



Agenda Item No. 4c.

Staff Report

Date: February 15, 2023
To: Advisory Design Review Group
From: Alex Lopez-Vega, Assistant Planner
Subject: 41 Poplar Avenue

Recommendation

That the ADR Group discuss the merits of the project and provide a formal recommendation to the Town Council regarding the merits of the project consistent with the Design Review criteria and standards of Ross Municipal Code section 18.41.100 (see **Attachment 1**).

Project Information

Property Owner: Michael and Mindy Whittington
Applicant: Eric M. Spletzer
Street Address: 41 Poplar Avenue
Parcel Number: 073-273-04
Zoning: R-1: B-7_5
General Plan: ML (Medium Low Density)
Flood Zone: AE (Floodway)

Project Data

	Code Standard	Existing	Proposed
Lot Area	7,500SF	8,962 SF	No change
Floor Area (FAR)	20%	2,709 SF (30.23%)	2,712 SF (30.26%)
Building Coverage	20%	1,626 SF (18.15%)	1,670 SF (18.64%)
Front Setback	25'	26'	No Change

	Code Standard	Existing	Proposed
Side Setback (West)	15'	21'	No Change
Side Setback (East)	15'	9'-3"	No Change
Rear Setback	40'	100'	No Change
Building Height	30'	18' 6"	22' 2"
Parking	2 (1 Covered)	2 (1 Covered)	2 (1 Covered)
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	1,438 SF	1,217 SF

Project Description

The applicant is requesting approval for Design Review and a Variance. The project proposes to lift the existing two-story single-family residence 3'8" above its existing elevation in its current location in order to raise the habitable space out of the floodplain. The maximum building height would increase from 18' -6" to a proposed 22'-2", which would comply with the maximum allowed 30 – foot building height limit. The project includes expanding the second-story deck and removing the existing stairs. A new rear porch is proposed below the new second-story deck which will encroach into the side yard setback. The project will include interior work which will exchange some existing floor area for new floor area, , replace and install new windows, and update the front entry stairs with a new handrail.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for construction of a new building exceeding 200 square feet of a new floor area; fences and gates greater than 48" in height adjacent to the street right-of-way; a project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.

- **Variances are required pursuant to RMC Section 18.48.010** to allow for the construction of a new porch which is nonconforming with respect to the side yard setback.

Background

The project site is an 8,962 square-foot rectangular lot on the west side of Poplar Avenue. The property is located within the Federal Emergency Management Agency (FEMA) Special Flood Hazard Area Zone AE, which is defined as an area subject to inundation by the 1- percent-annual-chance flood event (also referred to as the base flood or 100-year flood).



Discussion

The overall purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include; provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individuals buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff

associated with development. The Design Review criteria and standards per section 18.41.100 are included as **Attachment 1**.

Public Comment

At the time of writing this report, no comments were received from the public regarding the project.

Attachments

1. Ross Municipal Code Section 18.41.100, Design Review Criteria and Standards
2. Project Plans
3. Project Application & Materials

Chapter 18.41

DESIGN REVIEW

Sections:

18.41.010	Purpose.
18.41.020	Improvements subject to design review.
18.41.030	Chapter application.
18.41.040	Submittal requirements.
18.41.050	Review authority.
18.41.060	Town Council review.
18.41.070	Approval--Special conditions and findings.
18.41.080	Denial of incomplete or inactive applications.
18.41.090	Administrative review.
18.41.100	Design review criteria and standards.
18.41.110	Noncompliance.
18.41.120	Emergency situations.

18.41.010 Purpose. (a) The “small town” feel and the serene, quiet character of its neighborhoods are special qualities to the town. The existing scale and quality of architecture, the low density of development, the open and tree-covered hills, winding creeks and graciously landscaped streets and yards contribute to this ambience and to the beauty of a community in which the man-made and natural environment co-exist in harmony.

(b) This chapter is intended to guide new development to preserve and enhance these special qualities of Ross and to sustain the beauty of the town’s environment. Other specific purposes include the following:

(1) Provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area. Promote high-quality design that enhances the community, is consistent with the scale and quality of existing development and is harmoniously integrated with the natural environment;

(2) Preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town’s neighborhoods through maintaining historic design character and scale, preserving natural features, minimizing overbuilding of existing lots and retaining densities consistent with existing development in Ross and in the surrounding area;

(3) Preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and

safety. Ensure that site design and intensity recognize site constraints and resources, preserve natural landforms and existing vegetation, and prevent excessive and unsightly hillside grading;

(4) Enhance important community entryways, local travel corridors and the area in which the project is located;

(5) Promote and implement the design goals, policies and criteria of the Ross general plan;

(6) Discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression;

(7) Preserve buildings and areas with historic or aesthetic value and maintain the historic character and scale. Ensure that new construction respects and is compatible with historic character and architecture both within the site and neighborhood;

(8) Upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site.

(9) Preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development to reduce flooding, streambank erosion, sediment in stormwater drainage systems and creeks, and minimize damage to public and private facilities. Ensure that existing site features that naturally aid in stormwater management are protected and enhanced. Recognize that every site is in a watershed and stormwater management is important on both small and large sites to improve stormwater quality and reduce overall runoff.

(c) This chapter establishes procedures and criteria for the review of buildings, structures and improvements necessary to meet this purpose. (Ord. 619 (part), 2010; Ord. 514 §1(part), 1993).

18.41.020 Improvements subject to design review.

(a) Design review is required for the following projects:

(1) All new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area, including enclosing existing open areas.

(2) All building relocations.

(3) Any increase to the existing roof height.

(4) All fences, gates or walls, or a combination of these, greater than forty-eight inches in height in any yard adjacent to the street or right-of-way.

(5) The construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.

(6) New retaining walls with a cumulative total of more than one hundred linear feet.

(7) Any sports court fences over 6 feet in height and for gate columns and other decorative fence elements that exceed the permitted fence height limits.

(8) Any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, as determined by the Planner.

(9) Any activity or project resulting in more than fifty cubic yards of grading or filling, whether or not a building permit is required.

(10) Any construction, improvements, grading/filling or other site work within twenty-five feet of a creek, waterway or drainageway, whether or not a building permit is required with the exception of creek projects in accordance with Section 18.41.020(b)(4) of this Code.

(11) Any project resulting in over 1,000 square feet of new impervious landscape surface, whether or not a building permit is required.

(12) Redevelopment, Rehabilitation, and/or renovation of existing landscaping over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood, whether or not a building permit is required.

(b) Design Review is not required for the following:

(1) Repainting existing structures involving no exterior remodeling resulting in additions, extensions or alterations.

(2) Accessory Dwelling Units in Accordance with Chapter 18.42 of this Code.

(3) Attic improvement permitted under Chapter 18.46 unless the project involves exterior work within twenty-five feet of a creek, waterway or drainageway, or if the attic project is associated with a larger project that requires design review.

(4) Creek stabilization and/or stream bank repair and alteration permits subject to issuance of a building permit and local, state, and federal permitting approval.

(5) Improvement of an existing basement in accordance with Chapter 18.45 of this Code.

(6) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in accordance with Section 18.41.090(d) of this Chapter. (Ord. 704 (part), 2020; Ord. 696 (part), 2019; Ord. 624 (part), 2011; Ord. 619 (part), 2010; Ord. 604 (part), 2008; Ord. 578 §7, 2003; Ord. 575 (part), 2003; Ord. 558 (part), 2001; Ord. 557 (part), 2001; Ord. 544 (part), 1999; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.030 Chapter application. No work shall be started or authorized on any matter which is subject to design review on any lot located within the town until a design review application is approved, unless written approval for the work is first given by the town planner. (Ord. 514 §1(part), 1993).

18.41.040 Submittal requirements. Every design review application shall include drawings, plans, specifications and graphic or written material as required by the town planner or town council to clearly and accurately describe the proposed work, its effect on the environment and its relationship to existing improvements. The applicant shall pay a fee as set by the town council. All drawings and plans shall show both existing and proposed elevations and clearly identify all new construction and label all materials as new or existing. A structural engineer's report on the condition of the existing structure and its ability to meet building code requirements without additional modifications shall be prepared as required by the town planner or town council. An extensive termite, dry rot damage report shall be prepared, as required by the town planner or town council, which shall not only identify areas of damage but shall explore

to determine the full extent of the damage, both exposed and concealed. Complete photos and a videotape of the structure's exterior shall be provided as required by the town planner or town council. A project manager, hired by the town at the applicant's expense, shall monitor demolition/construction activity as deemed necessary by the town building official. The applicant shall submit a proposed erosion control and sediment control plan, stormwater control plan, and/or stormwater facilities operation and maintenance plan if required by chapter 12.28 of the town code. Standard submittal requirements will be prepared by the town planner. Additional material may be required by the town planner. (Ord. 657 (part), 2014; Ord. 604 (part), 2008; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.050 Review authority. The town council will conduct the design review provided for by this chapter, except as otherwise provided in this chapter. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.060 Town Council review. Except as otherwise provided in this chapter, the town council will decide design review applications at a public meeting. The town council will review the application at its next available meeting following a determination by the town planner that the application is complete. The town clerk will mail written notice at least ten calendar days prior to the hearing to the applicant and to all owners of property within three hundred feet from the exterior boundaries of the project site. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.070 Approval--Special conditions and findings.

(a) The town council may approve, conditionally approve or deny an application for design review. The town council shall include conditions necessary to meet the purpose of this chapter and for substantial compliance with the criteria set forth in this chapter. The council may adopt by resolution standard conditions for all projects to meet.

(b) The town council shall make the following findings in approving any project:

(1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.

(2) The project is in substantial compliance with the design criteria of Section 18.41.100.

(3) The project is consistent with the Ross general plan and zoning ordinance.

(c) The town council shall deny any project for which it cannot make the above findings required in this section. (Ord. 514 §1(part), 1993).

18.41.080 Denial of incomplete or inactive applications. Consistent with state law, the town planner may administratively deny without prejudice any application which remains incomplete or inactive for a period of greater than ninety days or is continued at the applicant's request for more than sixty days. (Ord. 514 §1(part), 1993).

18.41.090 Administrative review. The town planner may administratively approve, conditionally approve or deny the following without notice or a public hearing: (a) An amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent

with the intent and criteria of this chapter and with zoning ordinance regulations. Such administrative review may include, but is not limited to, the addition of skylights, greenhouse windows and other minor changes from approved design review plans. (b) Design review of fences pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (c) An application that involves alteration of more than twenty-five percent of the exterior walls, but less than twenty-five percent of the exterior wall coverings of a residence pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (d) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in consultation with the Town's Advisory Design Review Group. (Ord. 704 (part), 2020; Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).).

18.41.100 Design review criteria and standards. Until such time the Town Council adopts Residential Design Guidelines, this section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

(a) Preservation of Natural Areas and Existing Site Conditions.

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridge lands and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion.

(3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site.

There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

(c) Minimizing Bulk and Mass.

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting.

Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening.

Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate. Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake

Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views.

Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning. Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety.

Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy.

Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations.

Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District.

The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock.

Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area.

Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) Setbacks.

All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) Low Impact Development for Stormwater Management.

Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) Maximize Permeability and Reduce Impervious Surfaces. Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using

more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

(2) Disperse Runoff On Site. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) Include Small-Scale Stormwater Controls and Storage Facilities. As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or "green roofs", catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 696 (part), 2019; Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

18.41.110 Noncompliance. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. Such violation will be subject to the enforcement penalties procedures of Chapter 18.64 of this code. (Ord. 514 §1(part), 1993).

18.41.120 Emergency situations. If a condition exists which requires immediate action to protect public health, safety and welfare, the town building official may, after consultation with the town planner, grant emergency approval to temporarily correct or ameliorate such condition without submitting the matter to the Town Council for design review approval or posting written notice. Permanent corrective measures shall require design review approval in accordance with the provisions of this chapter. The building official and town planner may impose conditions on an emergency permit as necessary to ensure compliance with this chapter. (Ord. 514 §1(part), 1993).

ATTACHMENT 2

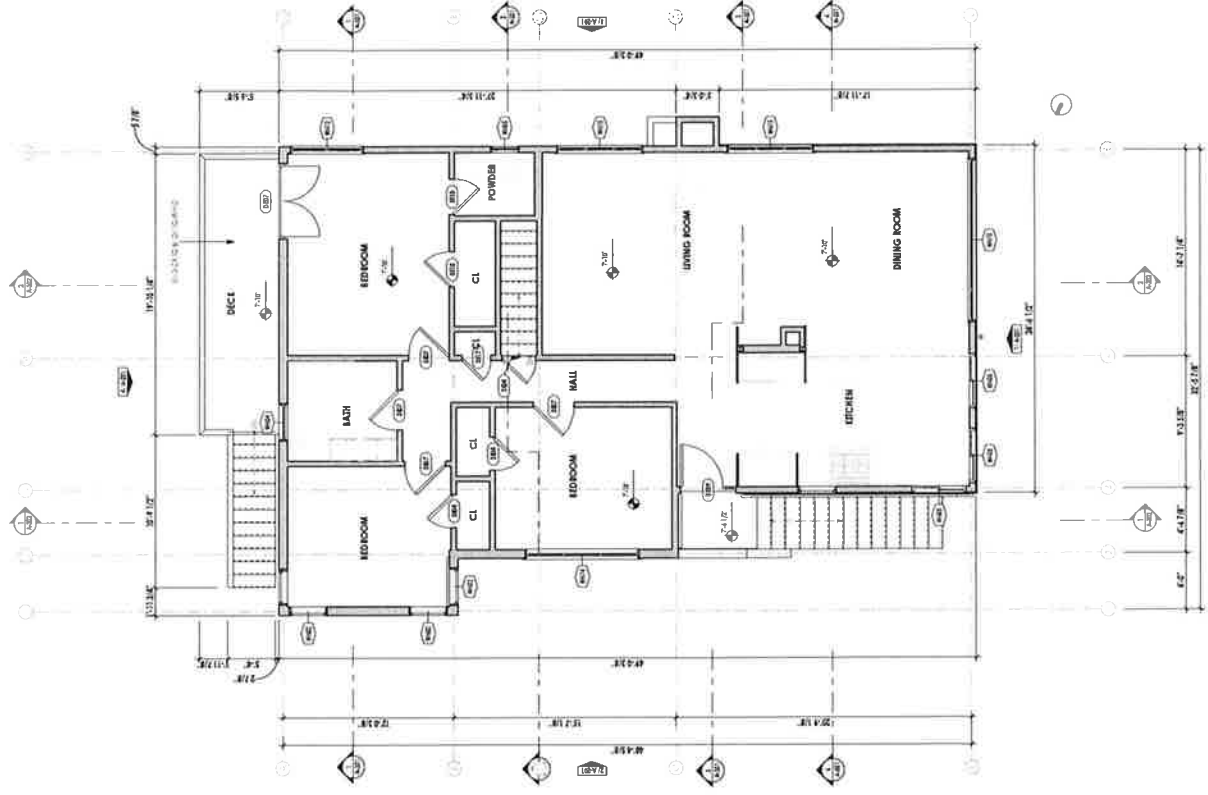


Michael and Mindy
Whittington
41 Poplar Ave
Roslindale, MA 02126
APN 02523504

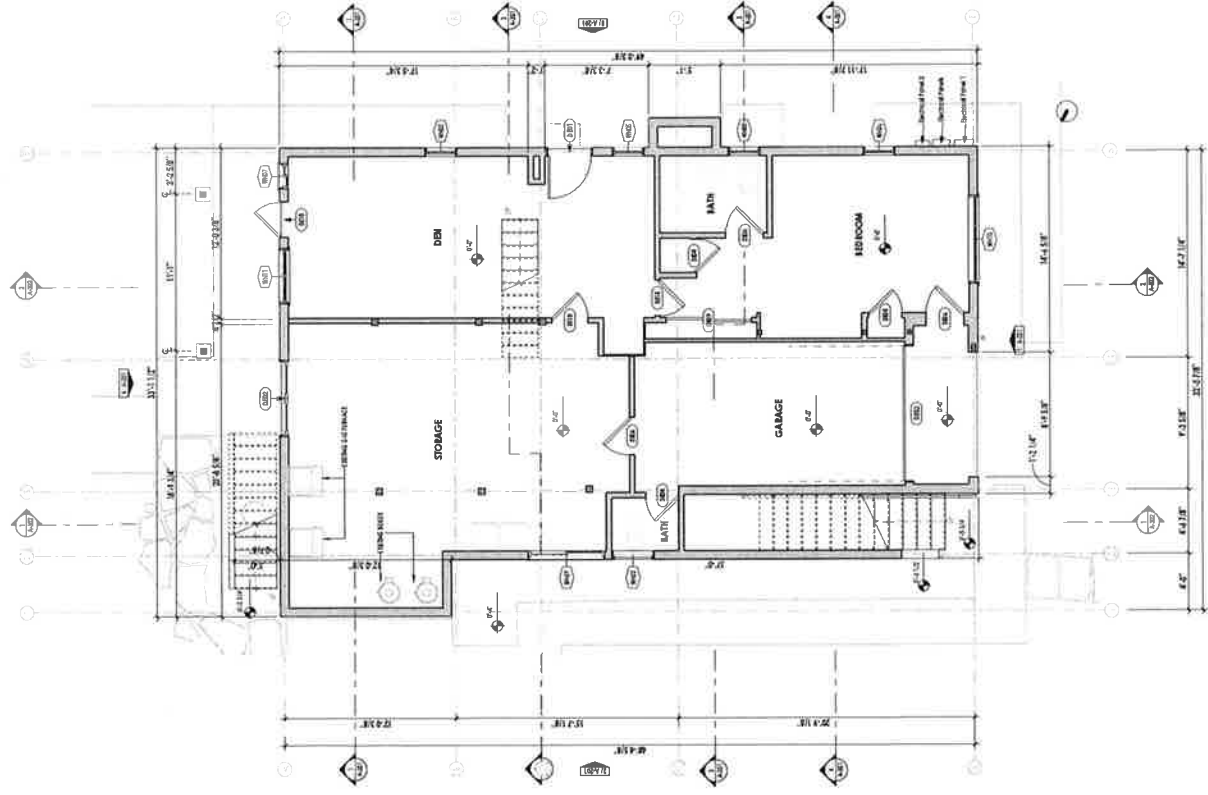
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Rev Description Date
41 Poplar Kitchen
Remodel
Date: 11/01/23
Scale: As Noted
Sheet Title
(B) LEVEL 1 AND LEVEL 2
FLOOR PLANS

A-102



2 (B) LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



1 (B) LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

(E) ROOF PLATE

Michael and Mindy
Whittington

4 | Poplar Ave
Ross, CA 94957
APN:073-273-04

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the authors' knowledge, this is the first study to examine the effects of a single session of a group-based, self-help, cognitive-behavioral program on the self-reported health status of older adults with chronic conditions. The authors' findings suggest that a single session of a group-based, self-help, cognitive-behavioral program can improve the self-reported health status of older adults with chronic conditions. The authors' findings also suggest that a single session of a group-based, self-help, cognitive-behavioral program can improve the self-reported health status of older adults with chronic conditions. The authors' findings also suggest that a single session of a group-based, self-help, cognitive-behavioral program can improve the self-reported health status of older adults with chronic conditions.

