



Staff Report

Date:

February 15, 2023

To:

Advisory Design Review Group

From:

Alex Lopez-Vega, Assistant Planner

Subject:

41 Poplar Avenue

Recommendation

That the ADR Group discuss the merits of the project and provide a formal recommendation to the Town Council regarding the merits of the project consistent with the Design Review criteria and standards of Ross Municipal Code section 18.41.100 (see **Attachment 1**).

Project Information

Property Owner:

Michael and Mindy Whittington

Applicant:

Eric M. Spletzer

Street Address:

41 Poplar Avenue

Parcel Number:

073-273-04

Zoning:

R-1: B-7_5

General Plan:

ML (Medium Low Density)

Flood Zone:

AE (Floodway)

Project Data

	Code Standard	Existing	Proposed
Lot Area	7,500SF	8,962 SF	No change
Floor Area (FAR)	20%	2,709 SF (30.23%)	2,712 SF (30.26%)
Building Coverage	20%	1,626 SF (18.15%)	1,670 SF (18.64%)
Front Setback	25'	26'	No Change

	Code Standard	Existing	Proposed
Side Setback (West)	15′	21′	No Change
Side Setback (East)	15'	9'-3"	No Change
Rear Setback	40′	100′	No Change
Building Height	30′	18′ 6″	22' 2"
Parking	2 (1 Covered)	2 (1 Covered)	2 (1 Covered)
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	1,438 SF	1,217 SF

Project Description

The applicant is requesting approval for Design Review and a Variance. The project proposes to lift the existing two-story single-family residence 3'8" above its existing elevation in its current location in order to raise the habitable space out of the floodplain. The maximum building height would increase from 18'-6" to a proposed 22'-2", which would comply with the maximum allowed 30 – foot building height limit. The project includes expanding the second-story deck and removing the existing stairs. A new rear porch is proposed below the new second-story deck which will encroach into the side yard setback. The project will include interior work which will exchange some existing floor area for new floor area, , replace and install new windows, and update the front entry stairs with a new handrail.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

Design Review Permit is required pursuant to RMC Section 18.41.010 to allow for construction of a new building exceeding 200 square feet of a new floor area; fences and gates greater than48" in height adjacent to the street right-of-way; a project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.

Variances are required pursuant to RMC Section 18.48.010 to allow for the construction of a new porch which is nonconforming with respect to the side yard setback.

Background

The project site is an 8,962 square-foot rectangular lot on the west side of Poplar Avenue. The property is located within the Federal Emergency Management Agency (FEMA) Special Flood Hazard Area Zone AE, which is defined as an area subject to inundation by the 1- percent-annualchance flood event (also referred to as the base flood or 100-year flood).



Discussion

The overall purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include; provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individuals buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per section 18.41.100 are included as **Attachment 1**.

Public Comment

At the time of writing this report, no comments were received from the public regarding the project.

Attachments

- 1. Ross Municipal Code Section 18.41.100, Design Review Criteria and Standards
- 2. Project Plans
- 3. Project Application & Materials

Chapter 18.41

DESIGN REVIEW

Sections:

18.41.010	Purpose.
18.41.020	Improvements subject to design review.
18.41.030	Chapter application.
18.41.040	Submittal requirements.
18.41.050	Review authority.
18.41.060	Town Council review.
18.41.070	ApprovalSpecial conditions and findings.
18.41.080	Denial of incomplete or inactive applications.
18.41.090	Administrative review.
18.41.100	Design review criteria and standards.
18.41.110	Noncompliance.
18.41.120	Emergency situations.

18.41.010 Purpose. (a) The "small town" feel and the serene, quiet character of its neighborhoods are special qualities to the town. The existing scale and quality of architecture, the low density of development, the open and tree-covered hills, winding creeks and graciously landscaped streets and yards contribute to this ambience and to the beauty of a community in which the man-made and natural environment co-exist in harmony.

- (b) This chapter is intended to guide new development to preserve and enhance these special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include the following:
- (1) Provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area. Promote high-quality design that enhances the community, is consistent with the scale and quality of existing development and is harmoniously integrated with the natural environment;
- (2) Preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods through maintaining historic design character and scale, preserving natural features, minimizing overbuilding of existing lots and retaining densities consistent with existing development in Ross and in the surrounding area;
- (3) Preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and

safety. Ensure that site design and intensity recognize site constraints and resources, preserve natural landforms and existing vegetation, and prevent excessive and unsightly hillside grading;

- (4) Enhance important community entryways, local travel corridors and the area in which the project is located;
- (5) Promote and implement the design goals, policies and criteria of the Ross general plan;
- (6) Discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression;
- (7) Preserve buildings and areas with historic or aesthetic value and maintain the historic character and scale. Ensure that new construction respects and is compatible with historic character and architecture both within the site and neighborhood;
- (8) Upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site.
- (9) Preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development to reduce flooding, streambank erosion, sediment in stormwater drainage systems and creeks, and minimize damage to public and private facilities. Ensure that existing site features that naturally aid in stormwater management are protected and enhanced. Recognize that every site is in a watershed and stormwater management is important on both small and large sites to improve stormwater quality and reduce overall runoff.
- (c) This chapter establishes procedures and criteria for the review of buildings, structures and improvements necessary to meet this purpose. (Ord. 619 (part), 2010; Ord. 514 §1(part), 1993).

18.41.020 Improvements subject to design review.

- (a) Design review is required for the following projects:
- (1) All new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area, including enclosing existing open areas.
 - (2) All building relocations.
 - (3) Any increase to the existing roof height.
- (4) All fences, gates or walls, or a combination of these, greater than fortyeight inches in height in any yard adjacent to the street or right-of-way.
- (5) The construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.
 - (6) New retaining walls with a cumulative total of more than one hundred linear feet.
- (7) Any sports court fences over 6 feet in height and for gate columns and other decorative fence elements that exceed the permitted fence height limits.
- (8) Any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, as determined by the Planner.
- (9) Any activity or project resulting in more than fifty cubic yards of grading or filling, whether or not a building permit is required.

- (10) Any construction, improvements, grading/filling or other site work within twenty-five feet of a creek, waterway or drainageway, whether or not a building permit is required with the exception of creek projects in accordance with Section 18.41.020(b)(4) of this Code.
- (11) Any project resulting in over 1,000 square feet of new impervious landscape surface, whether or not a building permit is required.
- (12) Redevelopment, Rehabilitation, and/or renovation of existing landscaping over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood, whether or not a building permit is required.
 - (b) Design Review is not required for the following:
- (1) Repainting existing structures involving no exterior remodeling resulting in additions, extensions or alterations.
 - (2) Accessory Dwelling Units in Accordance with Chapter 18.42 of this Code.
- (3) Attic improvement permitted under Chapter 18.46 unless the project involves exterior work within twenty-five feet of a creek, waterway or drainageway, or if the attic project is associated with a larger project that requires design review.
- (4) Creek stabilization and/or stream bank repair and alteration permits subject to issuance of a building permit and local, state, and federal permitting approval.
- (5) Improvement of an existing basement in accordance with Chapter 18.45 of this Code.
- (6) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in accordance with Section 18.41.090(d) of this Chapter. (Ord. 704 (part), 2020; Ord. 696 (part), 2019; Ord. 624 (part), 2011; Ord. 619 (part), 2010; Ord. 604 (part), 2008; Ord. 578 §7, 2003; Ord. 575 (part), 2003; Ord. 558 (part), 2001; Ord. 557 (part), 2001; Ord. 544 (part), 1999; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).
- 18.41.030 Chapter application. No work shall be started or authorized on any matter which is subject to design review on any lot located within the town until a design review application is approved, unless written approval for the work is first given by the town planner. (Ord. 514 §1(part), 1993).
- drawings, plans, specifications and graphic or written material as required by the town planner or town council to clearly and accurately describe the proposed work, its effect on the environment and its relationship to existing improvements. The applicant shall pay a fee as set by the town council. All drawings and plans shall show both existing and proposed elevations and clearly identify all new construction and label all materials as new or existing. A structural engineer's report on the condition of the existing structure and its ability to meet building code requirements without additional modifications shall be prepared as required by the town planner or town council. An extensive termite, dry rot damage report shall be prepared, as required by the town planner or town council, which shall not only identify areas of damage but shall explore

to determine the full extent of the damage, both exposed and concealed. Complete photos and a videotape of the structure's exterior shall be provided as required by the town planner or town council. A project manager, hired by the town at the applicant's expense, shall monitor demolition/construction activity as deemed necessary by the town building official. The applicant shall submit a proposed erosion control and sediment control plan, stormwater control plan, and/or stormwater facilities operation and maintenance plan if required by chapter 12.28 of the town code. Standard submittal requirements will be prepared by the town planner. Additional material may be required by the town planner. (Ord. 657 (part), 2014; Ord. 604 (part), 2008: Ord. 534 (part), 1996: Ord. 514 §1(part), 1993).

18.41.050 Review authority. The town council will conduct the design review provided for by this chapter, except as otherwise provided in this chapter. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.060 Town Council review. Except as otherwise provided in this chapter, the town council will decide design review applications at a public meeting. The town council will review the application at its next available meeting following a determination by the town planner that the application is complete. The town clerk will mail written notice at least ten calendar days prior to the hearing to the applicant and to all owners of property within three hundred feet from the exterior boundaries of the project site. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.070 Approval--Special conditions and findings.

- (a) The town council may approve, conditionally approve or deny an application for design review. The town council shall include conditions necessary to meet the purpose of this chapter and for substantial compliance with the criteria set forth in this chapter. The council may adopt by resolution standard conditions for all projects to meet.
 - (b) The town council shall make the following findings in approving any project:
- (1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.
- (2) The project is in substantial compliance with the design criteria of Section 18.41.100.
 - (3) The project is consistent with the Ross general plan and zoning ordinance.
- (c) The town council shall deny any project for which it cannot make the above findings required in this section. (Ord. 514 §1(part), 1993).
- 18.41.080 Denial of incomplete or inactive applications. Consistent with state law, the town planner may administratively deny without prejudice any application which remains incomplete or inactive for a period of greater than ninety days or is continued at the applicant's request for more than sixty days. (Ord. 514 §1(part), 1993).
- 18.41.090 Administrative review. The town planner may administratively approve, conditionally approve or deny the following without notice or a public hearing: (a) An amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent

with the intent and criteria of this chapter and with zoning ordinance regulations. Such administrative review may include, but is not limited to, the addition of skylights, greenhouse windows and other minor changes from approved design review plans. (b) Design review of fences pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (c) An application that involves alteration of more than twenty-five percent of the exterior walls, but less than twenty-five percent of the exterior wall coverings of a residence pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (d) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in consultation with the Town's Advisory Design Review Group. (Ord. 704 (part), 2020; Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).).

- 18.41.100 Design review criteria and standards. Until such time the Town Council adopts Residential Design Guidelines, this section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.
 - (a) Preservation of Natural Areas and Existing Site Conditions.
- (1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridge lands and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.
- (2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion.
- (3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.
 - (b) Relationship Between Structure and Site.

There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

- (c) Minimizing Bulk and Mass.
- (1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

- (1) Buildings should use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.
 - (2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.
- (3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.
 - (e) Drives, Parking and Circulation.
- (1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.
- (2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.
- (3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting.

Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening.

Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate. Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake

Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

Views. (h)

Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

Natural Environment. (i)

- (1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelands, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.
- (2) Development in upland areas shall maintain a setback from creeks or drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.
- (3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.
- (4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.
 - (5) Safe and adequate drainage capacity should be provided for all watercourses.

Landscaping.

- (j) (1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning. Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the same or similar species. Landscaping should include planting of additional street trees as necessary.
- (2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.
- (3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.
- Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety.

Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(I) Visual Focus.

- (1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.
- (2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy.

Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations.

Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

- (o) Relationship of Project to Entire Site.
- (1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved design review project and, once approved, may not be changed by current or future property owners without town approval.

- (2) Proposed work should be viewed in relationship to existing on-site conditions Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.
 - Relationship to Development Standards in Zoning District. (p)

The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

Project Reducing Housing Stock. (q)

Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

Maximum Floor Area. (r)

Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which minimizes environmental impacts and compatibility with the character of the surrounding area.

Setbacks. (s)

All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

Low Impact Development for Stormwater Management. (t)

Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) Maximize Permeability and Reduce Impervious Surfaces. Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

- (2) Disperse Runoff On Site. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.
- (3) Include Small-Scale Stormwater Controls and Storage Facilities. As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or "green roofs", catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 696 (part), 2019; Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).
- 18.41.110 Noncompliance. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. Such violation will be subject to the enforcement penalties procedures of Chapter 18.64 of this code. (Ord. 514 §1(part), 1993).
- 18.41.120 Emergency situations. If a condition exists which requires immediate action to protect public health, safety and welfare, the town building official may, after consultation with the town planner, grant emergency approval to temporarily correct or ameliorate such condition without submitting the matter to the Town Council for design review approval or posting written notice. Permanent corrective measures shall require design review approval in accordance with the provisions of this chapter. The building official and town planner may impose conditions on an emergency permit as necessary to ensure compliance with this chapter. (Ord. 514 §1(part), 1993).

