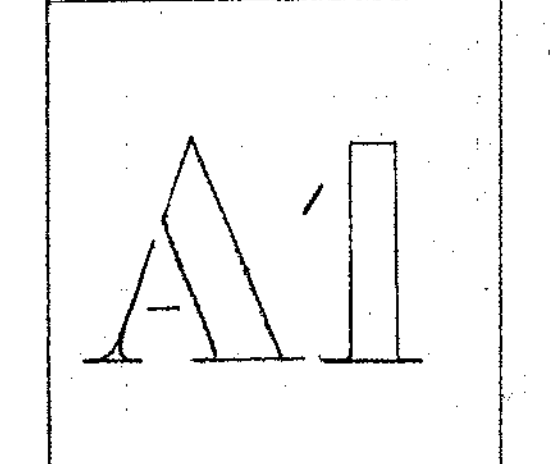
28 WALNUT AVE.
ROSS CA.

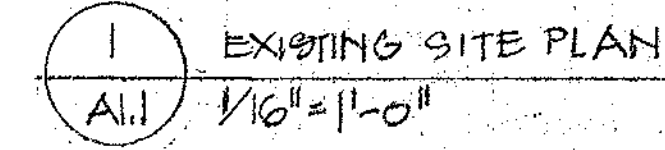
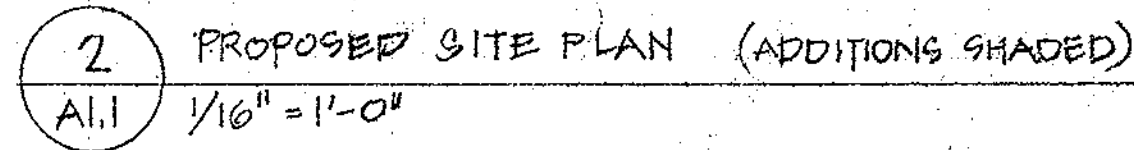
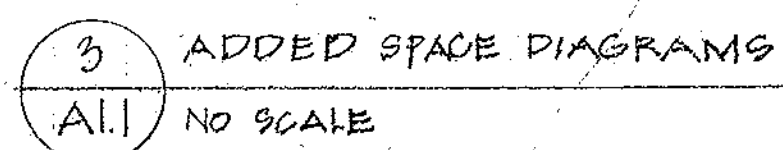


BRESSACK and WASSERMAN
ARCHITECTS
2022 ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-309-9332

SITE PLAN, ROOF PLAN,
SCHEMATIC UTILITIES PLAN,
DRAWING INDEX, SCOPE,
NOTES, CODES,
PROJECT FACTS,
ZONING PARAMETERS

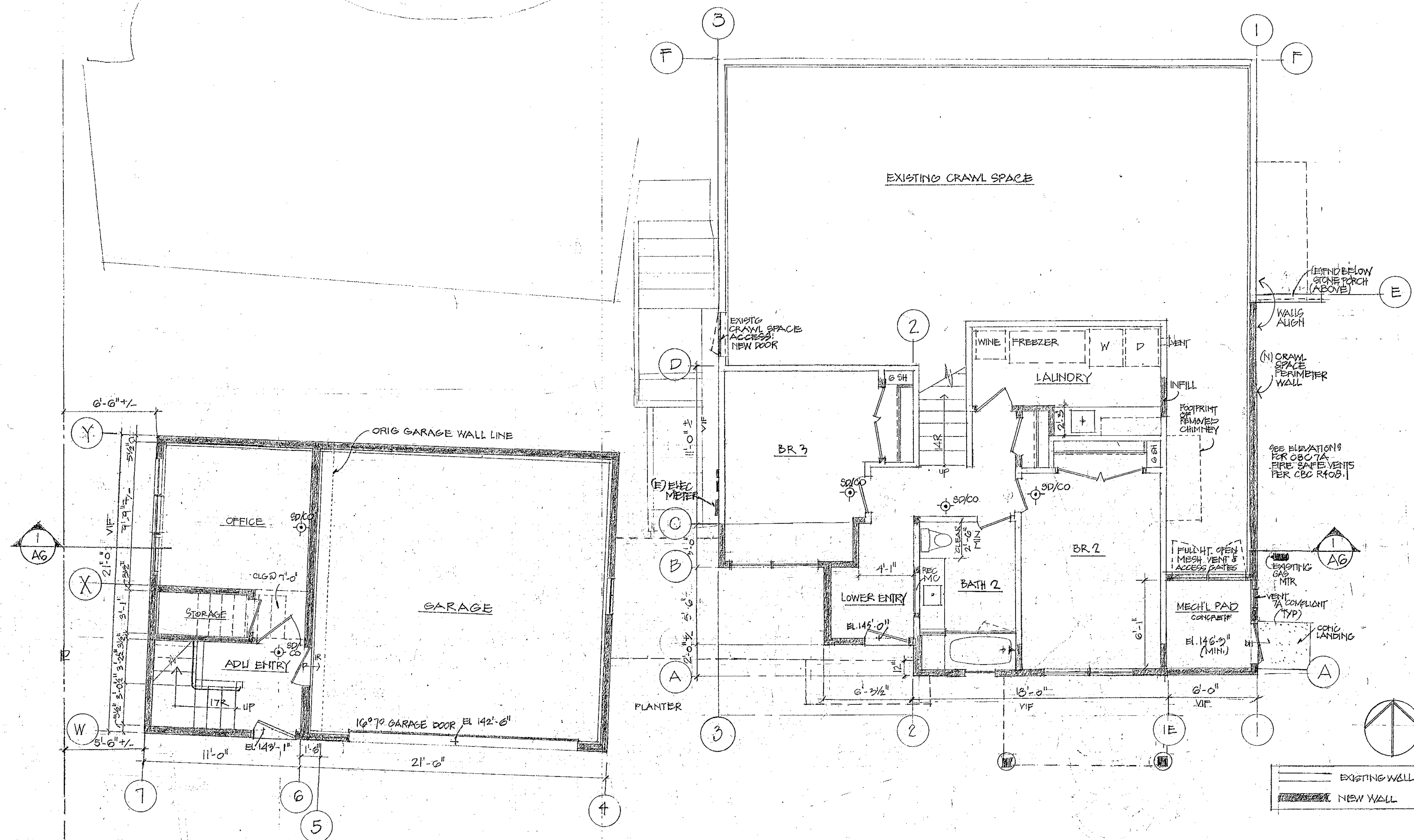
DESIGN REVIEW DEC 2022





SMOKE DETECTOR NOTES

1. Dual sensor photoelectric/ionization smoke alarms are required in all areas/rooms used for sleeping. In the immediate vicinity outside these areas/rooms, also include a CO alarm.
2. Smoke alarms installed within 20 ft. of a kitchen, bathroom, or room containing a fireplace or wood burning stove shall be of the photoelectric type.
3. Smoke alarms and carbon monoxide alarms shall receive their primary power from the building wiring, be equipped with battery back-up and be interconnected in such a manner that the activation of one alarm will activate all of the alarms.
4. For placement of smoke alarms and carbon monoxide alarms in rooms with variations in ceiling height (sloped, pitched etc.), refer to the manufacturer's guidelines for proper placement.
5. If the smoke alarms currently installed in the residence are more than 10 years old (10 years from the date of installation) they shall be replaced with new smoke alarms.



1 LOWER LEVEL PLANS
A2 1/4" = 1'-0"

28 WALNUT AVE.
TROSS CA.

GANTIS RESIDENCE



BRESSACK and WASSERMAN
ARCHITECTS
TWO ONE ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-908-9333

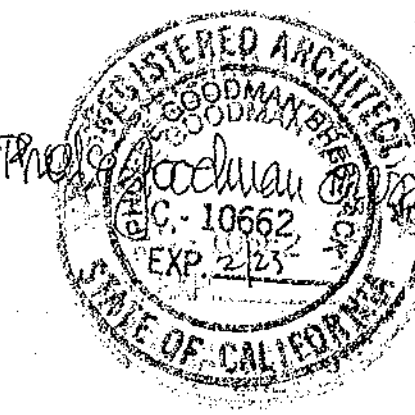
LOWER LEVEL PLAN

DESIGN REVIEW DEC 2022

A2

28 WALNUT AVE.
ROSS CA.

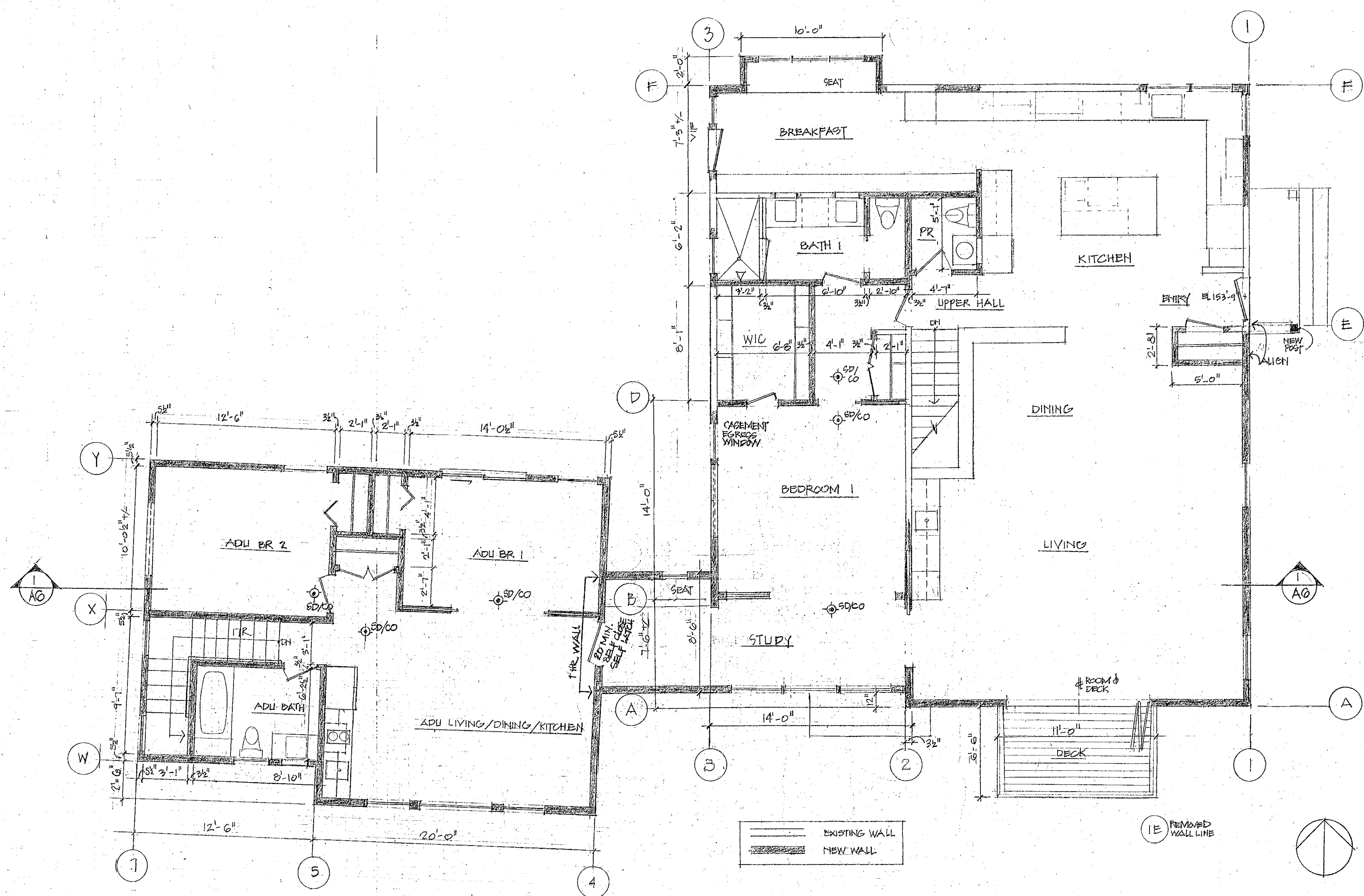
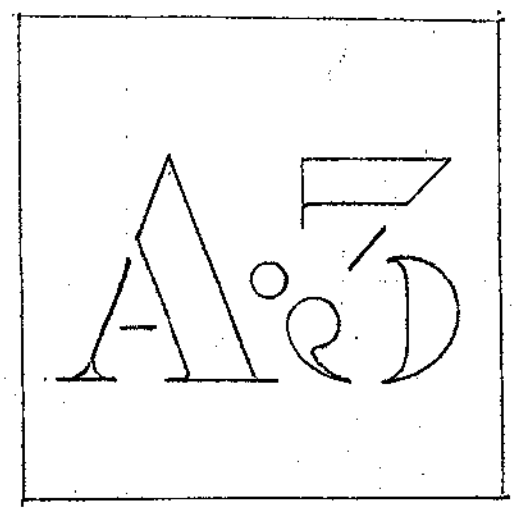
GANTUS RESIDENCE



BRESSACK and WASSERMAN
ARCHITECTS
TWO ONE ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-309-9332

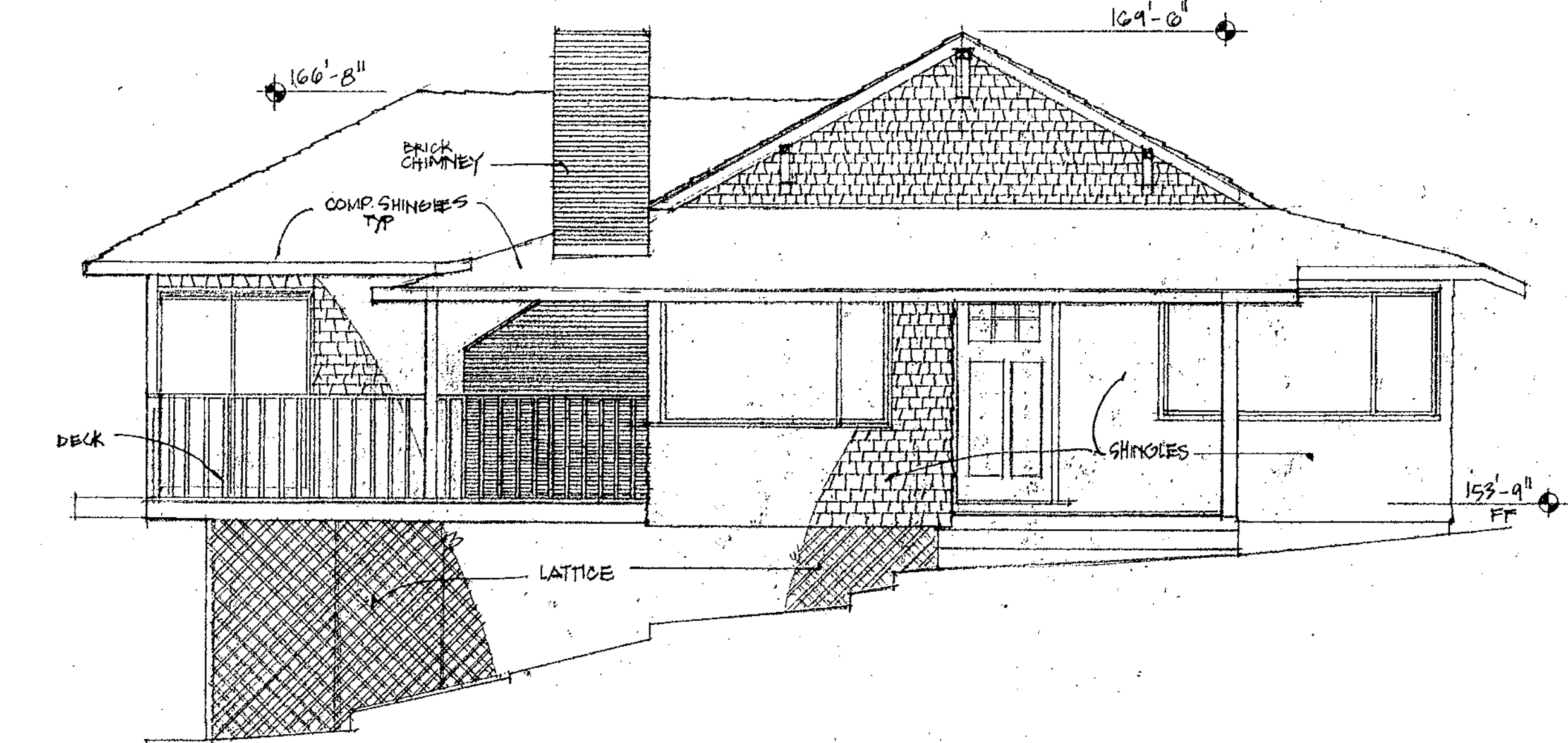
UPPER LEVEL PLAN

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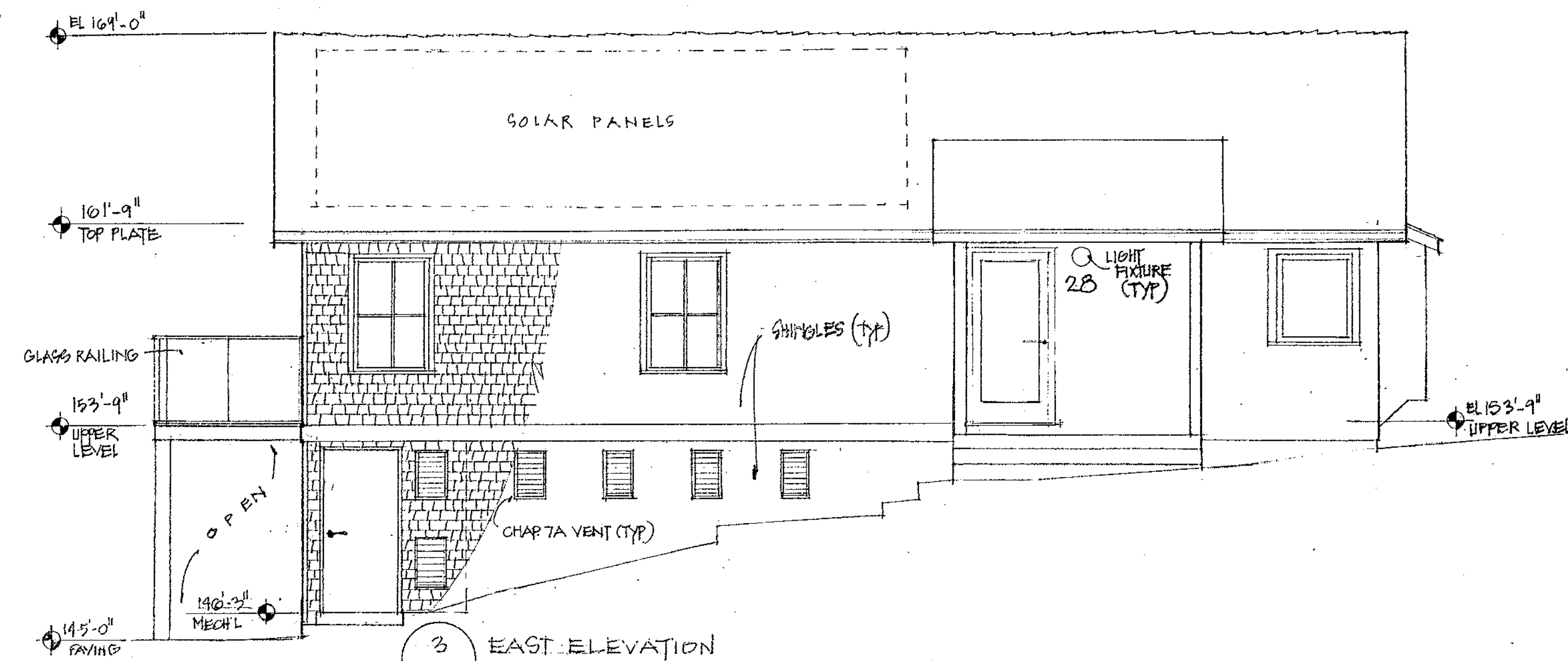