Name	Description	Date
41 Poplar Kitchen Remodel		

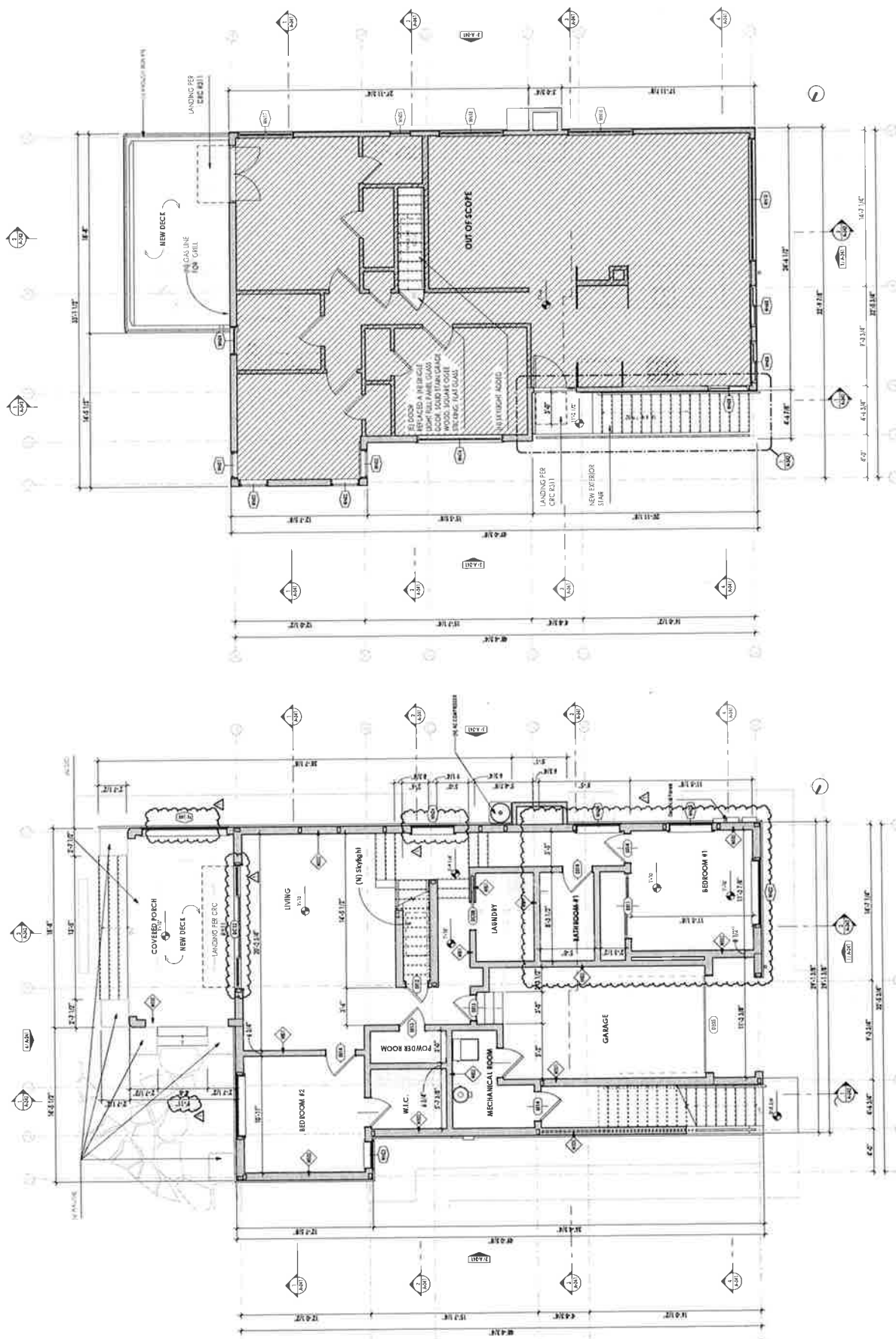
Date: 11/01/23

Scale	As Noted
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Sheet Title

(N) LEVEL 1 AND LEVEL 2
FLOOR PLANS

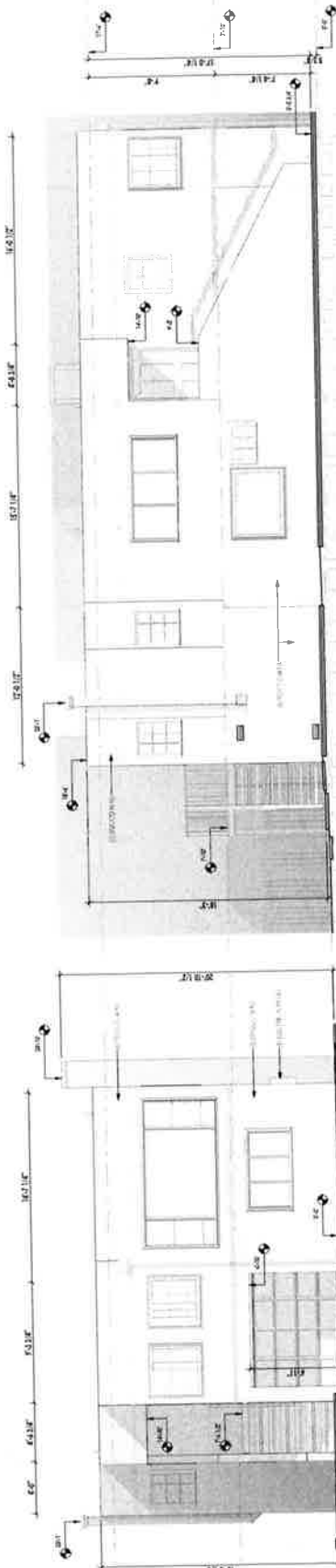
A-142



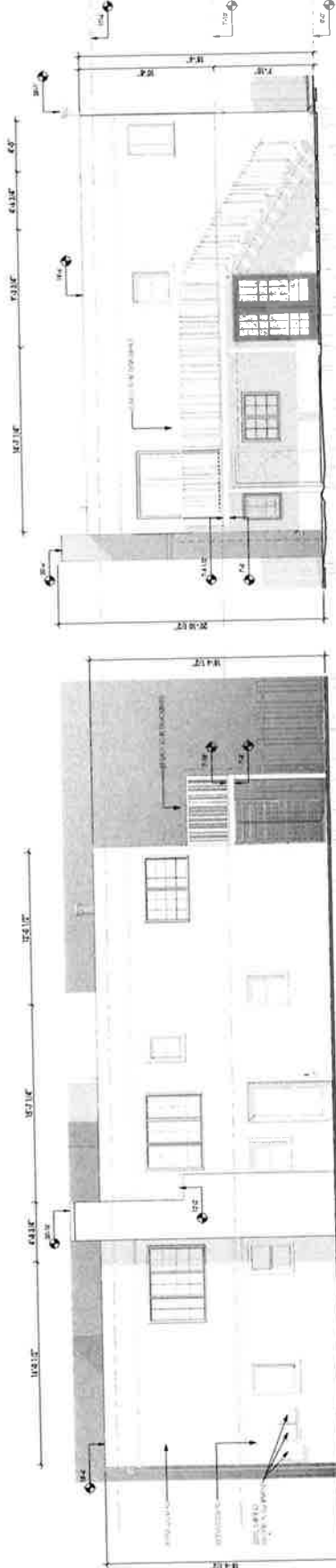
2 (N) LEVEL 2 FLOOR PLAN
1/6" = 1'-0"

1	(N) LEVEL 1 FLOOR PLAN
---	------------------------

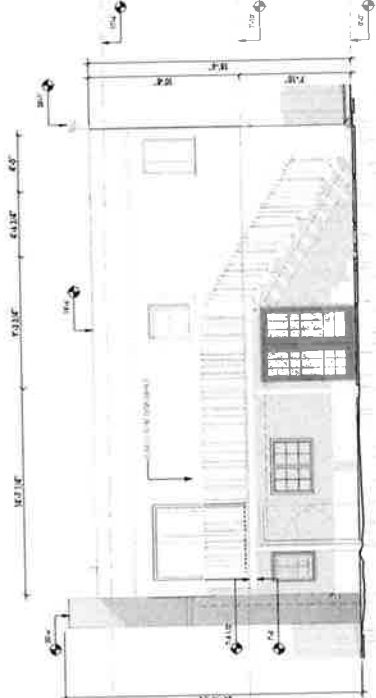
4 PER - (PH2) - Roof Plan
1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



3	EXISTING EAST ELEVATION $1/4" = 1'-0"$
---	---



4	EXISTING REAR ELEVATION
---	-------------------------



Michael and Mindy Whittington

41 Poplar Ave
Ross, CA 94957

APN:073-273-04

2. *Journal of Management Education* 26(1): 10-12

These results suggest that the use of a single, non-validated questionnaire may not be sufficient to accurately assess the prevalence of mental health problems in the community. The use of a validated questionnaire, such as the GHQ-12, may be more appropriate for this purpose.

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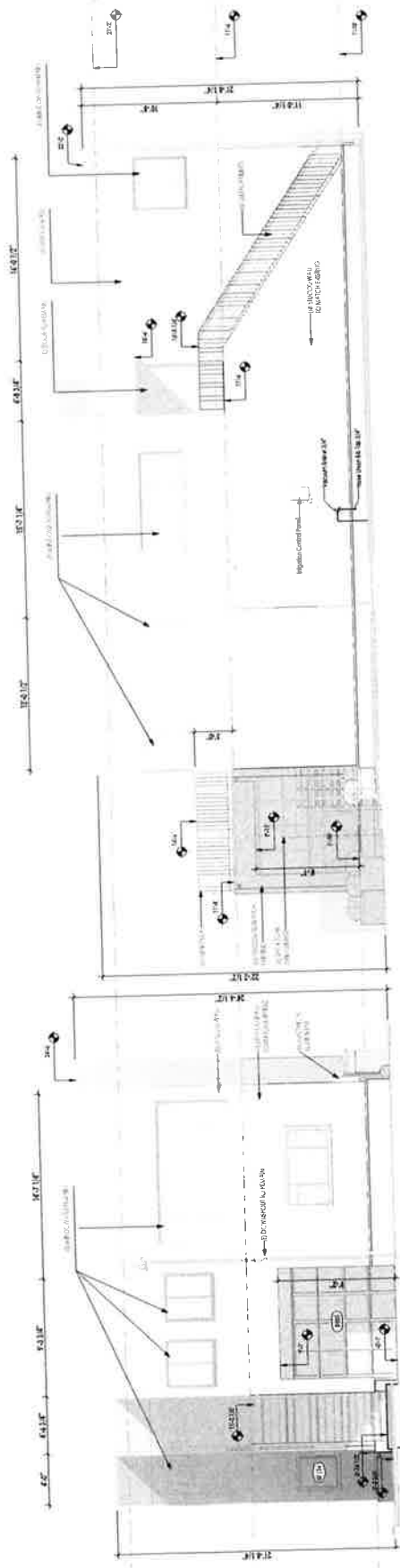
11 Poplar Kitchen
Remodel

Date: 11/01/23

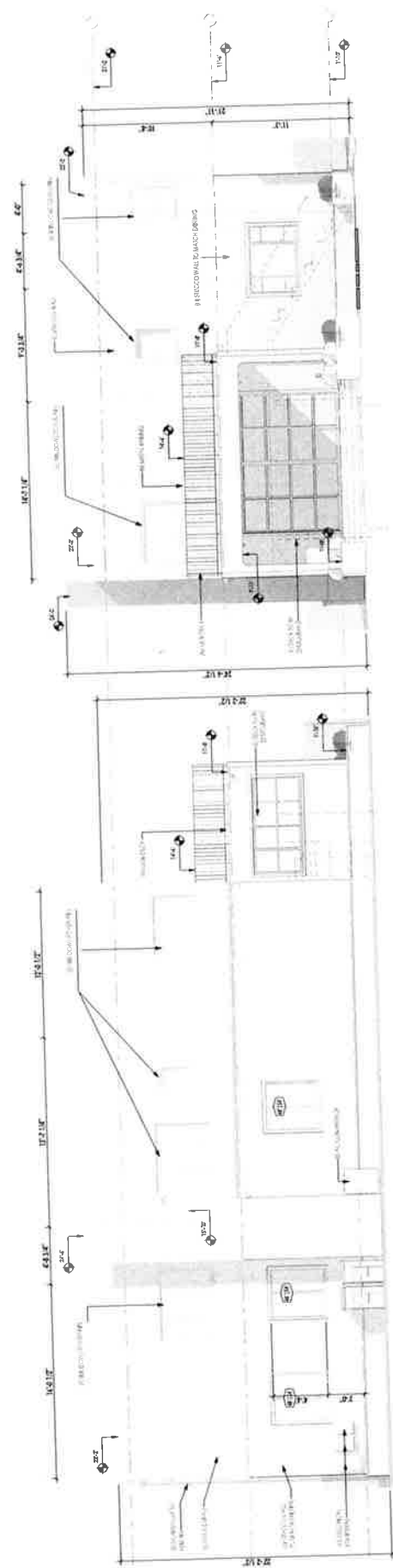
Score	As rated
Project Title	

(N) ELEVATIONS

A-241



2 PROPOSED WEST ELEVATION 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION $1/8" = 1'-0"$

3 PROPOSED EAST ELEVATION 1/4" = 1'-0"



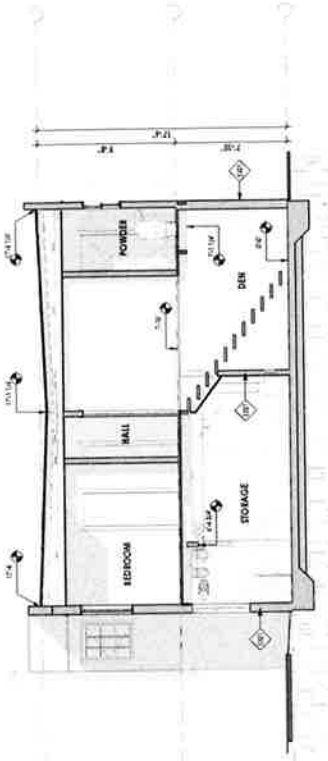
Michael and Mindy
Whittington

41 Poplar Ave
Ross, CA 94057

APN 073-273-04

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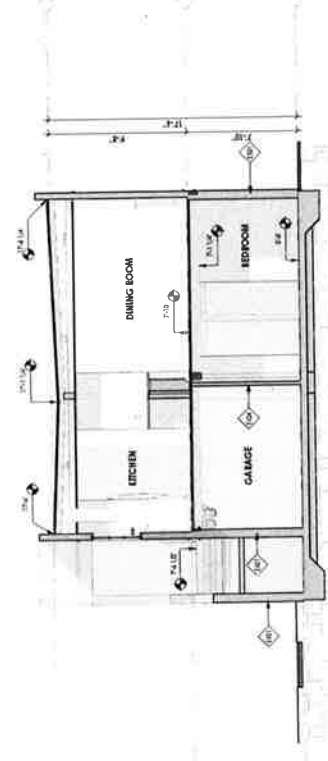
This is a preliminary drawing. It is not to be used for construction without the approval of the engineer. It is the responsibility of the user to verify the accuracy of the information and to obtain all necessary permits. The user agrees to hold the engineer harmless from any and all claims, damages, or liabilities, including reasonable attorneys' fees, arising from the use of this drawing, whether or not such claims, damages, or liabilities are caused in whole or in part by the negligence of the engineer.