ATTACHMENT 2

SENERAL NOTES:

GREEN BUILDING CODE REQUIREMENTS:

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ABBREVIATIONS

NEW/REPLACED PLUMBING FDTURES - WATER USE all existing noncompliant plumbing fatures shall ne replaced with water conserving plumbing fatures, calgren sec., 301,117

18 GPM (4.60 FS) 1.28 GPF 1.5 GFM = 4.0 PS) 2. GPM = 80 PS) 2. GPM = 80 PS)
FAUCEI TOILEI VAVITY FAUCEI 8ATHIUB FAUCEI SHOWER HEAD
KIICHEN BAIH BAIH BAIH

NOTES ABOUT THE LIFT:

ACTUAL LEVEL AT GARAGE ENTRY [IE] LIV. 1]= 17.8 8FE [BASE FIGOD ELEVATION AT 100 Years = 18" LVI. 1.LFF = +1".10 = +1.8°. [IN] LVL = 19.6] [N] LVL 1 IS 19.6"178 = 1.4" ABOVE SFE

IV. 2 WILL SE LIKEO 1-10"TO REFLECT LVL 1 LET, PLUS TO THE LIVING AREAS AT LVL 1.

TOTAL HOUSE LIFT = 1'+10"

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4	110

(E) NORTH-EAST ELE		
	b	
	g	
(E) SOUTH-EAST ELEVATION	9-	
(Е) ѕоитн-	ō	

(E) SOUTH-WEST ELEVATION

VATION

6---

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T TELEVATION SCHEMES SHOWING EXISTING VS NEW LEVELS

(N) SOUTH-EAST ELEVATION

N) NORTH-EAST ELEVATION

(N) SOUTH-WEST ELEVATION

1000

(N) NORTH-WEST ELEVATION

1,025 42 5F 1,025 42 5F 0 00 5F 304 05 SF 2712 11 SF =30 24% =30 26% =20 00% 1,670,62 SF =PROPOSED - The second of 02002 02002 03003 2003 2003 2003 44,47 SF 526 35 SF / 8 962 56 SF 570 82 SF / 8 962 56 SF NOTE SMALL INCRESE IN GROSS FLOOR AREAS IS DUE TO THE LVI. 2 SOUTH ELEVATION OVERHANG BRILD MADE FLUSH PRESS BM AGB. 1626 35 SF EXISTING 10T COVERAGE PROPOSED 10T COVERAGE ALLOWABLE MAX 10T COVERAGE EXISTING FAT
PROPOSED FAT
ALLOWASIEMAX_FLOORAREA LOT INFORMATION

ZONING

R-1_B-7_5

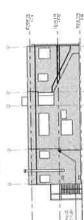
CROSS LOT AREA B 962.5 SF

NEI LOT AREA B 962.5 SF LYN, HSDINGF FDC 9950 TOTAL GROSS FLOOR AREA DICKTINE DISKING TIME TO IM 3 TOTAL FOOTPRINT SQUARE FOOTAGE RESIDENCE I STORAGE AREA LOT COVERAGE 21 LANDICHE BRICANDONANZE INT SHALL HAVE WRAHER DE 100 ELEGE COC ASSA I.
22 A AMBRAMA OS SAC OL SOCIO DELL'INTERESTO DE ELECTERO COC ASSA I.
23 PA CHARLAMA OS SAC OL SOCIO DELL'INTERESTO DE ELECTERO COC ASSA I.
32 PA CHARLAMA OS SAC OL SOCIO DELL'INTERESTO DE ELECTERO COC ASSA I.
32 PA CHARLAMA OS SAC ASSA INTERESTO DE SAC ASSA I.
32 PA CHARLAMA SAC ANTARIA DE ELEGE CON CONTRA DE CONTRA DE L'ANDICA 4-40.

3. SO DULIVARII CORITOLI DURIVAC CONTRICTORI REDICTORIO DEGI RAGI METO RESEACID. AND METO PROGRAMMO CONTRICTORIO CONTRICTORIO DI MACCONTRICTORIO CONTRICTORIO CONTRICTO CONTRICTORIO CONTRICTORIO CONTRICTORIO CONTRICTORIO CONTRICTORIO RAIN WATER LEADER

Commence	SEBACES		PROPOSED	ALLOWALLE
CODE STANDARD EXISTING FROFO 2 CONFESS	8		UNCHANGED UNCHANGED UNCHANGED	25-0 15-0 40-0
30 2 COVREED) 2 COVREED) 2 COVREED 1, COVREED 1	HER	CODESTANDARD	EXISTING	PROPOSED
	DING HEIGHT KING ERVIOUS SURFACE COVERAGE	30 2 COVERED) Minimize and/ar miligate	2 COVERED) 1,438 SF	22-2' 2 1 COVERED 1/217 SF

BLEVATION HEIGHT MINDOW TAG DOOR TAG Name 🗬 ESTRIOR IN THIOR ELEVATION SYMBOLS:



10000

1174 174 (0141.2.Rt.

PROJECT DETAILS

A-040

ROJECT INFORMATION POPLAR AVE RCSS, CA 94957

CRAFTED EARTH, INC., ENGINEERING & DESIGN

ASSESSOR'S PAINCEL NO. 073-273-04

JSE DESCRIPTION: II - Single-Resid - Impro ZONING DISTRICT: R-1_8-7_5

OCCUPANCY TYPE: 2-3 [ONE OR TWO UNIT RESIDEN]

CONSTRUCTION TYPE

PROJECT DESCRIPTION REMODEL OF BRYT FLOOR AREA AFFR LIFTING FINEH FLOOR ABOVE BAJE FLOOD ELEVATION

Michael and Mindy Whitington

4) Poplar Ave Ross, CA 94953 49 N G13-273-C4

> ROSS CA 94957 Literati miwhillinglan sgmail com MICHAEL AND MINDY W PROJECT TEAM

NGINIER GINERA CONTACTO

APPLICABLE CODES

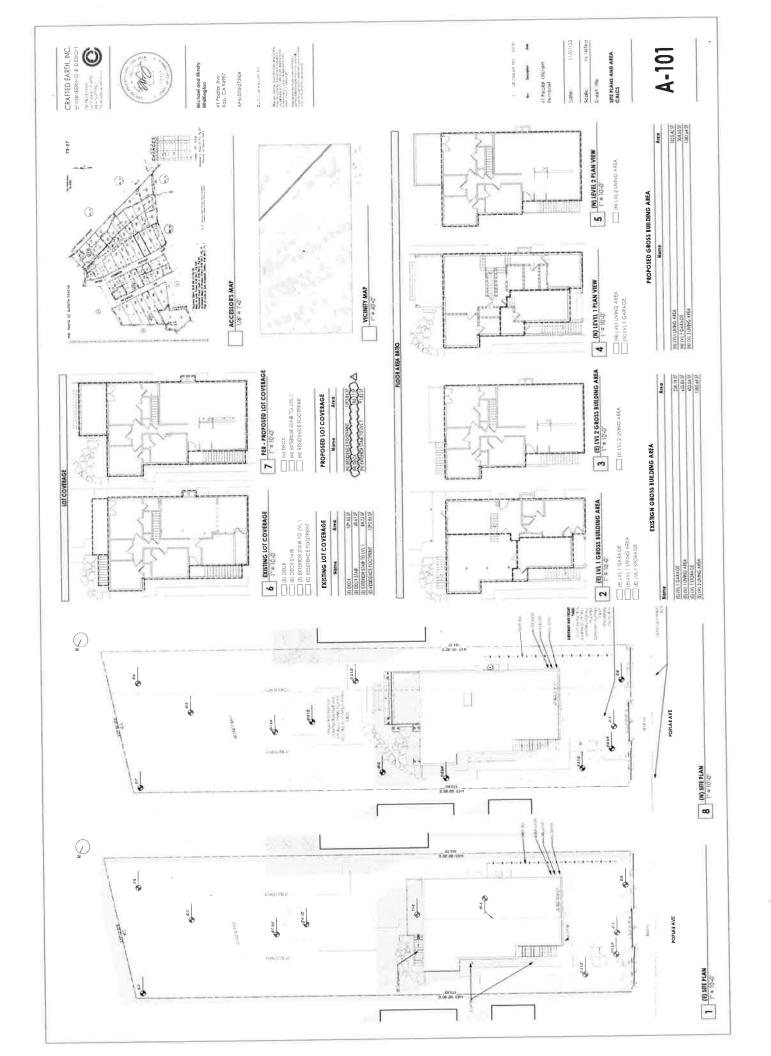
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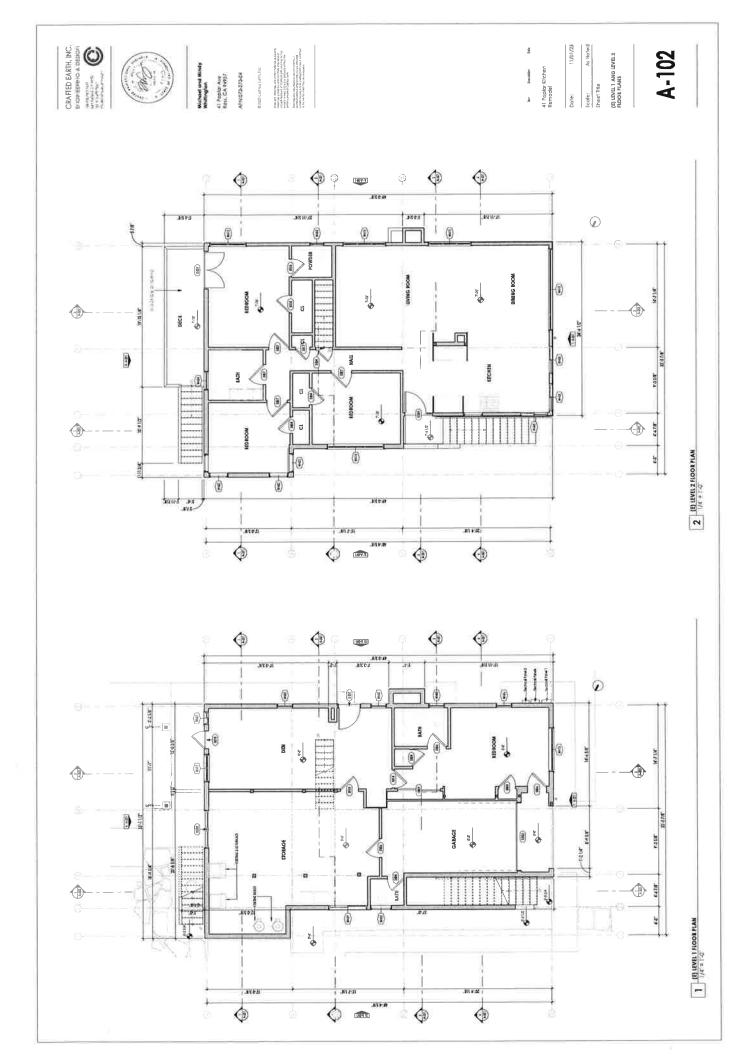
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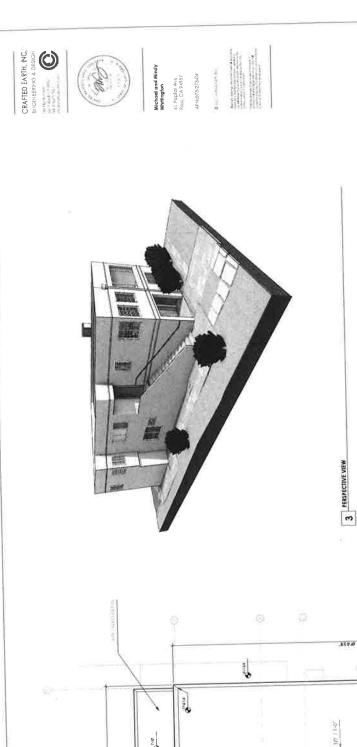
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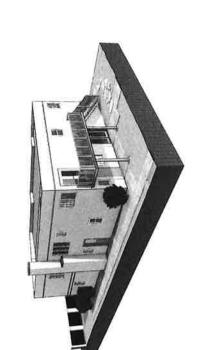
A-404 PROJECT DEFAUS
A-101 SITE PLANS AND AREA CALCS
A-102 III EREIL AND LÉTE 2 FLOOR PLANS
A-102 III ENDET LAND LÉTE 2 FLOOR PLANS
A-103 III ENDET PLAND LÉTE 2 FLOOR PLANS
A-21 III LEVEL I AND LÉTE A FLOOR PLANS
A-21 III LEVEL INDUITEDRE STEINE BEALS
A-21 III LEVEL INDUITEDRE STAND BEALS
A-302 III LONG TIDUINALS ECTIONS
A-302 III NO LONG TIDUINALS ECTIONS
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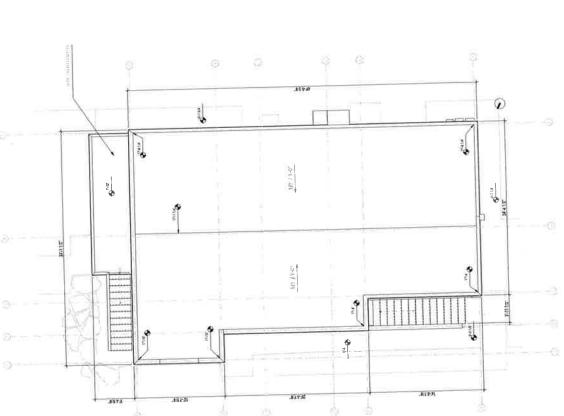
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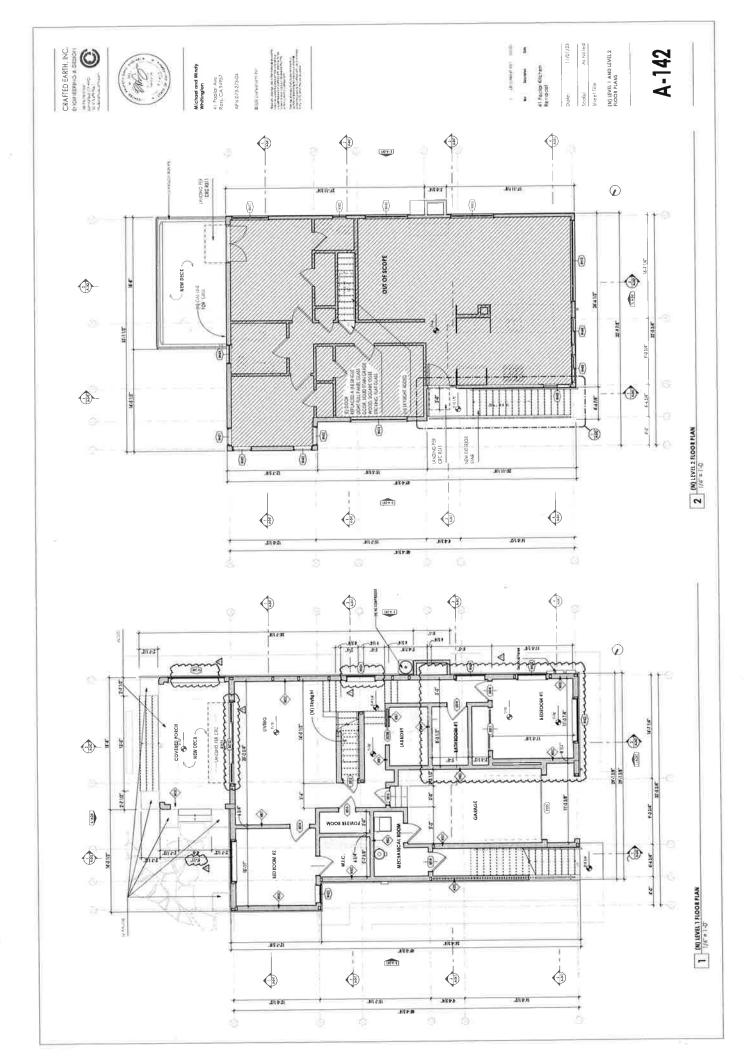
A-103