1 UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

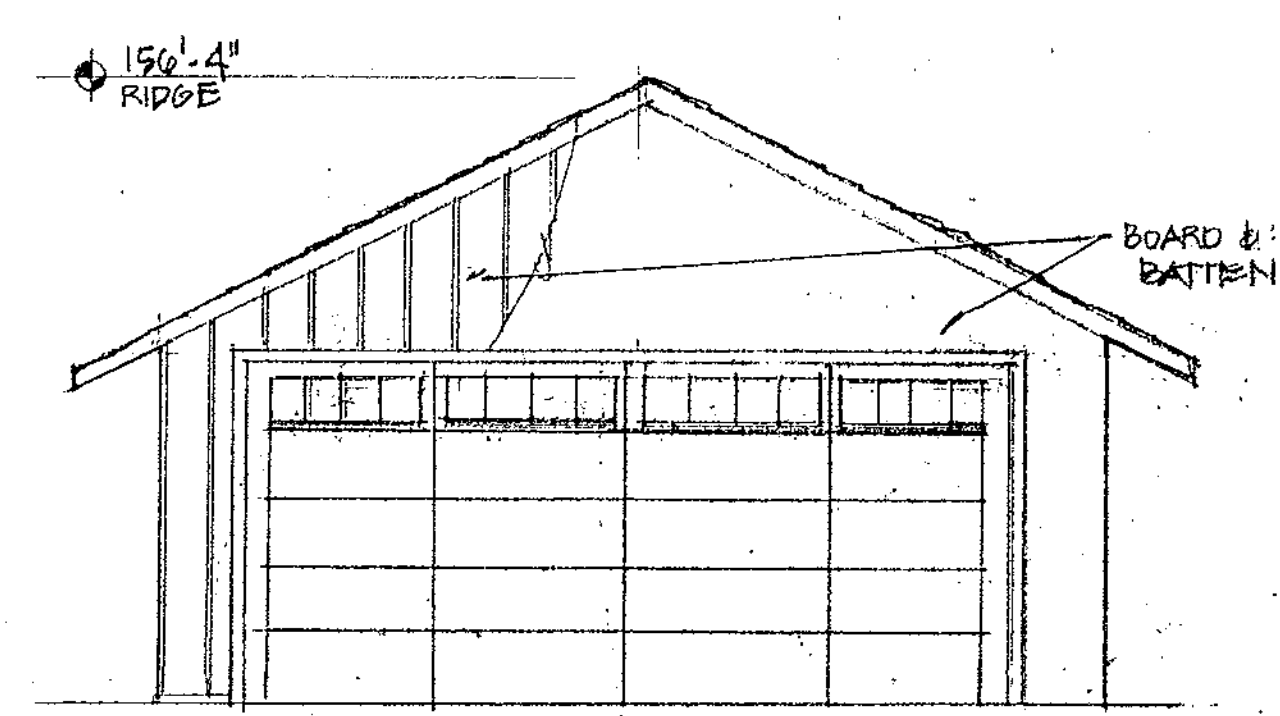
6' STUDS
24" STUDS



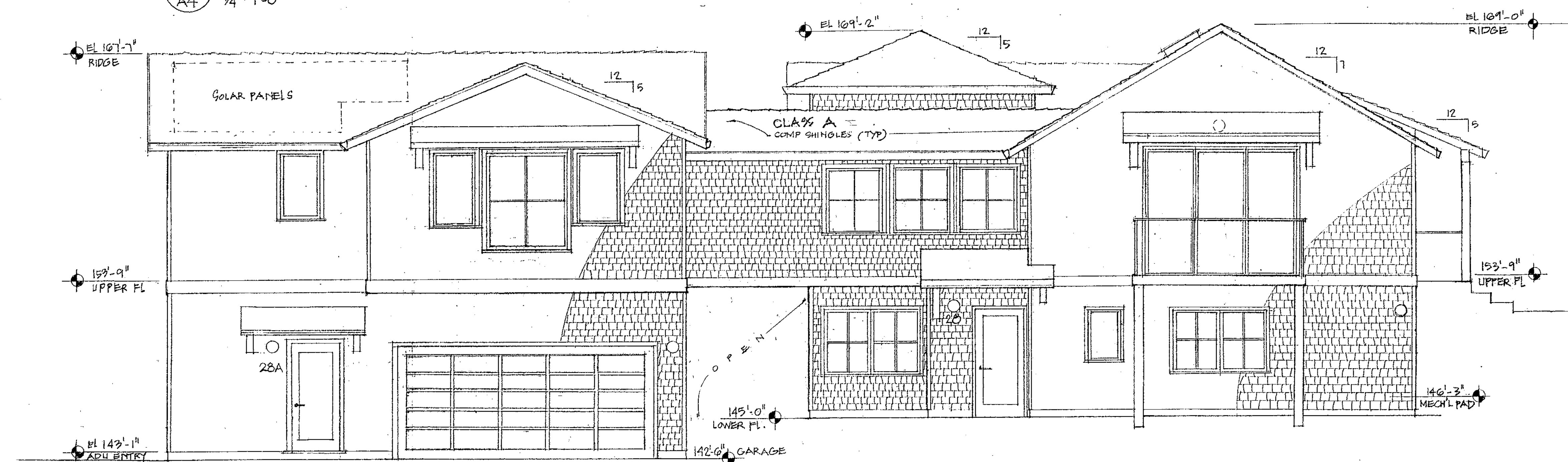
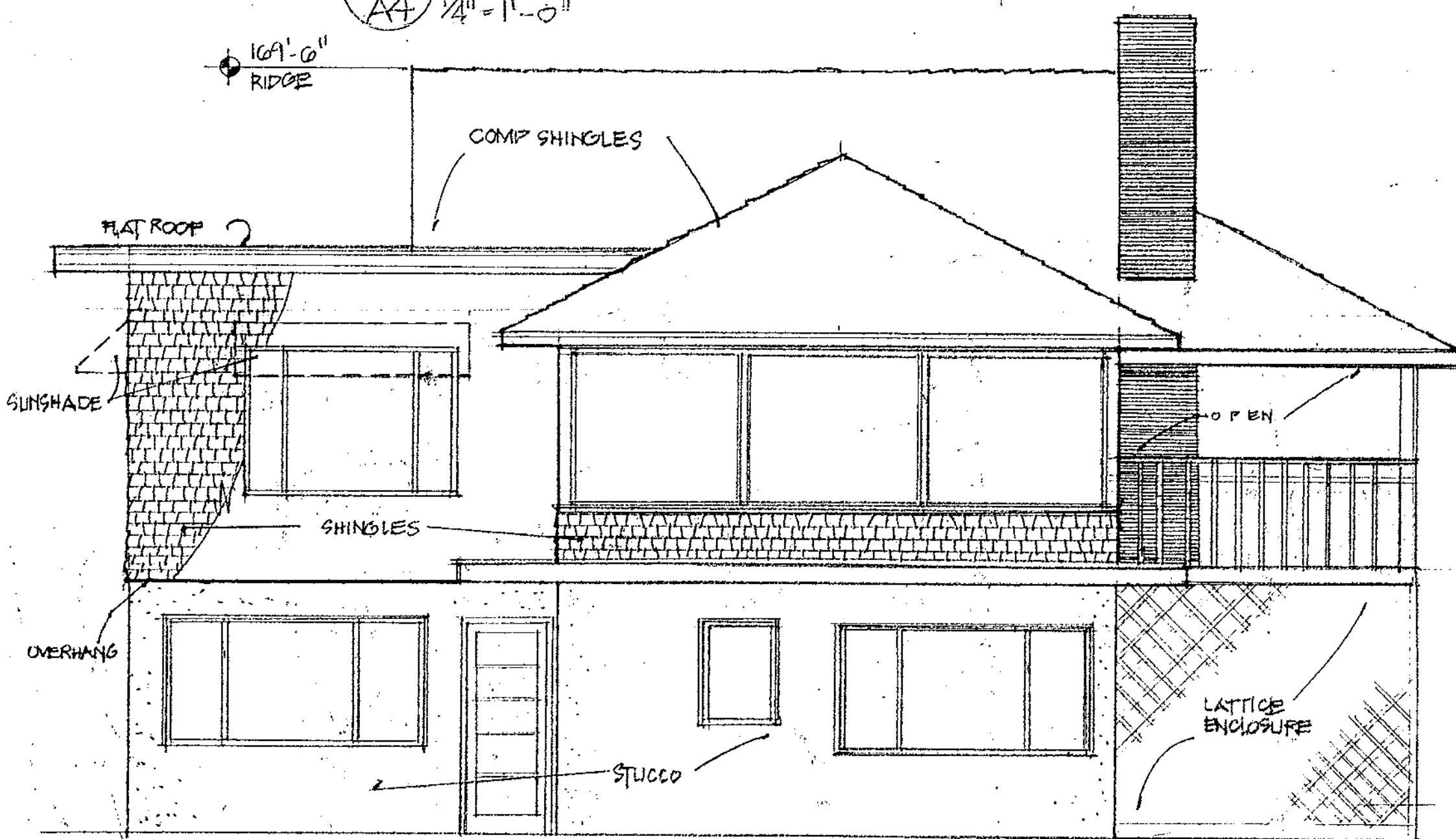
4
A4
EXISTING EAST ELEVATION
1/4" = 1'-0"



3
A4
EAST ELEVATION
1/4" = 1'-0"



2
A4
EXISTING FRONT ELEVATION (SOUTH)
1/4" = 1'-0"



1
A4
FRONT ELEVATION (SOUTH)
1/4" = 1'-0"

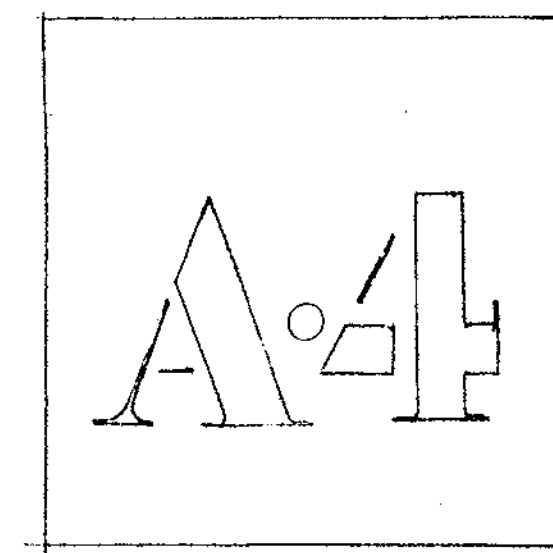
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TROSS CA.

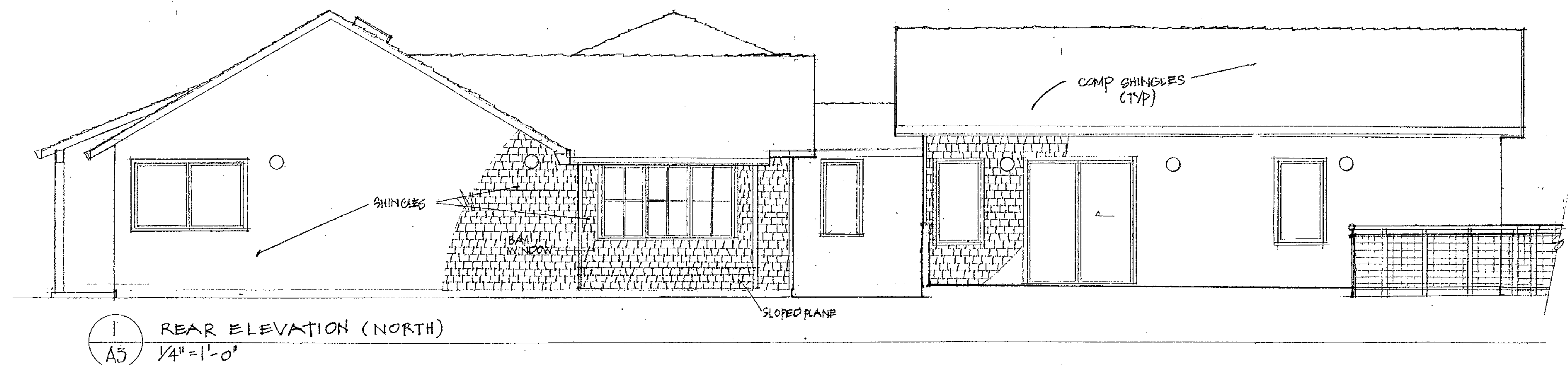
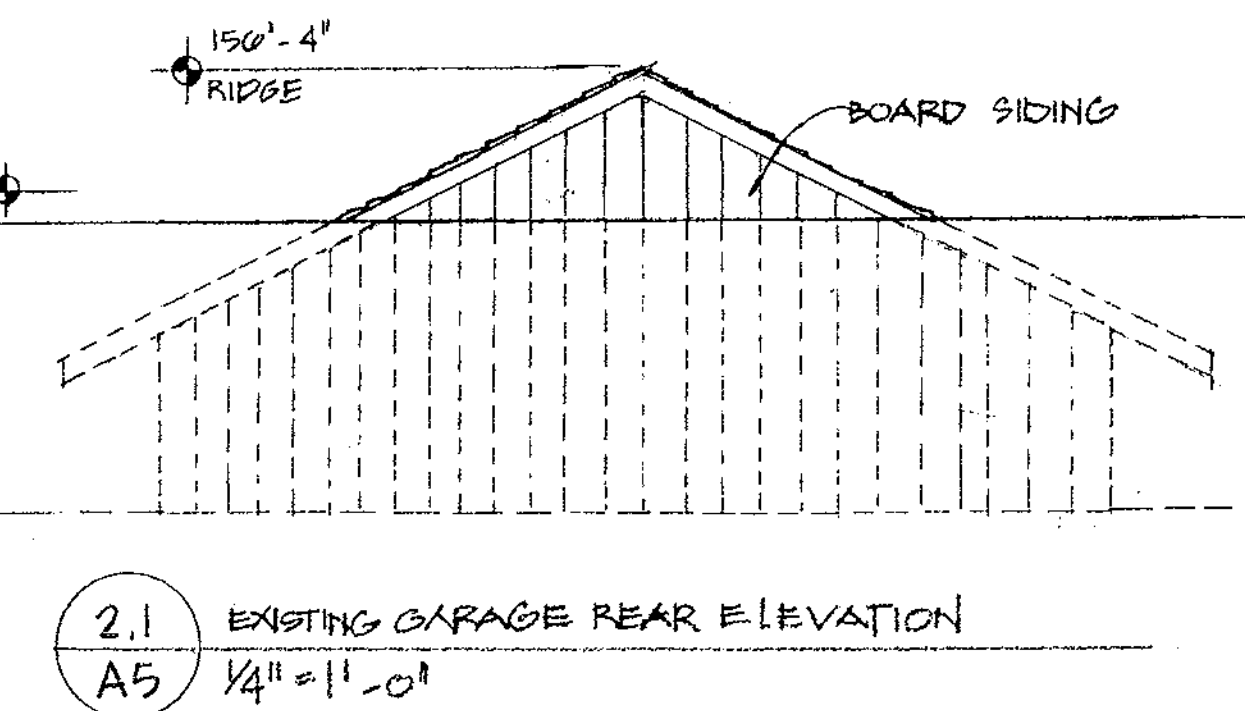
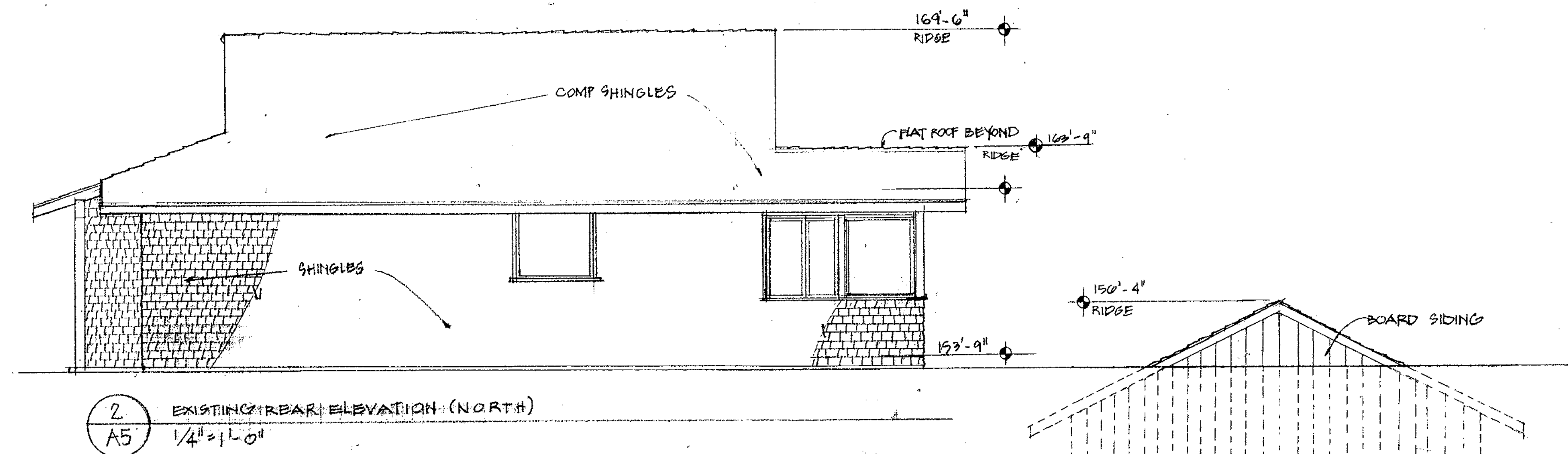
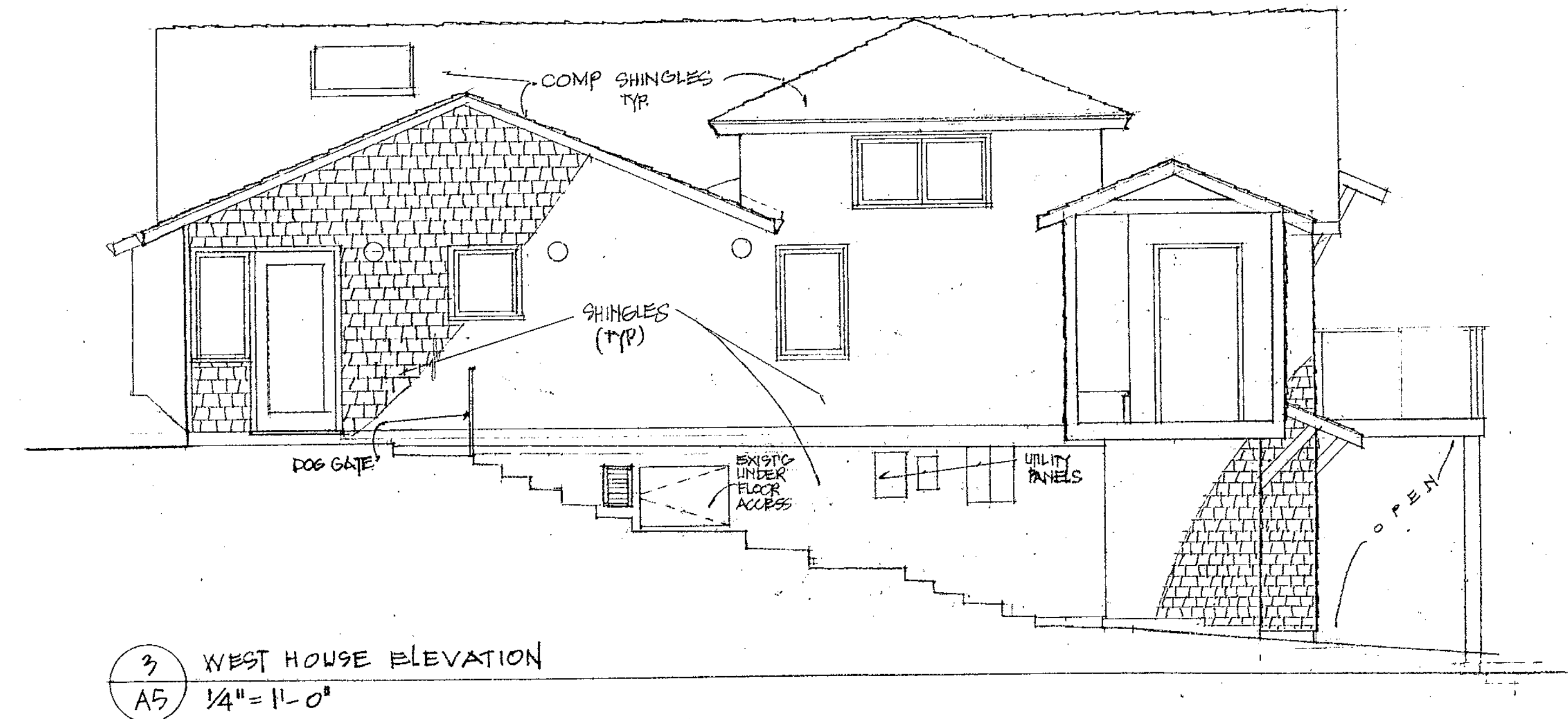
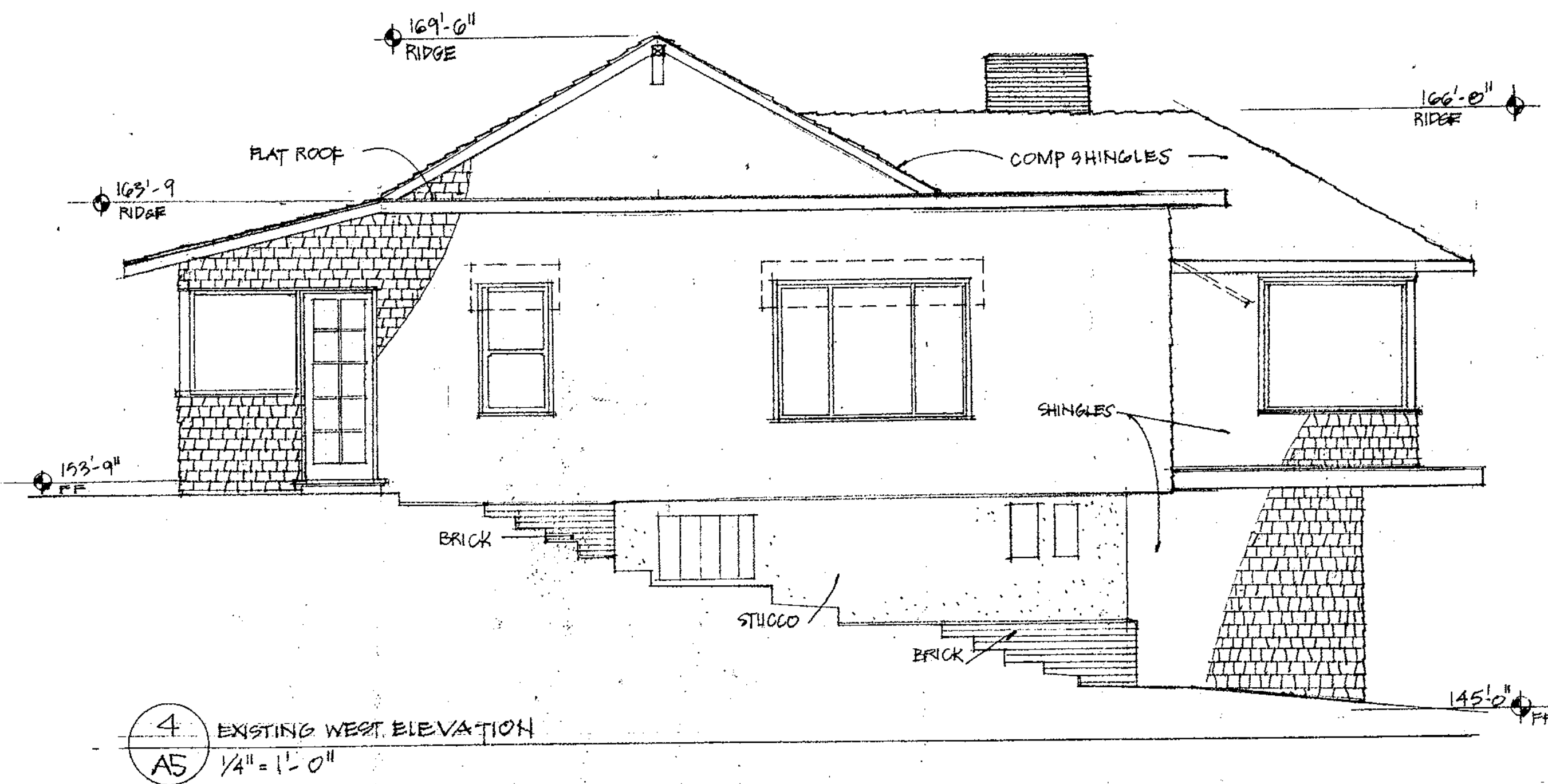


BRESSACK and WASSERMAN
ARCHITECTS
TWENTY ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-309-9332 650-321-1987

EXTERIOR ELEVATIONS
EXISTING AND PROPOSED

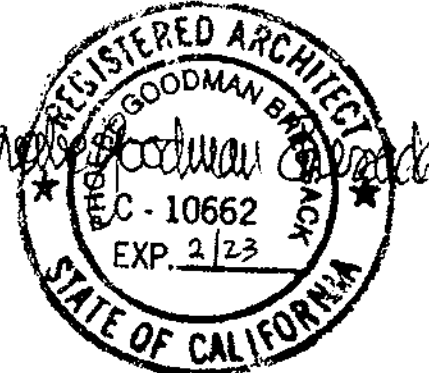
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28 WALNUT AVE.
ROSS CA.