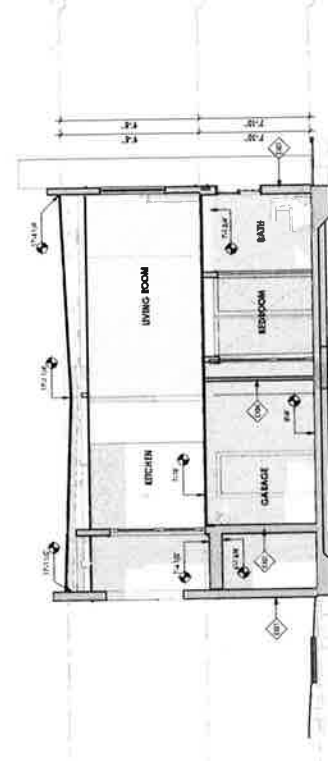
2 (B) SECTION C2
1/4" = 1'-0"



1 (B) SECTION C1
1/4" = 1'-0"



4 (B) SECTION C4
1/4" = 1'-0"



3 (B) SECTION C3
1/4" = 1'-0"

A-301

Date: 11/01/23
Scale: As Noted
Sheet Title: (B) SECTIONS

CRAFTED EARTH, INC.

ENGINEERING & DESIGN
10000 1st Street
San Diego, CA 92123
Tel: 619.444.1111
www.craftedearth.com



Michael and Mindy
Wellington

41 Poplar Ave
Ran, CA 94057

APN 079-273-04

APN 079-273-04

These drawings were prepared by the undersigned professional engineer and are to be used in accordance with the California Engineering Board's rules and regulations. The engineer's seal and signature are required on all drawings. The engineer's seal and signature are required on all drawings. The engineer's seal and signature are required on all drawings.

No. Description Date

41 Poplar Avenue
Remodel

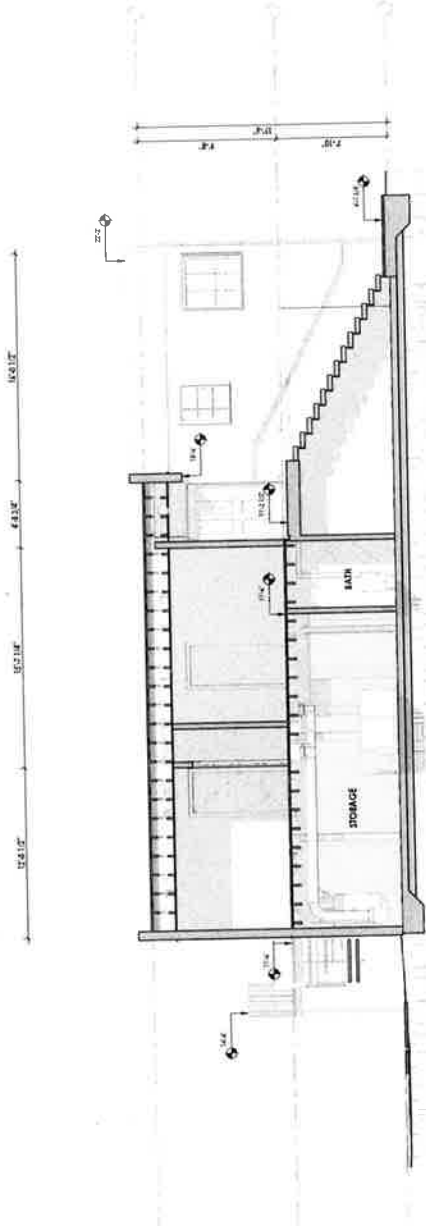
Date: 11/07/23

Scale: As Noted

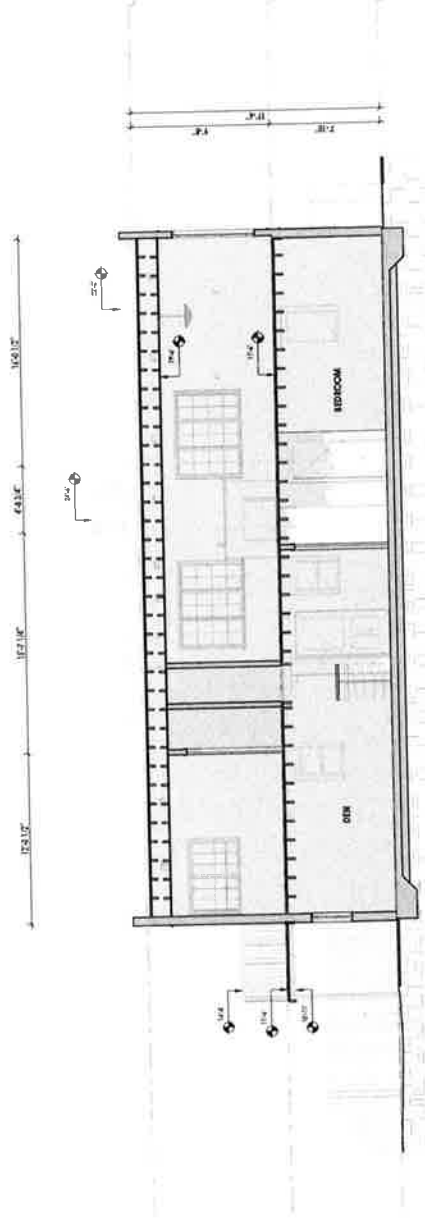
Project Title

(8) LONGITUDINAL
SECTIONS

A-302



1 (8) SECTION C5
1/8" = 1'-0"

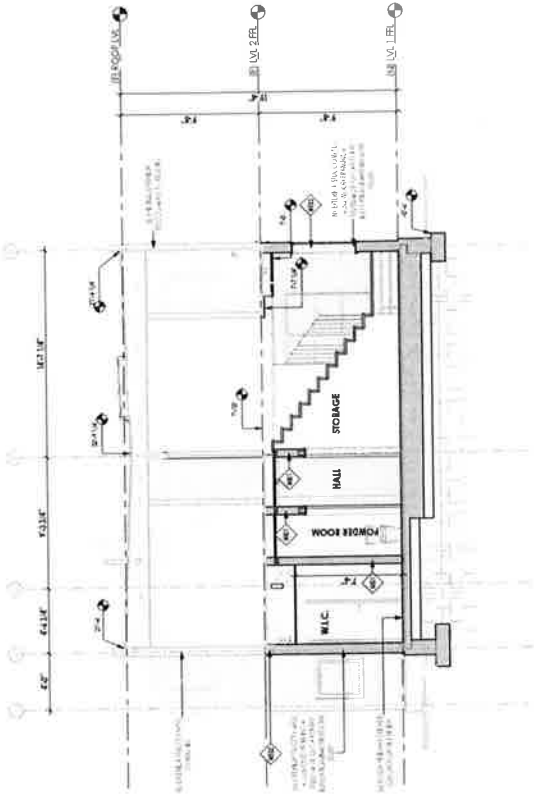


2 (8) SECTION C6
1/8" = 1'-0"

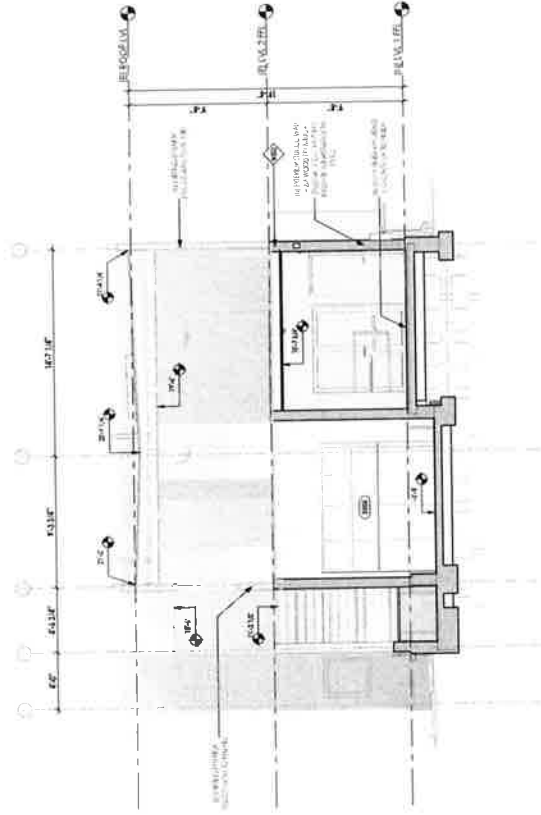


Michael and Mindy
Whittington
41 Poplar Ave.
Roslindale, CA 94567
APN 075-27544

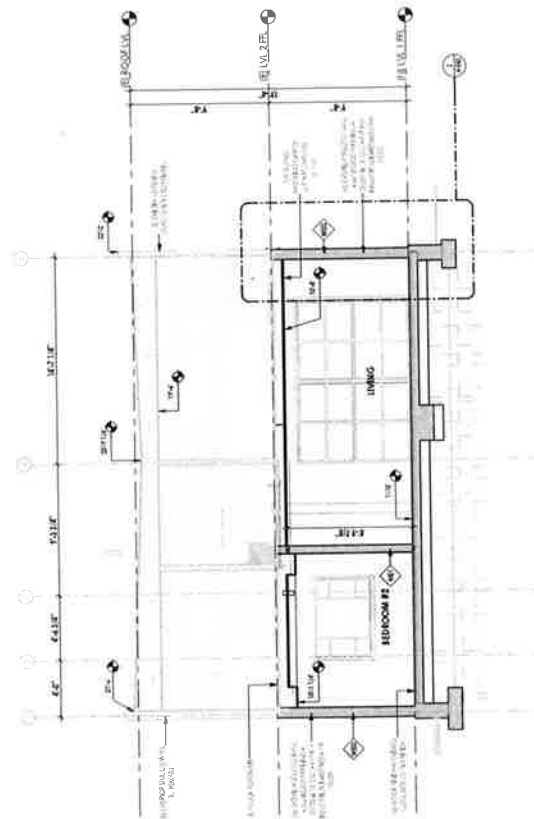
222-222-2222
This is a preliminary drawing. It is not to be used for construction without the approval of the engineer. It is the responsibility of the user to verify the accuracy of the information and to obtain the necessary permits from the appropriate authorities. The engineer is not responsible for any errors or omissions in this drawing.



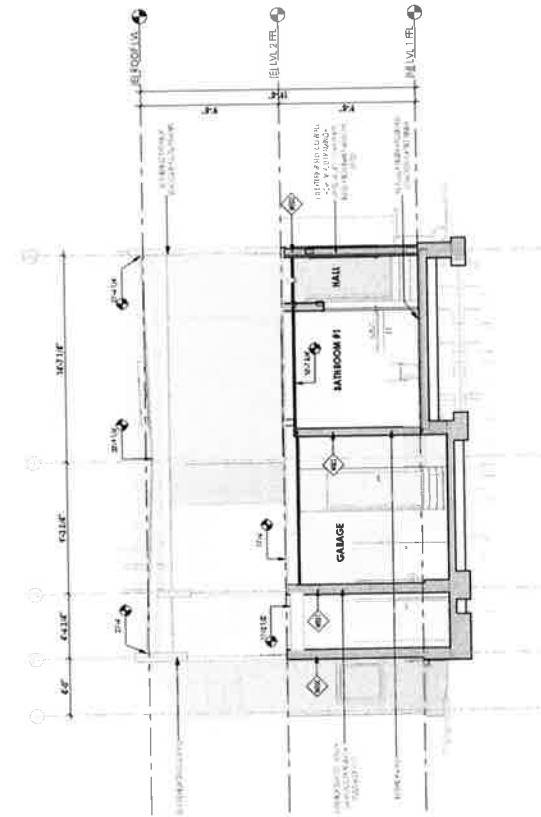
2 (N) CROSS SECTION 2
1/4" = 1'-0"



4 (N) CROSS SECTION 4
1/4" = 1'-0"



1 (N) CROSS SECTION 1
1/4" = 1'-0"



3 (N) CROSS SECTION 3
1/4" = 1'-0"

No.	41	Page	1	Date	1/10/23
Project	41 Poplar Kitchen	Scale	As Noted	Sheet Title	Steel Title
(N) CROSS SECTIONS					

A-341



Michael and Mindy
Wellington

41 Poplar Ave
Rosh, CA 94957

APN03-273-04

1/1/2010 (Sheet 1 of 2)

Notes: 1. All dimensions are in feet and inches unless otherwise noted.
2. All elevations are in feet unless otherwise noted.
3. All materials are to be installed in accordance with the latest edition of the California Building Code (CBC) and the International Building Code (IBC).
4. All materials are to be installed in accordance with the latest edition of the California Building Code (CBC) and the International Building Code (IBC).
5. All materials are to be installed in accordance with the latest edition of the California Building Code (CBC) and the International Building Code (IBC).