(E) ROOF PLAN AND AXO VIEW

1 PERSPECTIVE VIEW

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2 (E) ROOF PLAN



(N) ROOF PLAN AND AXO VIEW

4 Robler Muchen Remark

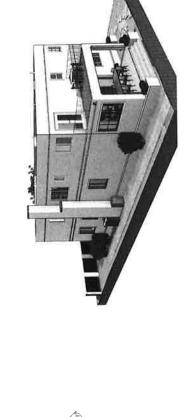
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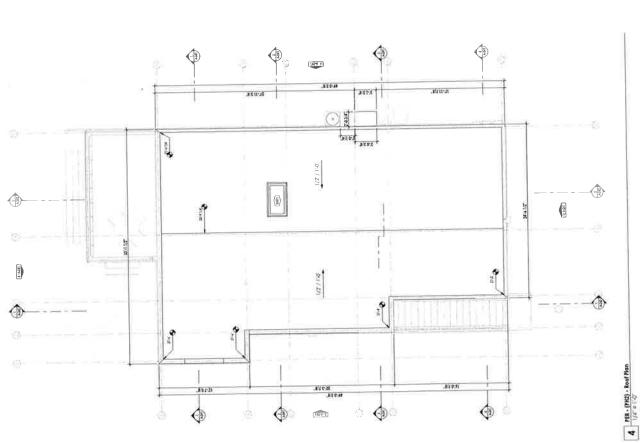
3 PERSPECTIVE VIEW

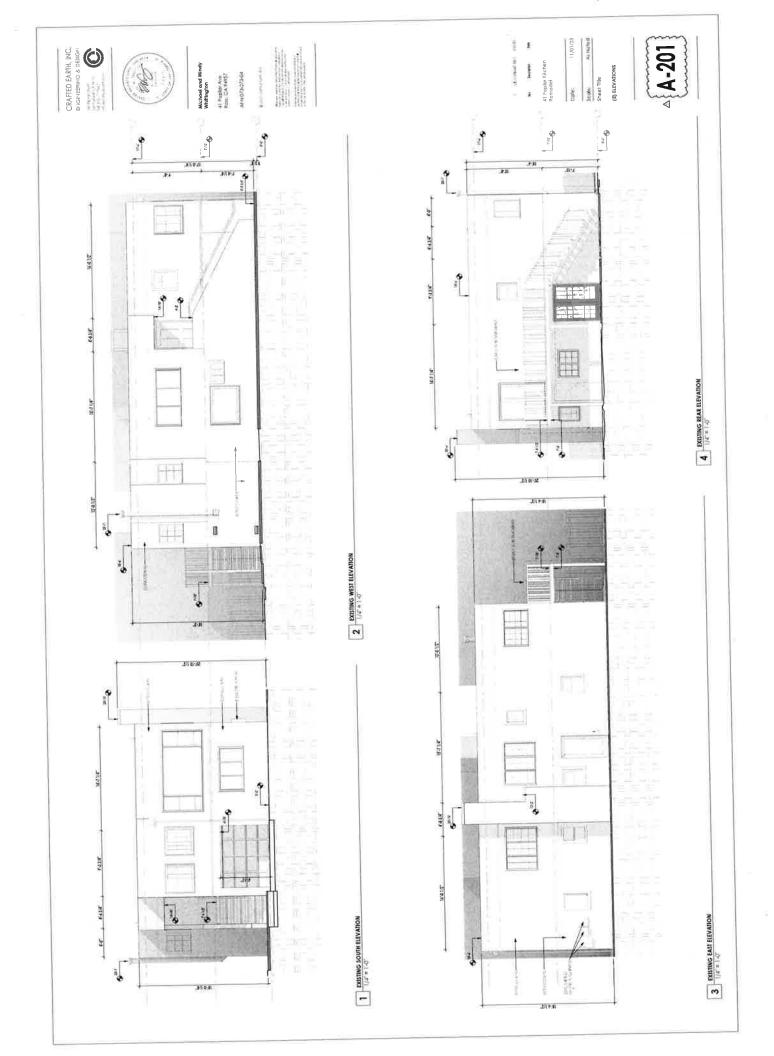


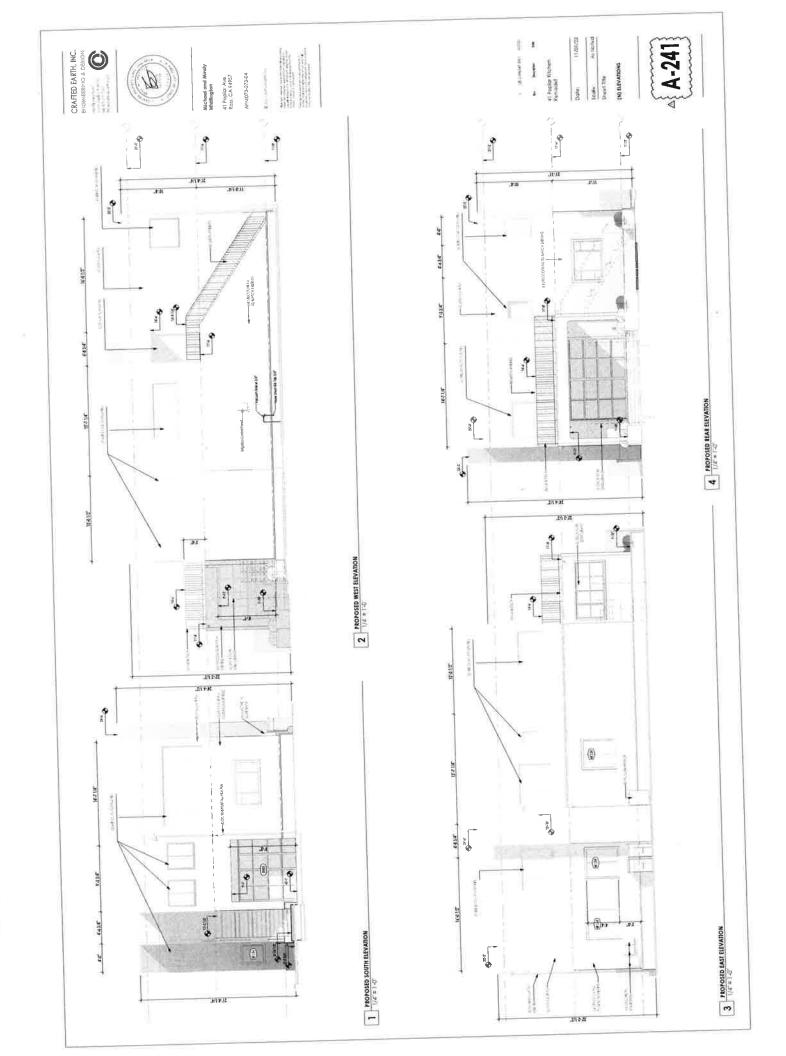
CRAFTED EARTH, INC.
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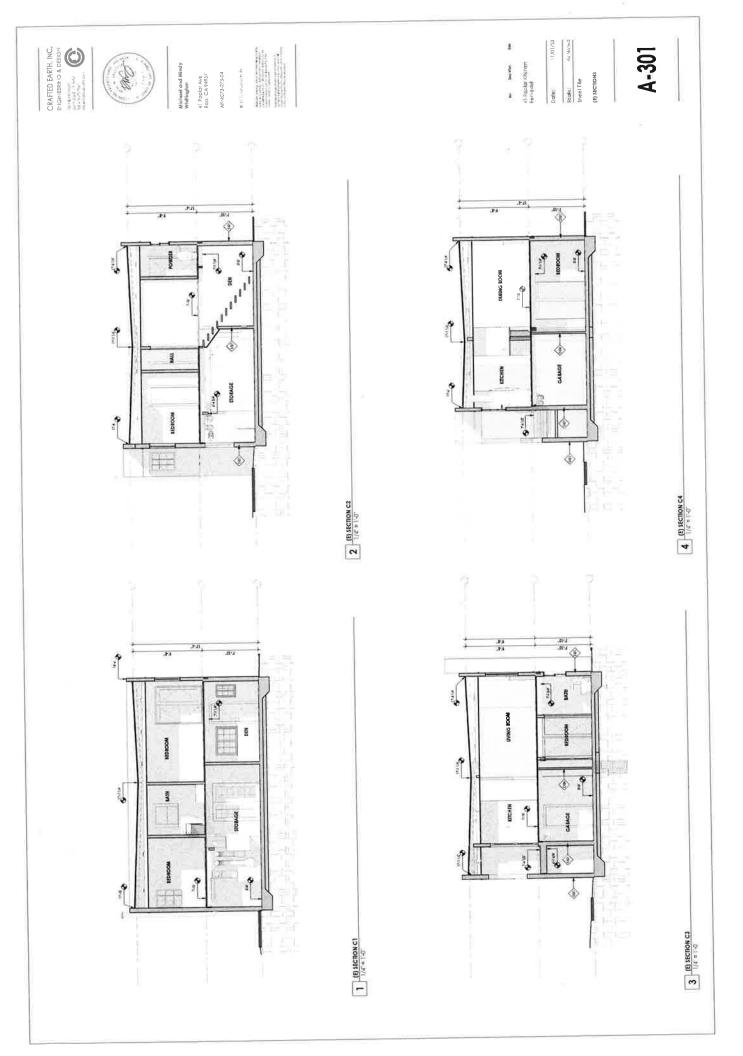
2 PERSPECTIVE VIEW