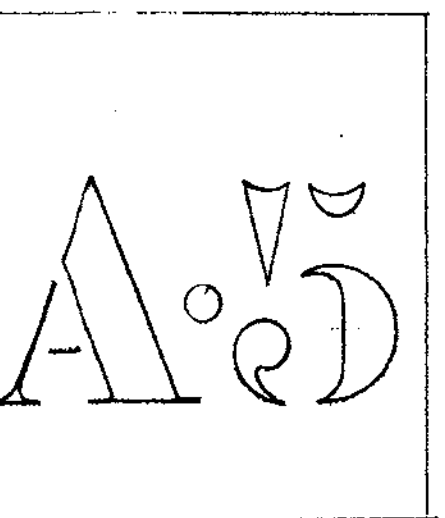
GANTUS RESIDENCE

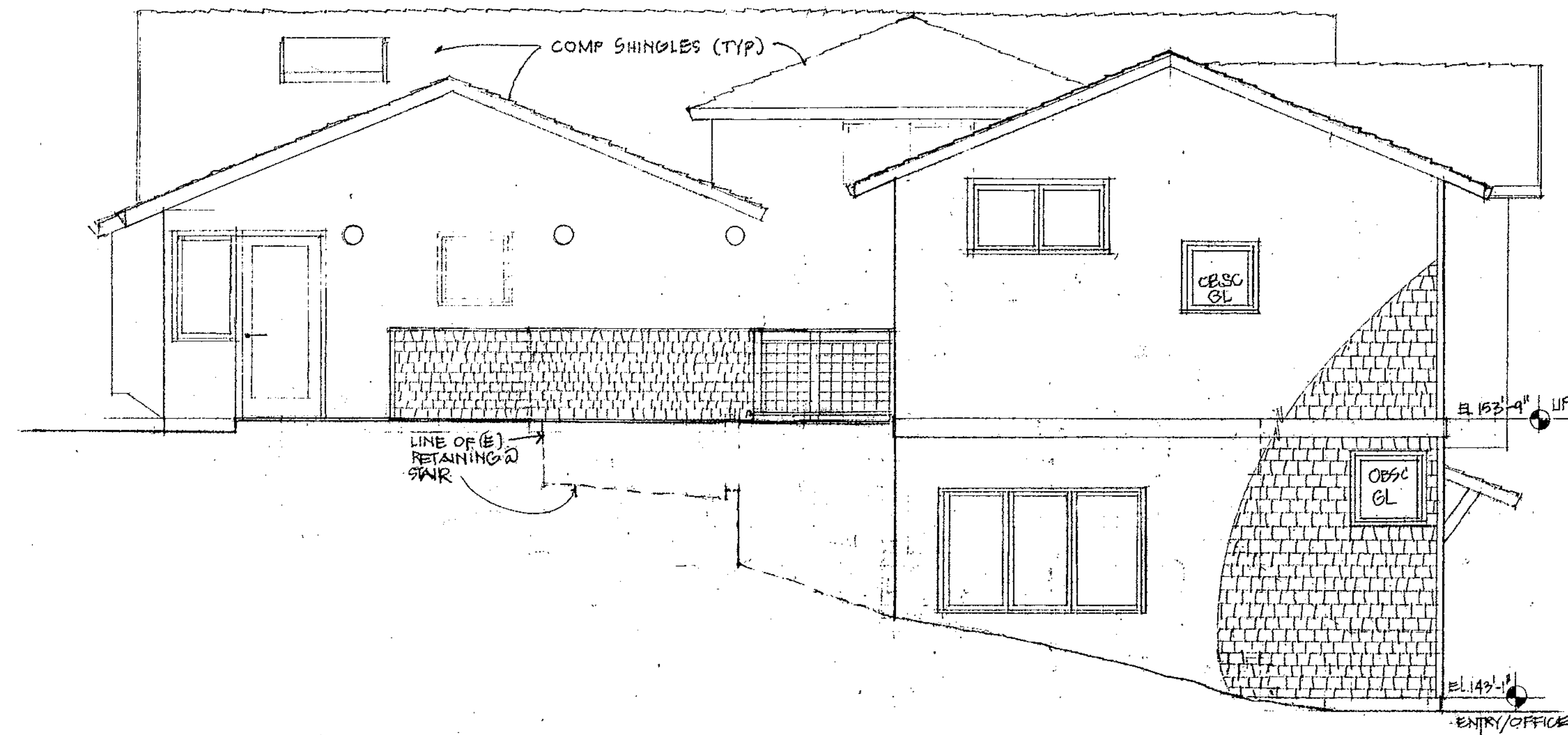


BRESSACK and WASSERMAN
ARCHITECTS
20 TWENTY ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-309-9332 650-321-1987

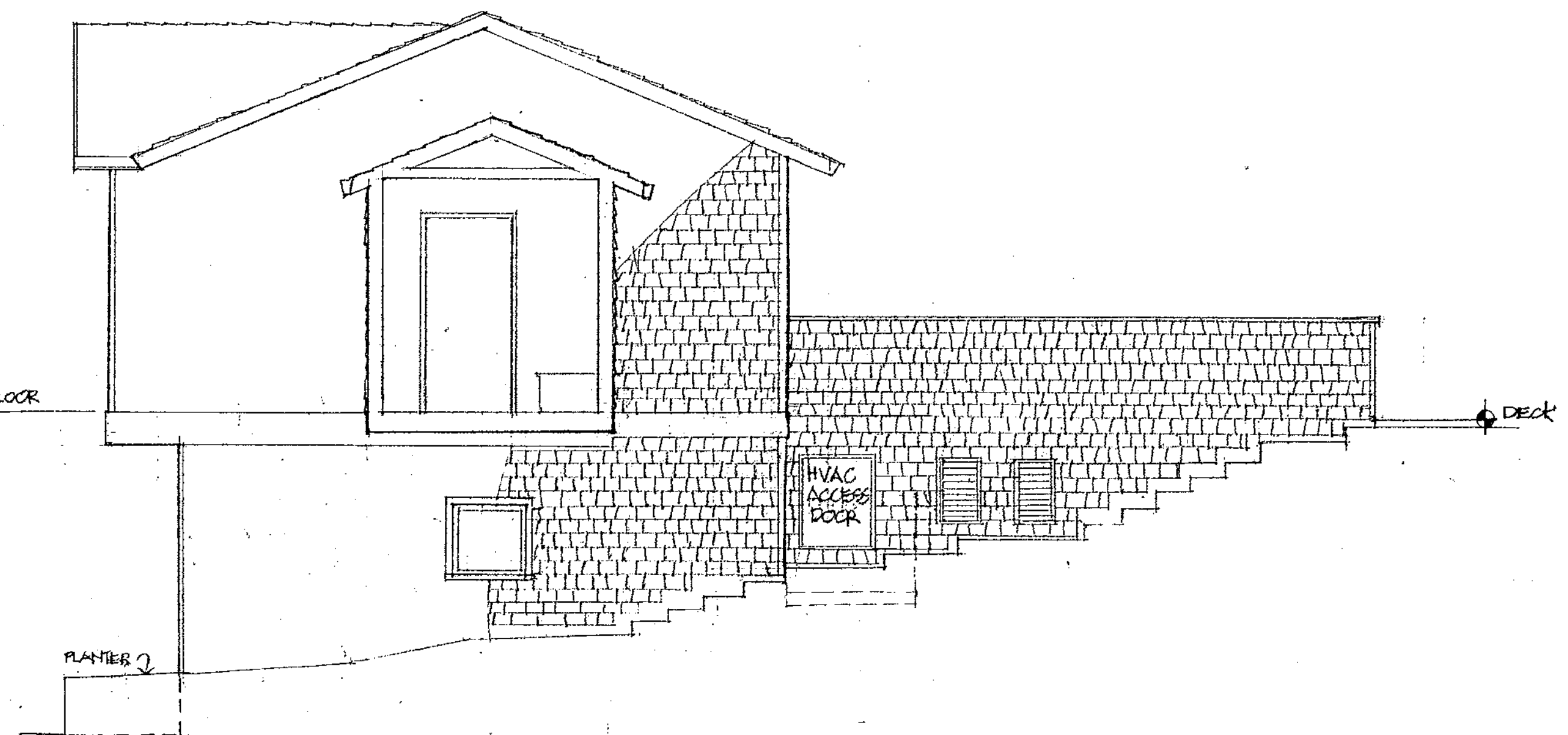
EXTERIOR ELEVATIONS
EXISTING AND PROPOSED

DESIGN REVIEW DEC 2022

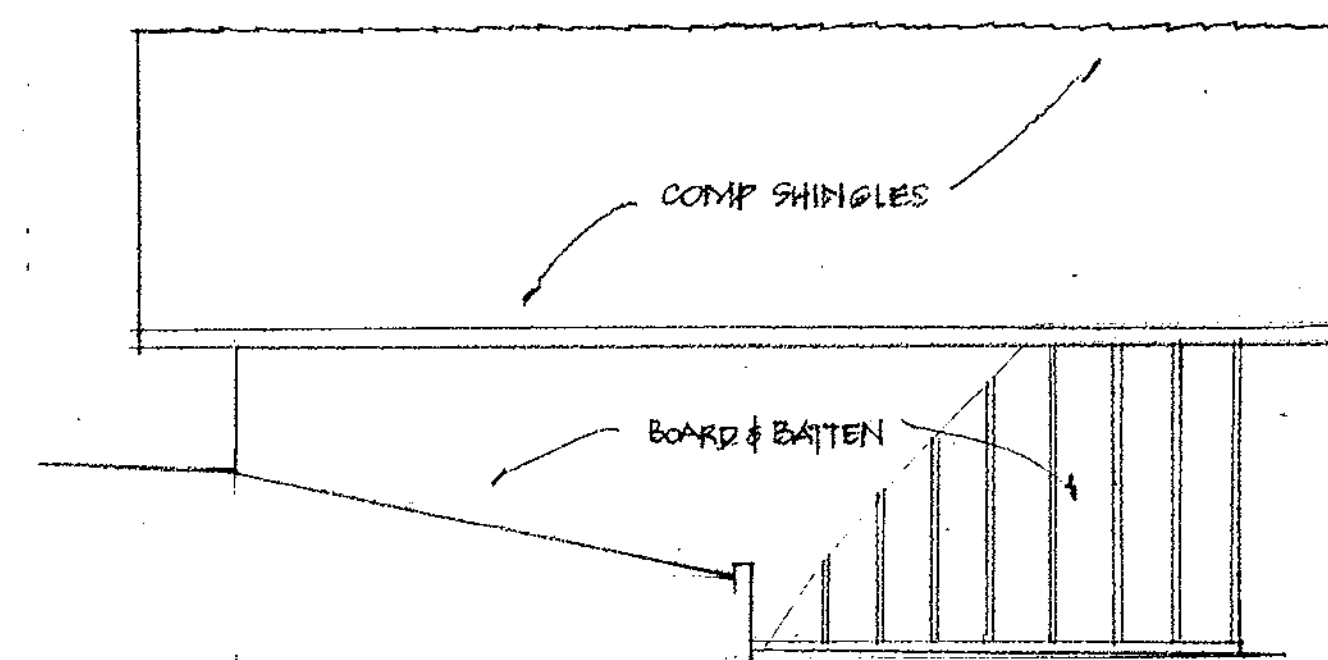




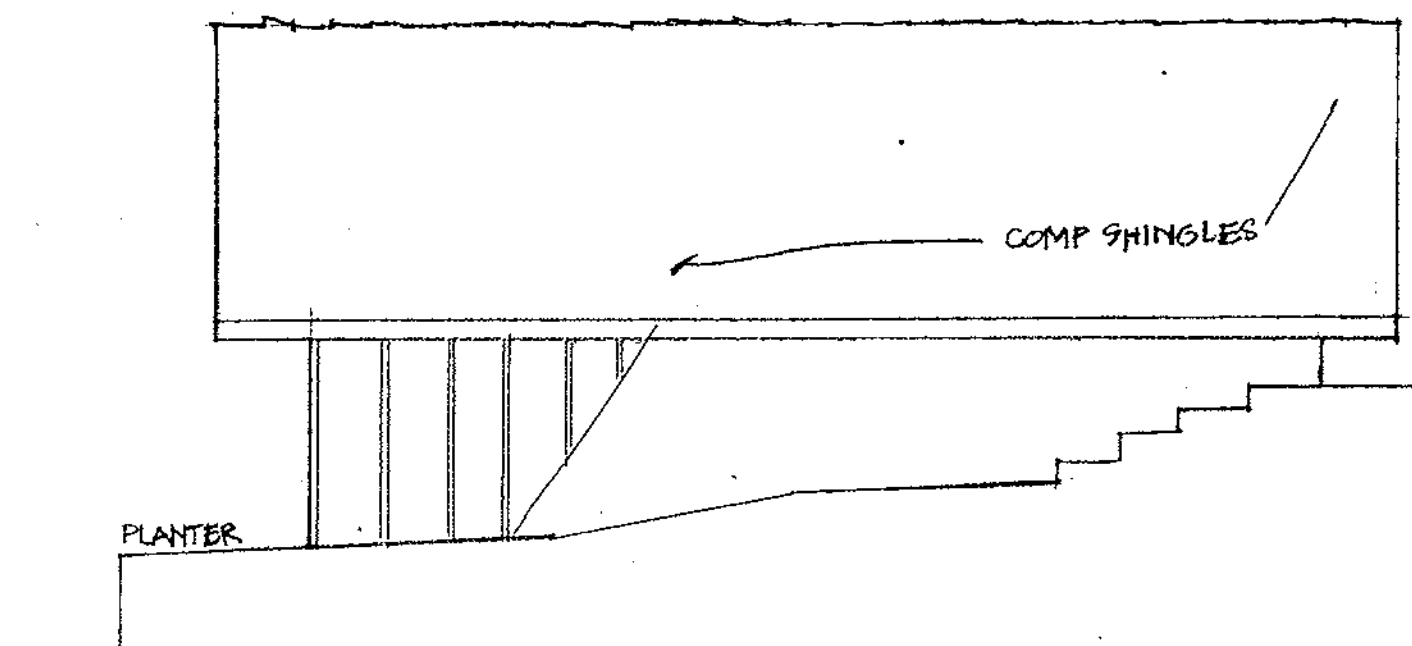
4 WEST GARAGE/ADU ELEVATION
AG 1/4" = 1'-0"



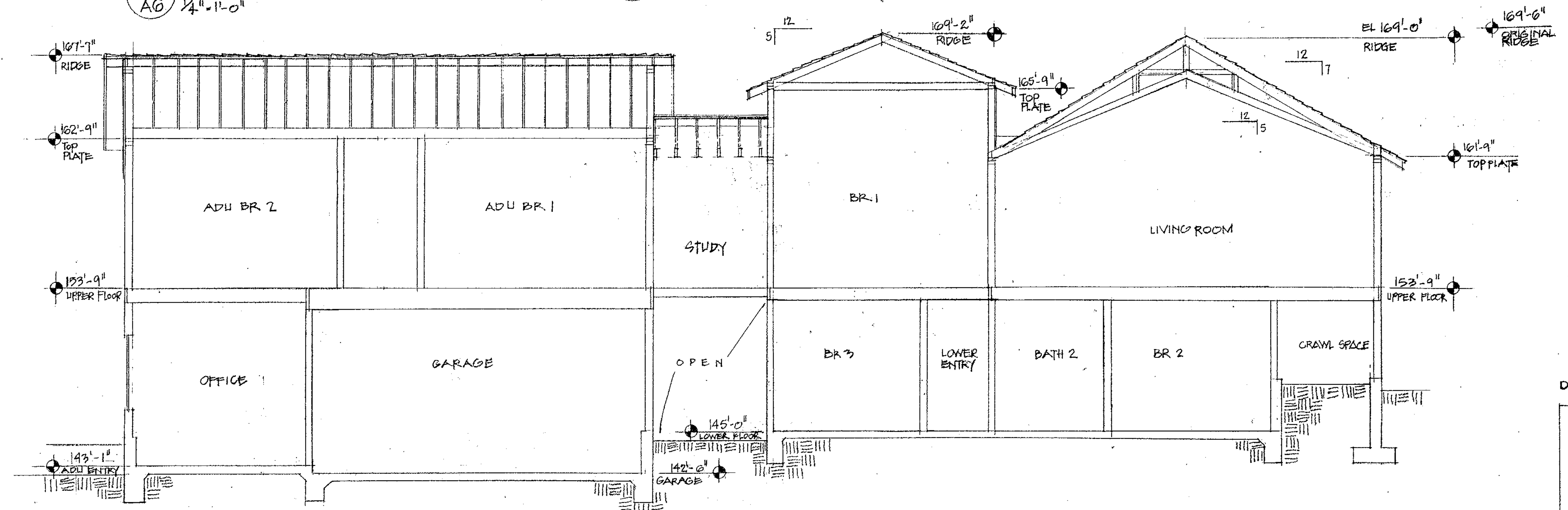
5 EAST ADU/GARAGE ELEVATION
AG 1/4" = 1'-0"



2 EXISTING WEST ELEVATION GARAGE
AG 1/4" = 1'-0"



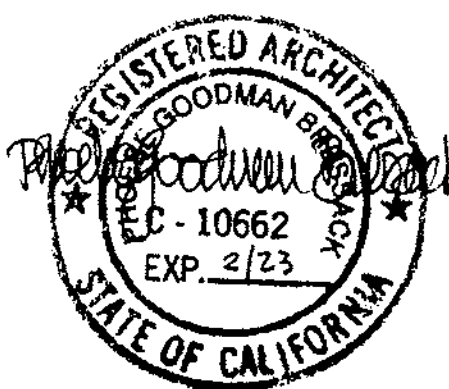
3 EXISTING EAST ELEVATION GARAGE
AG 1/4" = 1'-0"



1 SECTION
AG 1/4" = 1'-0"

WALNUT AVE.
TROSS CA.