1/1/2010 (Sheet 1 of 2)
41 Poplar Ave
Rosh, CA 94957

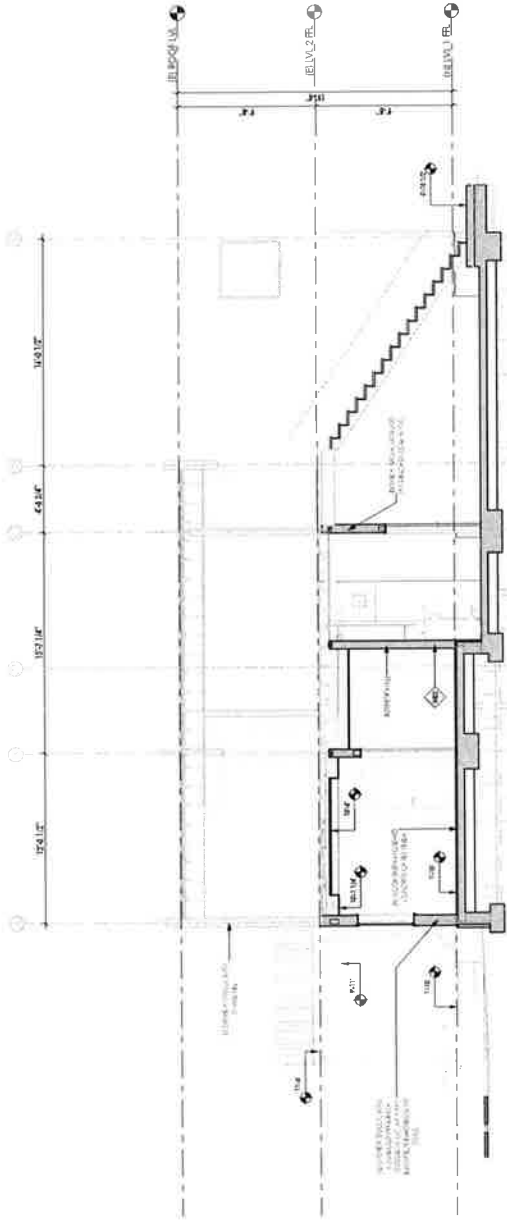
Date: 1/1/2010

Scale: As Noted

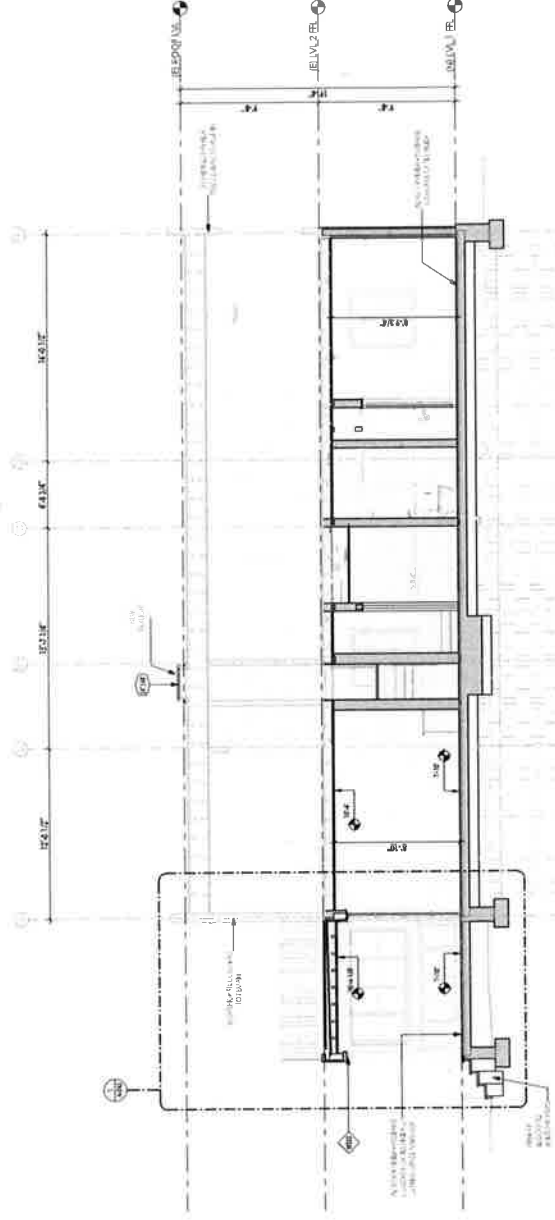
Sheet Title

(N) LONGITUDINAL
SECTIONS

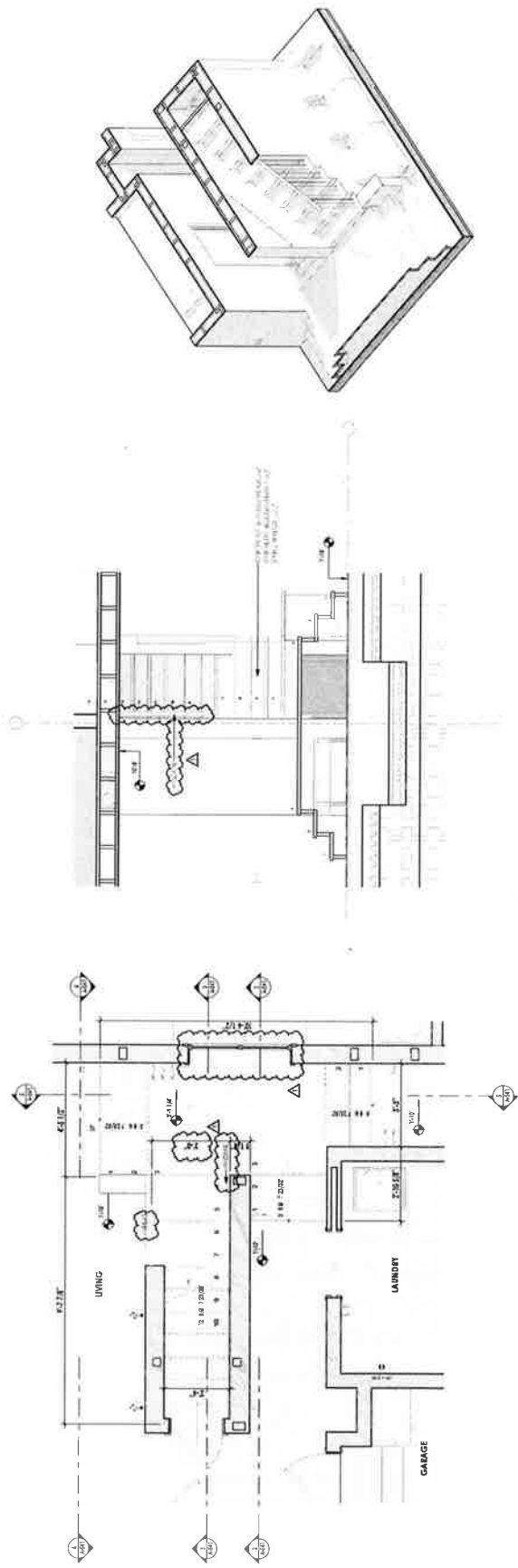
A-342



1 PER - (N) Longitudinal Section 1
1/4" = 1'-0"



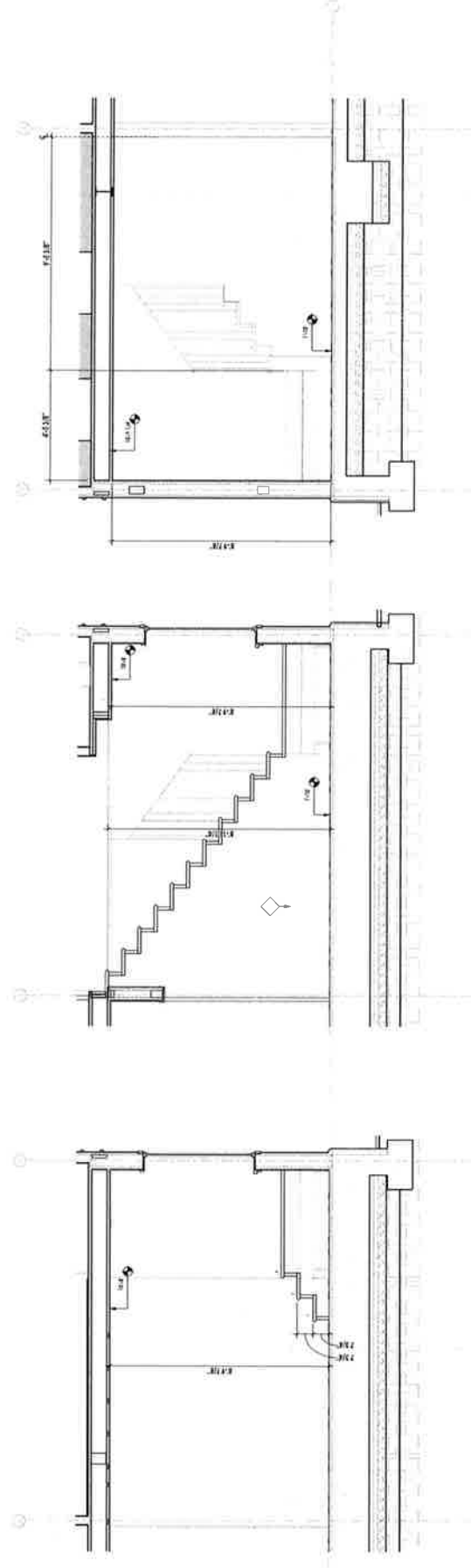
2 PER - (N) Longitudinal Section 2
1/4" = 1'-0"



1 INTERIOR STAIR DETAIL - PLAN VIEW
1/2" = 1'-0"

5 INTERIOR STAIR DETAIL - SECTION 4
1/2" = 1'-0"

6 INTERIOR STAIR 3D VIEW



2 INTERIOR STAIR DETAIL - SECTION 1
1/2" = 1'-0"

3 INTERIOR STAIR DETAIL - SECTION 2
1/2" = 1'-0"

4 INTERIOR STAIR DETAIL - SECTION 3
1/2" = 1'-0"



Michael and Minnie
Whittington
41 Poplar Ave.
Folsom, CA 95637
APN: 079-27344

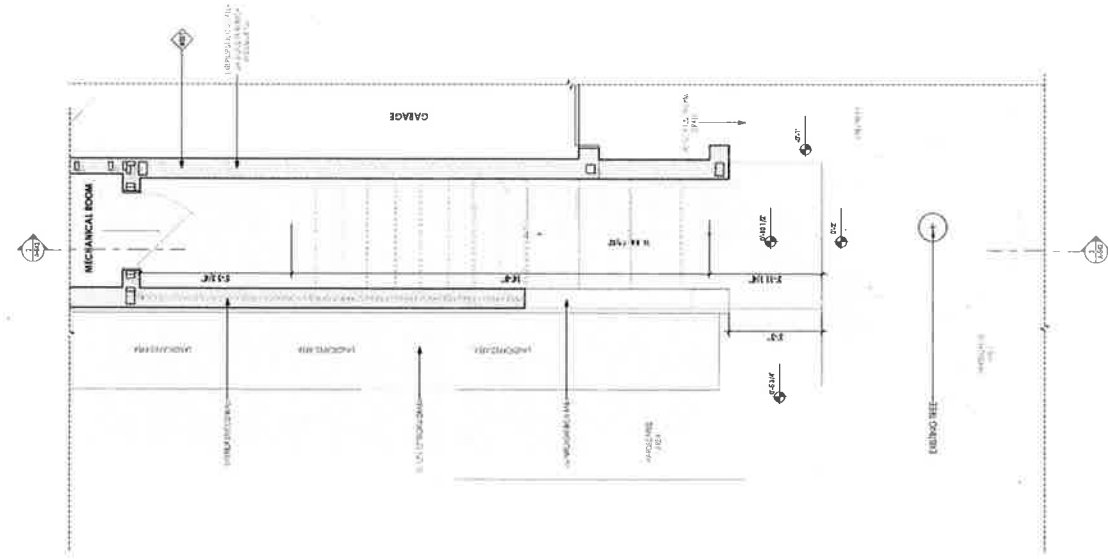
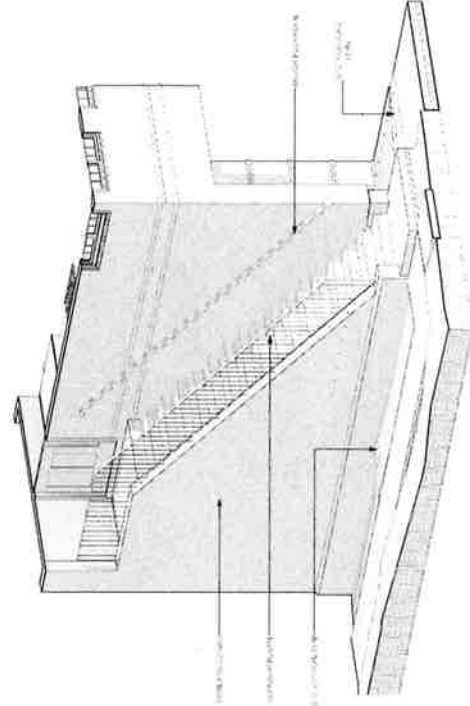
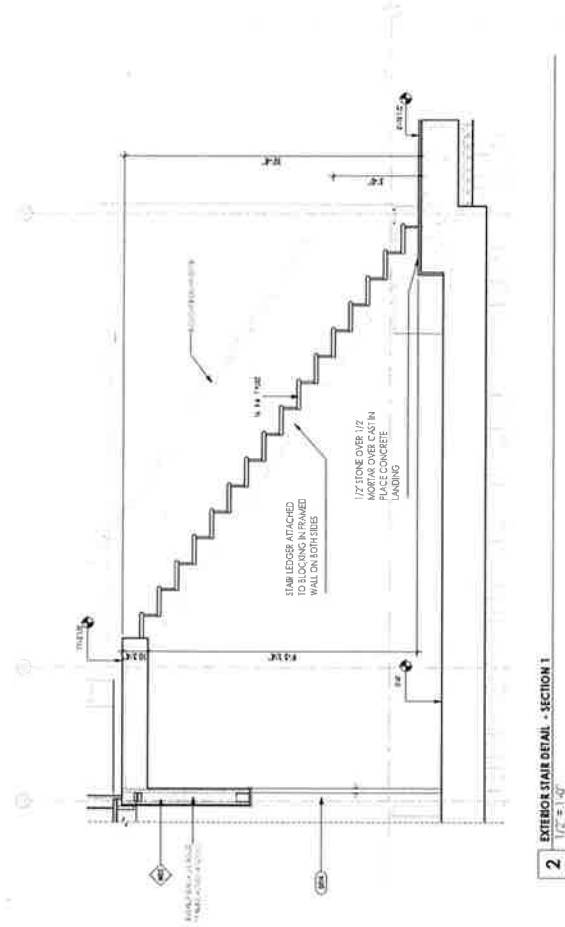
Notes:
1. This drawing is a preliminary design and is not to be used for construction without the approval of the engineer.
2. All dimensions are in feet and inches unless otherwise noted.
3. The engineer is not responsible for the accuracy of the information provided by the client or other sources.

Rev. Description Date
41 Poplar Ave. (N) Stair
Removal

Date: 11/01/23
Scale: As noted
Sheet Title

(N) EXTERIOR STAIR
DETAILS

A-542



3 EXTERIOR STAIR 3D VIEW

1 EXTERIOR STAIR DETAIL - PLAN VIEW
1/2" = 1'-0"



Michael and Minely
Whittington

41 Parker Ave.
Red, CA 94027

APN: 073-273-04

11/01/23

Notes:
1. All dimensions are in feet and inches.
2. All materials are to be of the highest quality.
3. All work is to be done in accordance with the latest edition of the California Building Code.
4. All work is to be done in accordance with the latest edition of the International Building Code.
5. All work is to be done in accordance with the latest edition of the International Plumbing Code.
6. All work is to be done in accordance with the latest edition of the International Fire Code.
7. All work is to be done in accordance with the latest edition of the International Mechanical Code.
8. All work is to be done in accordance with the latest edition of the International Electrical Code.
9. All work is to be done in accordance with the latest edition of the International Energy Conservation Code.
10. All work is to be done in accordance with the latest edition of the International Green Building Code.

Rev. Description Date

41 Parker Ave.
Redwood

Date: 11/01/23

Scale: As Noted

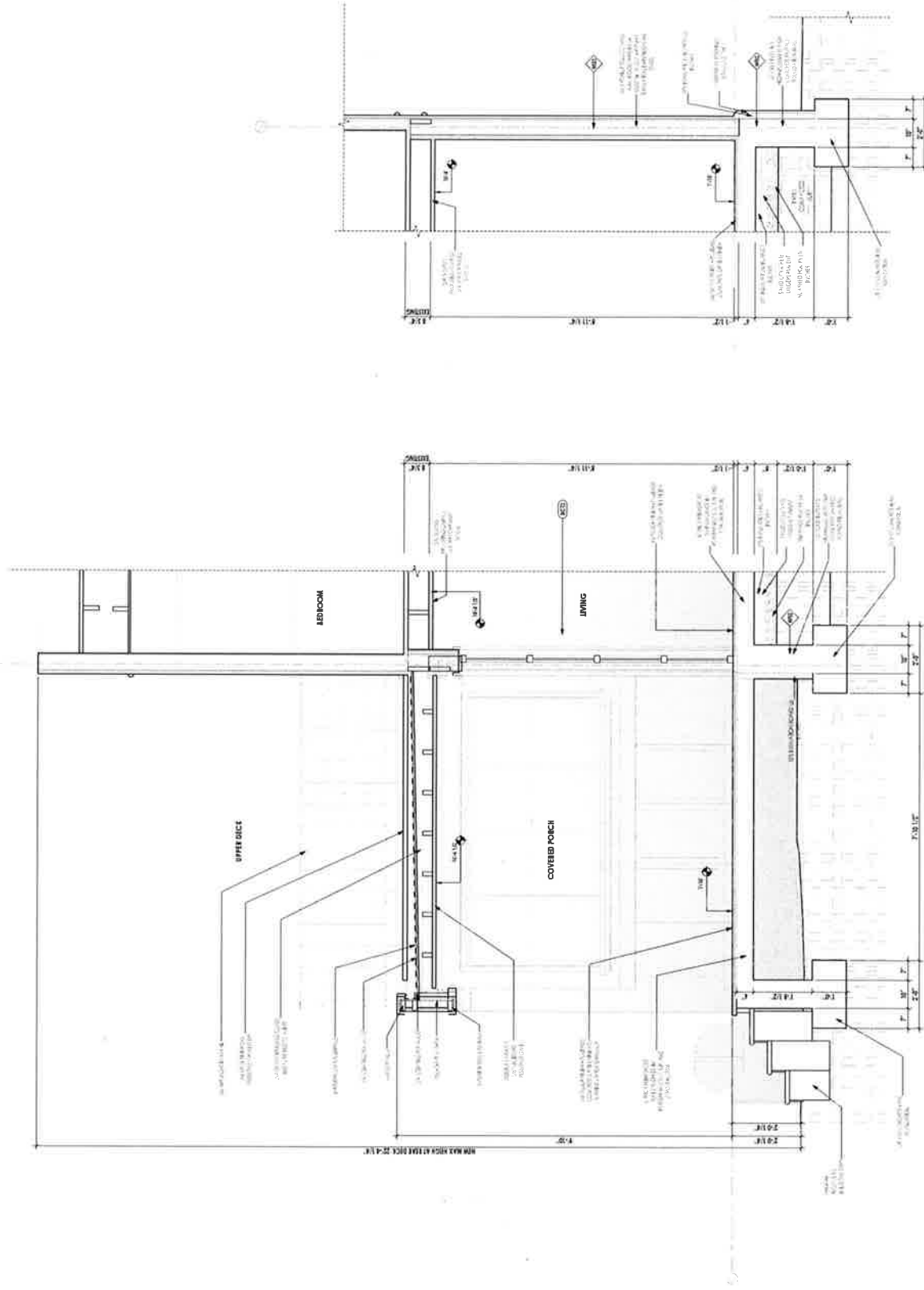
Sheet Title

ARCHITECTURAL DETAILS

A-543

2 WALL SECTION 01
3/4" = 1'-0" (REF: A-541 / 1)

1 (U) REAR DECK SECTION
3/4" = 1'-0" (REF: A-542 / 2)