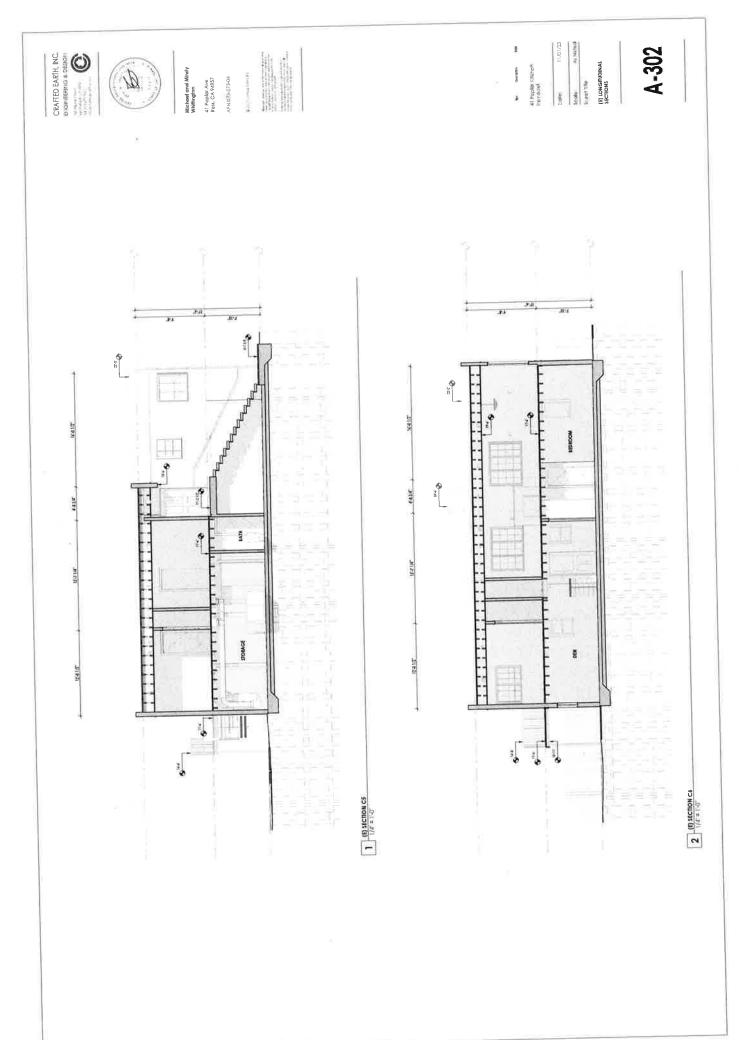


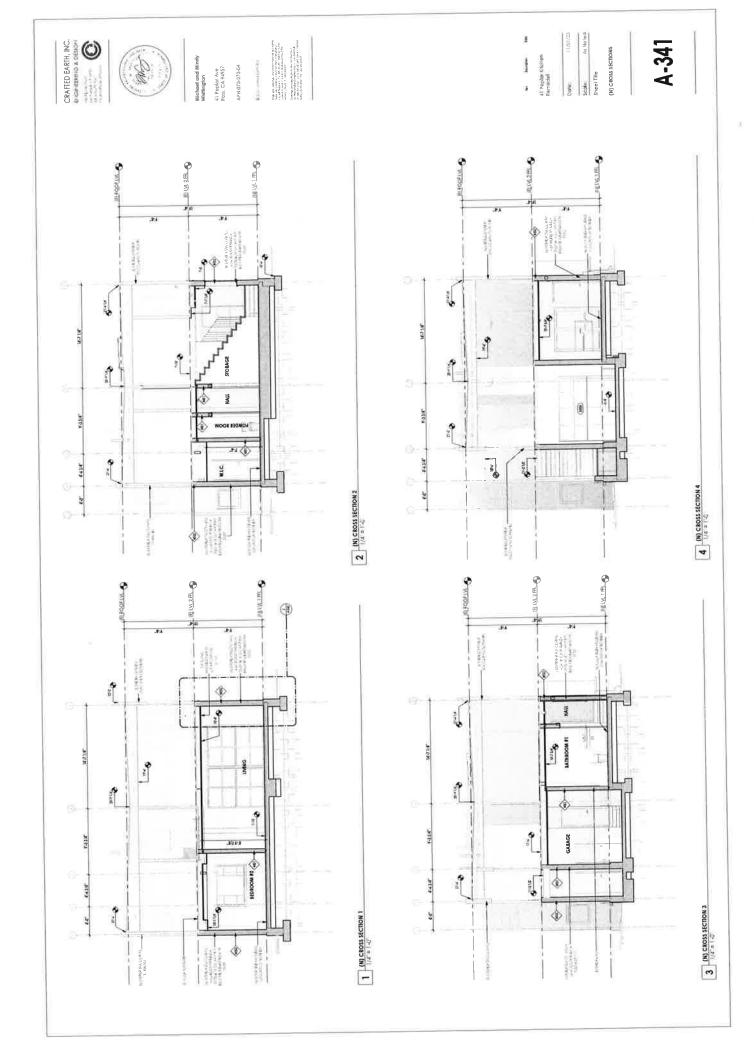


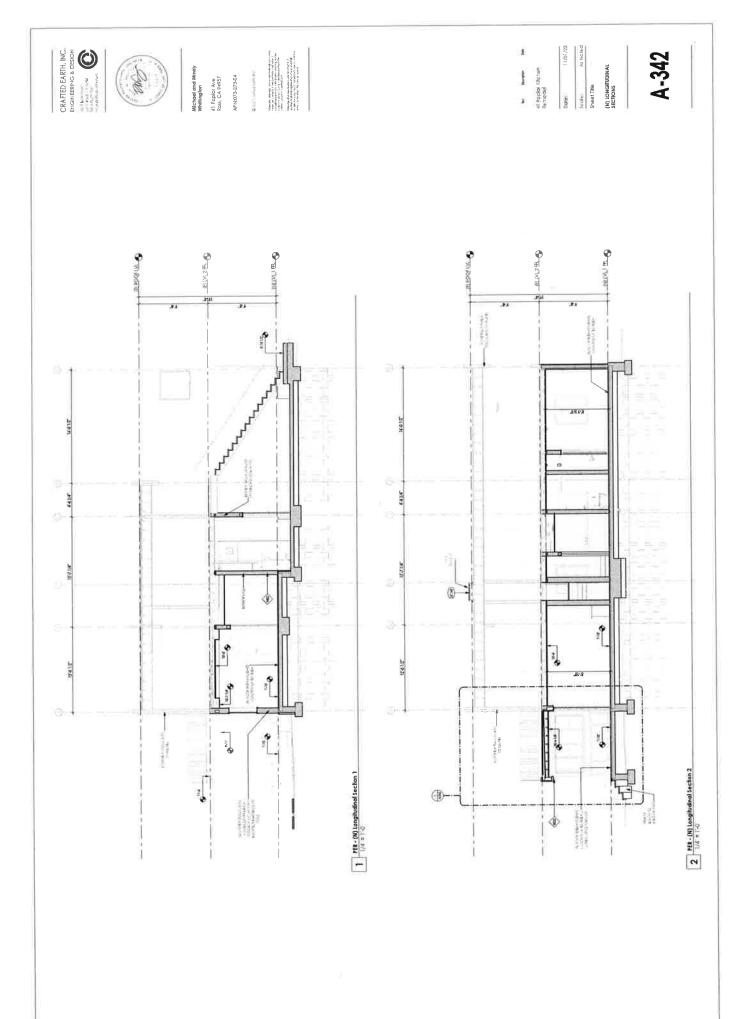


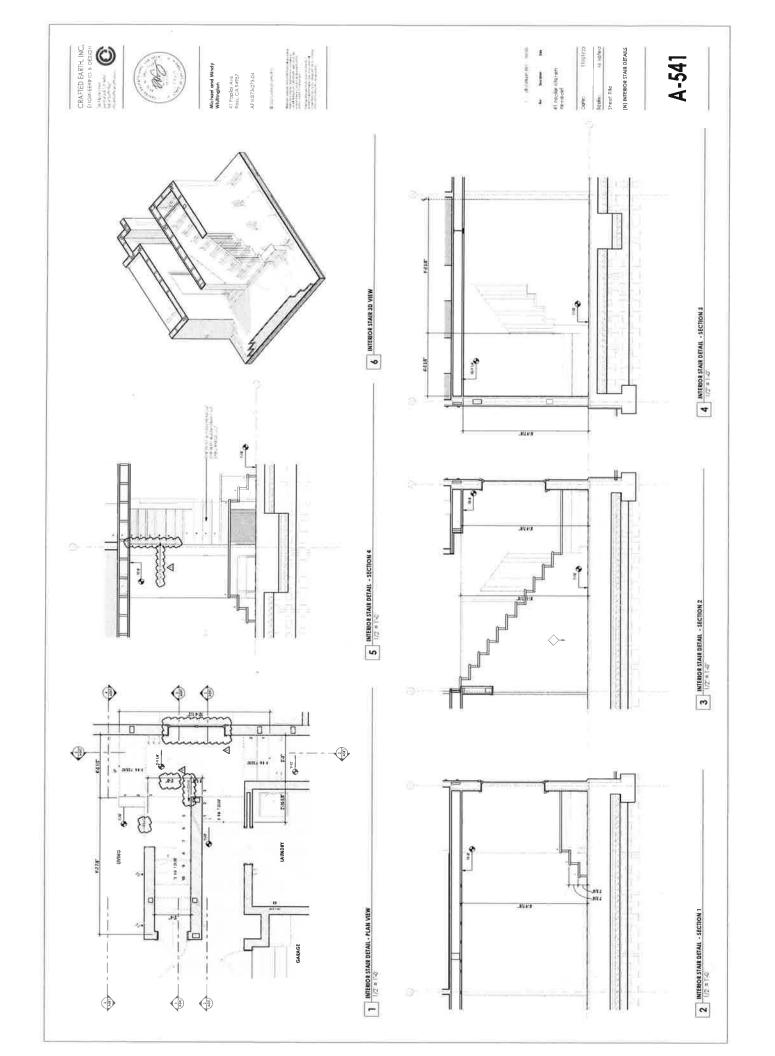


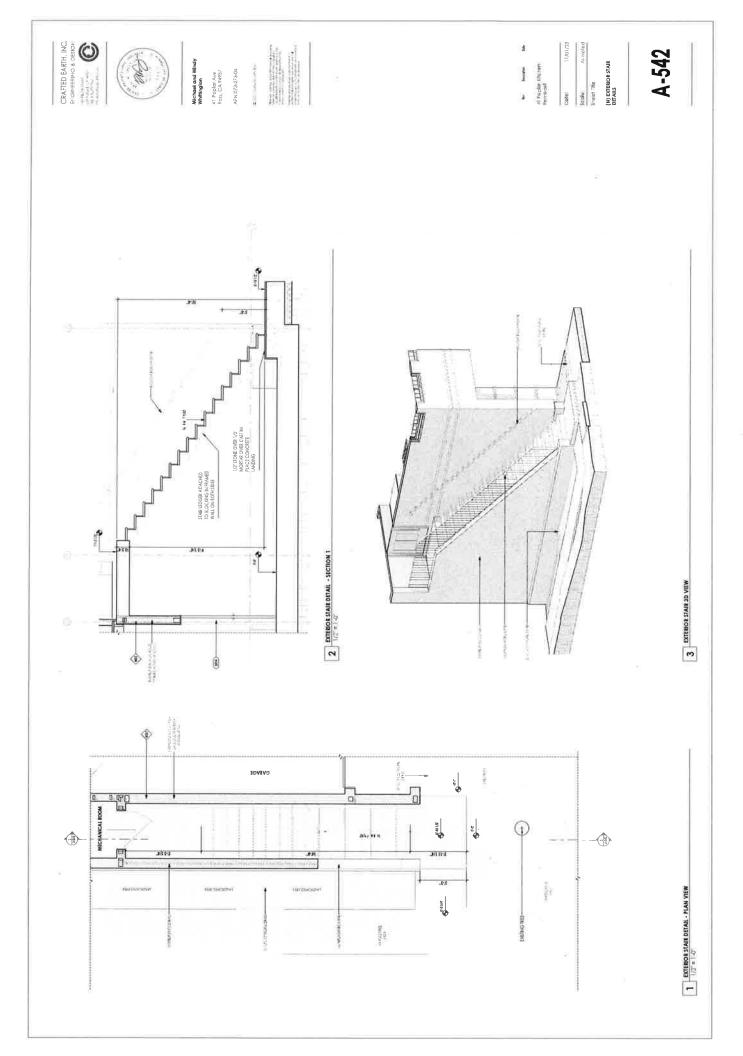


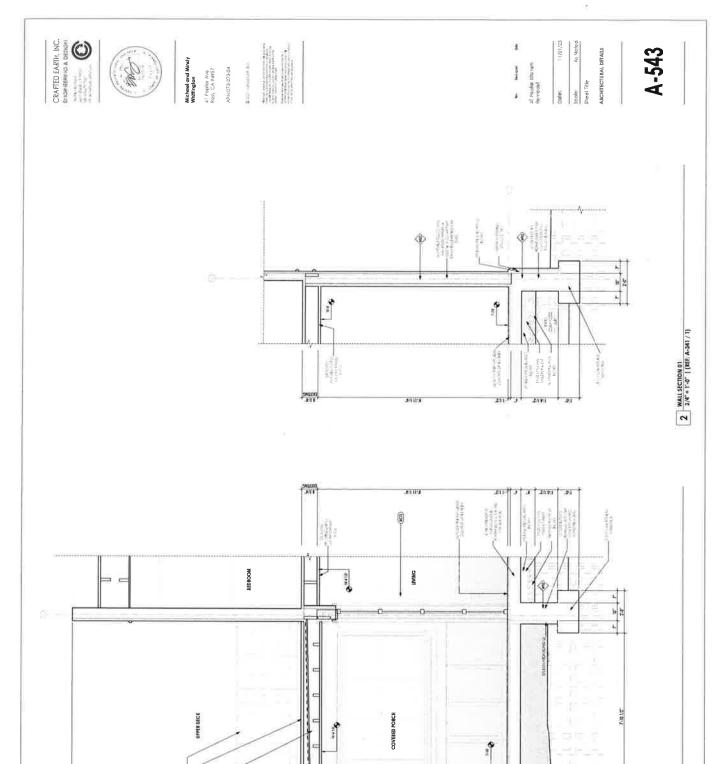












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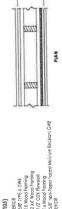
1 (N) REAR DECK SECTION 3/4" = 1'-0" | (REF: A-342 / 2)

2(1) 21

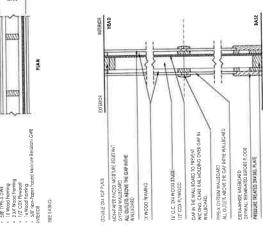
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PRESSURE TREATED 3X4 SILL *****

IS" DE XXX MODO INC.
CXX MINE WALL COMO TO PRIVATE
WICHOIG, CHAIR RAIL MOLDING OVER GAP IN
WALBOARD

TYPE-X GYPSUM WALL BOARD ALL GUILETS ABOVE THE GAP INTHE WALLBOARD

DOUBLE 2X4 TOP PLATE

NON-PAPER FACED MOISTURE RESSTANT GYSSIAM WALBOARD ALL OUTLES ABOVE THE GAP INTHE WALBOARD EXTRAMHIDE BASEBOARD DRYWALL TERMINATED BEFORE FLOOR