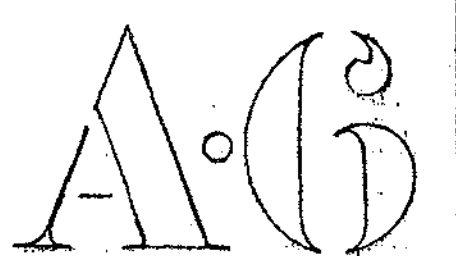
28
GANTUS RESIDENCE



BRESSACK and WASSERMAN
ARCHITECTS
TWENTY ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-309-9332
650-321-1987

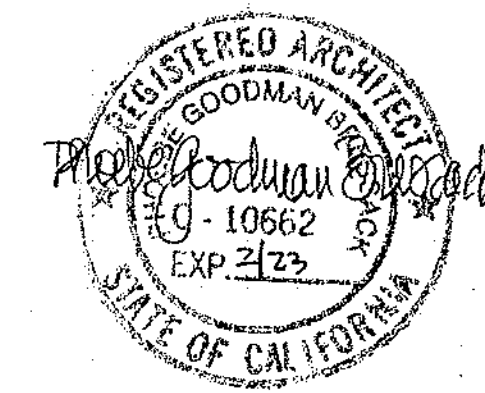
SECTION
EXTERIOR ELEVATIONS
EXISTING AND PROPOSED

DESIGN REVIEW DEC 2022



23 WALNUT AVE.
TROSS CA.

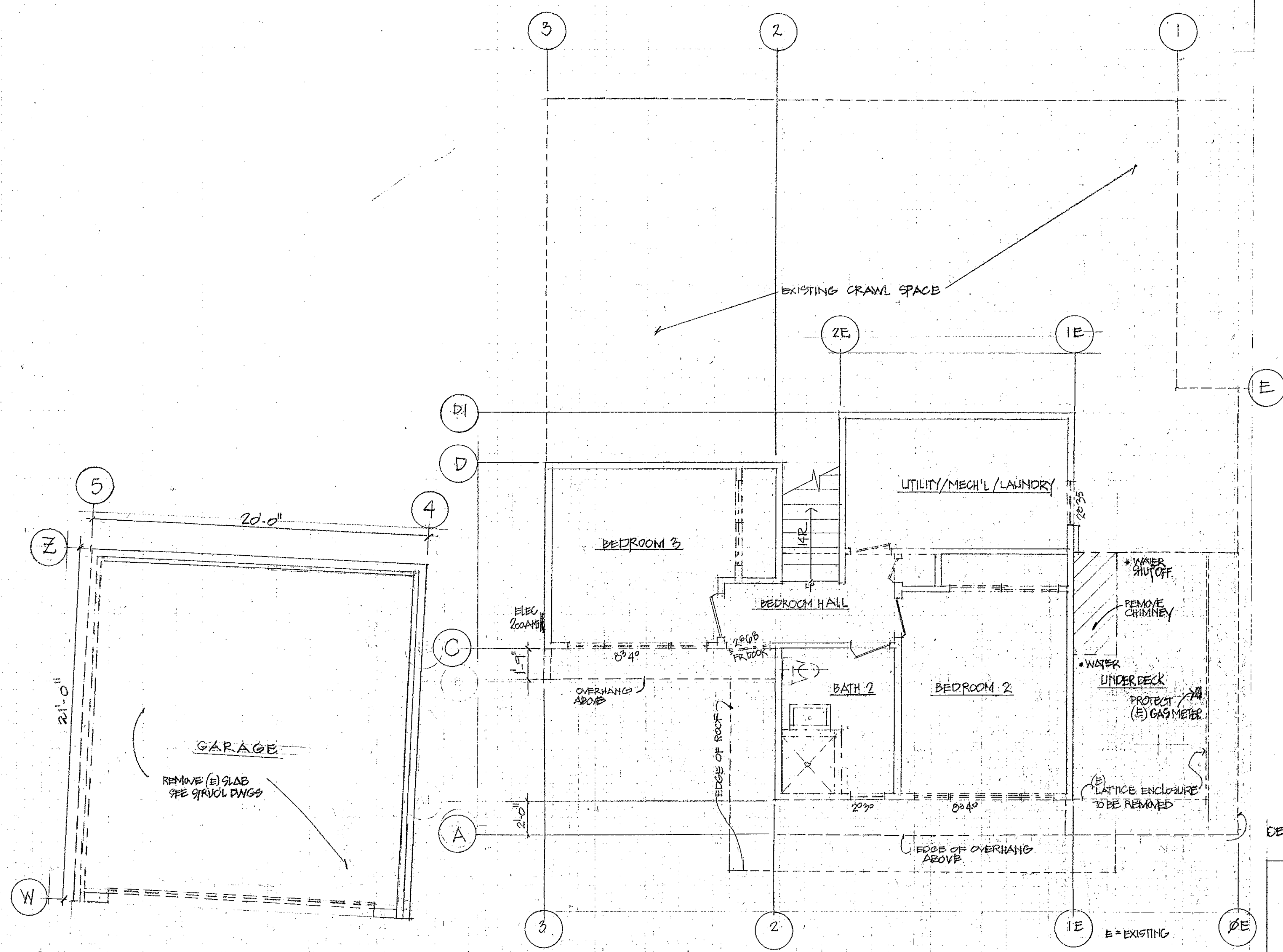
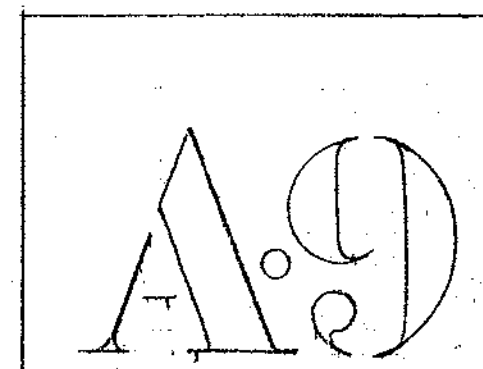
GANTUS RESIDENCE



BRESSACK and WASSERMAN
ARCHITECTS
TWENTY ONE OSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-309-9332 650-321-1987

EXISTING LOWER LEVEL
PLANS/DEMOLITION PLANS

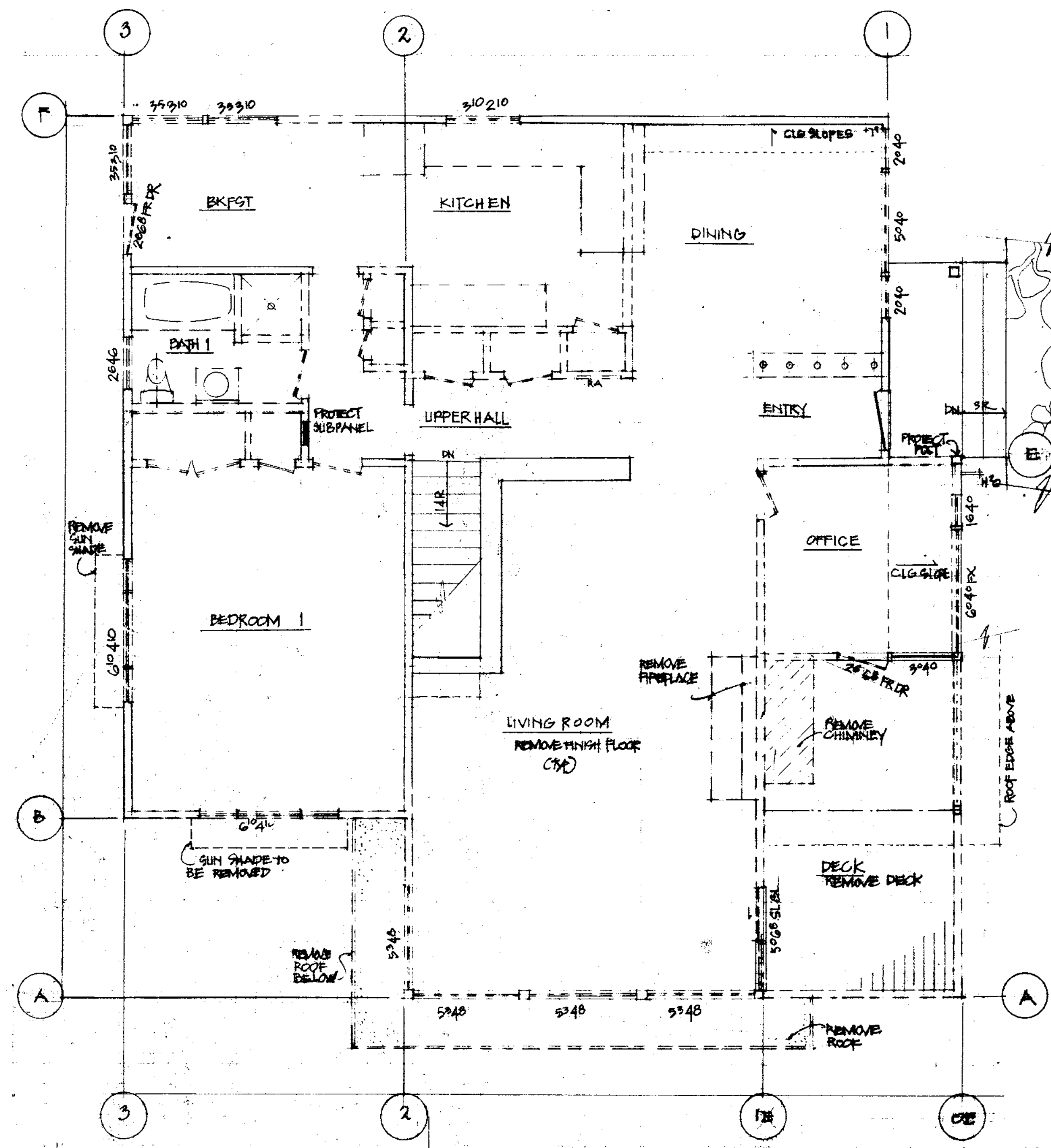
DESIGN REVIEW DEC 2022



2 EXISTING DETACHED GARAGE/DEMOLITION
A9 1/4" = 1'-0"

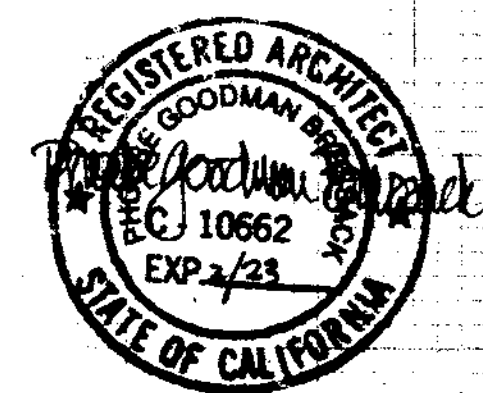
EXISTING TO REMAIN
TO BE REMOVED

1 EXISTING LOWER FLOOR PLAN/DEMOLITION PLAN
A9 1/4" = 1'-0"



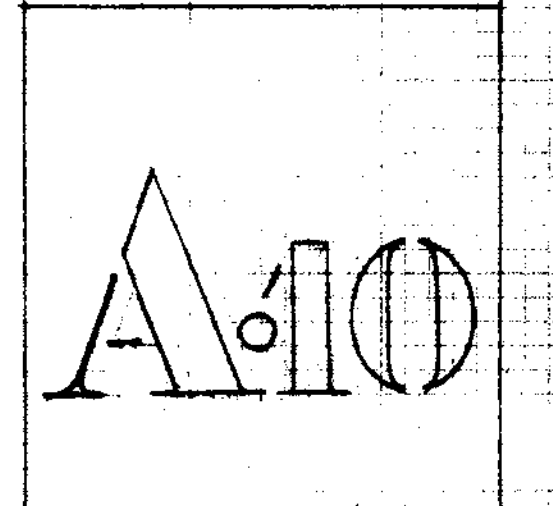
1. EXISTING UPPER FLOOR PLAN / DEMOLITION PLAN
A/D 1/4" = 1'-0"

28 WALNUT AVE.
TROSS CA.



BRESSACK and WASSERMAN
ARCHITECTS
20 TWENTY-ONE LOSAGE AVENUE
LOS ALTOS, CALIFORNIA 94022
415-387-9152
EXISTING UPPER FLOOR
PLAN / DEMOLITION PLAN

DESIGN REVIEW DEC 2022





A. DRIVE/GATE



B. CONCRETE DRIVE



C. COMPLEX ENTRY SEQUENCE

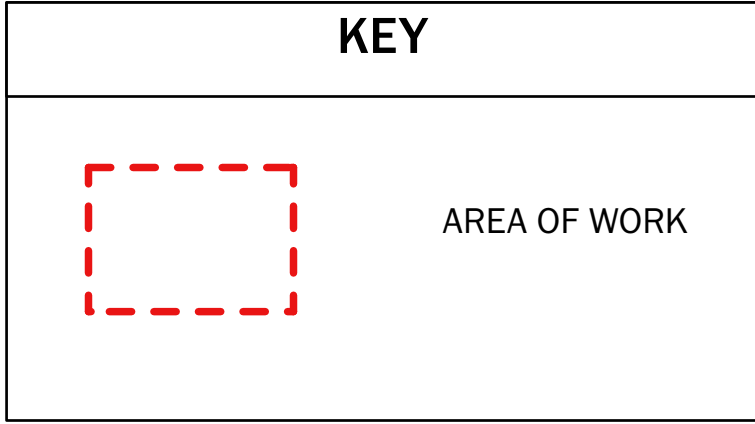


D. CONCRETE PATIO



E. RECIRCULATING FOUNTAIN WATERFALL

SEE L3.00
VEGETATION MANAGEMENT PLAN
FOR SITEWIDE PLANTING
CONDITIONS & RECOS

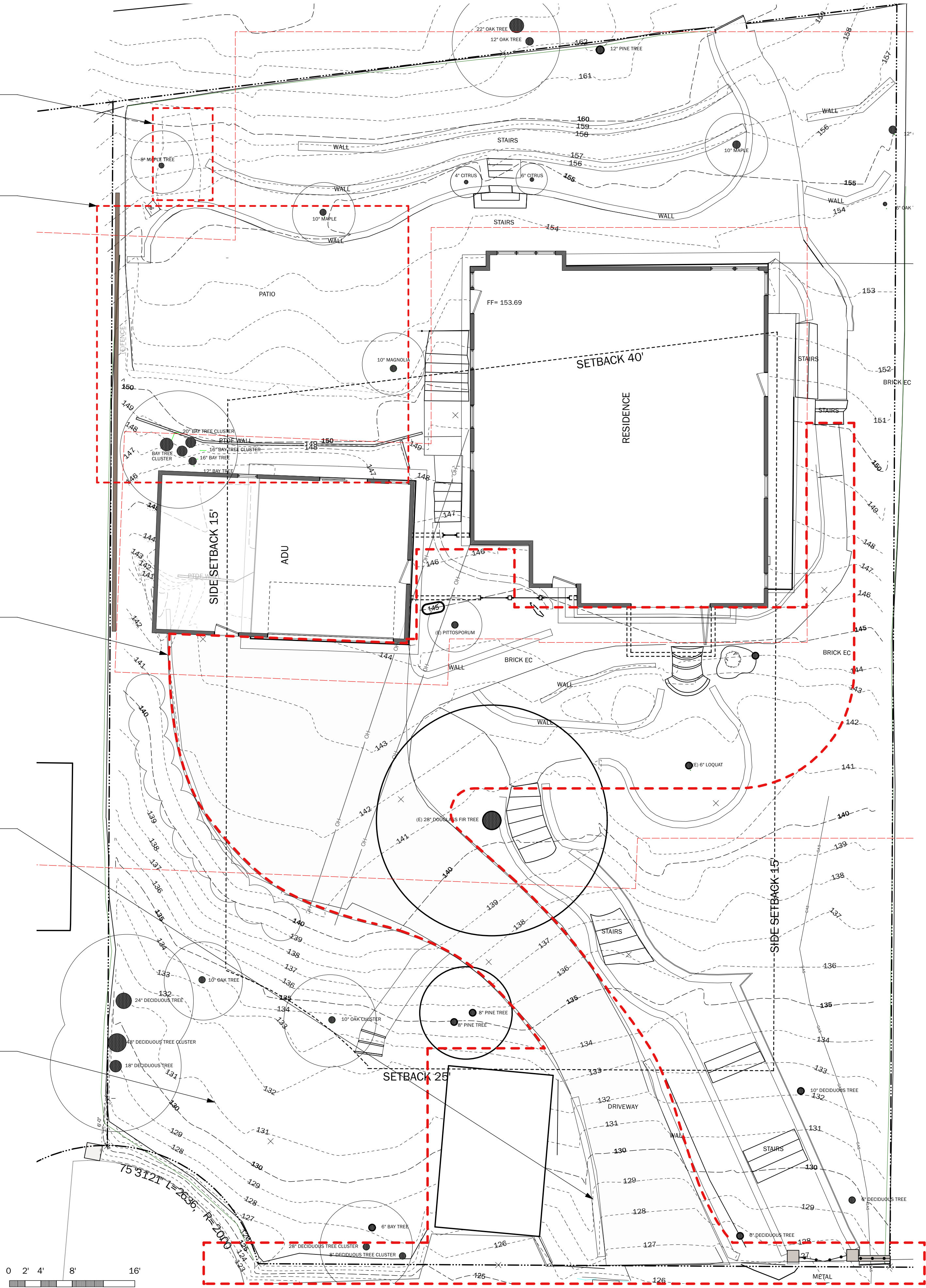


RECIRCULATING
FOUNTAIN IN POOR
CONDITION

(E) CONCRETE PATIO
(E) FENCE & WOOD
RETAINING WALLS
IN POOR CONDITION

CONCRETE DRIVEWAY

(E) WOOD FENCE,
CHICKEN WIRE FENCE,
AND CONCRETE
RETAINING WALLS
IN POOR CONDITION;
METAL PEDESTRIAN
GATE AND STONE
PILLARS
IN FAIR CONDITION



NOT FOR CONSTRUCTION - COORDINATION ONLY- 12.22.2022

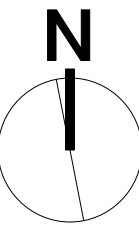
FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482

WALNUT AVENUE RESIDENCE
28 WALNUT AVENUE
ROSS, CALIFORNIA 94957
GABRIELLE BRESSACK GANTUS & JOHN GANTUS

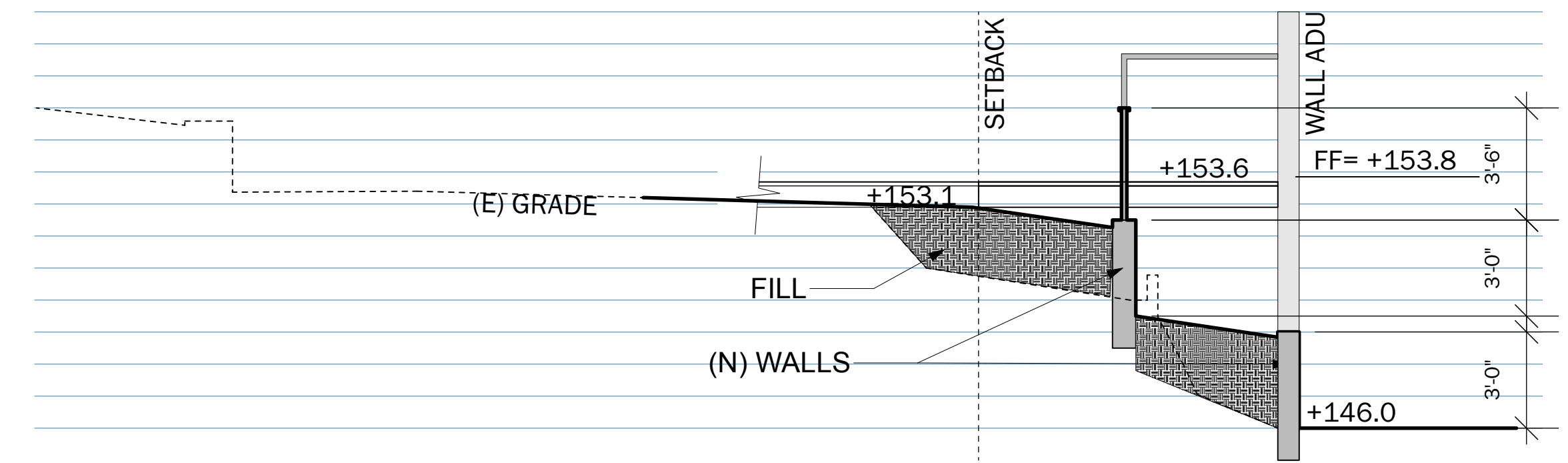
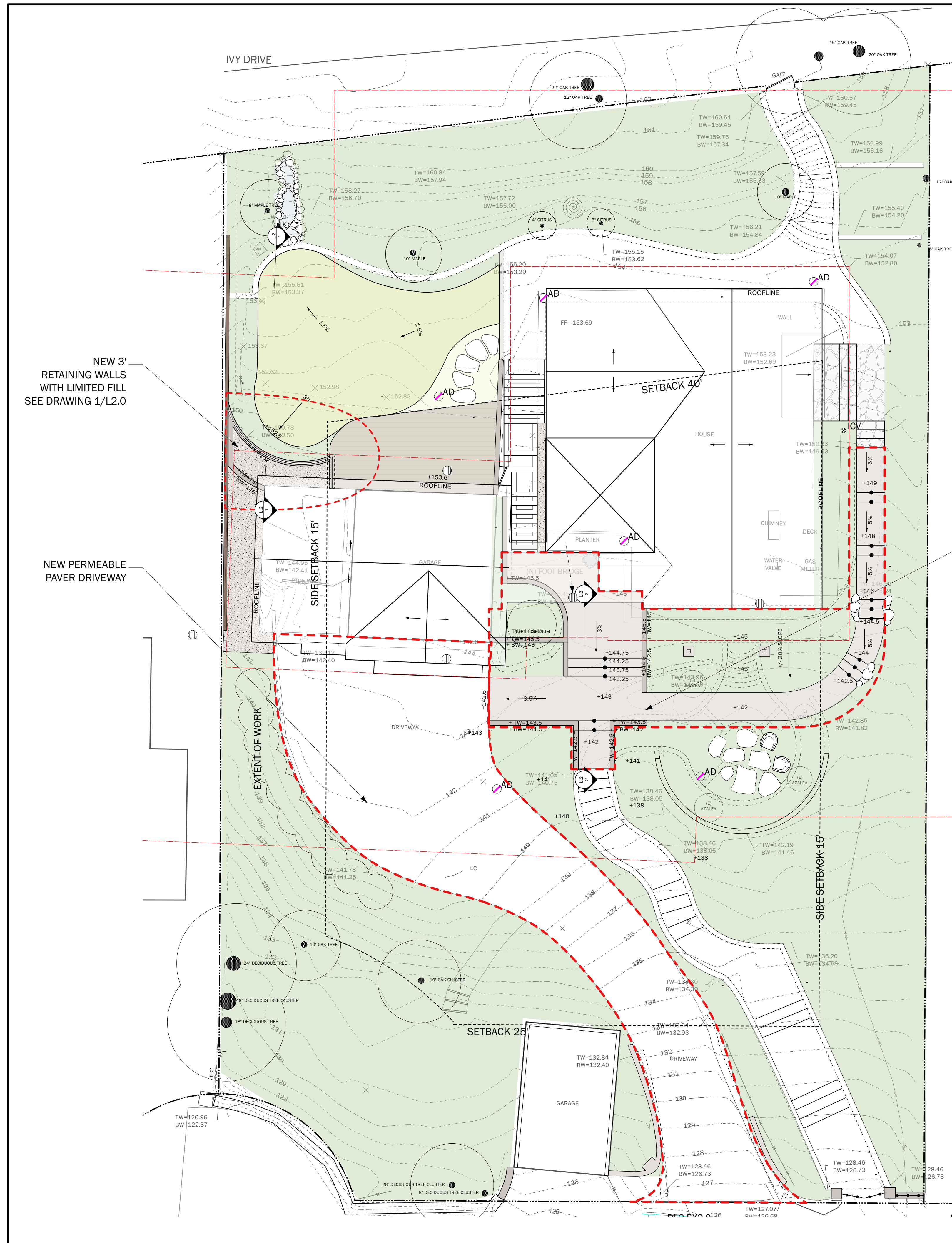
DATE: 12.22.2022 ISSUE: PLANNING SET

SCALE: 1/8" = 1'-0"