CRAFTED EARTH, INC.
ENGINEERING & DESIGN



Michael and Andy
Whittington

41 Poplar Ave
Roslindale, MA 02126

APN: 0737304

8-11-2018 10:00 AM

1. Owner: [Redacted]
2. Project: [Redacted]
3. Location: [Redacted]
4. Date: [Redacted]
5. Drawn by: [Redacted]
6. Checked by: [Redacted]
7. Approved by: [Redacted]
8. Notes: [Redacted]

By: [Redacted] Date: [Redacted]

41 Poplar Ave
Roslindale, MA 02126

Date: 11/01/23

Scale: As Noted

Sheet Title

WALL ASSEMBLIES

A-612

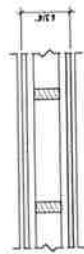
(W004)

EXTERIOR

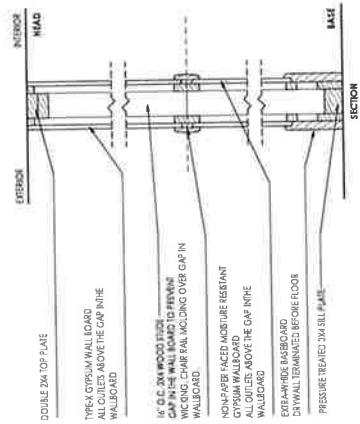
- 5/8" TYPE-X CWB
- 2" X 4" Wood Framing
- 1/2" CDX Plywood
- 1" Wood Framing
- 1/2" Non-Fragrant Board Moisture Resistant CWB

INTERIOR

FIRE RATING:



PLAN



SECTION

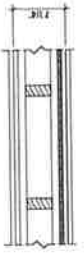
(W005)

EXTERIOR

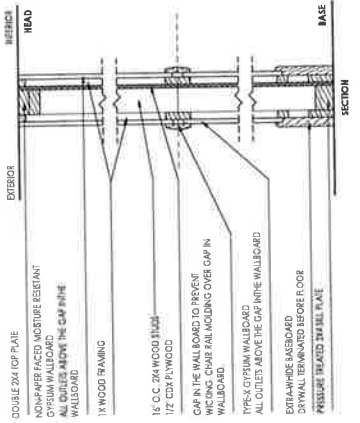
- 5/8" TYPE-X CWB
- 2" X 4" Wood Framing
- 1/2" CDX Plywood
- 1" Wood Framing
- 1/2" Non-Fragrant Board Moisture Resistant CWB

INTERIOR

FIRE RATING:



PLAN



SECTION

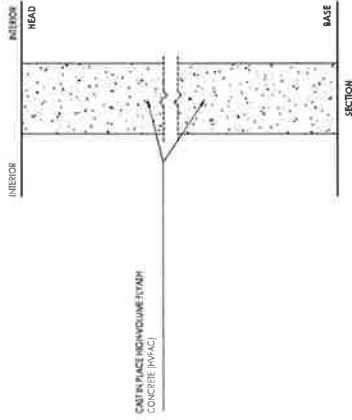
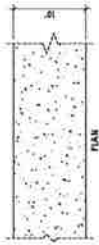


Michael and Alinda
Whittington
41 Poplar Ave
Roslindale, MA 02126
AFN 07-27344

These drawings are prepared by the
designer and are not to be used for
construction without the approval of
the designer. The designer is not
responsible for the construction of
the wall assembly shown in these
drawings. The designer is not
responsible for the performance of
the wall assembly shown in these
drawings.

WF02

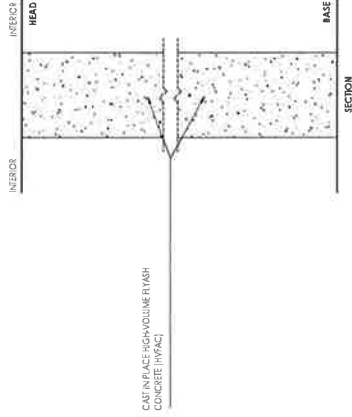
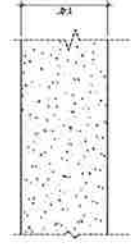
EXTERIOR
• 20" CAST IN PLACE HIGH VOLUME FLYASH
CONCRETE (HVPAC)
INTERIOR



CAST IN PLACE HIGH VOLUME FLYASH
CONCRETE (HVPAC)

WF03

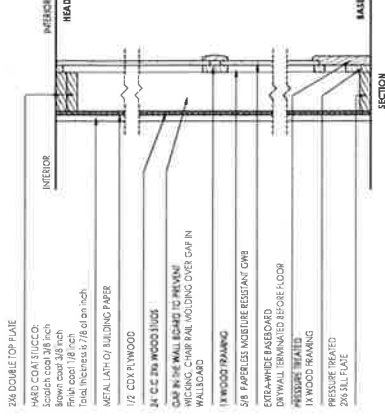
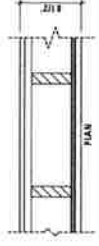
EXTERIOR
• 1/2" CAST IN PLACE HIGH VOLUME FLYASH
CONCRETE (HVPAC)
INTERIOR



CAST IN PLACE HIGH VOLUME FLYASH
CONCRETE (HVPAC)

WE01

EXTERIOR
• 7/8" Hard Coat Stucco
• 1/2" CDX Plywood
• 2"x4" Wall Framing
• 1/2" CDX Plywood
• 5/8" Paperless Moisture Resistant GWS
INTERIOR



2X4 DOUBLE TOP PLATE

HARD COAT STUCCO

Scratch coat 3/8 inch

Finish coat 1/8 inch

Total thickness 1/2 inch

METAL LATH OF BUILDING PAPER

1/2" CDX PLYWOOD

3/4" C.C. 2X4 WOOD STUDS

GAP IN THE WALL LEADS TO PREVENT

WATER FROM PENETRATING OVER GAP IN

WALLBOARD

1X WOOD FRAMING

5/8" PAPERLESS MOISTURE RESISTANT GWS

EXTRA-WIDE BASEBOARD

DRYWALL TERMINATED BEFORE FLOOR

PRESSURE TREATED

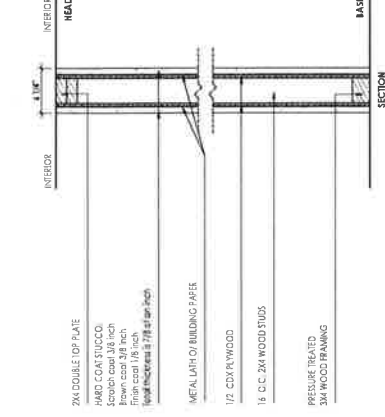
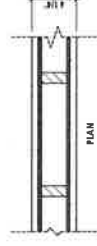
1X WOOD FRAMING

PRESSURE TREATED

2X4 SILL PLATE

WE04

EXTERIOR
• 7/8" Hard Coat Stucco
• 1/2" CDX Plywood
• 2"x4" Wall Framing
• 1/2" CDX Plywood
• 7/8" Hard Coat Stucco
INTERIOR



2X4 DOUBLE TOP PLATE

HARD COAT STUCCO

Scratch coat 3/8 inch

Finish coat 1/8 inch

Total thickness 1/2 inch

METAL LATH OF BUILDING PAPER

1/2" CDX PLYWOOD

1X C.C. 2X4 WOOD STUDS

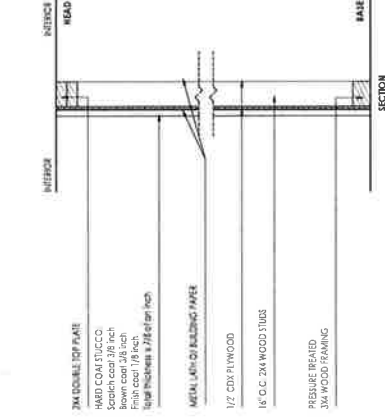
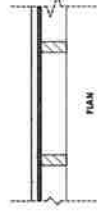
PRESSURE TREATED

3/4" WOOD FRAMING

2X4 SILL PLATE

WE03

EXTERIOR
• 7/8" Hard Coat Stucco
• 1/2" CDX Plywood
• 2"x4" Wall Framing
• 1/2" CDX Plywood
• 7/8" Hard Coat Stucco
INTERIOR



2X4 DOUBLE TOP PLATE

HARD COAT STUCCO

Scratch coat 3/8 inch

Finish coat 1/8 inch

Total thickness 1/2 inch

METAL LATH OF BUILDING PAPER

1/2" CDX PLYWOOD

1X C.C. 2X4 WOOD STUDS

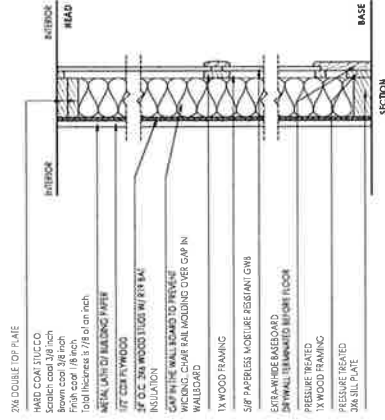
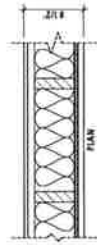
PRESSURE TREATED

3/4" WOOD FRAMING

2X4 SILL PLATE

WE02

EXTERIOR
• 7/8" Hard Coat Stucco
• 1/2" CDX Plywood
• 2"x4" Wall Framing with R19 Insulation
• 1/2" CDX Plywood
• 5/8" Paperless Moisture Resistant GWS
INTERIOR



2X4 DOUBLE TOP PLATE

HARD COAT STUCCO

Scratch coat 3/8 inch

Finish coat 1/8 inch

Total thickness 1/2 inch

METAL LATH OF BUILDING PAPER

1/2" CDX PLYWOOD

1X C.C. 2X4 WOOD STUDS WITH R19 INSULATION

GAP IN THE WALL LEADS TO PREVENT

WATER FROM PENETRATING OVER GAP IN

WALLBOARD

1X WOOD FRAMING

5/8" PAPERLESS MOISTURE RESISTANT GWS

EXTRA-WIDE BASEBOARD

DRYWALL TERMINATED BEFORE FLOOR

PRESSURE TREATED

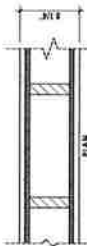
1X WOOD FRAMING

PRESSURE TREATED

2X4 SILL PLATE

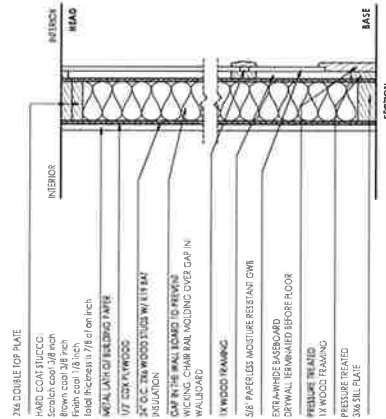
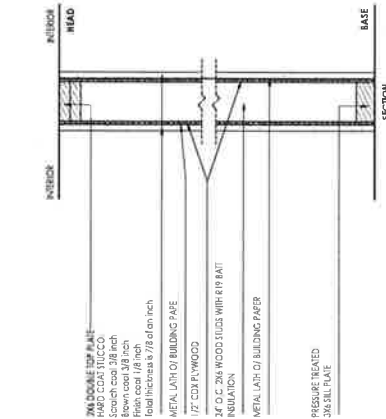
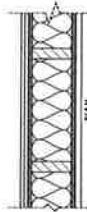
WE05

- EXTERIOR**
- 7/8" Hard Coat Stucco
 - 1/2" CDX Plywood
 - 1/2" CDX Plywood
 - 7/8" Hard Coat Stucco
- INTERIOR**



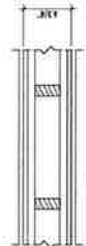
WE06

- EXTERIOR**
- 7/8" Hard Coat Stucco
 - 1/2" CDX Plywood
 - 1/2" CDX Plywood
 - 7/8" Hard Coat Stucco
- INTERIOR**



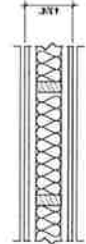
WD01

- EXTERIOR**
- 5/8" Non-Paper Faced Moisture Resistant GWS
 - 1x Wood Framing
 - 1x Wood Framing
 - 1x Wood Framing
- INTERIOR**



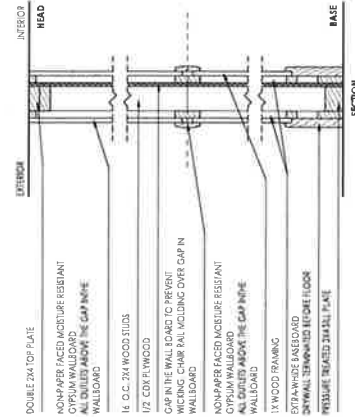
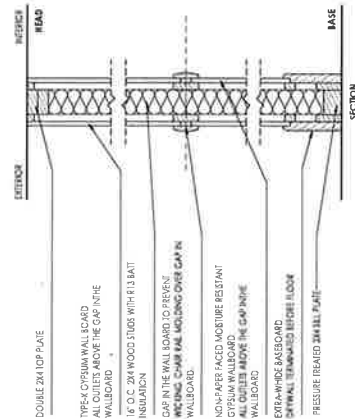
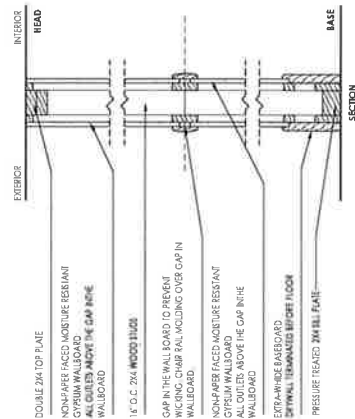
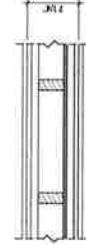
WD02

- EXTERIOR**
- 5/8" Non-Paper Faced Moisture Resistant GWS
 - 1x Wood Framing
 - 1x Wood Framing
 - 1x Wood Framing
- INTERIOR**



WD03

- EXTERIOR**
- 5/8" Non-Paper Faced Moisture Resistant GWS
 - 1x Wood Framing
 - 2x4 Wood Framing
 - 1x Wood Framing
 - 5/8" Non-Paper Faced Moisture Resistant GWS
- INTERIOR**



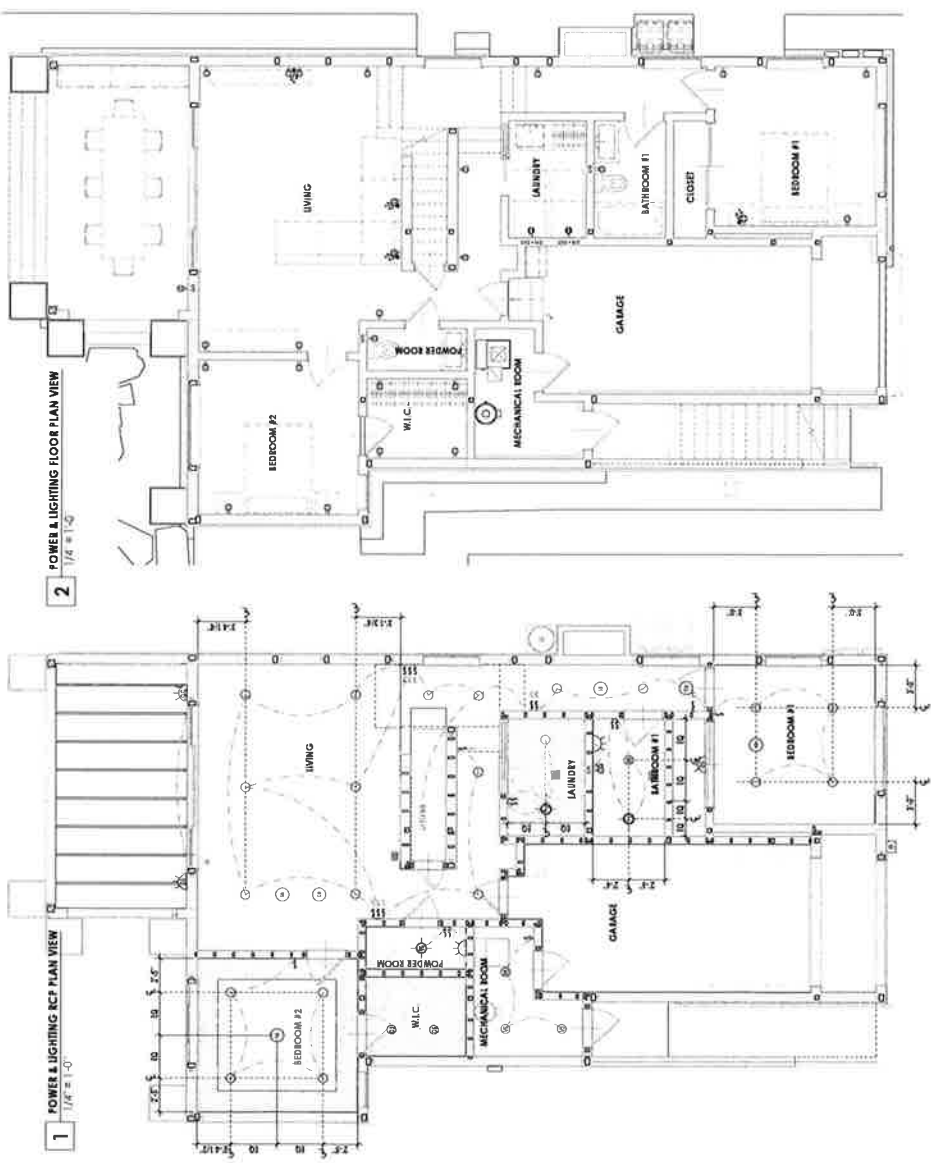
- [illegible]