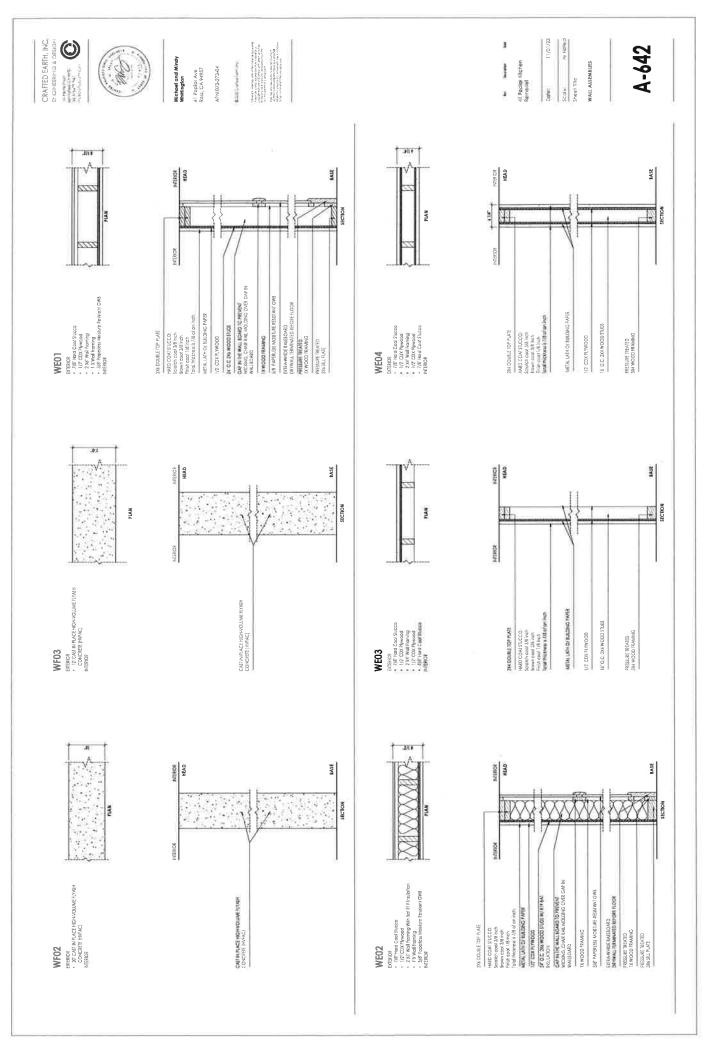
Michael and Mindy Whaltington 41 Poplar Ave Ross, CA 94957

4PN:073-273-04

the maple In 41 Paplar Kitchen Remedel

Sheel Title

WALL ASSEMBLIES



CRAFTED EARTH, INC.
EFGINEERING & DESIGN
36 FOR SIGN
37 FOR SIGN
3











INTERIOR

2ME DOUBLE TOP PLATE
HARD COAT STUCC
Scratch coal 1/8 inch
fridh coal 1/8 inch
lold frictocal 1/8 inch
NOAL WHIGH COAD IN THE

#

WEOS

Differ

7 /6 * Ford Cool Stucco

1/2 * CDX Rywood

2 * X** Woll froming

1/2 * CDX Plywood

2 /6 * Ford Cool Stucco

1/8 * Ford Cool Stucco

Millione Edit Millione Market Harbo Constitution Strucco Scrotch coal 188 inch Brown coal 1/8 inch Firsth coal 1/8 inch Ialal Inichies 8 1/8 of an inch METAL LATH O/ BUILDING PAPE

WICKING CHAIR RALL MOLDING OVER GAP IN WALISOARD

DC O.C. ZK WOOD STUDS W/ EIN BAT INSULATION

5/8" PAPERLESS MOISTURE RESISTANT GWB

XWDDD IEAMPC

24" O.C. 2X6 WOOD STUDS WITH R 19 BATT INSULATION

WETAL LATH D/ BUILDING PAPER

PRESSURE TREATED 3X6 SILL PLATE

DRYWALL IERWENDED SHORE HOOP TEXTURE IN MICE IX WOOD TEAMING PRESSURE PREATED 308 SILL PLATE

BASE

Michael and Medy Writington 41 Popiar Ave Ross, CA 94957

APN:073-273-04

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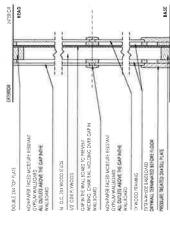
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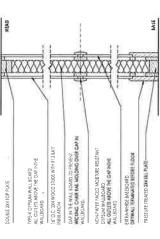






WALL ASSEMBLIES

41 Yepia Kitchen Remeder



DOUBLE 2X4 1QP PLATE	KEAD
TYPE-X CYPSUM WALL SCARD ALI OUTLETS ABOVE THE GAP INTHE	XXXX
WALLBOARD 16 O.C. 2X4 WOOD STUDS WITH R13 BATT INSULATION	
GAP IN THE WALL SOARD TO PREVENT WELLS CAME AND DATE OF SEATH WALLSOARD	
NON-PAPER FACED MOBTURE RESIDANT GYBSUM WALLBOARD ALL OUTHER MODE HE GAD TWINE WALLBOARD	
EXTRA-WHIDE BASEBOARD	
PRESSURE IREALED XXXIII. FLAIT	

GAP INTHE WALL BOARD TO PREVENT WICKING CHAIR RALL MOLDING OVER GAP IN WALLEDARD

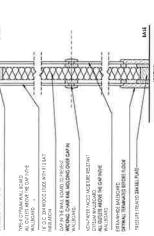
16' O.C. 2X4 WOOD BLUDS

NON-PAPER FACED MOISTURE RESSTANT GYPSUM WALIBOARD ALL OUTERS ABOVE IHE GAP INTHE WALIBOARD

KTRA-WHIDE BASEBOARD STWALL TEMPAKES BRIDER NOOR

NON-PAPER FACED MOISTURE RESIDANT GYPSUM WALLBOARD: ALCUTLED MOYE DE CANALISOARD WALLBOARD

DOUBLE 2X4 TOP PLATE



	-	TAG			DIME	DIMENSIONS			MOOR	70
DESCRIPTION	lype	Mark	#PIM	Height	Thickness	Door Area	7 Glazed	Glass Amo	From	ot.
Stein										
GARACE DOCK - 108 AVE	DEUS	DE05.1	.b6	8 -0	#+1.02	72.5F	\$6	0 SF	GARAGE	
(5)										
SPECIE DEPIR PLLUTANES CLASS DOCK	DIC4	364	2.+	19	2-0	16.54	90%	14.5F	STAIR	HALL
SUDING DOOR DOUBLE 36+36 x 80	E	DITT	.09	99	0'-13/4"	40 SF	Ħ	63)	CLOSET	BEDROOM #1
SWING DOOR SINGLE - 2-0" x 4'-8"	Big	DIBLE	J- Z	, da	3/11/6	13.5F	8	0.SF	STORAGE	7000
SWING DOOR SINGLE-2'4" x 6'4"	500	12110	3+2	- g - g	0,-13/6	16.5F	8	0.SF	POWDER ROOM	HALL
SWING DOOR SNGLE-2-4" x 6-8"	Etha	DI132	2.4	10 -	2/17/6	35 SF	Ħ	DSF	GARAGE	HALL
SWING DOOR SINGLE-2'-8" x 6"-8"	DII4	DC07.5	2 B	.g9	0'-13/4"	18 SF	350	0 SF	HALL	BATHROOM #1
SWING DOOR SHOLE-1-Exaul	DITA	DI14.2	7-8	63 - 9	F+1 3/4	18.5F	ĸ	o SF	LIVING	BEDROOM #2
SWING DOOR SINGLE- 2"-FT x 6"-5"	DIT4	0114,3	9-41	8-8	F-12/4	18.5F	350	D SF	BEDROOM #1	HALL
SWING DOOR SINGLE - 2-8" x 6"-8"	DII4	DII44	28-	- g- 9	#513/K	18.5F	350	9.SF	BEDROOM #2	W.LC.
SWING DOOR SMGLE-2"-6" x 6"-4"	DII4	DI14.5	2-8-	19 - 9	24.134	18 SF	н	DSF	MECHANICALROOM	GARAGE
SWING DOOR SINGLE-2-6"x 6-6"	PII0	01146	\$-Z	99	2.136	16.33	160	0.SF	MECHANICAL ROOM	
TOTALS						279.05		14.59		

NOTES WINDOWS & DOORS

- GENERALINDITE
IN ALEXENDER WINDOWS IN CONDITIONED STATE TO BE URE SATED, CLEAP THAT BEED GLAS, DUAL GUARD, LOW-E LI-ARCTOR MAK B. 27 7/4/GC MAK, B.21, WODDS 34/5/4. RRANG, UNLESS CHIPPINGE
IN WOTED.

- 1.02 CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO ORDERING ALL WINDOWS AND DOORS
- WINDOWS AND EXTERIOR DOORS ARE VIEWED FROM THE EXTERIOR. 1.01

ā

- DAMAGIDAS IN TRAININGS, LID N. AETPIPLUT NE FOLLOWS.

 N. TISSON OF LIABSES SEEN AS THE CONTROL OF THE CONTROL O 1,04 1.05
- DODSTREBIOLD REBRIE LUMID) O S. ATSELING DODGS AND S. ATALI CHER DODGS. ATTHE FROM DODG OF A RESIDENCE, PHERE MAY SE A SINCLESTE? WITH A MAXIMUM FISE OF 7 (CSC (1823.5)).
 THE MAXMUM RECHT TO THE INSERNOLO OF AN OCTRICE OF A RESIDENCE IS 1.3 (CSC (1823.1.5)). 1.07

ALL WINDOWS IN SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLALING B. LESS THAN 64 ABOVE THE ADJAC GNT STANDING SURFACE SHALL BE SAFETY GLALINGS, CRC. SECTION RIDBS, 4.5

				MINDO	# SCHEDULE	WINDOW SCHEDULE: NEW WINDOWS	SWC			
				DIMENSIONS				GLAZING	NG	
Oescubilon	Type Mark	Mark	Width	Height	Area	slıt	MOOM	Tempered (Y/N)	Spec	EG PESS ()
	и	WC10.4								
	23	WC10.3								
SKYLIGHT	6INAS	MNI9.1	D-2	-QJ	9.05			Yes	Low-E2	
CASTARSA' 48 x 28	WN21	WN21 1	31.6	377	22.7 SF	1-u	BEDROOM #2	2	Law - E 2	Yes
CASEMENT 68 x 48	WNZZ	12244	.D-,#	3:1	20 0 SF	3,-0	BEDROOM #1	N.	Low-E2	æ
CASEMENT 30 X 36 WITH SCREENS	WN23	12000	26	3,-0	7.5 SF	3. g	BEDROOM F2	, o	Law-E2	S. S.
CASEMENT 24 X 54 WITH SCREBUS	WN24	WN20,1	4-0	313	nes	30	BEDROOM #1	Yes	Low-E2	No
CASEMENT 24 X 54 WITH SCREBNS	WN24	WN24,1	J-3	9 - 19	18.0.5F	25.0	HALL	Yes	8-6	N
CASEMBNT 24 X 54 WITH SCREBNS	WN24	WN24,2	D4	19	18.0.8F	3-0	HAIL	366	Low-E2	2
TOTALS:					112.2.SF					

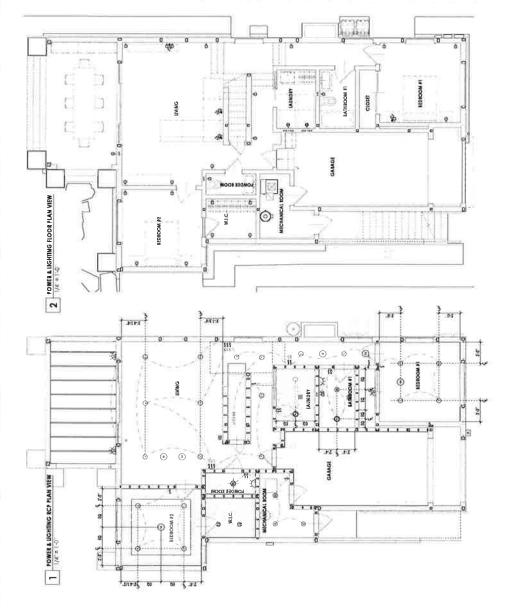
CRAFTED EARTH, INC. EF GINEERING & DESIGN



Michael and Mindy Whitington 4.1 Poplar Ave Ross, CA 94957 APN:073-273-04

4) Poplor Klehen Remodel

Deline: 11/01/23
Recies As Noted
The city Title
WINDOW & DOOR
SCHEDULES



	ER GRAPHIC PRESENTATI
	IONS TAKE PRECEDENCE OV
	HINGS WRITTEN DIMENSION
	E FROM THESE DRAWIN
	ONLY DO NOTSCAL
	HE ORIGINAL DRAWING ONLY DO
	AS STATED ARE VALID ONT
SRALNOTES	DI SCALES AS ST
- GEN	2

- 1,03 NOTIFY DESIGNER OF ANY DIMENSIONAL DISCREPANCIES, ANY MODIFICATIONS OF DEVIATION TO BE BROUGHTTO THE ATTENTION OF THE DESIGNER FOR REVIEW AND APPROVAL
 - CONTRACTOR TO COORDINATE WITH DESIGNER IF ANY LOCATION OF LIGHT FIXTURES OR DEVICES ARE NOT SHOWN DIMENSIGNALLY FROR TO INSTALLATION
 - CONTRACTOR TO COORDINATE WITH DESIGNER IN FIELD FOR MOUNTING HÉIGHT OF ALL DECORATIVE PÉNDANT FIXTURE. 1,03 70
- WECHANICAL ROW RECIDERANI, COCRIBANE WORK REWINSTAMF BENDARENDE AND ARCHITECTUAL DRAWNGS, ARCHITECTURAL CRUAC PARA SHALL COURT WITH REPECT CONSIDERATION, DIANTITY, LOCATION FOR PRINTING FOR PRINTING FOR PRINCIPAL ON PLANS. 1.05
- MECHANICAL AND ELECTRICAL CELING PLAN SHALL GOVERN WITH REFECT TO FUNCTIONAL CONSIDERATIONS AND OVERALL SCOPE OF WORK,
- ALL DOWNIGH'S INCANDESCENT OR LOW VOLTAGES SHALL SE ON A SINGLE DIMANER REPECTIVEN'. ALL WALL WASHERS SHALL BE ON DIMANERS PER ARCHITECTS AGRILICATION 1.07 90
- SUBMITTALS ON ALL FIXTURES ARE REQUIRED PRIOR TO ORDERING

ELECTRICAL/MECHANICAL LEGEND

	-
HIGH EFFICACY OR LED SURFACE MOUNT OR PENDANT LAMP	101
HIGH EFFICACY OR LED RECESSED LED DOWN LIGHT.	
I CAN WOLTAGE AT AD URTABLE TENDEDATIBLE LATER DEPORTED CAN	

1.03 PROVIDE APPROPRIATE QUITETS FOR ALL APPLIANCES 1.02 INSTALL MULTI-GANG WALLSWITCHES IN THE SAME CONFIGURATION AS SHOWN ON PLANS

LAR ESTING-SLOCK-AMEN FALL JER WOLFF HAN 10 YEARS
OLD YOU SERPENCES RESTORATELY LAS MODE ALARMS
FARMER FAINTERS AN EMPORAL JEST RESPINANCE
LEFTERS AND THE WALL DE LESSON OF STREET OF THE PRESTOR OF THE SERVICE AND THE SERVICE OF THE PRESTOR AND A PERFORMANCE AND REPORT TO THE PRESTOR OF THE ALL STREET OF THE PRESTOR OF THE ALL STREET OF THE ALL STREET

105 CARBON MONODED DEFECTORS SHALL REPORTED IN ALL ACHIEVES OF THE PROPERTY OF

Michael and Mindy Whitlington

41 Poplar Ave Ross, CA 94957 VPN:073-273-04

1.08 ERCIRICAL RECEPTACIG MUST RENSALIED SO THAT NO PORT ACHE ACHE THAT WALL PACE OF ACHINA SOURCE HANG WALL PACE OF SOME MORE IN ENGINE CENTRAL STATEMENT AND ACHINA SOURCE MORE INTENDITY.