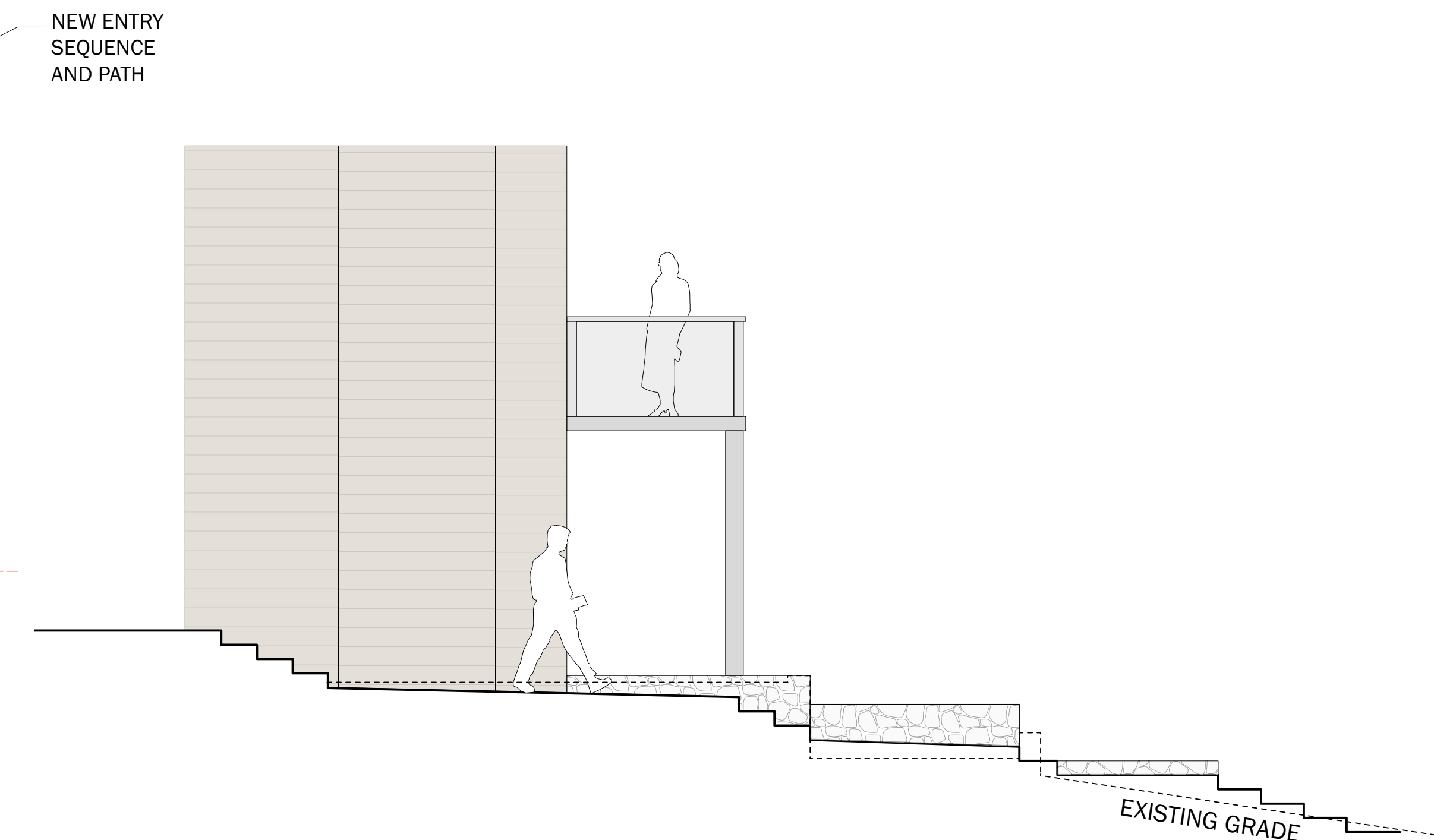


EXISTING
CONDITIONS

L0.01



1 Section of retaining walls at west side of ADU
Scale: 1/4" = 1'-0"



2 Elevation of entry sequence facing west
Scale: 1/4" = 1'-0"

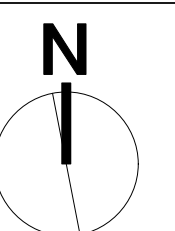
NOT FOR CONSTRUCTION - COORDINATION ONLY- 12.22.2022

WALNUT AVENUE RESIDENCE

28 WALNUT AVENUE
ROSS, CALIFORNIA 94957
GABRIELLE BRESSACK GANTUS & JOHN GANTUS

DATE:	ISSUE:
12.22.2022	PLANNING SET

SCALE: $1/8" = 1'-0"$

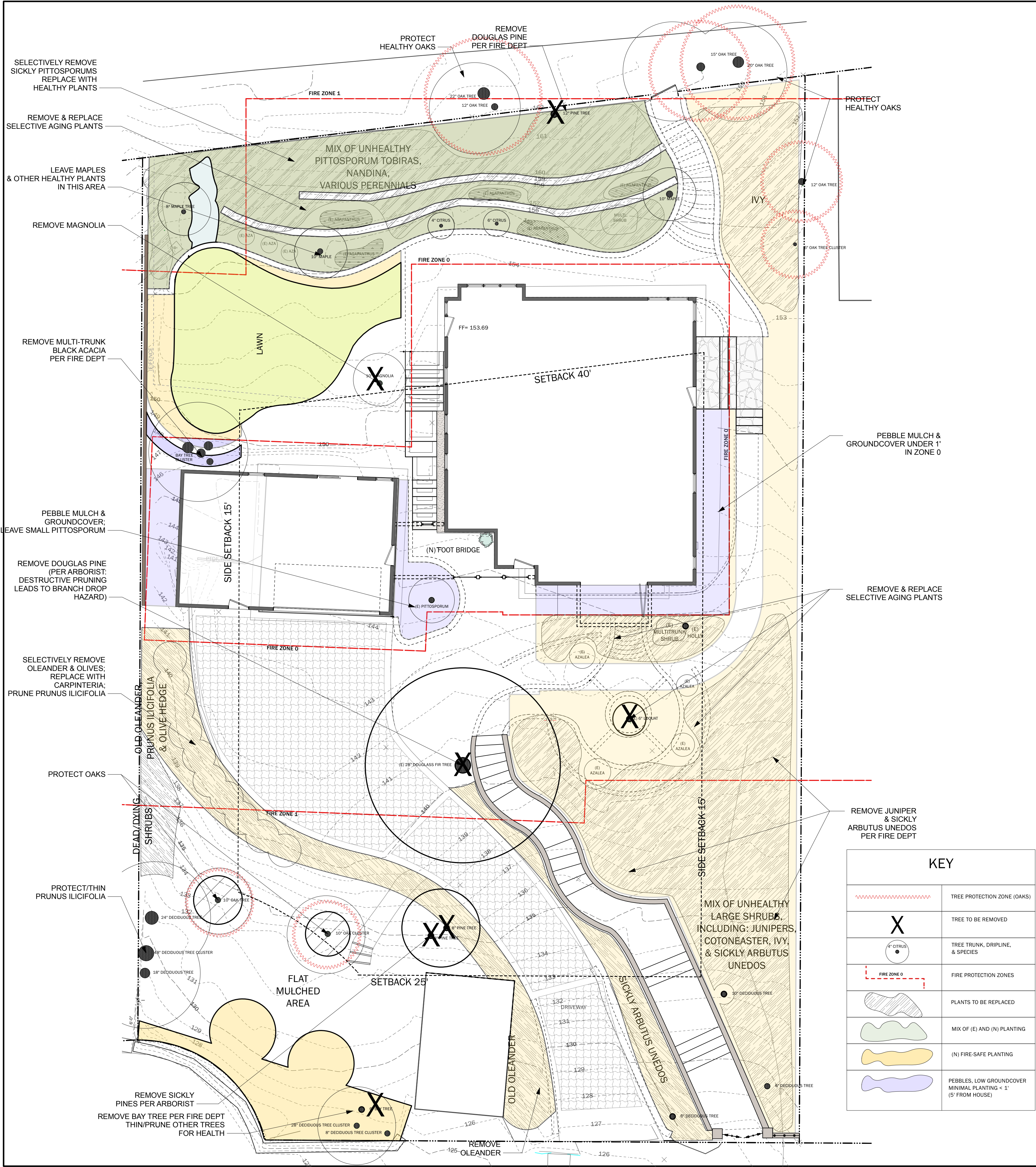


PRELIMINARY
GRADING &
DRAINAGE PLAN

L2.00

FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482



FOGPATCH
landscapes

To: Ross Valley Fire Department
From: Fogpatch Landscapes
Date: December 22, 2022
Project Address: 28 Walnut Avenue, Ross, CA

This narrative outlines proposed landscape changes to 28 Walnut Avenue. This is being done in conjunction with a remodel the house, and construction of a new ADU on top of existing garage. An arborist report from Urban Forestry Associates has been commissioned, and will be forthcoming.

Existing conditions

The site is overgrown with several years of minimal maintenance of the vegetation. There are fire-prone trees and plants that need to be removed. These include a large black acacia adjacent to garage, as well as several juniper and unhealthy Douglass fir and other pines. Between 30" and 100" at the front of the property, the planting is weak, with ivy and other invasive species taking over.

Proposed scope

- Remove problem trees
- Clear unhealthy and fire-prone vegetation site-wide
- Add fire-safe plants to area 30' from house to provide fire break
- Add more limited fire-safe planting 30'- 100' from house
- Clear planting within 5' of house; add minimal groundcover and pebbles or approved mulch
- Plants shall be planted so no continuity exists between ground fuels and tree crowns
- Protect all mature oaks on the property
- Update irrigation to be drip (except spray at lawn), and to extend to front/sides of property

Future planting

Any planting will be fire-resistant irrigated trees, shrubs, perennials, and groundcovers

Maintenance

- All fire-prone fuels removed within 100' of house
- Branches removed in large trees to give 6" clearance underneath
- Dead and dying vegetation to be removed yearly
- No native grasses planted within 30' of home
- Weeds and grass cut regularly to 4"
- Planting shall be irrigated
- Plants shall be planted so no continuity exists between ground fuels and tree crowns
- Gutters cleaned and screened twice yearly

Sincerely,

DeeAnn Budney, landscape designer, 415-518-9482 deeanne@fogpatch.net

NOTES:
-SEE L4.00 AND L4.01 FOR PLANTING PLAN DETAILS
-SEPARATE TREE REMOVAL PERMIT REQUIRED
-NO CONSTRUCTION MATERIAL STORAGE IN DEFENSIBLE SPACE AREA

Plant List					
Qty	Botanical Name	Common Name	Scheduled Size	WUCOLS	Native?
Trees					
1	Cornus capitata	Evergreen Dogwood	24" Box	M	
2	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	24" Box	L	
2	Lyonicornis floribundus asplenifolius	Catalina Ironwood	36" Box	L	
2	Magnolia 'Ann'	Ann Magnolia	24" Box	M	
3	Magnolia x toebneri 'Leonard Messel'	Leonard Messel Magnolia	36" Box	M	
1	Michelia doltsopa	Sweet Michelia	36" Box	M	
3	Michelia yun. 'Inspiration'	Michelia Yun Inspiration	36" Box	M	
2	Pistacia chinensis	Chinese Pistache	36" Box	L	
1	Quercus kelloggii	California Black Oak	36" Box	L	Y
Shrubs					
7	Azalea variety TBD	Azalea		M	
7	Camellia sasanqua 'October Magic Orchid'	October Magic® Orchid™ Camellia	5 Gal	M	
22	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	5 Gal	M	Y
6	Ceanothus 'Joyce Coulter'	Joyce Coulter California Lilac	5 Gal	M	Y
10	Ceanothus griseus horizontalis	Carmel Creeper	5 Gal	L	Y
16	Cuphea hyssopifolia 'Alba'	White False Heather	1 Gal	M	
11	Grevillea 'Moonlight'	Moonlight Grevillea	5 Gal	L	
10	Grevillea 'Peaches and Cream'	Peaches and Cream Grevillea	5 Gal	L	
6	Grevillea lanigera	Woolly Grevillea	5 Gal	L	
7	Leucadendron 'Safari Goldstrike'	Safari Goldstrike Yellow Conebush	5 Gal	L	
15	Loropetalum chinense 'Purple Diamond'	Purple diamond Fringe Flower	5 Gal	L	
19	Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive	5 Gal	M/L	
38	Pittosporum crassifolium 'Compactum'	Dwarf Karo	5 Gal	M	
4	Rosa 'Iceberg'	Iceberg Shrub Rose	5 Gal	M	
Perennials					
9	Acanthus mollis	Bear's Breeches	1 Gal	M	
12	Asparagus densiflorus 'Myers'	Foxtail Fern	1 Gal	M	
14	Campanula poscharskyana 'Alba'	White Dalmatian Bellflower	1 Gal	M	
12	Convolvulus mauritanicus	Ground Morning Glory	1 Gal	L	
7	Cotyledon orbiculata var. oblonga	Chalk fingers	1 Gal	L	
27	Geranium x cantabrigiense 'Biokovo'	Biokovo Cranesbill	1 Gal	M	
54	Heuchera 'Wendy'	Wendy Island Alum Root	1 Gal	M	
20	Iris japonica 'Eco Easter'	Japanese Iris	1 Gal	H	
13	Salvia officinalis 'Nana'	Garden Sage 'Nana'	1 Gal	L	
22	Silene uniflora 'Druett's Variegated'	Variegated Rock Campion	1 Gal	M	
Vines					
Ornamental Grasses					
Cacti & Succulents					
3	Agave 'Blue Flame'	Blue Flame Agave	1 Gal	L	

NOT FOR CONSTRUCTION - COORDINATION ONLY- 12.22.2022

FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482

WALNUT AVENUE RESIDENCE

28 WALNUT AVENUE
ROSS, CALIFORNIA 94957
GABRIELLE BRESSACK GANTUS & JOHN GANTUS

DATE: 12.22.2022

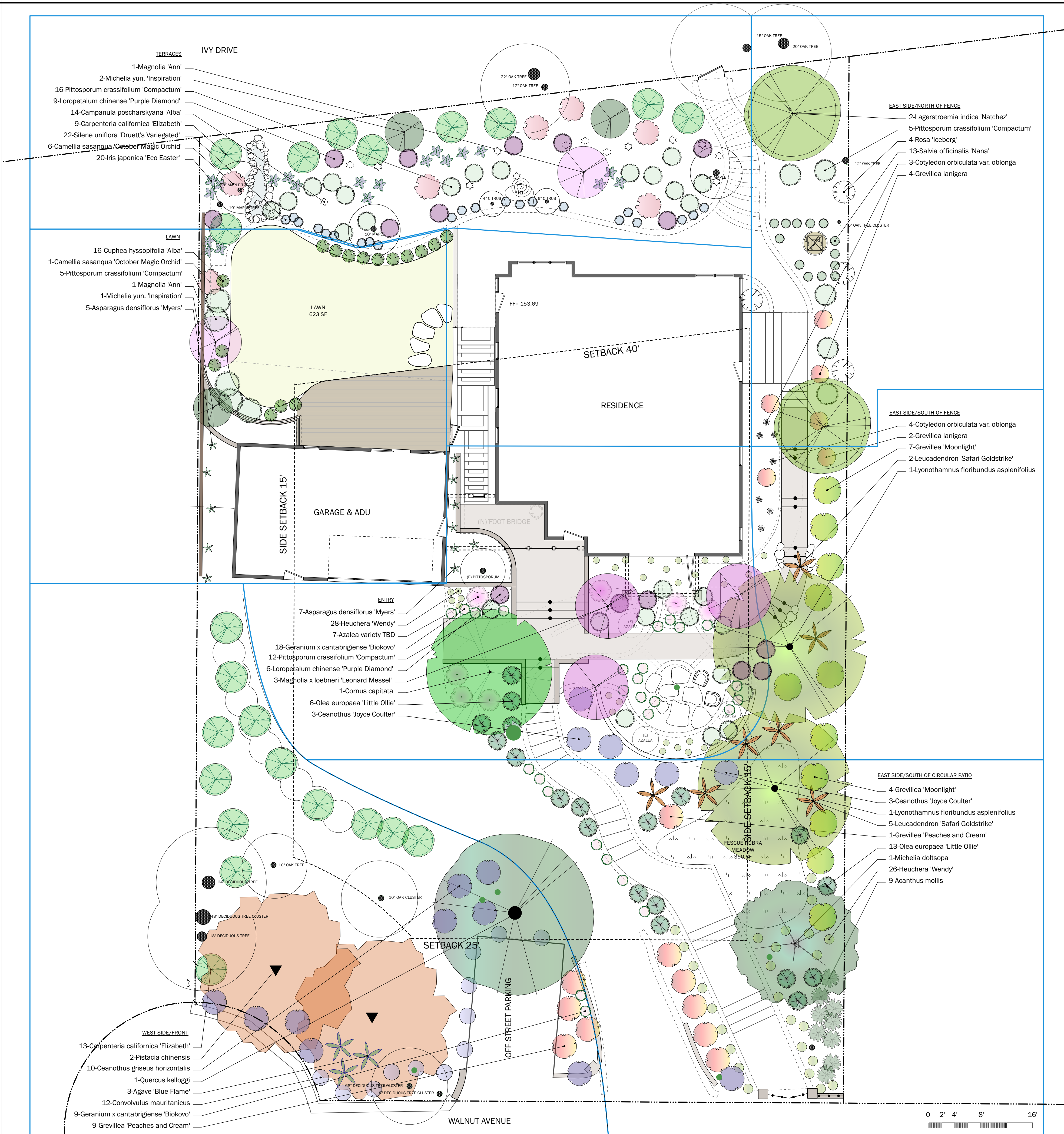
ISSUE: PLANNING SET

SCALE: 1/8" = 1'-0"

VEGETATION
MANAGEMENT PLAN

L3.00

Plant List					
Qty	Botanical Name	Common Name	Scheduled Size	WUCOLS	Native?
Trees					
1	Cornus capitata	Evergreen Dogwood	24" Box	M	
2	Lagerstroemia indica 'Natchez'	Natchez Grape Myrtle	24" Box	L	
2	Lyonothamnus floribundus asplenifolius	Catalina Ironwood	36" Box	L	
2	Magnolia 'Ann'	Ann Magnolia	24" Box	M	
3	Magnolia x loebneri 'Leonard Messel'	Leonard Messel Magnolia	36" Box	M	
1	Michelia doltsopa	Sweet Michelia	36" Box	M	
3	Michelia yun. 'Inspiration'	Michelia Yun Inspiration	36" Box	M	
2	Pistacia chinensis	Chinese Pistache	36" Box	L	
1	Quercus kelloggii	California Black Oak	36" Box	L	Y
Shrubs					
7	Azalea variety TBD	Azalea		M	
2	Camellia sasanqua 'October Magic Orchid'	October Magic® Orchid™ Camellia	5 Gal	M	
22	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	5 Gal	M	Y
6	Ceanothus 'Joyce Coulter'	Joyce Coulter California Lilac	5 Gal	M	Y
10	Ceanothus griseus horizontalis	Carmel Creeper	5 Gal	L	Y
16	Cuphea hyssopifolia 'Alba'	White False Heather	1 Gal	M	
11	Grevillea 'Moonlight'	Moonlight Grevillea	5 Gal	L	
10	Grevillea 'Peaches and Cream'	Peaches and Cream Grevillea	5 Gal	L	
6	Grevillea lanigera	Woolly Grevillea	5 Gal	L	
7	Leucadendron 'Safari Goldstrike'	Safari Goldstrike Yellow Conebush	5 Gal	L	
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19	Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive	5 Gal	M/L	
38	Pittosporum crassifolium 'Compactum'	Dwarf Karo	5 Gal	M	
4	Rosa 'Iceberg'	Iceberg Shrub Rose	5 Gal	M	
Perennials					
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Vines					
Ornamental Grasses					
Cacti & Succulents					
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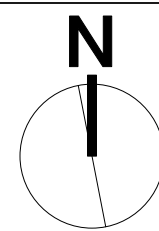
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WALNUT AVENUE RESIDENCE

28 WALNUT AVENUE
ROSS, CALIFORNIA 94957
GABRIELLE BRESSACK GANTUS & JOHN GANTUS

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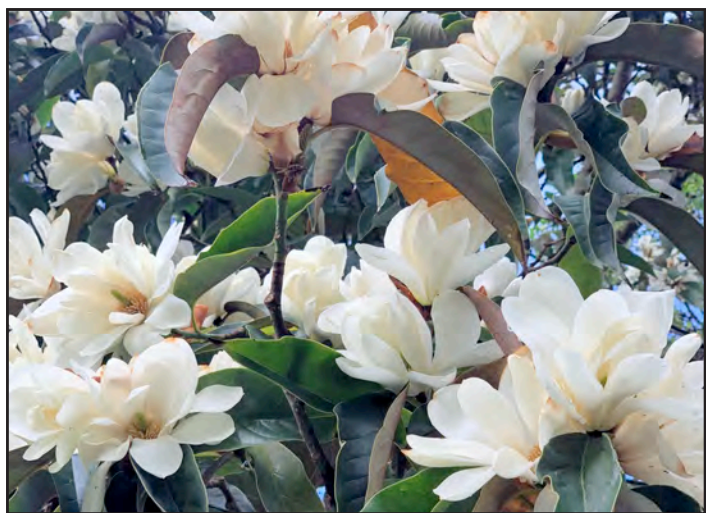
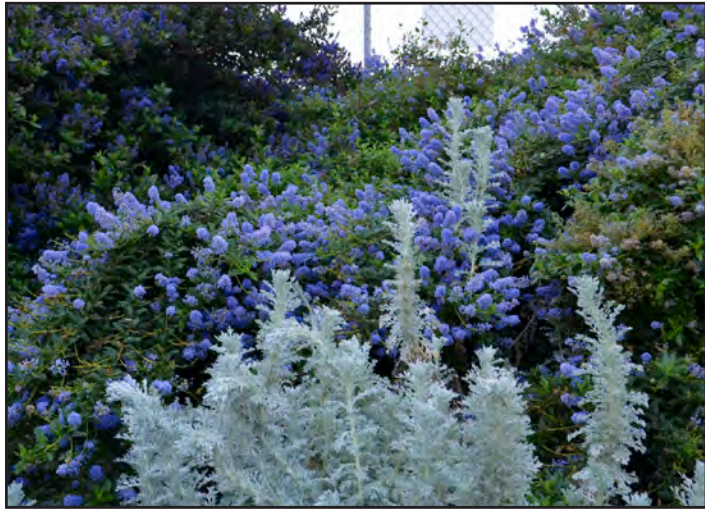