NOTES ELECTRICAL

- [illegible]

ELECTRICAL/MECHANICAL LEGEND

- [illegible]



NOTES CEILINGS

- | | | |
|------|--|--|
| 1.01 | GENERAL NOTES | |
| 1.01 | SCALES AS STATED ARE VALID ON THE ORIGINAL DRAWING ONLY. DO NOT SCALE FROM THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. DETAIL DIMENSIONS MAY BE NECESSARY TO ASSESS PRECEDENCE OVER PLAN DIMENSIONS. | |
| 1.02 | NOTIFY DESIGNER OF ANY DIMENSIONAL DISCREPANCIES. ANY MODIFICATIONS OF DIMENSION TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR REVIEW AND APPROVAL. | |
| 1.03 | CONTRACTOR TO COORDINATE WITH DESIGNER IF ANY LOCATION OF LIGHT FIXTURES OR DEVICES ARE NOT SHOWN DIMENSIONALLY PRIOR TO INSTALLATION. | |
| 1.04 | CONTRACTOR TO COORDINATE WITH DESIGNER IN FIELD FOR MOUNTING HEIGHT OF ALL DECORATIVE PENDANT FIXTURES. | |
| 1.05 | MECHANICAL AND ELECTRICAL CONTRACTOR SHALL COORDINATE WORK BETWEEN THE ENGINEERING AND ARCHITECTURAL DRAWINGS. ARCHITECTURAL CEILING PLAN SHALL GOVERN WITH RESPECT TO LIGHTING CONSIDERATIONS. QUANTITY / LOCATION FOR REMOTE DEVICE, ETC. COORDINATION SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES / NOT OF EXHAUSTIVE NATURE. | |
| 1.06 | MECHANICAL AND ELECTRICAL CEILING PLAN SHALL GOVERN WITH RESPECT TO FUNCTIONAL CONSIDERATION AND OVERALL SCHEME OF WORK. | |
| 1.07 | ALL DOWNLIGHTS (IN CAVE SCENE) OR LOW VOLTAGE SHALL BE ON A SINGLE DIMMER RESPECTIVELY. ALL WALL WASHERS SHALL BE ON DIMMER FOR ARCHITECT'S INSTRUCTION. | |
| 1.08 | SUBMITTALS ON ALL FIXTURES ARE REQUIRED PRIOR TO ORDERING. | |



Michael and Mindy Whittington
41 Poplar Ave
Ross, CA 94057
APN073-273-04

2022 Submittal Form, Inc.
This form is to be used for all plumbing fixture submittals. It is to be filled out by the contractor and submitted to the engineer for review. The engineer will review the submittal and either approve or disapprove it. If disapproved, the contractor must revise the submittal and resubmit it. The engineer will not be responsible for any errors or omissions in this form.

41 Poplar Ave
Ross, CA 94057
APN073-273-04

Order: 11/01/23
Scale: As Noted
Sheet Title: IN MEP - PLUMBING PLANS

M-144

NOTES PLUMBING

1. GENERAL NOTES
ALL PLUMBING FIXTURES TO COMPLY WITH: 2015 CCC-REC 4.30.
- 1.01 THE CONTROL VALVE IN SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVE (CFC SECTION 081100, 100, 100).
- 1.02 GAS TO THE APPLIANCES (CFC 1210, THE GAS PIPING SHALL BE TESTED WITH A PRESSURE OF 10 PSI FOR A MINIMUM OF 15 MINUTES. CFC 1211).
- 1.03 ALL GAS APPLIANCES CONNECTED TO A PIPING SYSTEM SHALL BE TESTED WITH A PRESSURE OF 10 PSI FOR A MINIMUM OF 15 MINUTES. CFC 1211.
- 1.04 A VALVE WITH A NON-OPE-A-CABLE VALVE MEMBER, OR A LIQUID GAS COMBUSTION OUTLET INSTALLED WITHIN 4 FEET OF THE EQUIPMENT IS PROHIBITED. CFC 1211.
- 1.05 PROVIDE A 1" AIR-GAP BETWEEN THE DRAINWASHER DRAINPIPE AND THE GARAGE DISPOSAL INLET. CFC 403.3
- 1.06 WATER CLOSERS SHALL BE 1/2" GALV. STEEL. CFC 403.3
- 1.07 SHOWERS SHALL HAVE A MAXIMUM FLOW RATE OF 40 GPM. CFC 403.3
- 1.08 BATHTUBS SHALL HAVE A MAXIMUM FLOW RATE OF 40 GPM. CFC 403.3
- 1.09 FLOOR SINKS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE. MEASURED AT 60 PSI. CFC 403.3
- 1.10 FLOOR SINKS SHALL HAVE A MAXIMUM HOT WATER TEMPERATURE OF 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION OF CFC 403.3.

PLUMBING FIXTURES

TAG	DESCRIPTION	ROOM
PF01	GENERIC WASHLET TOILET	LAUNDRY
PF02	GENERIC WASHLET TOILET	BATH
PF03	GENERIC WASHLET TOILET	BATH
PF04	GENERIC WASHLET TOILET	POWDER ROOM
PF05	GENERIC WASHLET TOILET	BATH
PF06	GENERIC WASHLET TOILET	BATH
PF07	GENERIC WASHLET TOILET	BATH
PF08	GENERIC WASHLET TOILET	BATH
PF09	GENERIC WASHLET TOILET	BATH
PF10	GENERIC WASHLET TOILET	BATH
PF11	GENERIC WASHLET TOILET	BATH
PF12	GENERIC WASHLET TOILET	BATH
PF13	GENERIC WASHLET TOILET	BATH
PF14	GENERIC WASHLET TOILET	BATH
PF15	GENERIC WASHLET TOILET	BATH
PF16	GENERIC WASHLET TOILET	BATH
PF17	GENERIC WASHLET TOILET	BATH
PF18	GENERIC WASHLET TOILET	BATH
PF19	GENERIC WASHLET TOILET	BATH
PF20	GENERIC WASHLET TOILET	BATH
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PF22	GENERIC WASHLET TOILET	BATH
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PF96	GENERIC WASHLET TOILET	BATH
PF97	GENERIC WASHLET TOILET	BATH
PF98	GENERIC WASHLET TOILET	BATH
PF99	GENERIC WASHLET TOILET	BATH
PF100	GENERIC WASHLET TOILET	BATH

PLUMBING LEGEND

- DOMESTIC COLD WATER
- DOMESTIC HOT WATER
- WASTE
- VENT



Michael and Alindy
Whittington
41 Parker Ave.
Redwood City, CA 94067
APN 073-273-04

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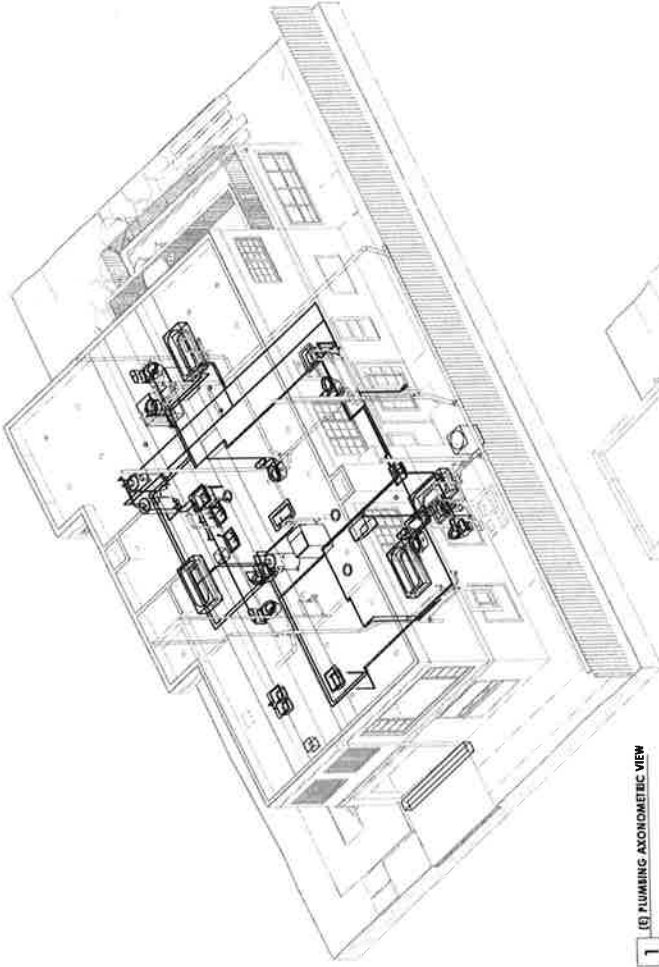
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No. Description Date
41 Parker Kitchen
Remodel

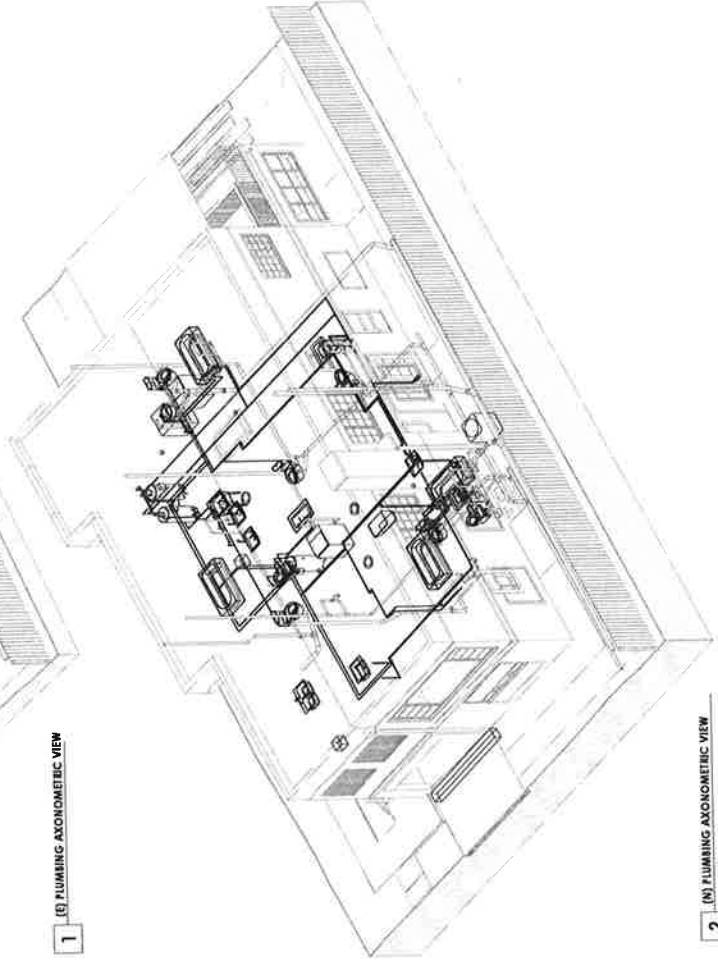
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Sheet Title

MEP - PLUMBING
AXONOMETRIC VIEWS

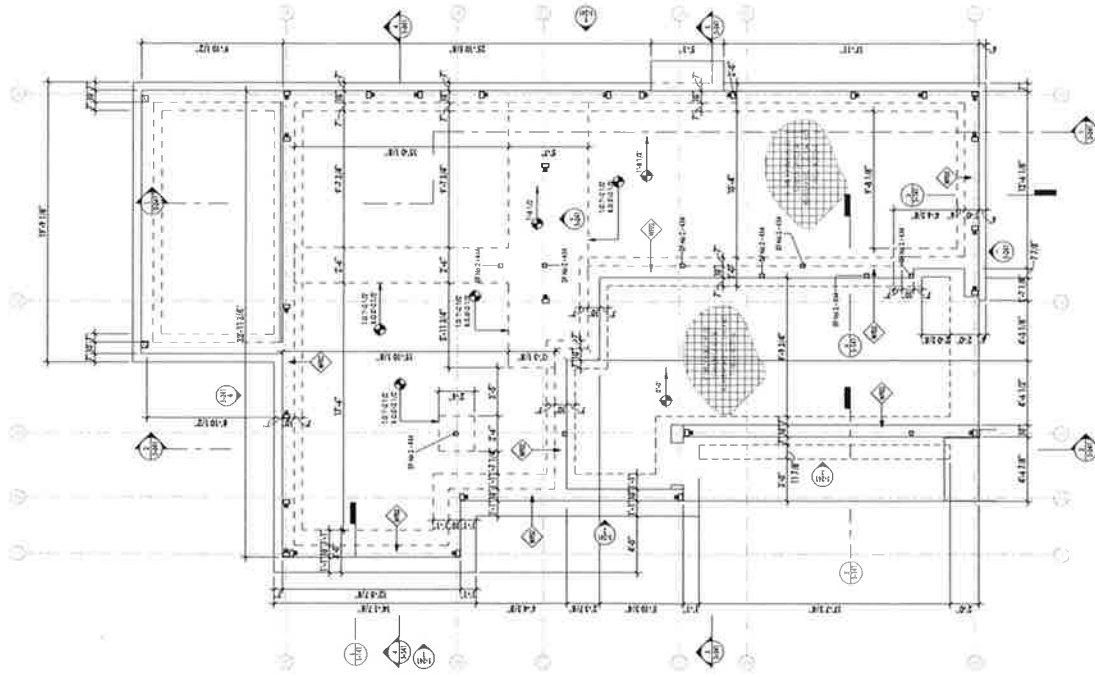
M-145



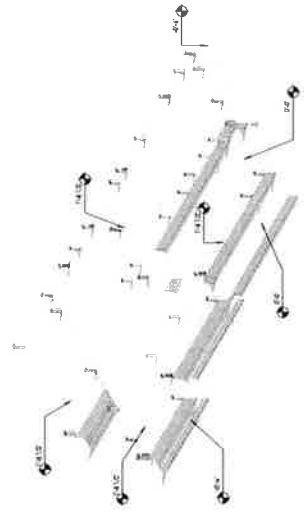
1 (E) PLUMBING AXONOMETRIC VIEW



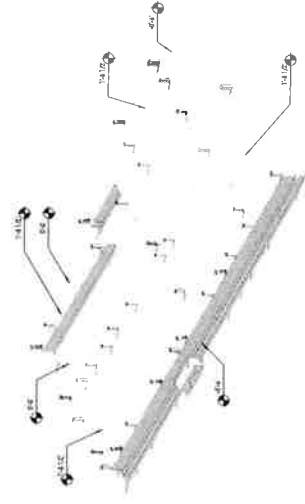
2 (N) PLUMBING AXONOMETRIC VIEW



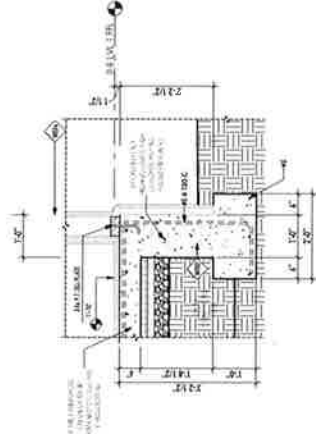
1 (N) FOUNDATION PLAN
1/4" = 1'-0"



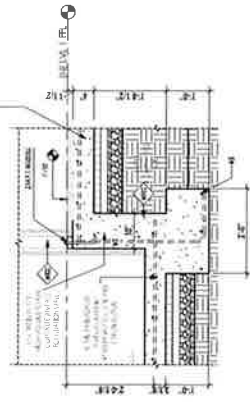
2 FOUNDATION ASSYMETRIC VIEW (N-W)



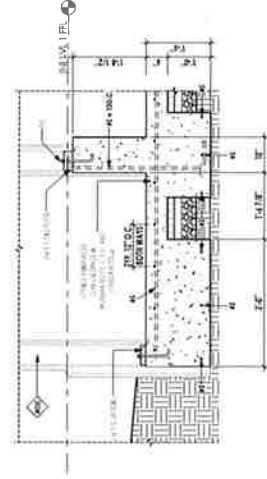
7 FOUNDATION ASSYMETRIC VIEW (S-E)



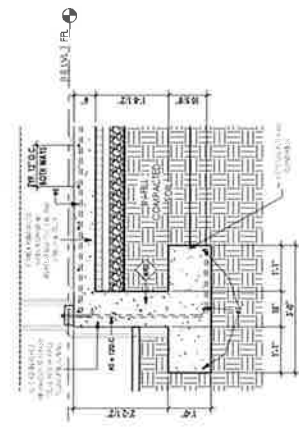
3 WALL SECTION @ THE FOUNDATION
3/4" = 1'-0"



4 WALL SECTION @ THE FOUNDATION
3/4" = 1'-0"



5 WALL SECTION @ THE FOUNDATION
3/4" = 1'-0"



6 WALL SECTION @ THE FOUNDATION
3/4" = 1'-0"



Michael and Lindsey
Wellington
41 Poplar Ave
Ross, CA 94057
APN 073-273-04

2100 JAMES ST. N.

When using this document, please refer to the project name and location. This document is not to be used for any other project without the written consent of Crafted Earth, Inc. All dimensions are in feet and inches. All dimensions are to the centerline unless otherwise noted. All dimensions are to the face unless otherwise noted. All dimensions are to the centerline unless otherwise noted. All dimensions are to the face unless otherwise noted.