2. CODISMS

1.1 DECREMENTS DE ROLF BETCH, DEPTON
ANAURO SES, OF REION, WITNES DE
FRANARIO MA ACABLE DES MINERES IN SECURIOR
FRANARIO MESA, DE TORMANIO SE NOS PROPER
PREMARIO MESA, DE TORMANIO SE NOS PROPER
PREMARIO MESA, DE TORMANIO SE NOS PROPE
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13 A MUDONI METER FINES IS AND ZA AMPREE THE A MUDONI STREET MALE AND ZA AMPREE THE A MUDONI STREET MALE AND ZA AMPREE THE A MUDONING MALE AND CHARLES AND CHARLES

41 Popler Krichen Remadel and the same

ELECTRICAL & POWER

E-141

NOTES ELECTRICAL

CRAFTED EARTH, INC.

H EFFICACY OR LEDRECESSED LED WALL WASHER F YOLTAGE 4" ADJUSTABLE TEMPERATURE HALO RECESSED CAN

φ 껃

HIGH EFFICACY ON LED WALL MOUNTED LIGHTING RIXTURE

UNDER CABINET LED STRIP LOW VOLTAGE TUBULAR SKYLIGHT WITH LIGHTING FIXTURE ф

CONTROLLED BY VACANCY SENSOR ROYSTOLED BY OCCUPANCY SENSOR CONFOLLED BY ASTONOMICAL TIME CLOCK OR BY BOTH A MOTION SENSOR AND PHOTO HELL.

8 0 K

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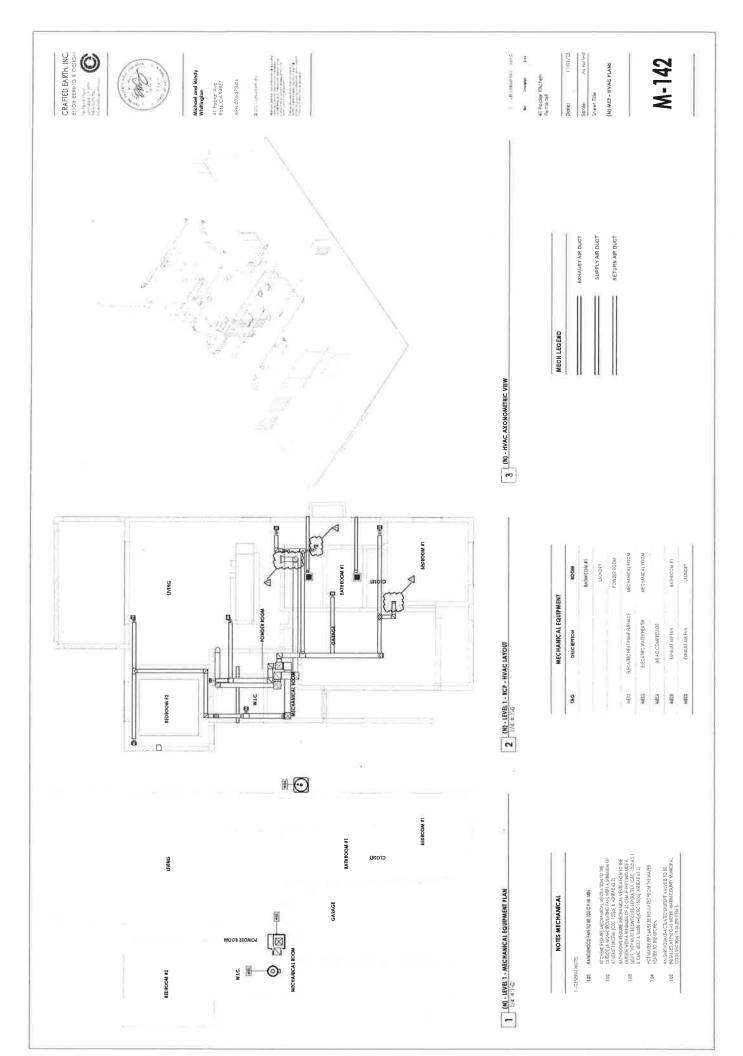
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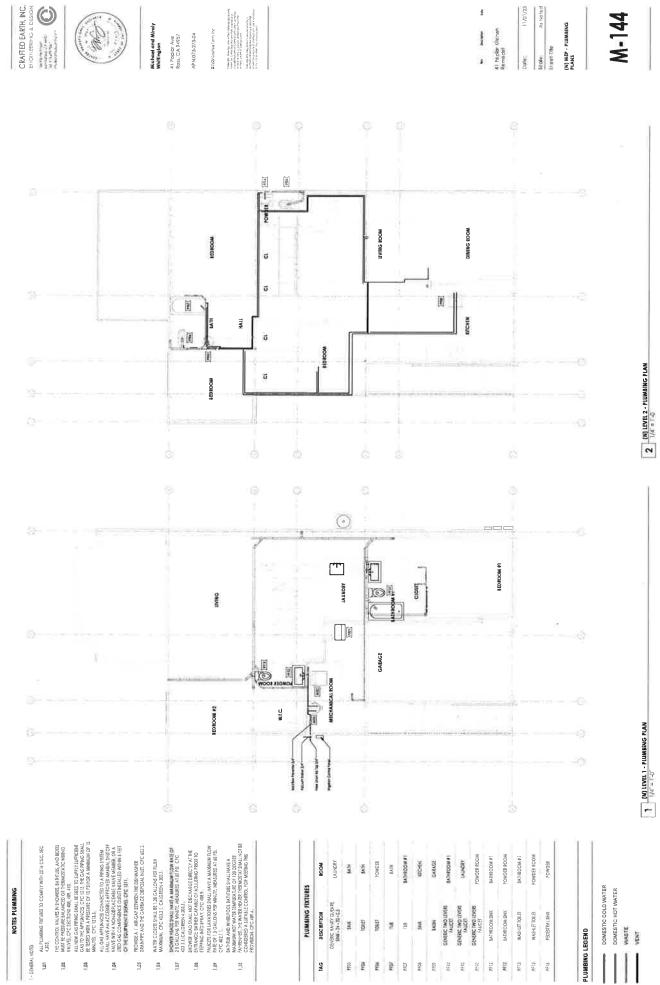
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4) Papilor Michan Remadel

M-145



Michoel and Mirdy Whitington 41 Poplar Ave Ran, CA 94557 APR 073-273-04. C 250: current letter for the control of the control



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WHEN IN FLAN, ALL DAMENSIONS ARE TO FACE OF STUD, CONCRETE, CONTRINE OF COLUMANS, CR. CENTERLINE OF STUD. WITHIN WALL ASSEMBLIES, LINIESS OTHERWISE NOTED.

WHEN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNIESS CHIERWISE NOTED. 1.09

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THESHALL BE FEBS OVESILE FOR A PPLYING AND OSTABUNG ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES 5

PROVIDE AND NATALL 26 FAY WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAIS, CABINES, TOWEL BARS, WALL MOINTED FRITRES AND ANY OTHER FIEMS ATTACHED TO WALLS. 1.12

ALL CHANGES IN ROOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS LAILESS OTHERWISE INDICATED ON THE DRAWINGS. 13

NETALLALIFORDES, AND MATERIALS PRE MANUFACTUREST RECOMMENDATIONS, AND THE RECURRENANTS OF THE COORS, ALLAPTUMINES PROTEES, AND MECHANICAL STREAMEN 17

VBRY FOR FLUS, VENTS, CHASES, SOFFIS, PIXTURES, FREFLACES, ETC., BEFORE ANY CONSTRUCTION, ORDENING OF, OR INSTALLATION OF ANY ITEM OF WORK. 1,75

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CONCRETE POOTINGS SHALL BE CONSTRUCTED IN ONE CONTINUOUS WITHOUTH MALES NOTE WEIGHT CONTINUED OF THE CONTINU 2-FOUNDATIONS 2.01 CON

CONCRETE FOOTINGS SHALL USE A MINIMUM STRENGTH CONCRETE OF 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS 2 02 DRIEG, CAPANIACE, EINORGIS CONCRETE FIRS ENCUID E.E.A. MRAWIM DE LY AND EIDEOCH ENTENDA MINANIA GEFIND EIDEOCK, WINCH WAS FRATIANED AT DEFINE OF 3 TO FEED WEIGHING CROUND SAFACE. 2 03

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TIMBER: SAWN LLIMBER SHALL CONFORM TO DOLICIAS, FR. NO.2.0R BETTER EXCEPTAS, NOTED ON THE DRAWINGS. TIMBER. IN CONTACT WITH CONCRETE OR MASONRY SHALL BE ETHER PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.

CONCRETE ALL REANDSCED CONCRETE TO BE MUNIMUM 2500 PSI, 28-DAY COMPRESSIVE STRENGTH. CONCRETE SHALL COMPLY WITH ASTIM CPA, READY MIX CONCRETE, 3.02

PENFORCING STEE: ALL MENFORCING STEE, SHALL CONFORM TO ASTM AA15, GRADE 40. ALL WEIDED WIRE FARRIC SHALL CONFORM TO ALIM ASSS. 3,03

BOLTS: ALL BOLTS TO BE A325N UNLESS OTHERWISE NOTED. 3.04

REINFORCING STEEL 4.01 LAP SPLICES SHALL BE S/46 LI G.N.

SPLICES IN REINFORGING STEEL SHALL DEVELOP FULL STRENGTH OF THE BAR 43 BENDS AND MOOKS IN THE REWFORCING STEEL SHALL CONFORM TO UBC AND ACI REQU RADIUS AND EXTENSION , 4,03

ALL CONCRETE SHALL BERBAFORCED. WHERE EBINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DEFALS ARE NOT GRAPE NOT GROWN OR WHERE DEFALS ARE NOT GRAPE. TO THE SHALLY CONDITIONS SUBJECT TO REVIEW IT COAPED. GRAPE, NOT GRAPE. TO THE SHALLY CONDITIONS SUBJECT TO REVIEW IT COAPED. 4.04

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DOWILS HALL REPROVIDED AT YOUR CONSTRUCTION JOINT AND SHALL BESAME HEE AS DESARD TRACAND LAP SPICE. 4.07

SPILES IN ADJACENT HORLONTAL WALL REWFORCEMENT BARS SHALL BE STAGGERED 4-3" MINAMUM UNLESS OTHERWSE MOTED. 4.08

A LI RENFORCING ANCHOR ROLLS AND OTHER INSERTS SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE OR GROUING MASONRY. 4.04

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PROVIDE THE FOLLOWING WANNIA MOTECHTE CONFERNO OF CONCRETE:
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5 DT CONCRETOR SAME AND COLUMNS SHALL BE CONSTRUCTED IN ONE CONTINUOUS MONOLITHIC FOLK WITHOUT

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STAR ON-CRADE MAY BE CONSTRUCTED WITH CONTROL AND CONSTRUCTION JOINTS SUBJECT TO REVEW OF CRAFTED EARTH INC. 5.02

PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT NOT BE EMBEDDED THEREIN 5.00 CURING CONCRETE SHALL NOT BE EXPOSED TO TEMPERATURES LESS THAN 40° FARRENHEIT FOR THE FIRST THREE DAYS

101

ACC CERT ECCT ACCONNECTIONS AND DETAILS NOT SPECIFED SHALL CONFORM TO URC MINIMUM NAEING STANDARDS.

CRAFTED EARTH, INC. ELICINIERINIO & DESIGN

September Comments

WOCD FRANKIG CONNECTIONS AND ACCESORIES DESIGNATED ON DEAWINGS ARE MANUFACTURED BY SMYSON STROND-TE CO, OR DUNKSLAFF IN ALS SMYSON OR EQUINALEM? PRODUCTS TO BE INSTALLED ACCORDING TO THE MANUFACTURES RECOMMENDATION. 4 02

OF BUNGS NO JAPHRAGANS SHALL BE STIFFBAED SY EXTBUDING FRAMING MEMBERS OR BLOCKING AT LEAT IS BEYOND. THE EDGE OF FLE OPPOND. THE DECOCKING OF SPECIFED FOR PARKEL EDGES, METALSTRAFFING AT A TOPENDING. MALL PLYWOOD TO BLOCKING AS SPECIFED FOR PARKELEDGES, METALSTRAFFING AT TOPENDING. 103

ALL NAILS TO BE HOT DIPPED GALVANIZED PER CBC 2304,3.