PLANTING
PLAN

L4.00

FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482



Plant List					
Qty	Botanical Name	Common Name	Scheduled Size	WUCOLS	Native?
Trees					
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2	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	24" Box	L	
2	Lyonothamnus floribundus asplenifolius	Catalina Ironwood	36" Box	M	
2	Magnolia 'Ann'	Ann Magnolia	24" Box	M	
3	Magnolia x loebneri 'Leonard Messel'	Leonard Messel Magnolia	36" Box	M	
	Michelia doltsopa	Sweet Michelia	36" Box	M	
	Michelia yun. 'Inspiration'	Michelia Yun Inspiration	36" Box	M	
2	Pistacia chinensis	Chinese Pistache	36" Box	L	
1	Quercus kelloggii	California Black Oak	36" Box	L	Y
Shrubs					
7	Azalea variety TBD	Azalea		M	
7	Camellia sasanqua 'October Magic Orchid'	October Magic® Orchid™ Camellia	5 Gal	M	
22	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	5 Gal	M	Y
	Ceanothus 'Joyce Coulter'	Joyce Coulter California Lilac	5 Gal	Y	Y
6	Ceanothus griseus horizontalis	Carmel Creeper	5 Gal	L	Y
16	Cuphea hyssopifolia 'Alba'	White False Heather	1 Gal	M	
11	Grevillea 'Moonlight'	Moonlight Grevillea	5 Gal	L	
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FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482

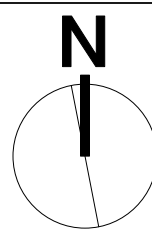
327 STAPLES AVENUE SF, CA 94112 415.518.9482

WALNUT AVENUE RESIDENCE

28 WALNUT AVENUE
ROSS, CALIFORNIA 94957
GABRIELLE BRESSACK GANTUS & JOHN GANTUS

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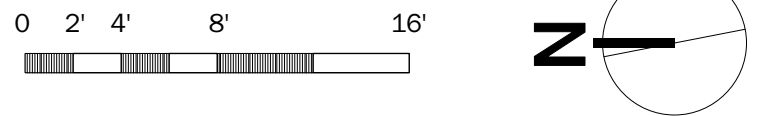
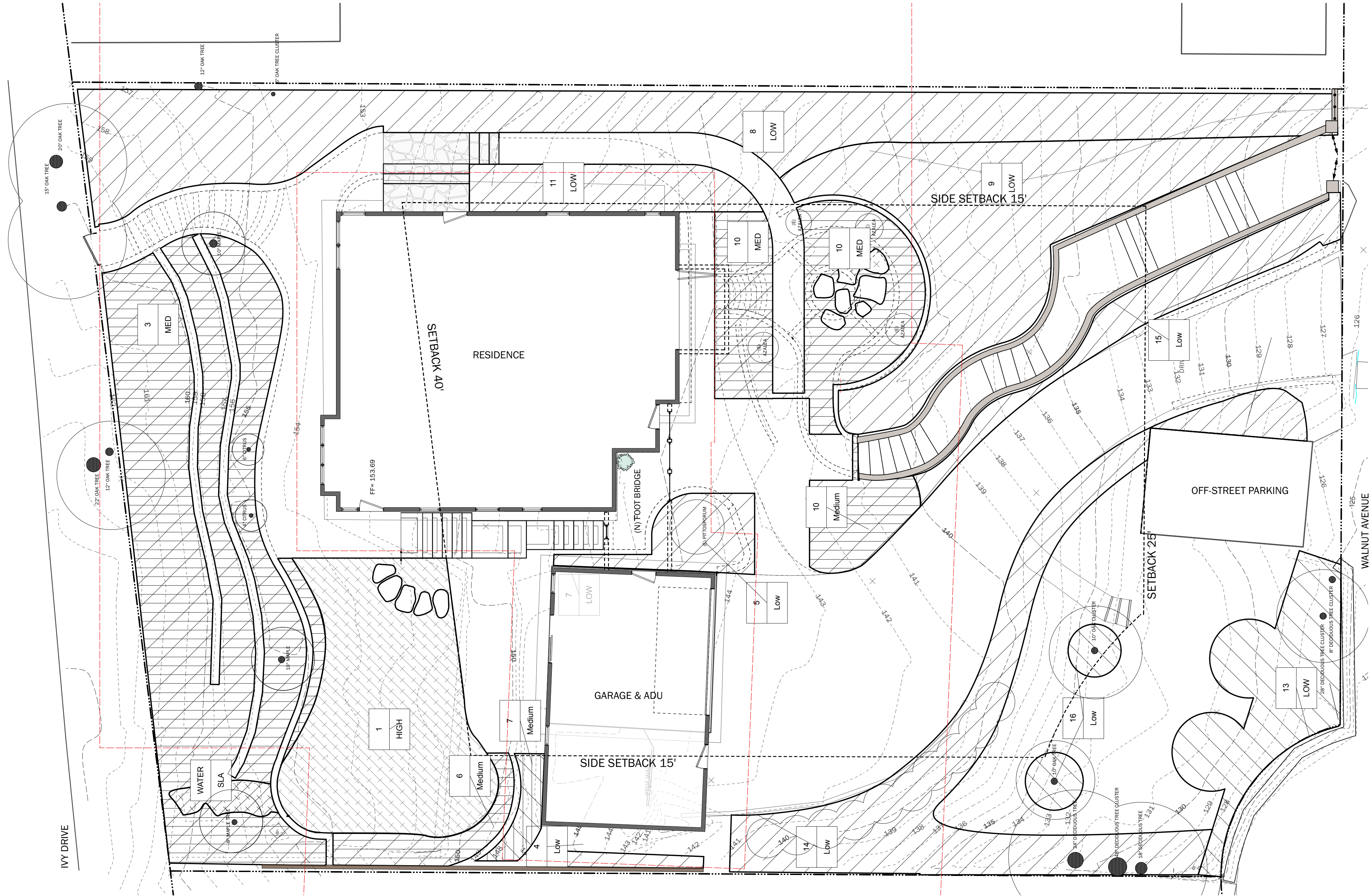
SCALE: 1/8" = 1'-0"



PLANTING PLAN IMAGERY

L4.01





HYDROZONE WATER USE LEGEND	
	LOW
	MODERATE
	HIGH
	SLA

WATER EFFICIENT LANDSCAPE WORKSHEET						
City:	Ross	Reference ET	40			
ETWU Equation: $ET_o \times 0.62 \times [((PF \times HA)/IE) + SLA]$						
MAWA Equation: $(ET_o) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$						
Irrigation Efficiency for spray is 0.75 and drip is 0.81. Minimum IE is 0.71.						
Plant Water Use Type		Plant Factor				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Medium		0.4 - 0.6				
High		0.7 - 1.0				
SLA		1				
Hydrozone Number	Irrigation Method	Plant Water Use Type	Plant Factor (PF)	Hydrozone Area (HA) without SLA (SF)	Irrigation Efficiency (IE)	ETAF x AREA (SF)
Zone 1	Spray	High	1.00	1,321	0.75	1761
Zone 2	Drip	Medium	0.40	0	0.75	0
Zone 3	Drip	Medium	0.30	2,502	0.81	927
Zone 4	Drip	Low	0.30	140	0.81	52
Zone 5	Drip	Low	0.20	258	0.81	64
Zone 6	Drip	Medium	0.30	203	0.81	75
Zone 7	Drip	Medium	0.30	77	0.81	29
Zone 8	Drip	Low	0.30	3,743	0.81	1386
Zone 9	Drip	Low	0.20	829	0.81	205
Zone 10	Drip	Medium	0.40	589	0.81	291
Zone 11	Drip	Low	0.30	485	0.81	180
Zone 13	Drip	LOW	0.20	776	0.81	192
Zone 14	Drip	Low	0.30	1,955	0.81	724
Zone 15	Drip	Low	0.30	637	0.81	236
Zone 16	Drip	Low	1.00	154	0.81	190
Total:				13669		6310
SLA				0.00	92	0.75
Sum				13,761		
Results						
MAWA =		187,612	ETWU =	158,900 Gallons		
				21,242 Cubic Feet		
				212 HCF		
				0.49 Acre-feet		
				0.16 Millions of Gallons		
ETWU complies with MAWA						
ETAF Calculations						
Regular Landscape Areas						
Total ETAF x Area			6310			
Average ETAF			0.46			
ETAF is below .55						
All Landscape Areas						
Total ETAF x Area			6310.47			
Total Area			13761			
Sitewide ETAF			0.46			

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WALNUT AVENUE RESIDENCE

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12.22.2022	PLANNING SET

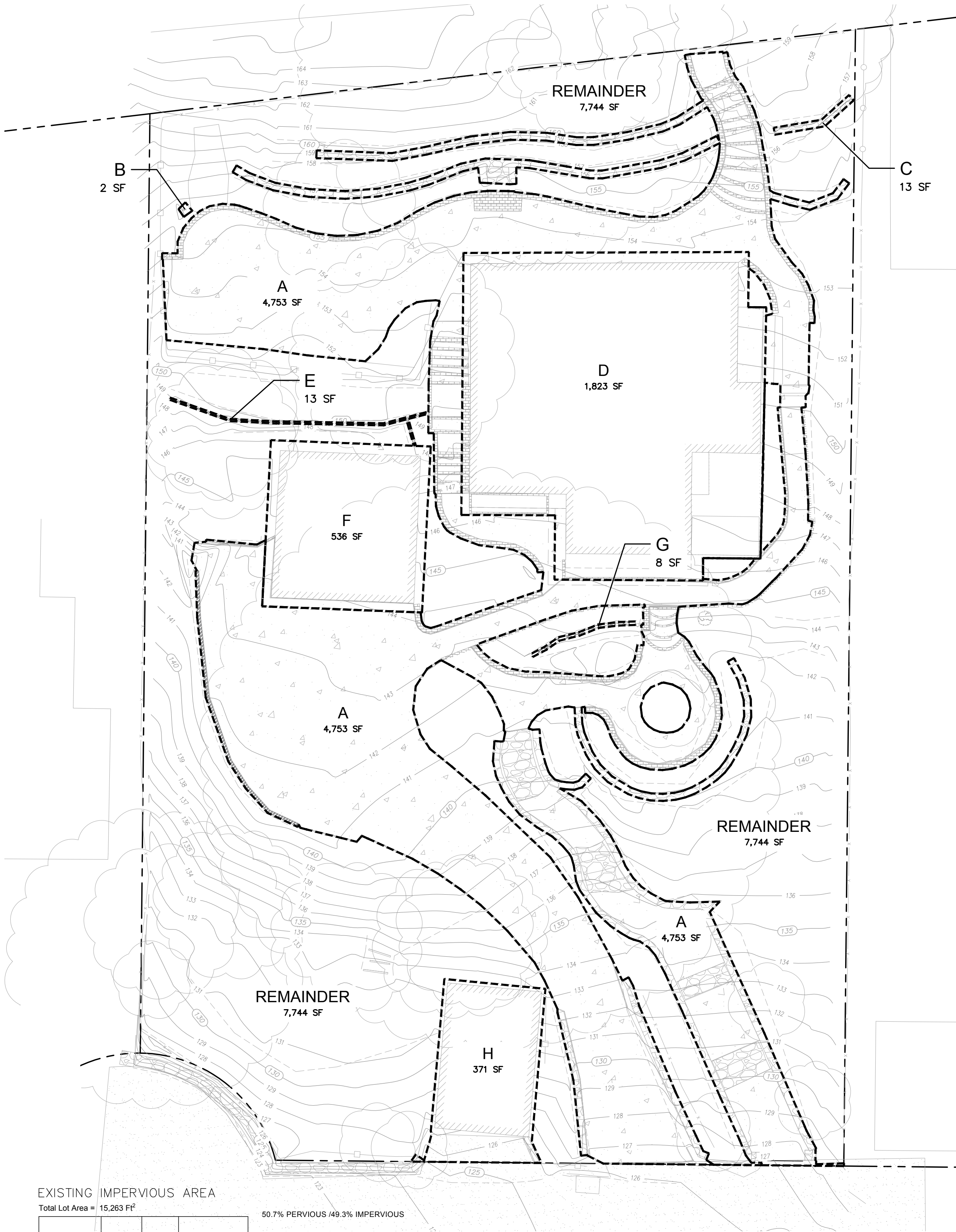
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IRRIGATION ZONE
PLAN/WELO
CALCULATIONS

L5.00

FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482



EXISTING IMPERVIOUS AREA

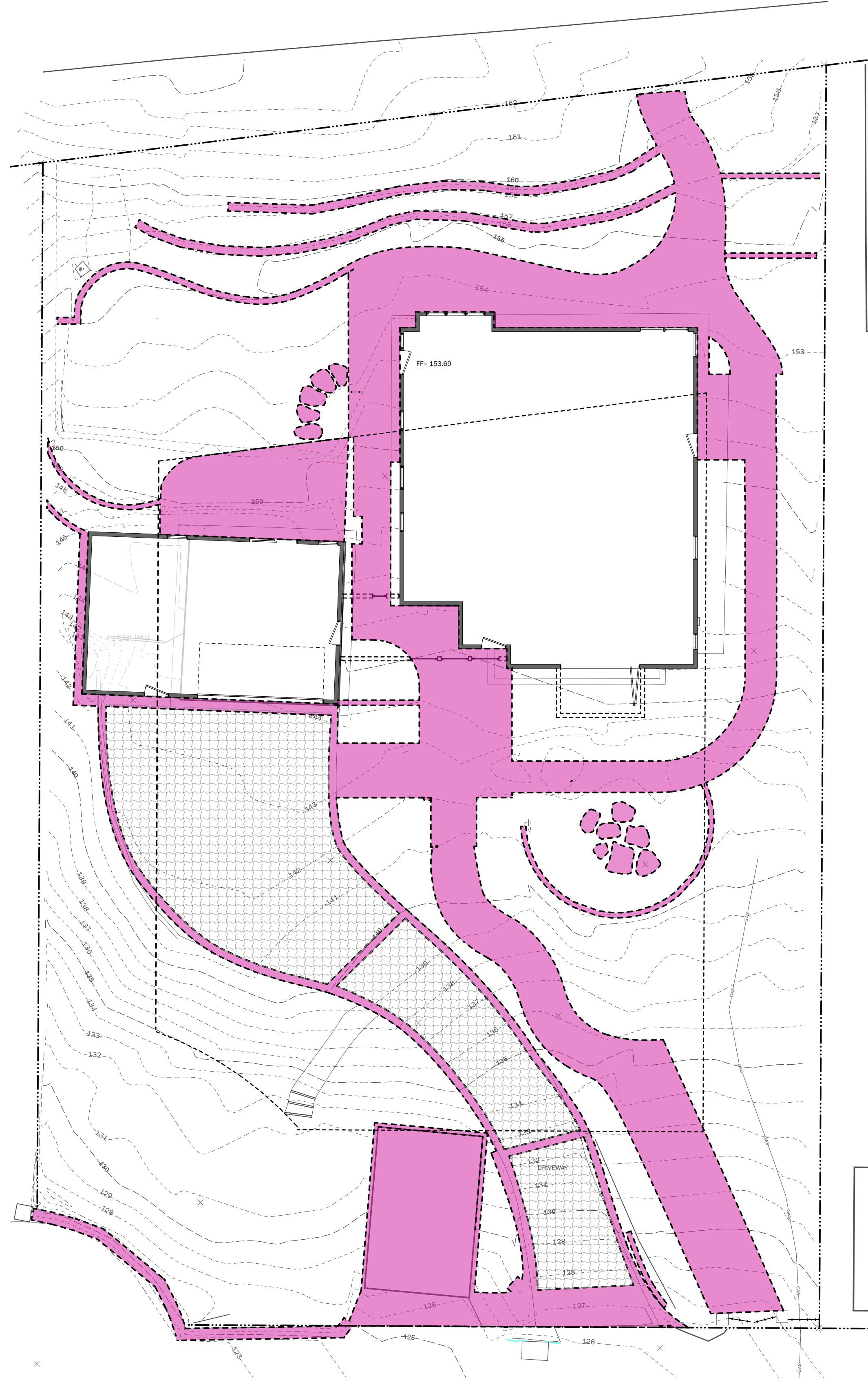
Total Lot Area = 15,263 SF

AREA #	Impervious DMA Area (SQ. FT)	Pervious DMA Area (SQ. FT)	Post-Project Surface Type
A	4,753		Patio/Walls/Dwy
B	2		Water Spigot
C	13		Retaining Wall
D	1,823		Main Home
E	13		Retaining Wall
F	536		Garage
G	8		Retaining Wall
H	371		Shed
REMAINDER		7,744	Landscaping

Sub Total:	7,519	7,744
Grand Total:	15,263	

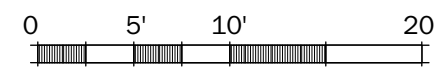
THIS CALCULATION PROVIDED BY OBERCAMPER & ASSOCIATES, CIVIL ENGINEERS, 7200 REDWOOD BLVD., NOVATO, CA

50.7% PERVIOUS /49.3% IMPERVIOUS



PROPOSED IMPERVIOUS AREA
(IN SQUARE FEET)

PROPOSED MAIN HOUSE	1828
PROPOSED GARAGE/ADU	826
PROPOSED LANDSCAPE FEATURES	3582
PROPOSED DRIVE* 1390/2	695
	6931 S.F.
PERVIOUS AREA:	8332 S.F.
GRAND TOTAL (LOT AREA):	15,263 S.F.



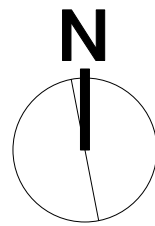
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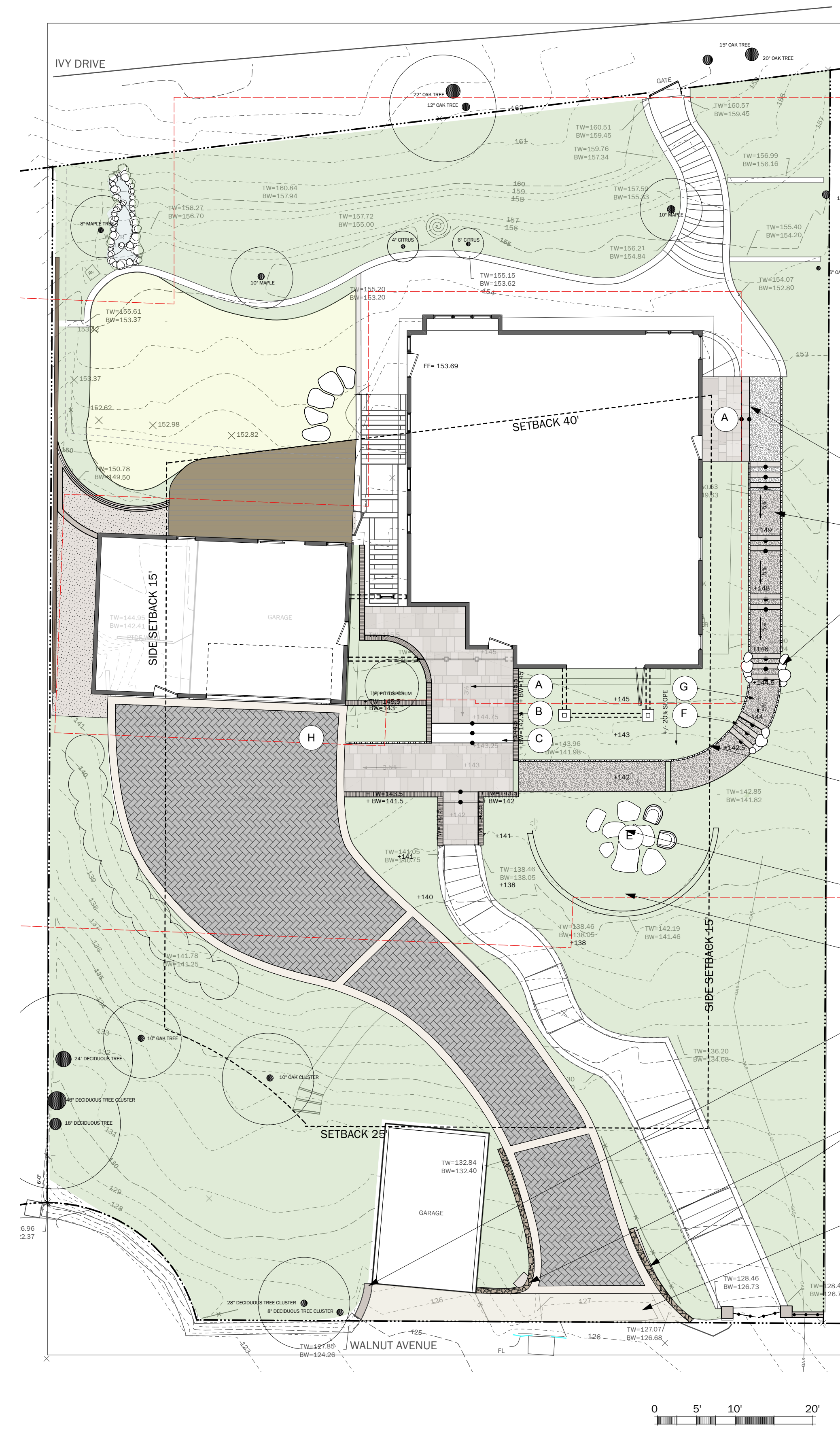


IMPERVIOUS SURFACE
PLAN

L6.00

FOGPATCH
landscapes

327 STAPLES AVENUE SF, CA 94112 415.518.9482



1 HARDSCAPE PLAN
Scale: 1" = 10'-0"

- REPAIR FLAGSTONE
- SEEDED CONCRETE TME
- BOULDERS CHEEK WALLS FOR STEPS AS NECESSARY
- EDGING 6" TALL TO HOLD SLOPE
- LARGE RUSTIC INFORMAL FLAGSTONE PAVING
- PERVIOUS PAVER DRIVEWAY
- REPLACE FAILING LANDSCAPE RETAINING WALL W/ WALL T.M.E. ADJACENT STONE WALL
- NEW DRY-STACKED WALLS AS NECESSARY: MATCH STONE FROM ADJACENT FOOTPATH
- NEW CONCRETE DRIVEWAY APRON