Rev. Date
41 Poplar Ave, Ross, CA
Remodel

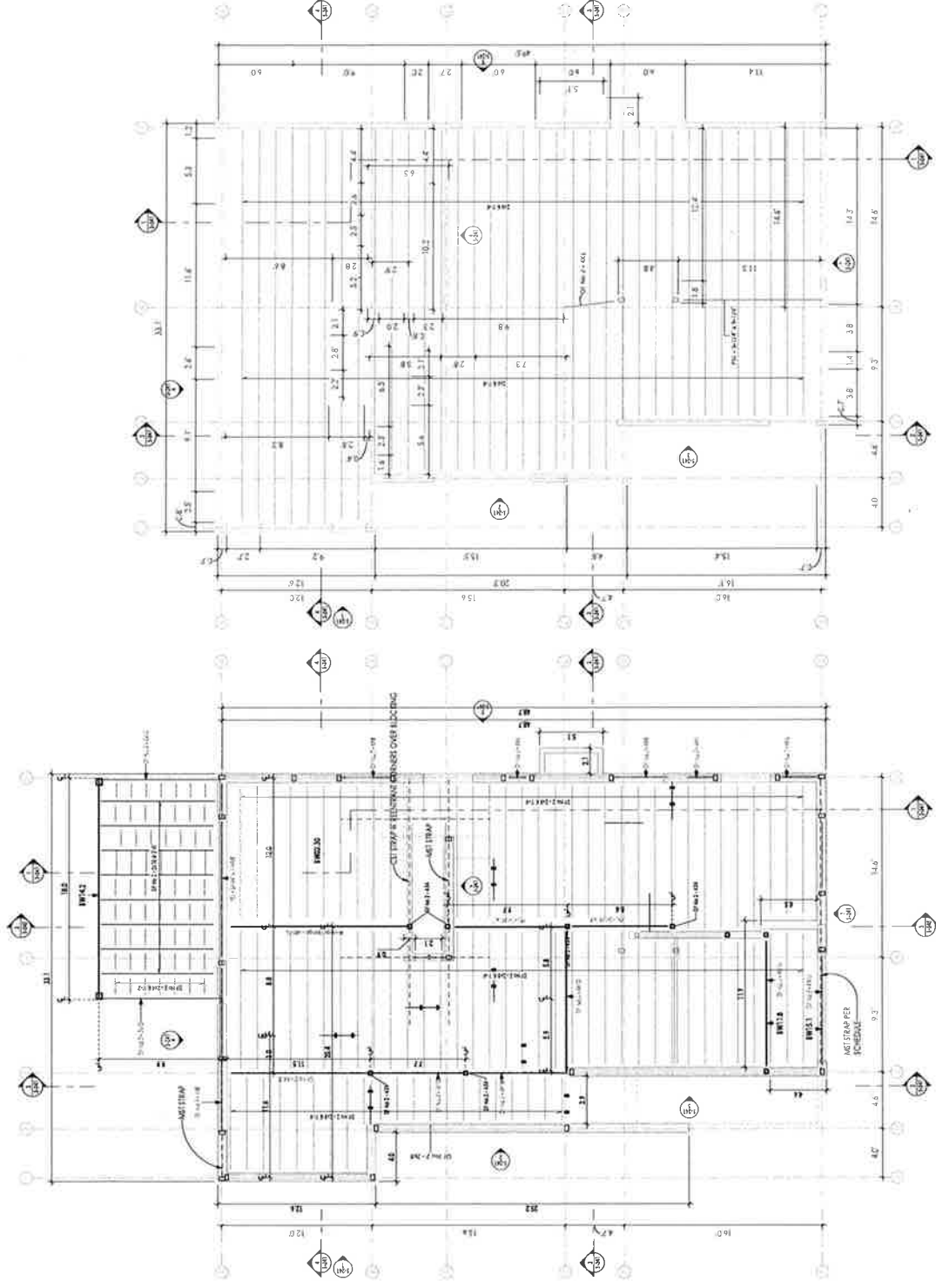
Date: 11/07/23
Scale: AS NOTED
Sheet Title: FRAMING PLANS

S-142

GIRDER SCHEDULE		
Type	Interface	Length
BW01	BW01.1	W-Wide Range - W14.5
BW04	BW04.1	DF No 2 - 405 4'-0"
BW04	BW04.2	DF No 2 - 405 3'-4 1/2"
BW04	BW04.3	DF No 2 - 405 4'-0"
BW05	BW05.1	DF No 2 - 405 4'-0" 1/2"
BW05	BW05.4	DF No 2 - 405 14'-8 1/2"
BW05	BW05.7	DF No 2 - 405 2'-0"
BW05	BW05.8	DF No 2 - 405 2'-0" 1/2"
BW06	BW06.1	PL - S-10" x 14" 12'-1 1/2"
BW11	BW11.3	DF No 2 - 405 11'-0"
BW11	BW11.4	DF No 2 - 405 8'-0" 1/2"
BW11	BW11.5	DF No 2 - 405 7'-0"
BW11	BW11.7	DF No 2 - 405 11'-0"
BW11	BW11.8	DF No 2 - 405 10'-0"
BW14	BW14.2	PL - S-10" x 14" 12'-1 1/2"
BW14	BW14.3	PL - S-10" x 14" 12'-1 1/2"
BW14	BW14.4	PL - S-10" x 14" 12'-1 1/2"
BW15	BW15.1	DF No 2 - 405 6'-4 1/2"
BW16	BW16.2	PL - S-10" x 14" 8'-0"
BW16	BW16.3	PL - S-10" x 14" 9'-0"

SHEAR WALL LEGEND

- STRUCTURAL BEARING AND SHEAR
- STRUCTURAL BEARING
- STRUCTURAL COMBINED BEARING AND SHEAR



1 (N) 1ST FLOOR FRAMING PLAN
1/4" = 1'-0"

2 (N) 1ST ROOF FRAMING PLAN
1/4" = 1'-0"



Michael and Mindy Whittington

411 Poplar Ave
Roslindale, CA 94957

APN:073-273-G4

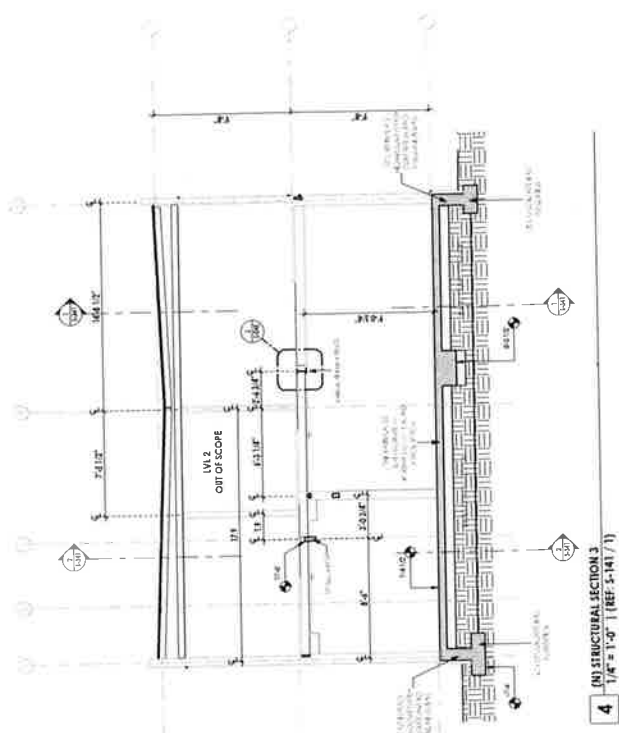
8. *Journal of Management Studies*, 1997, 34, 1, 1-14.

These data suggest that the use of a single, low-dose, long-acting antipsychotic may be associated with a lower risk of weight gain and metabolic abnormalities compared with the use of a single, high-dose, short-acting antipsychotic. However, the results of this study are limited by the retrospective design and the lack of information on other factors that may influence weight gain and metabolic abnormalities, such as diet, exercise, and comorbid conditions. Further research is needed to confirm these findings and to explore the underlying mechanisms of the observed differences.

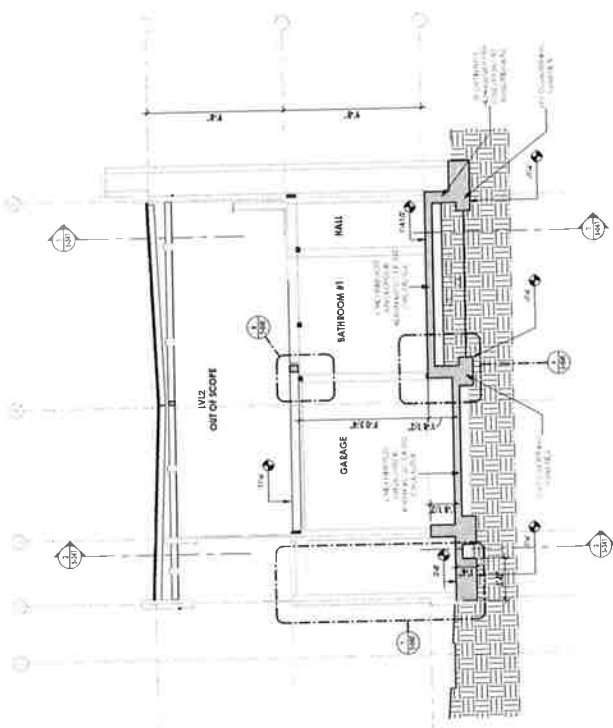
Nr.	Beschreibung	Datum
	11 Poplar Klammern verbodet	
Datum:		11/01/23
Rechts:		As Noted

STRUCTURAL SECTIONS

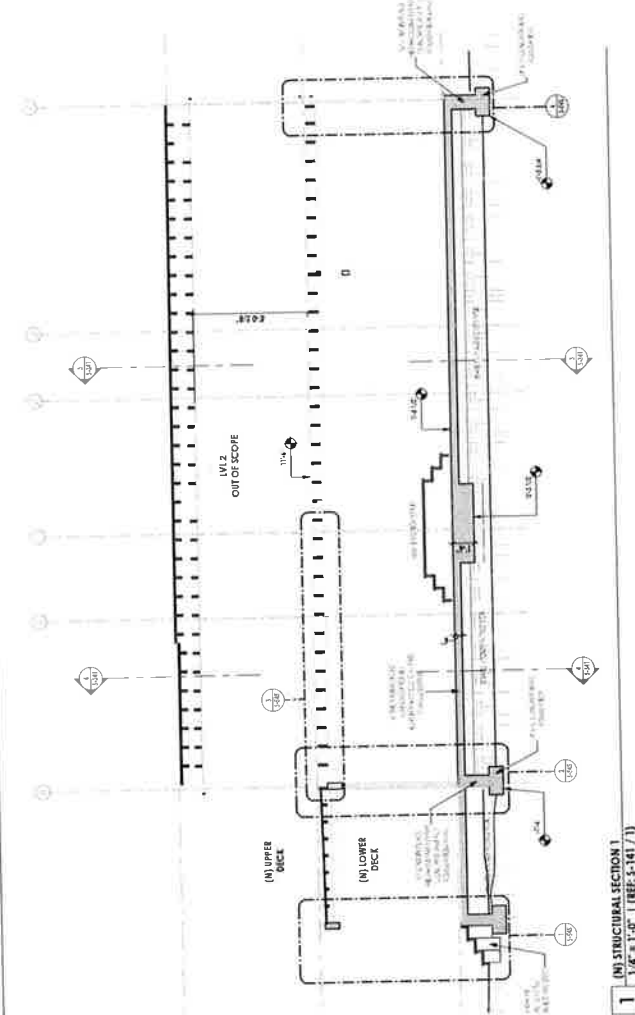
S-341



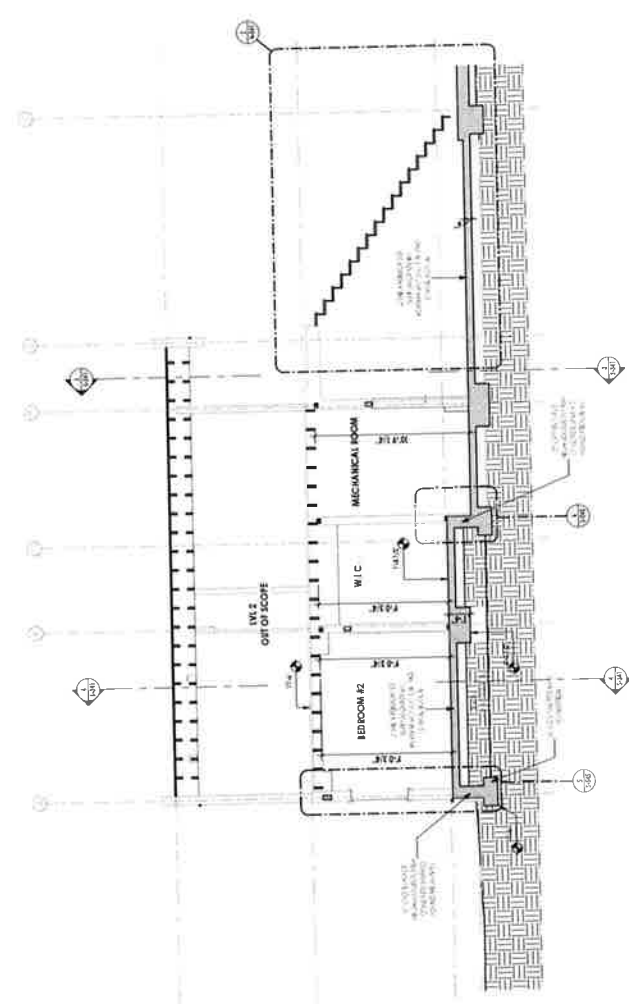
4 (N) STRUCTURAL SECTION 3
1/4" = 1'-0" (REF. S-141 / 1)



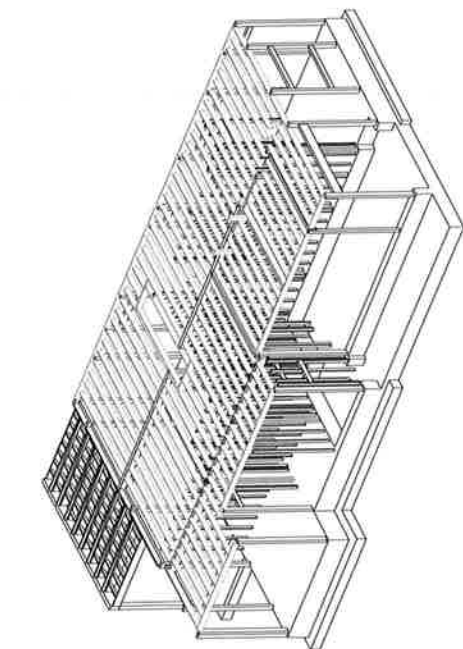
3 (N) STRUCTURAL SECTION 3
1/4" = 1'-0" (REF: S-141 / 1)



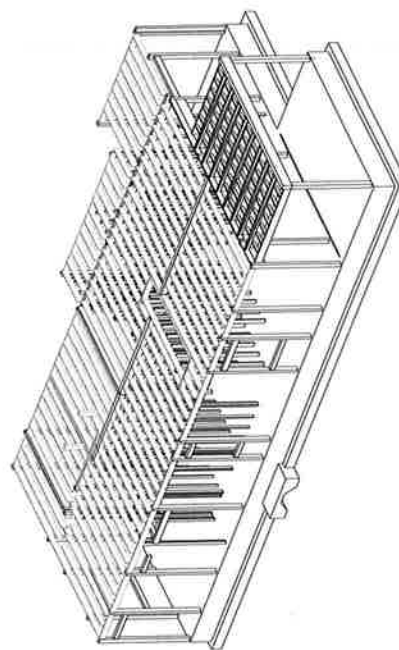
(N) STRUCTURAL SECTION 1
1/4" = 1'-0" (REF: S-141 / 1)