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WOOD TAMBERS EXPOSED TO VEW IN FINISHED WORK, PLANED ON SITE USING ZTHER A HAND HELD 6" TIMBER PLANER OR A PORTABLE FINISH PLANER. 9 05

ALL IAG SCREWS MUST HAVE LEAD HOLES THAT COAMPLY WITH NDS SPECIFICATION 11.13.2. LEAD HOLES IN ATTACHED ELEMENT WELL BE SET TO SHAFT DIAMFTER. AND LEAD HOLES INTO SUPPORTING MEMBERS WILL BE 1/2 THE SHAFT DIAMFTER.

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ALL FRAMING SHALL HAVE 18" CLEAR BETWEEN SOIL AND JOUTS, AND 12. CLEAR AT GIRDERS

0 9

A LI TATTHER FOR PRESURE TREATED WOOD SHALL BE APPROVED SLICON BRONNE OR COPPER, STANLESS STEEL OR HOTDIPPED JING COATED STEE. 80.4

Michael and Mindy Whitlington 41 Papiar Ave Ross, CA 94957 APN:073-273-04

4) Poplar Kitchen Remodel -

Sheel Title

STRUCTURAL NOTES

S-040



CRAFTED EARTH, INC.

64 IGINEERING & DESIGNI

SAMPLE STATE OF THE STATE OF T . Н W-Wide Pange - W6x15 FEL-2-114-6-124 05962-003 DESCRIPTION DF No 2 - 4X8 31962-CD3 FR-5-1/4" GIADER SCHEDULE 8W142 8W11.7 89411.8 IMM BW14.3 BW162 8501.1 BWD5 1 8W95 4 BWDS 7 BW05 8 EWIs 1 8W11.3 8W11.4 BW11 S BW15 | BW04 7 EMDA. BW04 3 STRUCTURAL REASOND (NO SHEAR) BW11 BW11 BW14 BW1: BW | 4 BW14 8W16 8W16 8 W/D5 Į, BWDS 39403 BW06 8W14 EW15 STRUCTURAL SHEAR 14.5 20 (Ipt.) (PET) (**O** (S 1600 30 Displace For (E) (b)-i 150 0.91

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6" AT PANBLEDGES, 12" IN RELD

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CRAFTED EARTH, INC.

6" AT PANEL EDGES 12 IN FIELD

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1/2" CDX PLY

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> NORTHLEPT SOUTHPI

SOUTH-P2 SOUTHP3

NORTH2-P1

2-31/2

4" ATPANEL EDGES 12" IN PIELD

1/2/ CDX PLY

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41 Poplar Ave Ross, CA 94957

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SHEAT WALL ELEVATIONS

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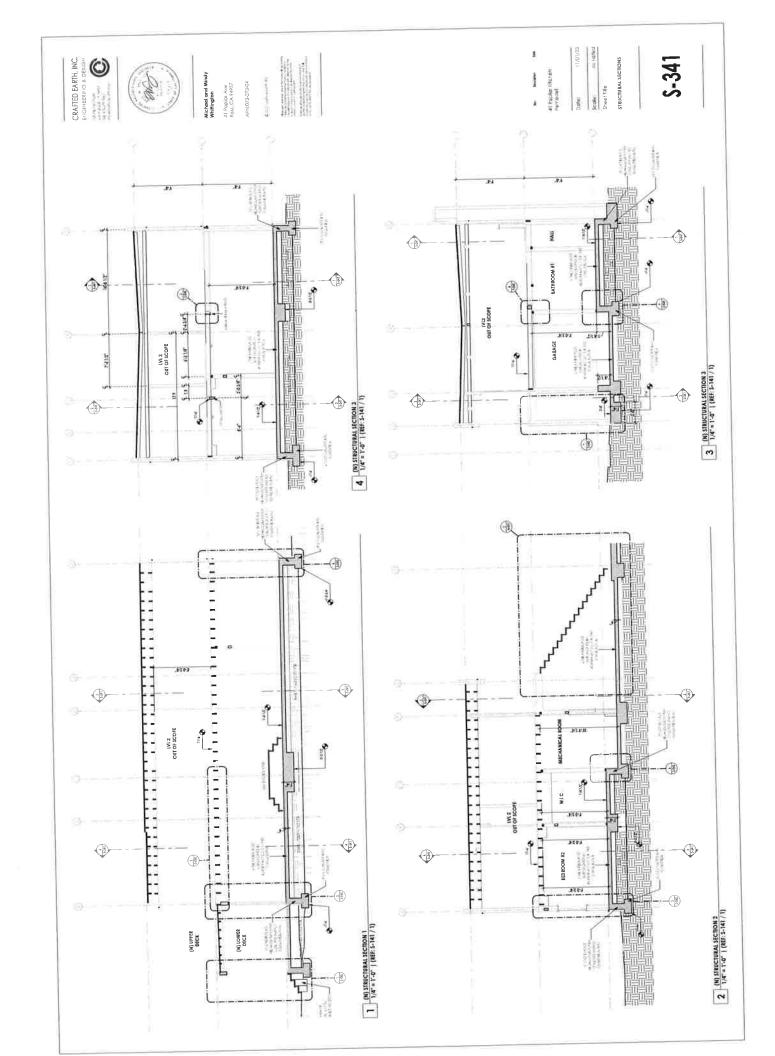