A CUT LIMESTONE BORDEAUX BEIGE OR GRIS, EUROPEAN LINEAR PATTERN



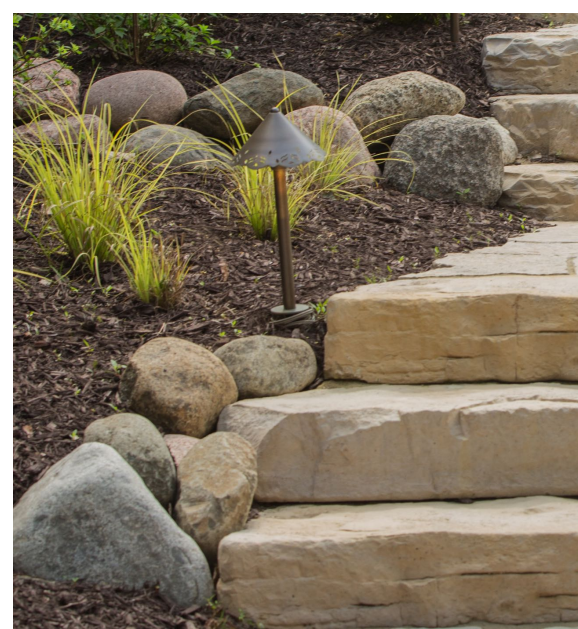
BRICK CHEEK WALLS WITH LIMESTONE CAP (MATCH LIMESTONE PAVING); MONUMENTAL SLAB STEPS, CREAM COLOR



F SEEDED CONCRETE TME



G LIMESTONE TREADS ON STEPS



H BOULDER CHEEK WALLS AS NECESSARY



D LARGE RUSTIC FLAGSTONE PAVERS SET IN PLANTING; ARIZONA HONER RUST OR CLASSIC OAK



H BELGARD AQUALINE PERMEABLE PAVERS IN VICTORIAN

2 PROPOSED HARDSCAPE MATERIALS (SEE L7 & L8 FOR OTHER MATERIALS)
Scale: NTS

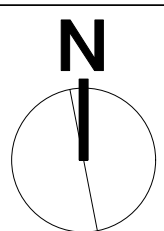
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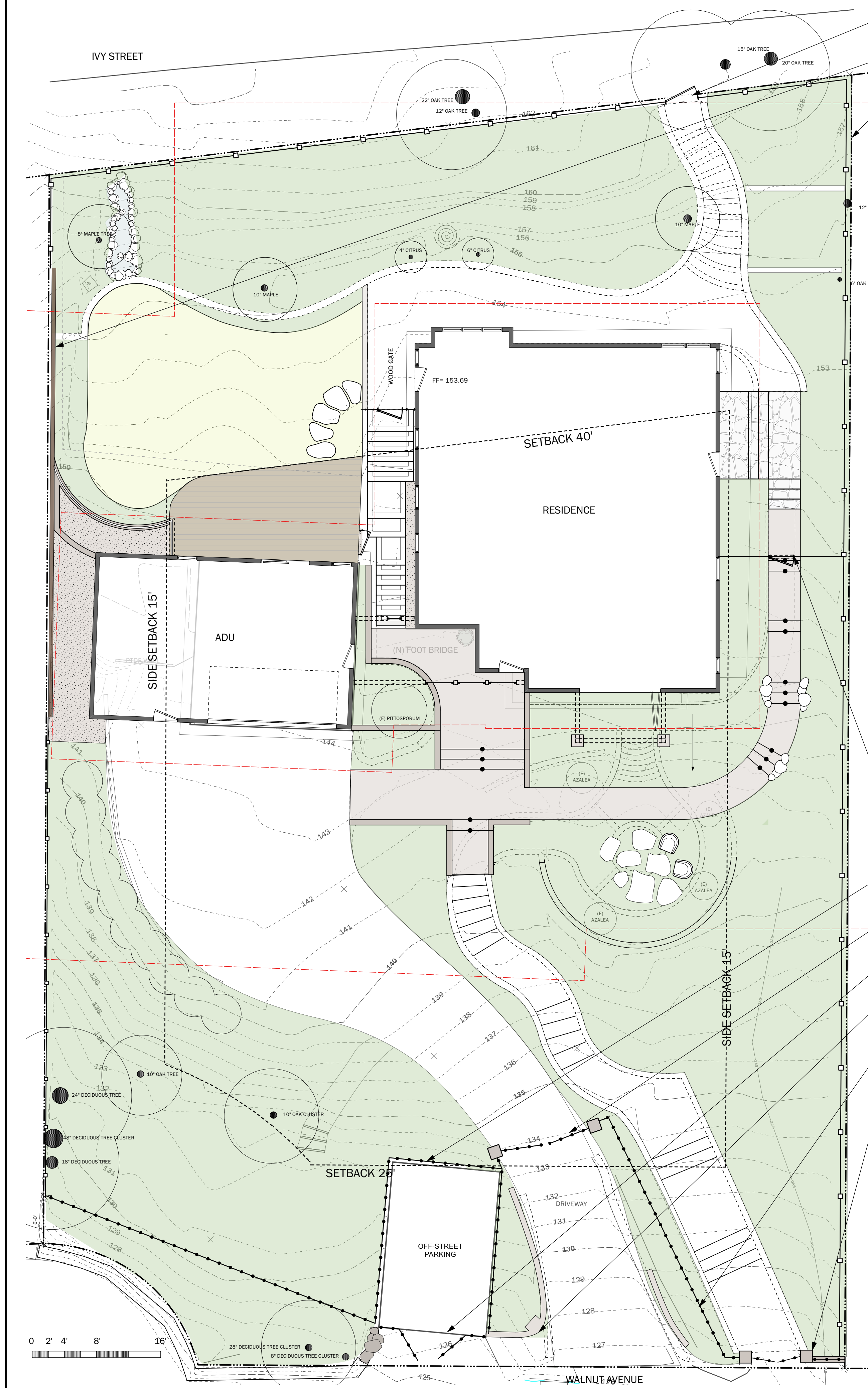


HARDSCAPE MATERIALS
PLAN

L6.50

FOGPATCH
landscapes

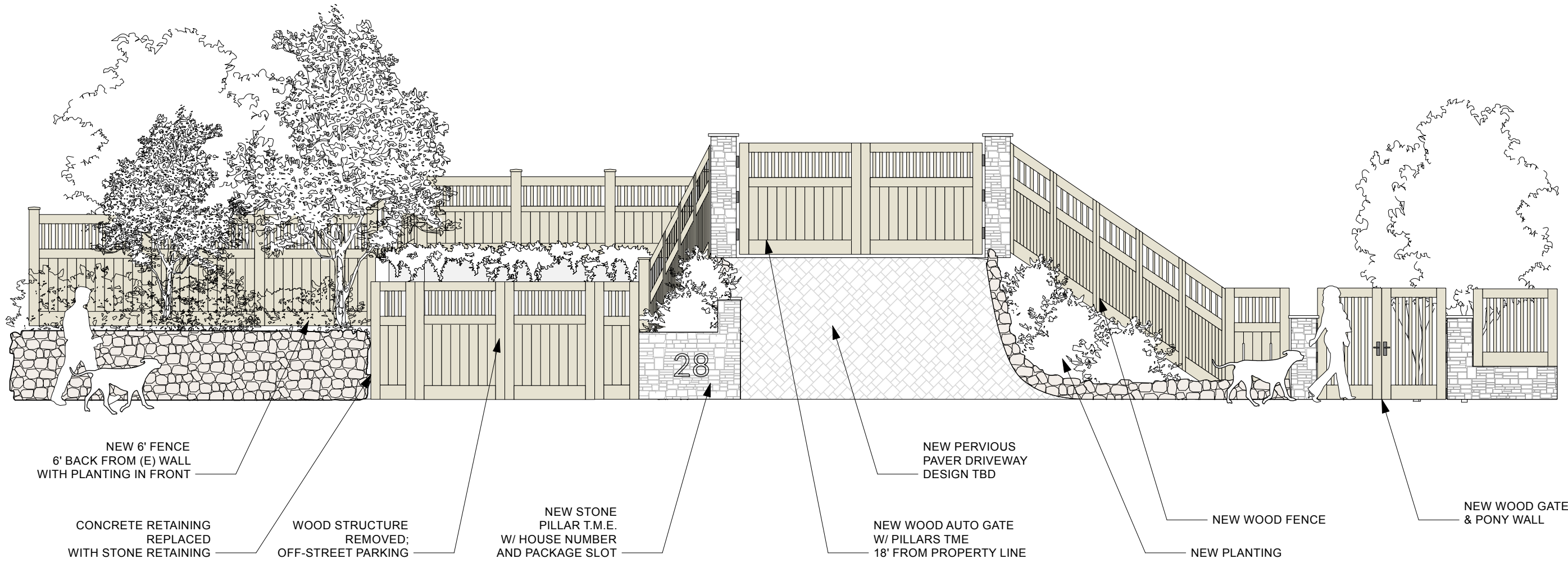
327 STAPLES AVENUE SF, CA 94112 415.518.9482



6' WOOD GATE ON
HOGWIRE FENCE

6' SOLID WOOD
PRIVACY FENCE

NEW 6' HOGWIRE FENCE
ON PROPERTY LINE
(EXCEPT WHERE NOTED)



1 Elevation at Walnut Avenue
Scale: 3/16" = 1'-0"

6' WOOD GATE ON 6'
HOGWIRE FENCE

NEW 42" SEMI-TRANSPARENT
FENCE/RAILING

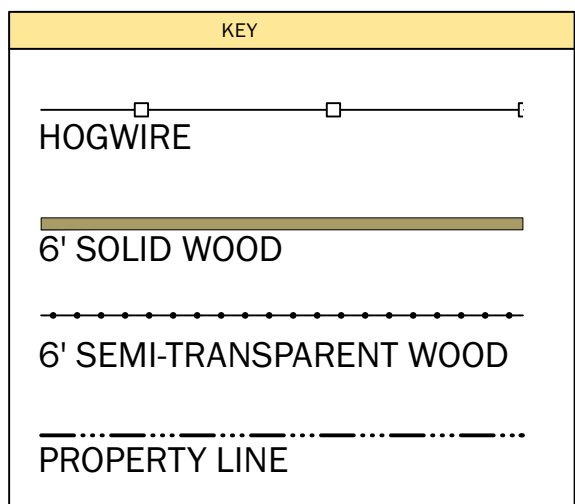
NEW 6' AUTOMATIC SWING
WOOD AUTO GATE

NEW 6' BI-FOLD WOOD GATE

DOWN-LIT ADDRESS MARKER &
PACKAGE SLOT BUILT-INTO
STONE WALL

NEW 6' SEMI-TRANSPARENT
WOOD FENCE

NEW 6' SEMI-TRANSPARENT
WOOD FENCE & GATE



SEMI-TRANSPARENT PEDESTRIAN GATE



AUTO GATE (CONCEPT)



SEMI- TRANSPARENT FENCE*



HOGWIRE FENCING



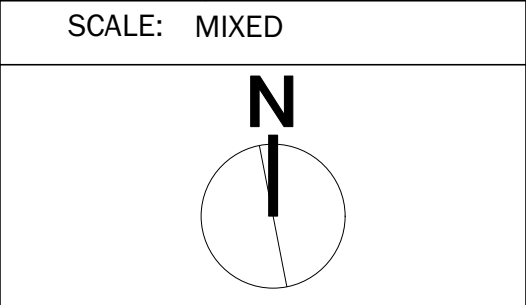
6' SOLID WOOD PRIVACY FENCE

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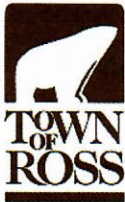
DATE:	ISSUE:
12.22.22	PLANNING SET



FENCE & GATE
PLAN

L7.00

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input checked="" type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input checked="" type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-171-03

Project Address: 28 Walnut Ave Ross CA

Property Owner: John and Gabrielle Bressack Gantus

Owner Mailing Address (PO Box in Ross): 2121 Laguna Street #6

City/State/Zip: SF CA 94115 Owner's Phone: 650 492 0840

Owner's Email: gabrielle.bressack@gmail.com

Applicant: Bressack and Wasserman Architects

Applicant Mailing Address: 21 Osage Ave

City/State/Zip: Los Altos CA 94022 Applicant's Phone: 415 309 9332

Applicant's Email: PHOEBEARCH @ GMAIL .COM

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

To Be Completed by Town Staff:

Date Received: _____
Application No.: _____
Zoning: _____

Planning 5300	_____
Tree Permit 5305	_____
Fee Program Administration 5315-05	_____
Record Management 5316-05	_____
Record Retention 5112-05	_____
Technology Surcharge 5313-05	_____
TOTAL FEES:	_____

Date paid: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment: _____

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE	PARCEL 2
Owners Signature: _____	Owner's Signature: _____
Date: _____	Date: _____
Owner's Name (Please Print): _____	Owner's Name (Please Print): _____
Assessor's Parcel Number: _____	Assessor's Parcel Number: _____

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment: _____

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: Gabrielle Bressack Date: 12/20/2022

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Signature: Rosalee Goodman Bressack Date: 12/22/2022

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

Los Altos, California on DEC 22 2022
Gabrielle Bressack Phoebe Goodman Bressack
 Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape

Firm FOGPATCH LANDSCAPE
 Project Landscape DEEANN BUDNEY
 Mailing Address 327 STAPLES AVE
 City SF State CA ZIP 94112
 Phone 415 518 9482 Fax _____
 Email DEEANN@FOGPATCH.NET
 Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
 Project Engineer _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm URBAN FORESTRY ASSOC INC - RAY MORITZ
 Project Arborist 209 SAN ANSELMO AVE
 Mailing Address _____
 City SAN ANSELMO State CA ZIP 94960
 Phone 415 454 4212 Fax _____
 Email INFO@URBANFORESTRYASSOCIATES.COM
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Written Project Description – *may be attached.*

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

SEE ATTACHED

Demolition permit

This project requires a demolition permit for the alteration of more than twenty-five percent of the residence's exterior wall coverings. The exterior wall finish is being replaced with WUI approved fiber cement components.

Substantial remodel

This project is a "substantial remodel", which will therefore comply with applicable Ross Valley Fire Department requirements for the same.

Design Review

The scope of this project is

- Remodel the existing house
 - a. remove the office and deck now in the side yard setback
 - b. replace the mishmash of different roofs with a coherent, unified roof design
 - c. remodel the primary suite, kitchen, and bathrooms
 - d. upgrade the exterior finishes to WUI fire resistance.
- Rebuild the upper property 2 car garage to add a new accessory dwelling unit (ADU) above the garage, with the same floor level as the main house.
- Remove the dilapidated wood structure at the lower property single car garage, but leave the off-street parking space's concrete walls to maintain the existing slope retention. There will be a folding wood gate, similar to the main car gate, to shield the empty space and any parked car there from street view. This part of Walnut Ave is very narrow, with no on-street parking allowed. Having a place to pull into, off street, without going up the driveway will help during construction as well as for future guests.
- Upgrade the existing landscape:
 - a. create fire vegetation management/defensible space plan around the house (tree removal permit required).
 - b. cull tired, poisonous, or fire prone plants
 - c. upgrade horticulture with attractive landscape that also enhances neighbor privacy
 - d. replace fences
 - e. re-pave the cracked driveway
 - f. add new lower entry paving, modify and upgrade miscellaneous path paving

All ridge heights of the proposed development are at lower elevation than the existing main house ridge. The proposed work is in the area of existing development, to maintain the surrounding open landscape.

This project

- removes an existing side setback building and deck encroachment
- undergrounds the electric service
- makes the house more architecturally cohesive by correcting and simplifying multiple roofs
- adds a 2 bedroom ADU for RHNA numbers (Regional Housing Needs Allocation),
- upgrades exterior finishes and landscape to WUI and Fire Department requirements for improved neighborhood fire resistance
- adds solar PV panels for utility resilience
- reduces overall impervious paving

The overall style and color palette are in the neighborhood vocabulary: modernized cottage, with painted shingles (fiber cement for fire resistance), in grey with white trim. The building volume is articulated, with different vertical planes, to maintain human scale.

All exterior lighting, both on the building and in the landscape is aimed down/Dark Sky.

Neighborhood outreach

The attached table shows who we contacted, when we met, their comments and our responses. We have a letter from the neighbors on the ADU west side, the Solles, with their approval for the windows facing their house.

One neighbor hates the lower garage, another wants it re-built. We compromised by removing the deteriorated existing wood structure, but adding a wood gate matching the main driveway car gate to block view from the street into the off street space and any car in it.

ADU permit

The ADU permit, as opposed to ministerial approval, is addressing two issues.

1. On this sloped site, although the ADU height is compliant at less than 16ft facing the rear/high side, it is at 25ft at the front/low side. Because the lot slopes towards Walnut Ave, the garage/ADU part of the building at its apex is lower than both other house ridges and the absolute zoning 30ft maximum.

Note: A new state law in effect Jan 1, 2023 changes the maximum ADU height to 18ft a priori, and 25ft if matching the main house.

2. This ADU is a 939 sf 2 bedroom unit. With the main house remodel at 2799 sf we are under the maximum FAR for the house, but 79ft over cumulatively with the ADU area (greater than 800 sf. per Ross Municipal code.) We are asking for discretionary approval of this small overage.

28 Walnut Avenue
Project Description
ADU Permit, Demolition Permit, and Design Review application
p. 2 of 3

We believe that it is the intent of the recent ADU laws, with support from the department of Housing and Community Development, to not only encourage ADUs, but also to encourage 2 bedroom units, to support a broader population need.

(Gov. Code, § 65852.2, subds. (c)(2)(B) and (C).) prohibits a local agency from establishing a maximum size of an ADU of less than 850 square feet, or 1,000 square feet if the ADU contains more than one bedroom and requires approval of a permit to build an ADU of up to 800 square feet.

This larger unit would add size diversity to the stream of ADUs currently being built in Ross without impact on the community.

ADU Windows

There are 3 sets of windows facing our west neighbors, Marney and Chris Solle at 30 Walnut.

One set is clerestory, with a sill 77" above the floor. These are clear glazed.

There are 2 separated fixed windows lighting the stair, whose head heights are 80" above the upper floor and the intermediate landing. Those are glazed obscured.

The last set of windows is at the lowest level, with sills almost at grade.

We have met with Marney and Chris to review the location of their east side windows relative to where the ADU's windows will be.

Fortunately, because the Solle's property is somewhat lower than 28 Walnut, our planned 6ft property line fence, (solid adjacent to the ADU), protects our privacy from their second floor windows looking down. The upper view angles from the ADU lower windows to their property is blocked by their second floor window sill height.

We have a letter from the Solles relative to their understanding of ADU's west side windows, and not having objections to them.

ADU parking

The ADU is part of the existing primary residence and the now attached accessory structure, so no additional parking is required. However, there is one off street parking space at Walnut Ave, and there are 2 tandem parking spaces in front of the two car garage.

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights.

Describe why the project is needed to enjoy substantial property rights.

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

Client: Gabrielle Bressack Gantus & John Gantus
Project Location: 28 Walnut Ave, Ross, Ca
Inspection Date: November 2, 2022
Arborist: Ben Anderson



Assignment

Deeann Budney asked me to meet her on her client's property to assess the condition of the existing trees prior to the proposed site work. She then asked me to produce a report documenting tree impacts and providing recommendations for tree protection that could be submitted along with the application package to the Town.

Observations

The subject property is heavily vegetated with a mix of native and exotic landscape plants. Ms. Budney provided me with a survey of existing conditions which is mostly accurate but misidentified several trees, does not show a mature black oak (*Quercus kelloggii*) below the driveway, and does not show any trees near the property line on neighboring lots. Most of the vegetation proposed for removal in the landscape and vegetation management plans is less than eight inches in diameter, except for those noted in Table 1. Photos of these trees can be found at the end of this report.

Discussion

Chapter 12.24.020 of the Ross Valley Municipal Code defines "protected tree" as "within twenty-five feet (25') of the front or side yard property line or within forty feet (40') of the rear yard property line of any parcel, with such tree having a diameter greater than eight inches (8)". It defines a "significant tree" as "having a single trunk diameter greater than twelve inches (12)".

Conclusions

Very little tree protection is needed as the large trees in the center of the site are being removed, and the remaining trees should be far enough away from the use of heavy equipment that they do not require fencing. Fencing should be installed in accordance with the map in Figure 1 to protect the neighbor's coast live oak, as well as the coast live oak on the property line.

Standard precautions should be taken around any tree retained on the site. See the Arborist Checklist in this report. The inspection schedule should also be followed so the contractors are familiar with these precautions.

Inspection Schedule

Inspection of site: Prior to Equipment and Materials Move In, Site Work, Demolition, and Tree Removal: The Project Arborist will meet with the General Contractor, Architect / Engineer, and Owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection / non-intrusion zone fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site: After installation of TPZ fencing: Inspect site for the adequate installation of tree preservation measures. Review any requests by the contractor for access, soil disturbance, or excavation areas within root zones of protected trees. Assess any changes in the health of trees since the last inspection.

Inspection of site: During excavation or any activities that could affect trees: Inspect site during any activity within the TPZ of preserved trees and any recommendations implemented. Assess any changes in the health of trees since the last inspection.

Final Inspection of Site: After completion of construction: Inspect for tree health and make any necessary recommendations.

ARBORIST'S CHECKLIST

- An urban forester, certified or consulting arborist shall establish the Tree Protection Zone (TPZ) before starting the demolition. Four-foot-high metal wire deer fencing will be erected by the contractor and inspected by the arborist to limit access to the TPZ. This will protect the trunk and root zone throughout construction.
- The Arborist shall have a pre-demolition meeting with the contractor or responsible party and all other foremen or crew managers on site before any work to review all work procedures, access and haul routes, and tree protection. The contractor must notify the Arborist if roots are exposed or trunk or branches are wounded.
- For Any trunk and root crown that is not protected by a TPZ where heavy equipment operation is likely to wound the trunk, install a barrel stave-like trunk wrap out of 2 X 4 studs connected with metal straps, attached to the 2 X 4's with driver screws or one-inch nails.
- Storage of equipment shall be as far away from protected trees as possible and optimally on asphalt or ground protected by mulch/plywood.
- Heavy equipment use should be limited around trees and the roots. No equipment may be transported or used on the bare ground within the root zone. A 6-inch-deep layer of mulch and plywood must be placed under the path for access and egress. The protective "bridge" shall be maintained by the contractor and inspected by the arborist when on site.
- Any damage to trees due to demolition or construction activities shall be reported to the arborist within 6 hours so that remedial action can be taken. Any damage done to the trees in violation of the contract agreement shall be appraised as a casualty loss by the arborist and provided to the tree owner.
- All trenching within the TPZ shall be done pneumatically or by hand, careful not to damage any of the bark of any root encountered.
- An arborist shall inspect all grading, trenching, tunneling, or other excavation within the root zones of trees before backfilling.
- No chemicals or other waste materials shall be dumped within 20' of the base of any tree. There shall be no material storage in the TPZ.
- Pier and at-grade beam foundation construction should be used around the tree to avoid root damage. The top 3' of any pier inside a TPZ shall be pneumatically excavated or hand-dug and then inspected by the arborist before drilling for piers to avoid major roots. Any minor roots (less than approximately two inches) encountered can be cut cleanly with a saw after excavation.
- Any tree pruning will be done in accordance with ISA standards. The arborist will inspect all pruning.
- The arborist must perform a final inspection to ensure that no unmitigated damage has occurred and to specify any pest, disease, or other health care. The arborist shall specify and oversee any necessary restorative actions.
- Any suspected omissions or conflicts between various plan elements shall be brought to the attention of the arborist and resolved before proceeding with the work.