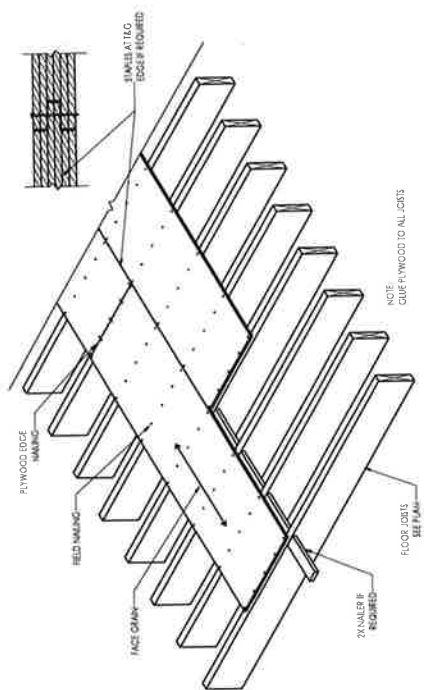
2 (N) STRUCTURAL SECTION 2
1/4" = 1'-0" | (REF: 5-141 / 1)



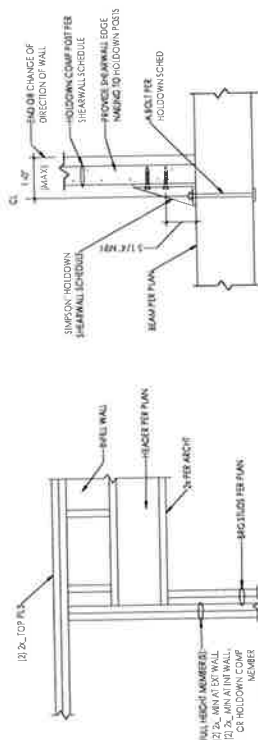
PER - (PM2) - Structural Framing 3D Axi - 1



PER • (PH2) • Structural Framing 3D Axi • 2

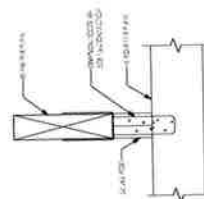


FLOOR PLYWOOD NAILING DETAIL



9 HEADER SUPPORT DETAIL

3 SECTION

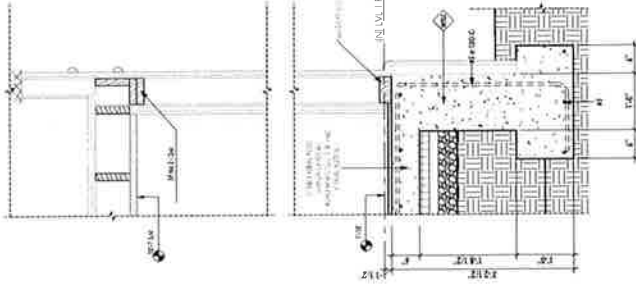


SECTION

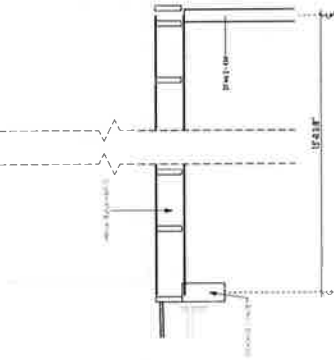


Michael and Mindy
Whittington
41 Poplar Ave
Ross, CA 94057
APN: 073-273-04

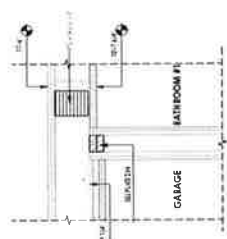
Notes:
1. All dimensions are in feet and inches.
2. All materials shall be as specified in the plans.
3. All work shall be in accordance with the California Building Code (CBC) and the International Building Code (IBC).
4. The engineer's seal and signature are required on all plans.
5. The engineer's stamp shall be placed on the plans.



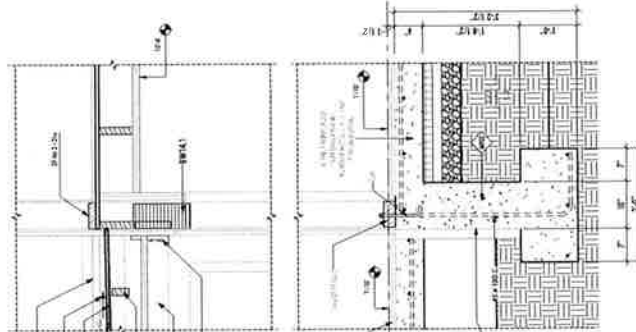
4 WALL/FOUNDATION/WINDOW DETAIL
1" = 1'-0" (REF: S-341 / 1)



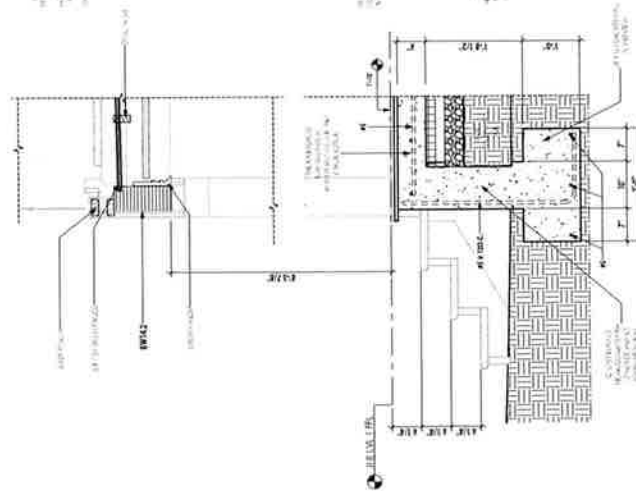
3 DETAIL @ W-WIDE FLANGE Wx15
1/2" = 1'-0"



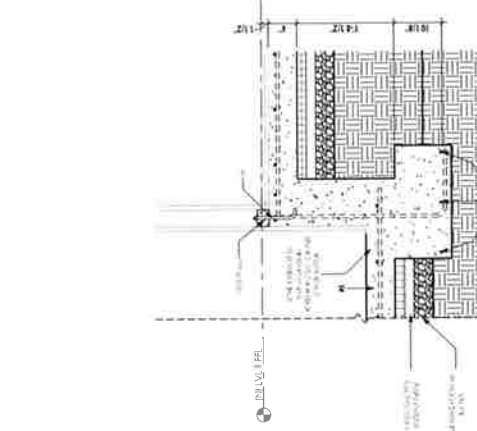
8 INTERIOR PARTITION DETAIL 3
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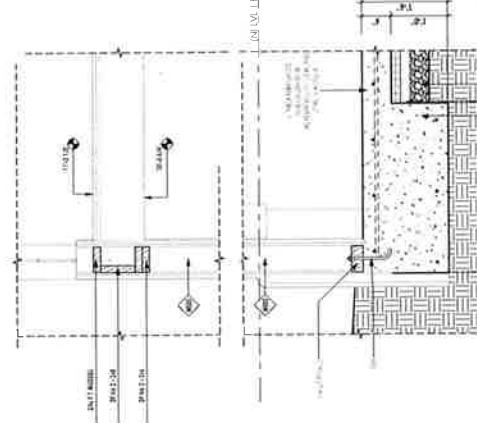
2 PORCH FRAMING DETAIL 2
1" = 1'-0" (REF: S-341 / 1)



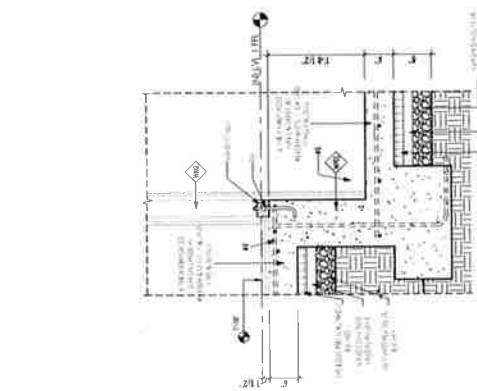
1 PORCH FRAMING DETAIL 1
1" = 1'-0" (REF: S-341 / 1)



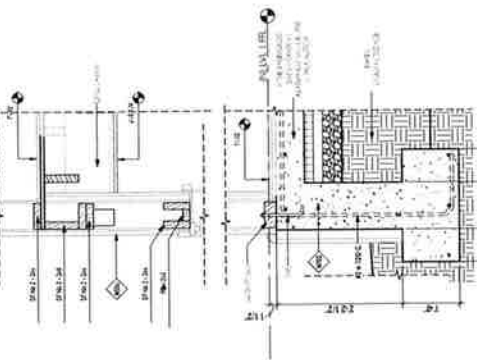
9 WALL/FOUNDATION DETAIL
1" = 1'-0" (REF: S-341 / 3)



7 WALL/FOUNDATION DETAIL
1" = 1'-0" (REF: S-341 / 3)



6 INTERIOR PARTITION DETAIL 2
1" = 1'-0" (REF: S-341 / 2)



5 WALL/FOUNDATION/WINDOW DETAIL 2
1" = 1'-0" (REF: S-341 / 2)

[illegible]

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|--|
| <input checked="" type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input checked="" type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-273-04

Project Address: 41 Poplar Ave. Ross, CA 94957

Property Owner: Michael and Mindy Whittington

Owner Mailing Address (PO Box in Ross): 41 Poplar Ave.

City/State/Zip: Ross, CA 94957 Owner's Phone: 415.430.7177

Owner's Email: mtwhittington@gmail.com

Applicant: Eric M. Spletzer

Applicant Mailing Address: 166 Alpine St.

City/State/Zip: San Rafael, CA 94901 Applicant's Phone: 415.699.9662

Applicant's Email:

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

eric@craftedearth.com, monica@craftedearth.com

To Be Completed by Town Staff:

Date Received: _____

Application No.: _____

Zoning: _____

Planning 5300

Tree Permit 5305

Fee Program Administration 5315-05

Record Management 5316-05

Record Retention 5112-05

Technology Surcharge 5313-05

Date paid: _____

TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment: _____

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE	PARCEL 2
Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment: _____

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: MADON me Jan 12, 2023 Jan 12, 2023
Michael Whittington (Jan 12, 2023 09:32 PST) Mody Whittington (Jan 12, 2023 10:41 PST) Date:

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: MADON me Jan 12, 2023 Jan 12, 2023
Michael Whittington (Jan 12, 2023 09:32 PST) Mody Whittington (Jan 12, 2023 10:41 PST) Date:

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

Ross

, California on

1/12/2023

Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
 Project Landscape Architect _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
 Project Engineer _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
 Project Arborist _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Variance is requested because lot narrowness (50') and 15' setback is recognized as hardship on 50' lot.

-
- Side setbacks cover 60% of lot area.
 - Remaining buildable area is only 20' wide.
 - Existing home to be lifted is well within 15' setback.
 - Encroachment is not increased into the setback, but extended along existing encroachment line.
 - Character of neighborhood is urban, and a 15' side setback is not appropriate for density of neighborhood.
 - Both side neighbors are within 5' of property line.
 - There are no houses along Poplar Ave that honor the 15' setback.

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights.

Describe why the project is needed to enjoy substantial property rights.

House has flooded twice in past 14 months. Deck extension is far from rear setback line and simple extension of existing encroachment.

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

Porch extension is invisible from public view.

Neighboring properties all encroach side setbacks and are within 5' of property lines.











41 Poplar -Planning Application Form

Final Audit Report

2023-01-12

Created:	2023-01-12
By:	Eric Spletzer (eric@craftedearth.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAcsyGYFc0pxBWZbP-qNbAtXiBW9454q

"41 Poplar -Planning Application Form" History

-  Document created by Eric Spletzer (eric@craftedearth.com)
2023-01-12 - 5:02:18 PM GMT- IP address: 98.45.130.172
-  Document emailed to mtwhittington@gmail.com for signature
2023-01-12 - 5:04:36 PM GMT
-  Email viewed by mtwhittington@gmail.com
2023-01-12 - 5:04:42 PM GMT- IP address: 66.249.84.89
-  Signer mtwhittington@gmail.com entered name at signing as Michael Whittington
2023-01-12 - 5:32:02 PM GMT- IP address: 98.37.15.155
-  Document e-signed by Michael Whittington (mtwhittington@gmail.com)
Signature Date: 2023-01-12 - 5:32:04 PM GMT - Time Source: server- IP address: 98.37.15.155
-  Document emailed to mindy02@gmail.com for signature
2023-01-12 - 5:32:06 PM GMT
-  Email viewed by mindy02@gmail.com
2023-01-12 - 6:39:14 PM GMT- IP address: 104.28.48.189
-  Signer mindy02@gmail.com entered name at signing as Mindy Whittington
2023-01-12 - 6:41:27 PM GMT- IP address: 98.37.15.155
-  Document e-signed by Mindy Whittington (mindy02@gmail.com)
Signature Date: 2023-01-12 - 6:41:29 PM GMT - Time Source: server- IP address: 98.37.15.155
-  Agreement completed.
2023-01-12 - 6:41:29 PM GMT



Adobe Acrobat Sign



CRAFTED EARTH, INC.
166 ALPINE ST
SAN RAFAEL, CA 94901
TEL: 415.699.9662
E-MAIL: ERIC@CRAFTEDEARTH.COM

To: TOWN OF ROSS – PLANNING DEPARTMENT

Attn: ALEX LOPEZ – ASSISTANT PLANNER

RE: WHITTINGTON RESIDENCE, 41 POPLAR AVENUE, APN 073-273-04
APPLICATION DRP22-0037

Date: 1/11/23

Applicant: Crafted Earth, Inc.
Eric Spletzer, PE
526 Third Street, Suite A2
San Rafael, CA 94901
Phone: 415-699-9662
Email: eric@craftedearth.com

The following comments were received on Dec 22nd, 2022. The comments follow in black, and the responses are in green bold print.

COMMENTS FROM PLANNING:

Provide a Zoning Parameters table. The table should have three columns, allowed, existing, and proposed.
(Example below):

Please see the table on the sheet A-040 already provided.

Sheet A-201 and A-241 are showing elevations measurements from finish level to roof level. Provide the correct elevations for the planning department, showing the measurements from grade to the highest point of the roof, clearly showing the existing and proposed roof height.

18.12.080 Building height. "Building height" means the vertical distance as measured in a straight line from any point to either existing or finished grade, whichever is lower.

Sheets A-201 and A-241 were updated.

Can you provide the measurements for the proposed rear porch? It may be counted as floor area and building coverage.

Exterior measurements for the proposed rear porch are: Width 18'-8", Depth: 9'-11".

The reference view is A-142/1. The proposed rear porch is not counted as floor area and is already included in Lot Coverage calcs on sheet A-101 and summarized on the cover sheet A-040

Sheet A-101 shows the proposed rear porch encroaching to the side yard setback. A Variance is required.

It is the continuation of an existing encroachment line on an onerous setback requirement.



CRAFTED EARTH, INC.
166 ALPINE ST
SAN RAFAEL, CA 94901
TEL: 415.699.9662
E-MAIL: ERIC@CRAFTEDEARTH.COM

COMMENTS RECEIVED FROM BUILDING:

California Residential Code 305.1 ceiling height minimum of 7 feet. A-541/3 shows 6'10".
6'10 is at a landing. Room height downstairs is 8'9 7/8"

CRC 311.7.1 stair width of 3 feet minimum. A-541/1 shows a width of 30 inches.
New risers and threads necessary for the lift will be added at the bottom of the "existing legal not conforming stair run." Existing legal not conforming interior stair hole will be kept as it is. New treads will have a width of 30 inches min as shown on A-541/1.

Provide a handrail where four or more rises exist. A543/1 shows no handrail.
The handrail was added. See sheet A541

COMMENTS RECEIVED FROM PUBLIC WORKS:

All work shall comply with the requirements of the Town of Ross Section 15.36 Flood Damage Prevention Code.
???

A pre-construction Elevation Certificate (EC) shall be provided prior to issuance of the Building Permit verifying that the design F elevation is 1.0' minimum above the 100-YR base flood elevation. A "during construction" EC shall be provided demonstrating that the F elevation will comply with the design F elevation. A "finished construction" EC will be required prior to Permit Final.

All three ECs will be provided by Adobe Assoc Engineers.

February 7, 2023

For the Town of Ross,

We have shared our plans with neighbors and have received unanimous and enthusiastic support, including from our neighbors at 43 Poplar who would be most impacted:

Sarah & Hugh Barron at 43 Poplar (next door)

The Barrons came on-site to view the plans on 2/1/23 to see how the proposed design would impact their yard and views. The Barrons gave verbal and written approval for the plans, including our request for a variance. They appreciated our efforts to preserve privacy through landscaping and thoughtful design of our deck.

Kathryn & Kyle Rosseau at 45 Poplar

Shared plans and received written approval and enthusiastic support for the project overall

Mark & Sonya Manning at 47 Poplar

Shared plans and received written approval and enthusiastic support for the project overall

Tim Hill at 49 Poplar

Shared plans and received written approval and enthusiastic support for the project overall

Jeremy & Charlotte at 38 Poplar Ave

Shared plans and received written approval and enthusiastic support for the project overall

Thank you for the consideration,



Mindy & Mike Whittington