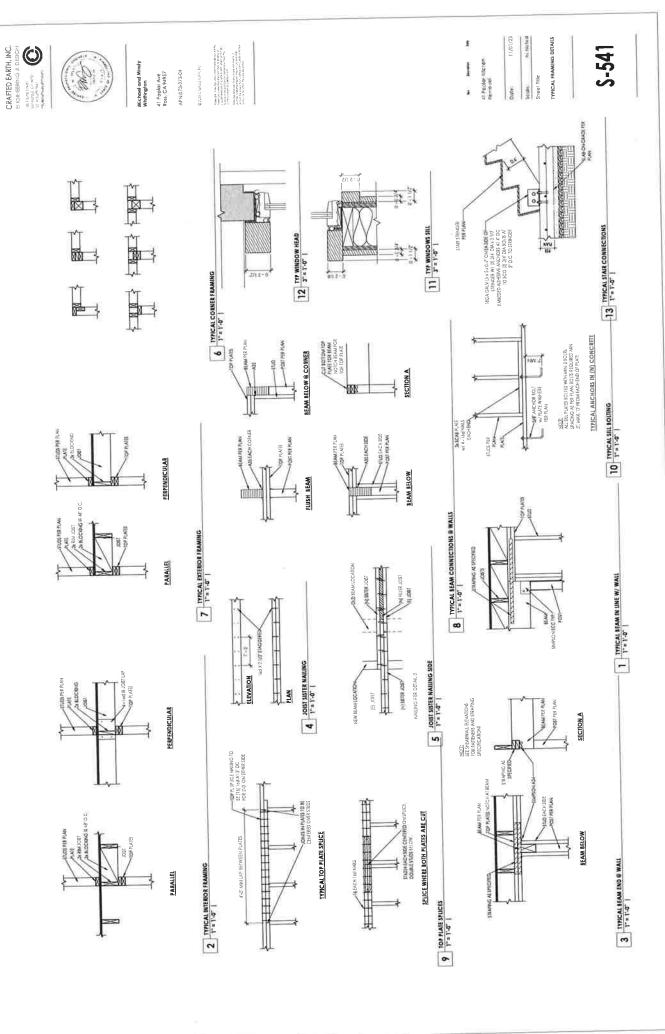


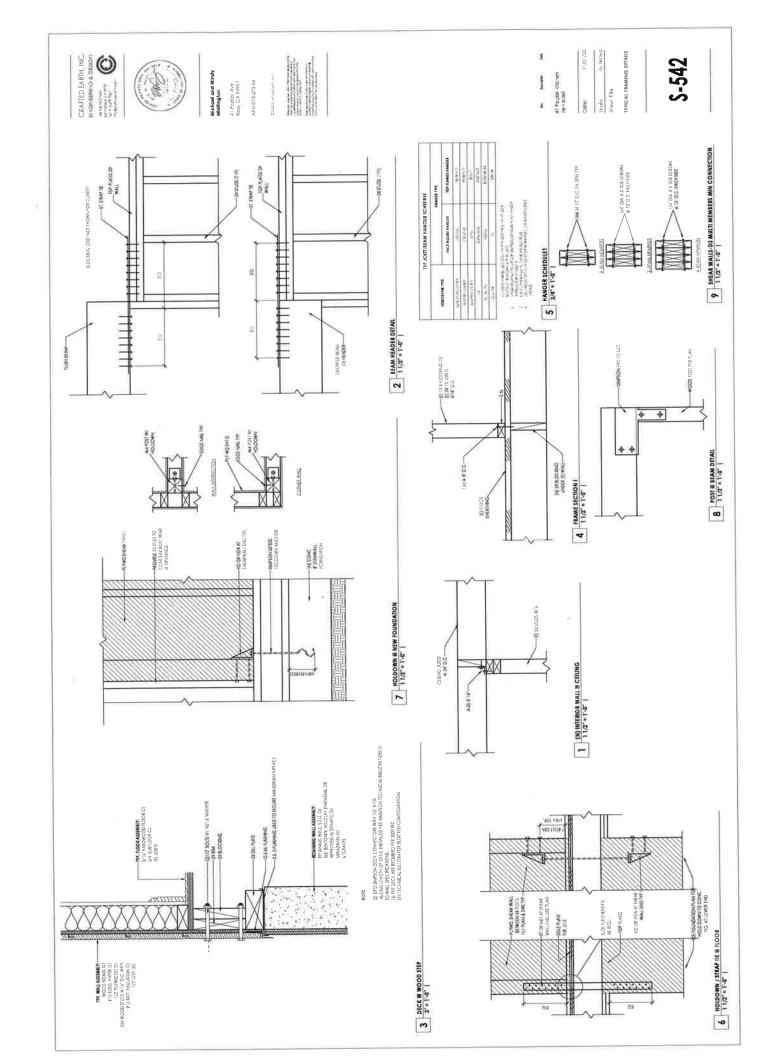


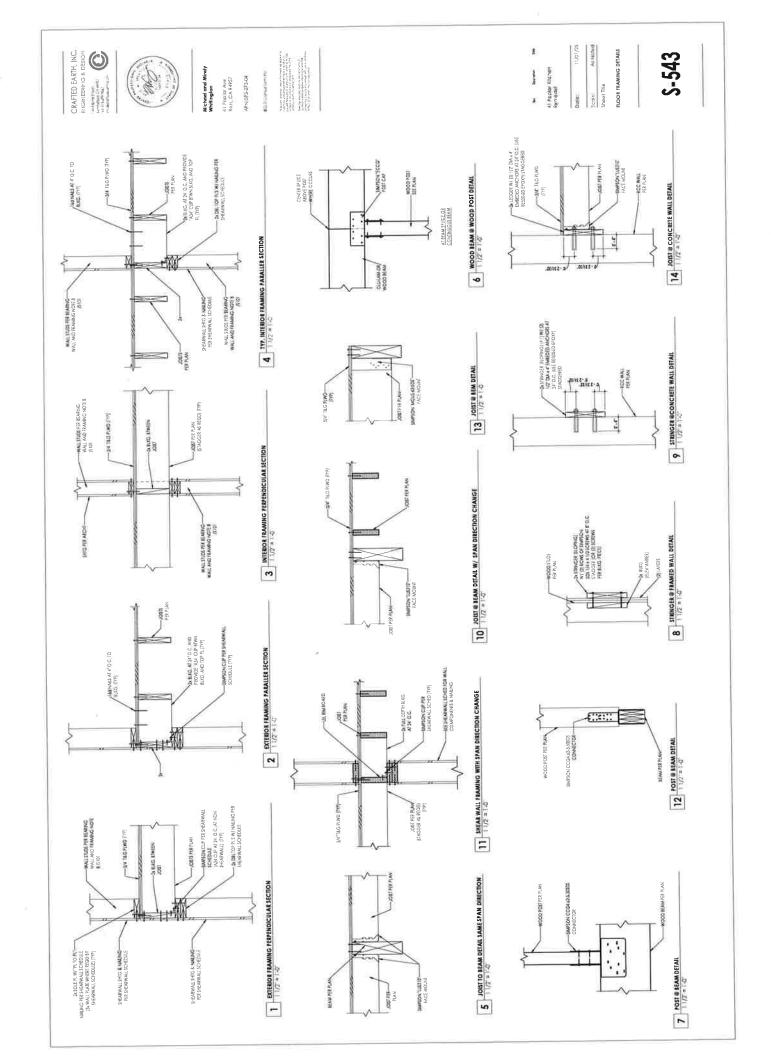


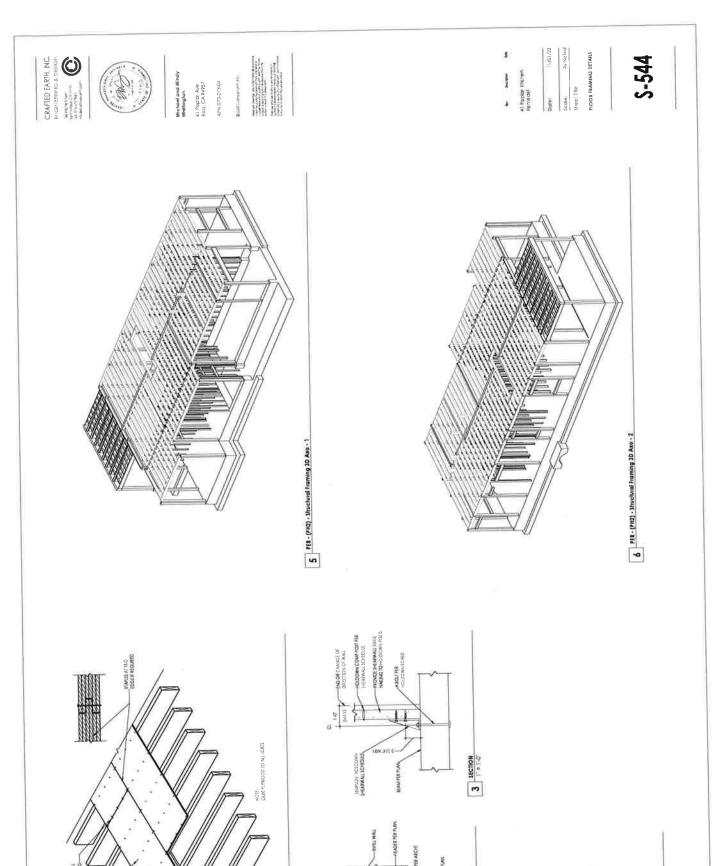






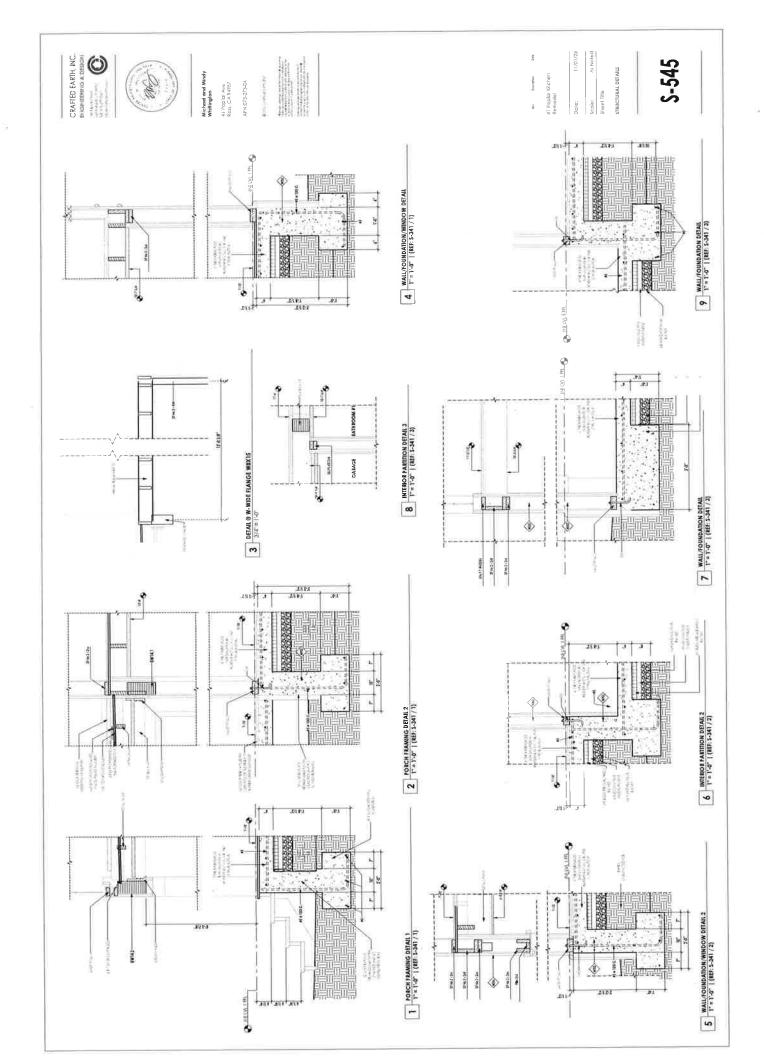






1 SIGE 1-0

2 HEADER SUPPORT DETAIL



41 Poplar Ave, Ross, CA 94957

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ATTACHMENT 3



Post Office Box 320, Ross, CA 94957
Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950
www.townofross.org

	PLANNING APPLICATION FORM	
Type of Application (check all that of Advisory Design Review Appeals Basement and Attics Exception Certificate of Compliance Demolition Permit Design Review Design Review-Amendment Final or Parcel Map General Plan Amendment Hillside Lot Permit Lot Line Adjustment	Minor Exception Non-conformity Permit Accessory Dwelling Unit Tentative Map Tentative Map Amendme Time Extension Use Permit Variance Zoning Ordinance Amendment Other: Other:	nt
	ar Ave. Ross, CA 94957	
Property Owner: WIICNAE	el and Mindy Whittingtor]
Owner Mailing Address (PO Box in Ro	ess): 41 Poplar Ave.	
City/State/Zip: Ross, CA 94	957 Owner's Phone:	415.430.7177
100	on@gmail.com	
Applicant: Eric M. S	pletzer	
Applicant Mailing Address:	166 Alpine St.	
City/State/Zip: San Rafael,	CA 94901 Applicant's Phone:	415.699.9662
Applicant's Email:		
Primary point of Contact Email:	Owner Buyer Agent	Architect
eric@craftedearth.com, monica@craftedearth.com		
To Be Completed by Town Staff: Date Received: Application No.: Zoning:	Planni Tree Perr Fee Program Administration Record Management Record Retention Technology Surcharge	5315-05 5316-05 5112-05
Make checks payable to Town of Ross. Fees may n	Date paid: TOT	AL FEES:

SUBDIVISION INFORMATION ONLY

Number of Lots:			
	LOT LINE AD	DJUSTMENT ONLY	
Describe the Proposed Lot Line A	djustment:		
Existing Parcel Size(s)	Parcel 1:	Parcel 2:	
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:	
PARCEL ONE		PARCEL 2	
Owners Signature:		Owner's Signature:	
Date:		Date:	
Owner's Name (Please Print):	r's Name (Please Print): Owner's Name (Please Print):		
Assessor's Parcel Number: Assessor's Parcel Number:			
* If there are more than two a	fected property o	wners, please attach separate letters of authorization.	
R	EZONING OR TE	XT AMENDMENT ONLY	
The applicant wishes to amend Se	ction	of the Ross Municipal Code Title 18.	
The applicant wishes to Rezone parcelfrom theZoning District to			
GENE	RAL OR SPECIFIC	PLAN AMENDMENT ONLY	
Please describe the proposed am			
CERTIFICATION AND SIGNATURE			
, the property owner, do hereby au Juring the review process by City st		ant designated herein to act as my representative	
Owner's Signature: Michael Whitington (Jan	1 12, 2023 (99-32 PST) Windy Wil	Jan 12, 2023 Jan 12, 2023 Jan 12, 2023	
		ury that the facts and information contained in this rials, are true and accurate to the best of my knowledge	
Owner's Signature: Michael Whittington (Jan 1)	(, 2023 09/32 PST) Rindy M	httlegfon Liber 12,7023 18/41 1883 Date: Jan 12, 2023 Jan 12, 2023	

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

Ross	, California on
MA 03-1 Charleton Hington (Jan 17, 2021 09 02 251 While the plan (Jan 17, 2021 00 11 251)	DASS .
Signature of Property Owner(s)	and Applicant(s)Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

□ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

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		EXDITUTION DUT

Written Project Description – may be attached. A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).
Project is to lift the house above the flood plain on the existing footprint.
Interior configuration of first floor to be updated. Design standards of existing are to be replicated.
Exterior rear porch to be extended and is within 15' setback. This extension requires a variance.
Variance is requested because lot narrowness and15' setback is recognized as hardship on 50' lot.

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe** the special circumstances that prevent conformance to pertinent zoning regulations.

Variance is requested because lot narrowness (50') and 15' setback is recognized as hardship on 50' lot.

- -Side setbacks cover 60% of lot area.
- -Remaining buildable area is only 20' wide.
- -Existing home to be lifted is well within 15' setback.
- -Encroachment is not increased into the setback, but extended along existing encroachment line.
- -Character of neighborhood is urban, and a 15' side setback is not appropriate for density of neighborhood.
- -Both side neighbors are within 5' of property line.
- -There are no houses along Poplar Ave that honor the 15' setback.

Substantial Property Rights		
That the variance is necessary for the preservation and enjoyment of substantial property rights. Describe why the project is needed to enjoy substantial property rights.		
House has flooded twice in past 14 months	s. Deck extension is far from rear setback line and simple extension of existing encroachmen	

Public	We	lfare
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That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

Porch extension is invisible from public view. Neighboring properties all encroach side setbacks and are within 5' of property lines.		

41 Poplar -Planning Application Form

Final Audit Report

2023-01-12

Created:

2023-01-12

By:

Eric Spletzer (eric@craftedearth.com)

Status:

Signed

Transaction ID:

CBJCHBCAABAAcsytyGYFc0pxBWZbP-qNbAtXiBW9454q

"41 Poplar -Planning Application Form" History

- Document created by Eric Spletzer (eric@craftedearth.com) 2023-01-12 5:02:18 PM GMT- IP address: 98.45.130.172
- Document emailed to mtwhittington@gmail.com for signature 2023-01-12 5:04:36 PM GMT
- Email viewed by mtwhittington@gmail.com 2023-01-12 5:04:42 PM GMT- IP address: 66.249.84.89
- Signer mtwhittington@gmail.com entered name at signing as Michael Whittington 2023-01-12 - 5:32:02 PM GMT- IP address: 98.37.15.155
- Document e-signed by Michael Whittington (mtwhittington@gmail.com)

 Signature Date: 2023-01-12 5:32:04 PM GMT Time Source: server- IP address: 98.37.15.155
- Document emailed to mindy02@gmail.com for signature 2023-01-12 5:32:06 PM GMT
- Email viewed by mindy02@gmail.com 2023-01-12 6:39:14 PM GMT- IP address: 104.28.48.189
- Signer mindy02@gmail.com entered name at signing as Mindy Whittington 2023-01-12 6:41:27 PM GMT- IP address: 98.37.15.155
- Document e-signed by Mindy Whittington (mindy02@gmail.com)
 Signature Date: 2023-01-12 6:41:29 PM GMT Time Source: server- IP address: 98.37.15.155
- Agreement completed. 2023-01-12 - 6:41:29 PM GMT



CRAFTED EARTH, INC. 166 ALPINE ST SAN RAFAEL, CA 94901

TEL: 415.699.9662

E-MAIL: ERIC@CRAFTEDEARTH.COM

To:

TOWN OF ROSS - PLANNING DEPARTMENT

Attn:

ALEX LOPEZ – ASSISTANT PLANNER

RE:

WHITTINGTON RESIDENCE, 41 POPLAR AVENUE, APN 073-273-04

APPLICATION DRP22-0037

Date:

1/11/23

Applicant:

Crafted Earth, Inc.

Eric Spletzer, PE

526 Third Street, Suite A2 San Rafael, CA 94901 Phone: 415-699-9662

Email: eric@craftedearth.com

The following comments were received on Dec 22nd, 2022. The comments follow in black, and the responses are in green bold print.

COMMENTS FROM PLANNING:

Provide a Zoning Parameters table. The table should have three columns, allowed, existing, and proposed. (Example below):

Please see the table on the sheet A-040 already provided.

Sheet A-201 and A-241 are showing elevations measurements from finish level to roof level. Provide the correct elevations for the planning department, showing the measurements from grade to the highest point of the roof, clearly showing the existing and proposed roof height.

18.12.080 Building height. "Building height" means the vertical distance as measured in a straight line from any point to either existing or finished grade, whichever is lower.

Sheets A-201 and A-241 were updated.

Can you provide the measurements for the proposed rear porch? It may be counted as floor area and building coverage.

Exterior measurements for the proposed rear porch are: Width 18'-8", Depth: 9'-11".

The reference view is A-142/1. The proposed rear porch is not counted as floor area and is already included in Lot Coverage calcs on sheet A-101 and summarized on the cover sheet A-040

Sheet A-101 shows the proposed rear porch encroaching to the side yard setback. A Variance is required. It is the continuation of an existing encroachment line on an onerous setback requirement.



CRAFTED EARTH, INC. 166 ALPINE ST SAN RAFAEL, CA 94901 TEL: 415.699.9662

E-MAIL: ERIC@CRAFTEDEARTH.COM

COMMENTS RECEIVED FROM BUILDING:

California Residential Code 305.1 ceiling height minimum of 7 feet. A-541/3 shows 6'10". 6'10 is at a landing. Room height downstairs is 8'9 7/8"

CRC 311.7.1 stair width of 3 feet minimum, A-541/1 shows a width of 30 inches.

New risers and threads necessary for the lift will be added at the bottom of the "existing legal not conforming stair run." Existing legal not conforming interior stair hole will be kept as it is. New treads will have a width of 30 inches min as shown on A-541/1.

Provide a handrail where four or more rises exist. A543/1 shows no handrail. The handrail was added. See sheet A541

COMMENTS RECEIVED FROM PUBLIC WORKS:

All work shall comply with the requirements of the Town of Ross Section 15.36 Flood Damage Prevention Code. ????

A pre-construction Elevation Certificate (EC) shall be provided prior to issuance of the Building Permit verifying that the design F elevation is 1.0' minimum above the 100-YR base flood elevation. A "during construction" EC shall be provided demonstrating that the F elevation will comply with the design F elevation. A "finished construction" EC will be required prior to Permit Final.

All three ECs will be provided by Adobe Assoc Engineers.

For the Town of Ross.

We have shared our plans with neighbors and have received unanimous and enthusiastic support, including from our neighbors at 43 Poplar who would be most impacted:

Sarah & Hugh Barron at 43 Poplar (next door)

The Barrons came on-site to view the plans on 2/1/23 to see how the proposed design would impact their yard and views. The Barrons gave verbal and written approval for the plans, including our request for a variance. They appreciated our efforts to preserve privacy through landscaping and thoughtful design of our deck.

Kathryn & Kyle Rosseau at 45 Poplar

Shared plans and received written approval and enthusiastic support for the project overall

Mark & Sonya Manning at 47 Poplar

Shared plans and received written approval and enthusiastic support for the project overall

Tim Hill at 49 Poplar

Shared plans and received written approval and enthusiastic support for the project overall

Jeremy & Charlotte at 38 Poplar Ave

Shared plans and received written approval and enthusiastic support for the project overall

Mu What

Thank you for the consideration,

Mindy & Mike Whittington