SCOPE OF WORK AND LIMITATIONS

Urban Forestry Associates has no personal or monetary interest in the outcome of this investigation. All observations regarding trees in this report were made by UFA independently, based on our education and experience. All determinations of the health condition, structural condition, or hazard potential of a tree or trees at issue are based on our best professional judgment. The health and hazard assessments in this report are limited by the visual nature of the assessment. Arborists cannot detect every condition that could lead to a tree's structural failure. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk, and the only way to eliminate all risks associated with trees is to eliminate all trees.



Benjamin Anderson, Urban Forester
ISA Board Certified Master Arborist & TRAQ
RCA #686, WE #10160B
(415) 454-4212 ex. 1

Table 1. Data on trees to be removed

Tree #	Species	Latin	Trunk Diameter (inches)	Health	Structure	Form	Comments	Impact	Code Status
1	Douglas fir	<i>Pseudotsuga menziesii</i>	25.5	Good	Fair	Fair to good	The tree was pruned very poorly prior to the sale of the home, leaving all the foliage at branch ends greatly increasing the risk of branch failure. The base is outgrowing the small planting area.	Removal	Significant
2	Incense cedar	<i>Calocedrus decurrens</i>	7.5	Poor	Poor to fair	Poor to fair	Previously topped and nearly dead	Removal	Not protected
3	Incense cedar	<i>Calocedrus decurrens</i>	7.5	Poor	Poor to fair	Poor to fair	Previously topped and nearly dead	Removal	Not protected
4	California bay	<i>Umbellularia californica</i>	6	Good	Good	Good	Growing in a cluster of coast live oak and pittosporum	Removal	Not protected
5	Pittosporum	<i>Pittosporum eugenioides</i>	8	Poor	Poor to fair	Poor to fair	Clump of several trunks/plants near the mailbox. All pittosporum is nearly dead. This species is evergreen, but these are in such poor condition that they appear deciduous due to the lack of living leaves.	Removal	Protected
6	Blackwood acacia	<i>Acacia melanoxylon</i>	13	Good	Good	Good	Clump of several stems. The largest was measured. Fire prone species	Removal	Significant
7	Southern magnolia	<i>Magnolia grandiflora</i>	8	Good	Good	Good		Removal	Protected
8	Douglas fir	<i>Pseudotsuga menziesii</i>	11	Fair to good	Good	Fair to good	Growing adjacent to more desirable oaks	Removal	Protected

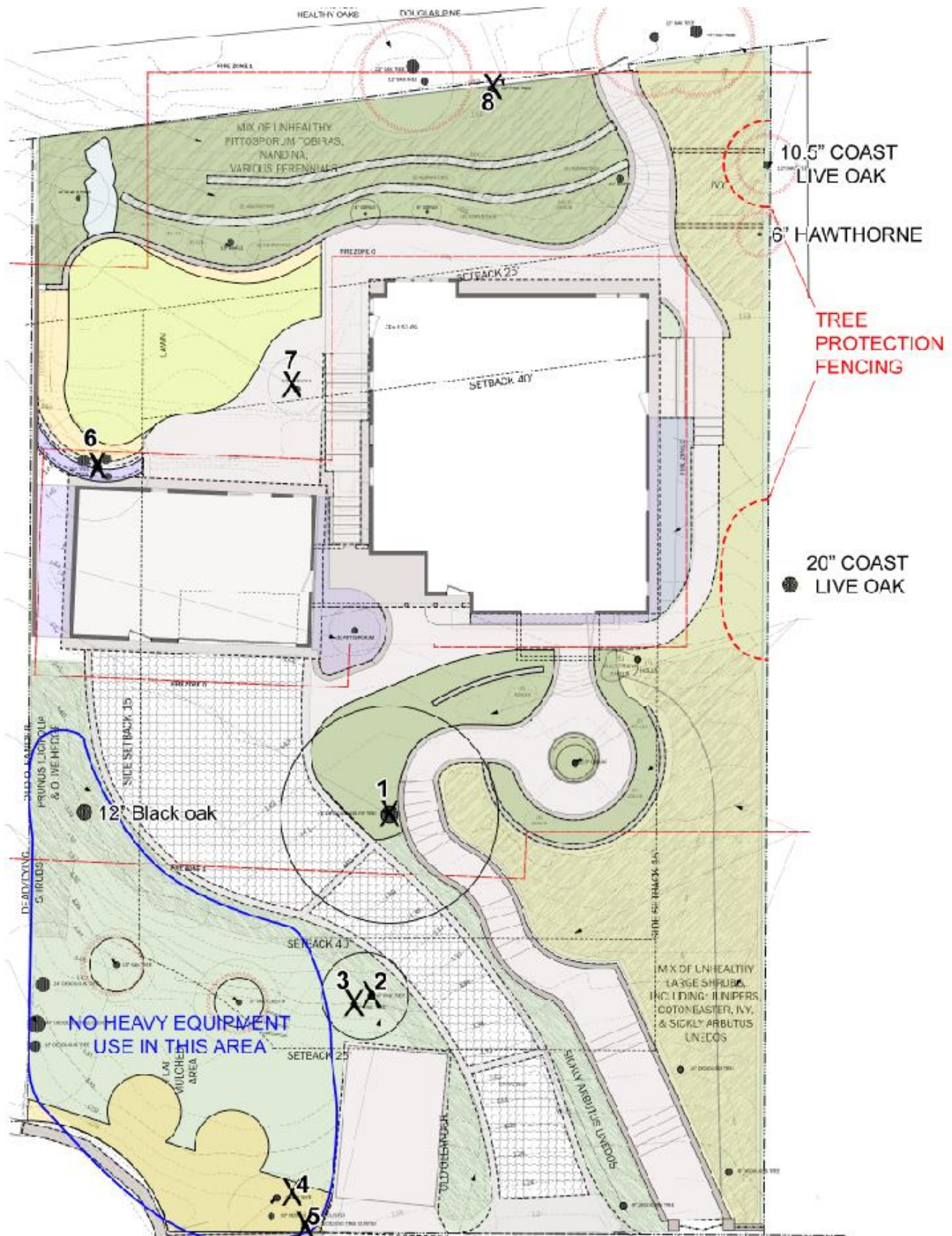
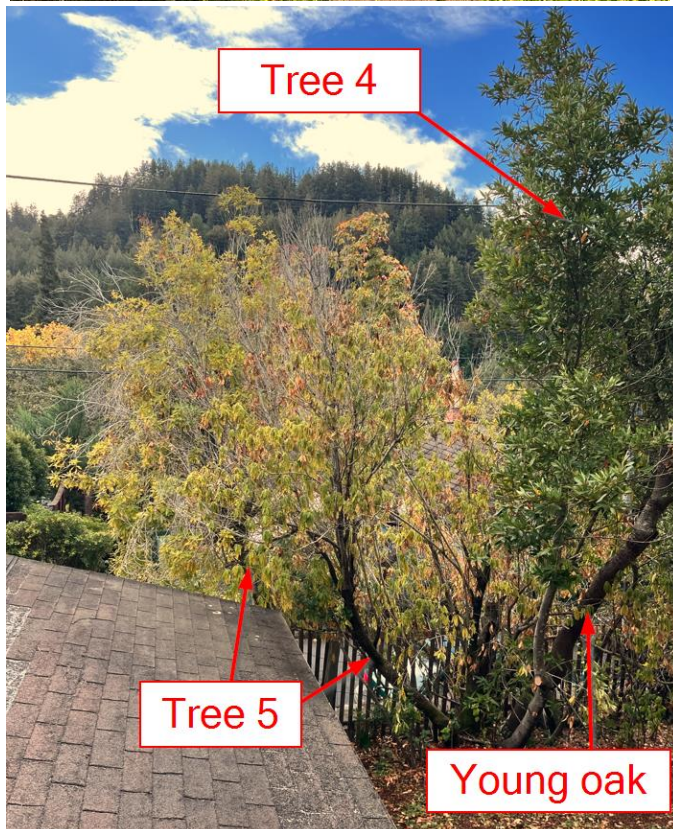
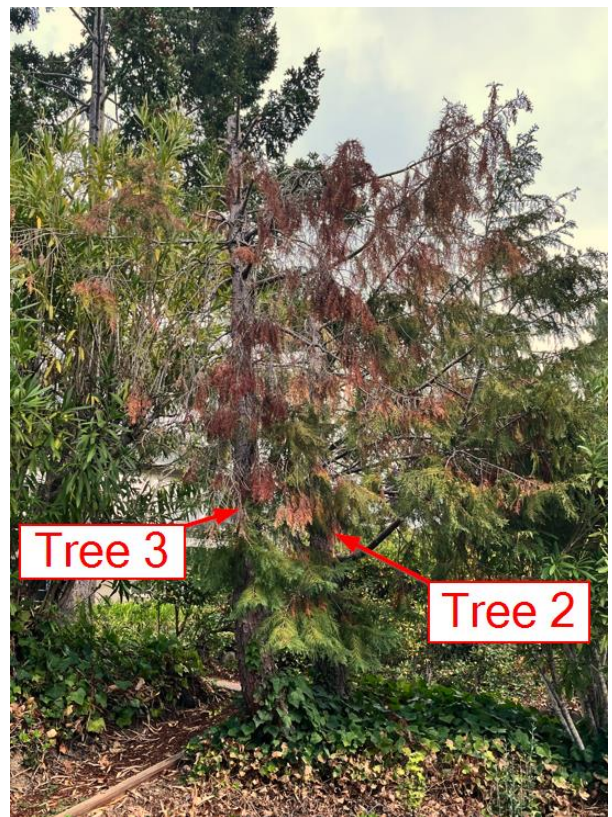


Figure 1. Map showing location of tree removals and recommended fencing.

Appendix A. Tree removal photos







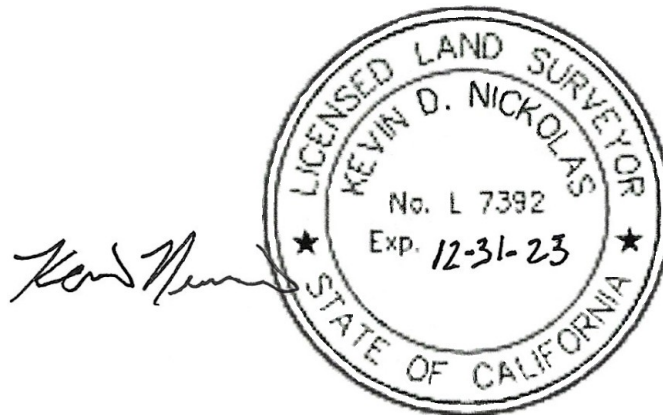
GRANT LINE LAND SURVEYING

December 29, 2022

28 Walnut Ave
Ross, CA

The constructed story poles located at 26 Walnut Ave were surveyed on December 28, 2022 and were found to be in conformance for location, heights and elevations to depict the silhouette for the proposed house ridgelines and features shown on the approved plans by Bressack and Wasserman Architects dated November 2022.

Kevin Nickolas PLS
L7392 Expires 12/31/23



\\INFO\Documents\Jobs\2022\22-159 28 Walnut Avenue, Ross - Boundary, Topo, Civil\DWG\Bases\22-159 MASTER w edits.dwg, 9/7/2022 1:27:17 PM, DWG To PDF.pc3

DATE OF FIELD SURVEY:

JUNE 29, 2022

LEGEND:

A.P.N. ASSESSOR'S PARCEL NUMBER
CONC CONCRETE
TW TOP OF WALL
BW BOTTOM OF WALL
FL FLOW LINE
EC EDGE OF CONCRETE
FF FINISHED FLOOR

USA GAS
EAVES
OVERHEAD UTILITY
FLOWLINE
METAL FENCE
WOOD FENCE
WIRE FENCE
BOUNDARY LINE
MINOR CONTOUR LINE (1')
MAJOR CONTOUR LINE (5')
ABOVE GRADE DECK

TREE AS LABELED

WOOD WALL
CONCRETE
AC CONCRETE
ROCK

WATER VALVE
WATER METER
SPOT ELEVATION
GAS METER
PG&E METER
DRAIN INLET
POWER POLE
AREA DRAIN
HOSE BIB
SHRUB AS LABELED

SURVEYOR'S NOTES:

1. ALL TREES SHOWN HEREON REFLECT THEIR HORIZONTAL GROUND LOCATIONS AND ARE MEASURED AT BREAST HEIGHT.

BENCHMARK NOTE:

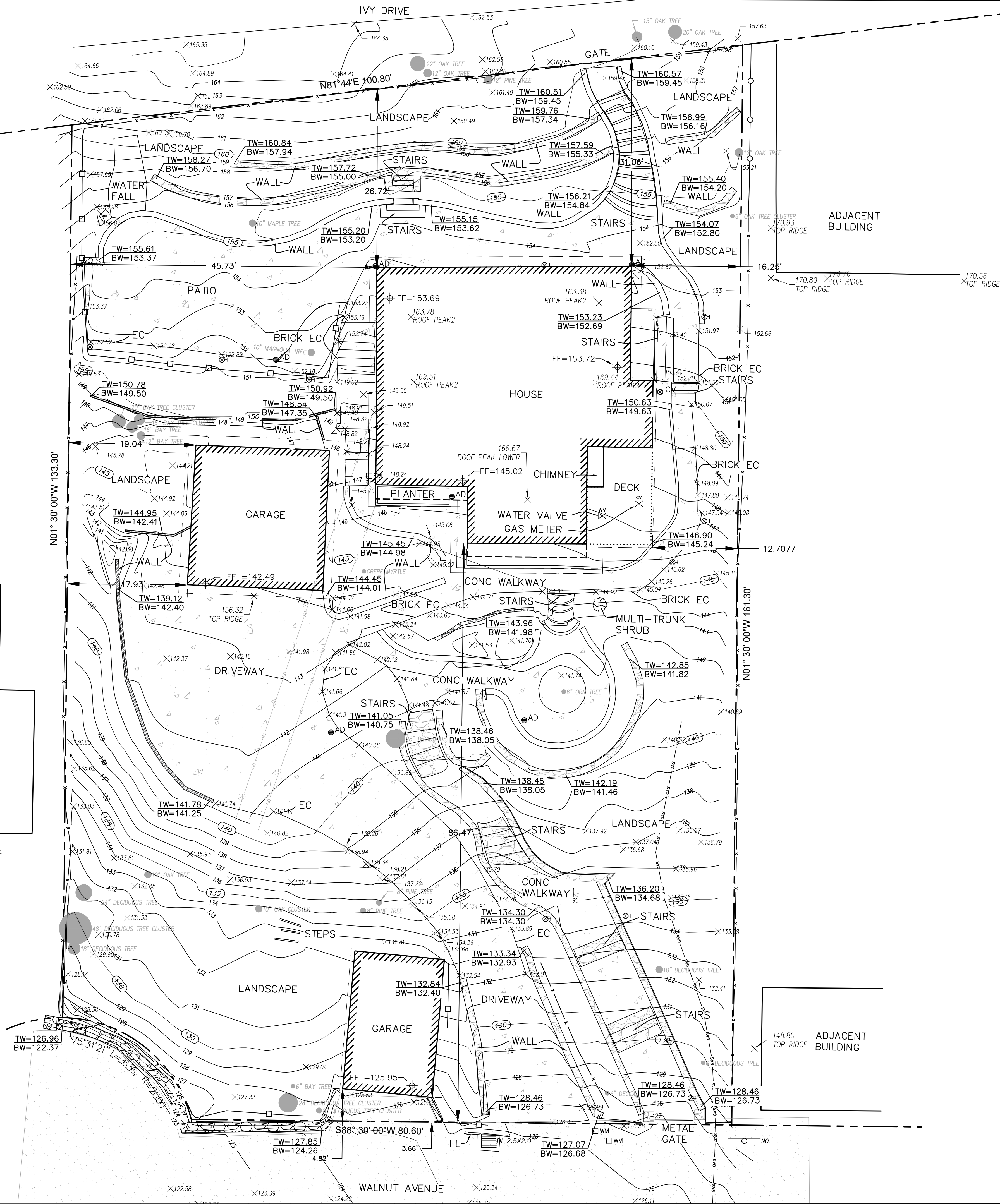
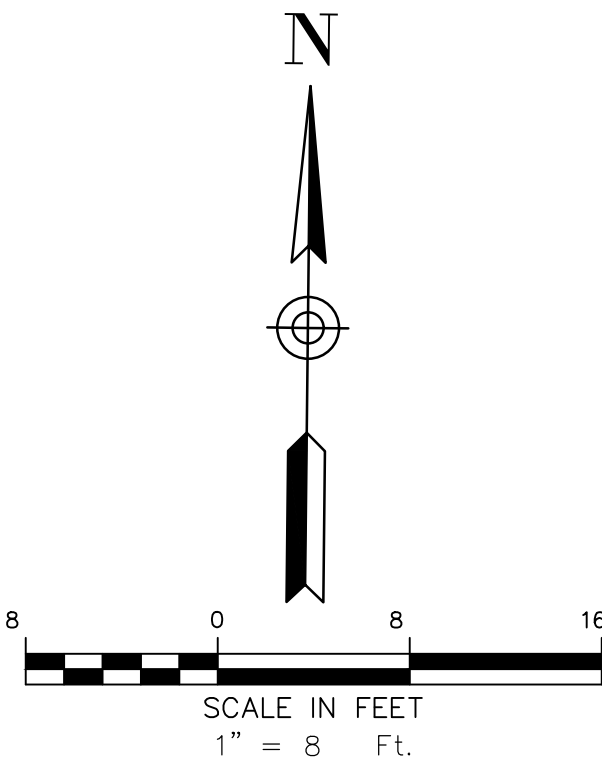
THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) VIA NATIONAL GEODETIC SURVEY'S (NGS) 'GEOID12B' GEOD MODEL BEING APPLIED TO COMPUTED ELLIPSOID HEIGHTS AS TIED TO THE PUBLISHED ELLIPSOID HEIGHT AT AVAILABLE CORS STATIONS ON THE CALIFORNIA REAL TIME NETWORK

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED UPON A FIELD SURVEY.

LEON E. OBERKAMPER
REGISTERED CIVIL ENGINEER #12094

JULY 20, 2022
DATE



OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.
7200 REDWOOD BLVD SUITE 308 NOVA TO, CA 94945
PHONE: (415) 897-2800
WWW.OBERKAMPER.COM

BOUNDARY & TOPOGRAPHIC SURVEY
28 WALNUT AVENUE A.P.N. (073-171-03)
TOWN OF ROSS
MARIN COUNTY
CALIFORNIA

Scale: 1" = 8'
Drawn by: TW
Field Crew: AS
Checked by: LEO
Date: JULY 11, 2022

SHEET
1
OF 1
22-159

name	street address	APN	meeting date	concerns/comments	response/comments
Bob and Matilda Thompson	26 Walnut	073-171-04	11/26/2022	how to mitigate view of solar panels, upgrading side landscape	Landscape design adjusted to provide shielding, will coordinate our new planting ideas with their planned planting upgrade
Malin Wolf	18 Olive	073-171-08	not interested		
Chris and Marney Solle	30 Walnut	073-171-54	11/26/2022	want the lower garage eyesore removed, construction parking to maintain their access (Walnut Ave very narrow), privacy changes with ADU	reviewed defensible landscape changes, ADU windows. Will coordinate fence placement and appearance, and possible fence planting where out of defensible space zone
Katharine Bossart/Carlos Hilson	10 Olive		11/13/2022	privacy on her north side from ADU, aesthetics of lower garage, enhance planting in front of fence at lower boundary	Landscape design adjusted to provide shielding from ADU front, folding gate matching main car gate added to cover entrance to off street parking, fence facing Walnut pushed back for more intensive planting in front.
		073-171-07			
Kate Wood Lord	15 Walnut	073-171-06	11/13/2022	privacy at her north side from ADU, aesthetics of lower garage, enhanced planting in front of fence at lower boundary	South fence moved back from current location; enhanced landscape between fence and property line. Landscape design adjusted to provide shielding, folding gate matching main car gate added to cover entrance to off street parking.
Ezra Ripple	20 Olive	073-171-09	no response		
Cynthia and Richard Livermore	24 Walnut	073-171-46	11/16/2022	although distant, previous redwood removal created some privacy exposure	Landscape design adjusted to provide privacy along east side

B R E S S A C K and W A S S E R M A N
A R C H I T E C T S

T W E N T Y - O N E O S A G E A V E N U E
L O S A L T O S , C A L I F O R N I A 9 4 0 2 2
4 1 5 3 0 9 9 3 3 2 6 5 0 3 2 1 1 9 8 7

November 26, 2022

To: City of Ross Planning Department
Re: 28 Walnut Neighborhood Outreach

On this date
Chris and Marney Solle
30 Walnut Ave APN 073-171-54
Ross CA

met with Phoebe Goodman Bressack, project architect, to review this project's plans submitted for Design Review. In particular, our house's east windows face the west side of the proposed ADU. There are 3 sets of ADU windows: a clerestory with clear glass, 2 windows with obscured glass at the ADU stair, and windows at grade level, also clear.

Comments:

We are excited to see the "garage" on the street demolished and new/updated landscaping. We are okay with the windows on our property line.

Signed
Chris and/or Marney Solle