



The Advisory Design Review (ADR) Group considers applications and matters affecting the design of buildings, structures, landscaping, and other site improvements in the Town of Ross. The ADR Group makes non-binding advisory recommendations regarding consistency of projects with the Design Review criteria and standards to the Town Planner and Town Council.

Agenda Item No. 4d

Staff Report

Date: June 21, 2022
To: Advisory Design Review (ADR) Group
From: Nishant Seoni, Planner
Subject: 98 Laurel

Recommendation

That the Advisory Design Review Group provide a formal recommendation to the Town Council regarding the merits of the project consistent with the Design Review criteria and standards of Ross Municipal Code Section 18.41.100 (see **Attachment 1**).

Property Address: 98 Laurel Grove Avenue
A.P.N.: 072-211-38
Applicant: Polsky Perlstein Architects
Property Owner: Adam & Kelly Dwinells
Zoning: R-1:B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Minimal risk area)

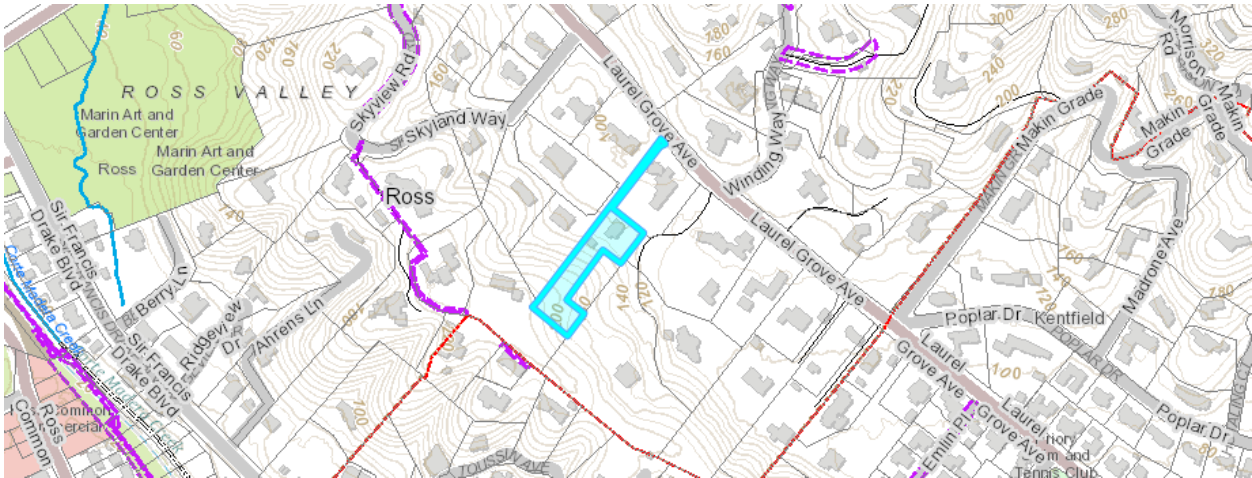
Project Summary: The applicant requests approval of Design Review to remodel and expand the existing main residence; construct new attached trellis structures to the residence; construct a new storage accessory building; construct a new pool and associated terrace and retaining wall; and renovate the south side yard and rear yard landscape. Variances are required to construct a new storage accessory building, new trellis projections, and a new pool and associated structures with nonconforming yard setbacks.

Project Data

	Code Standard	Existing	Proposed
Lot Area	Minimum 5,000 SF	43,526 SF	No change
Floor Area (FAR)	6,529 SF (15%)	4,988 SF (12.4%)	5,361 SF (13.5%)
Building Coverage	6,529 SF (15%)	2,728 SF (6.27%)	2,928 SF (6.73%)
Front Setback	25'	Primary Residence: 24'3.5" ADU: 117'-8.5"	Primary Residence, ADU: No change New shed: 7'0.5"
Left Side Setback	25'	Primary Residence: 39' ADU: 24'-4"	Primary Residence: 38'10.5" ADU: No change
Right Side Setback	25'	Primary Residence: 41'8" ADU: 25'-5"	Primary Residence ADU: No change
Rear Setback	40'	Primary Residence: 307'11" ADU: 250'-7"	Primary Residence, ADU: No change New pool: 8'9.5"
Building Height	30'	Primary Residence: 29'11"	Primary Residence, ADU: No change
Off-street Parking Spaces	4, 2 covered	4, 2 covered	No change
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	10,469 SF (24.05%)	11,832 SF (27.18%)

Background

The project site is a developed 43,526 square foot lot on the west side of Laurel Grove Avenue. The lot has an average slope of 23.67%. The lot is not a Hillside Lot as it has an average slope of less than 30%. The property contains an existing 1,955 square foot single-family residence with 388 square foot terrace and a 385 square foot Accessory Dwelling Unit (ADU) on the west portion of the lot. The property has an existing 16-foot wide access and utility easement along it's east side. Access is provided via Laurel Grove Avenue and four parking spots are provided.



Project Description

The project proposes to renovate the exterior of the residence, including doors and windows of both the primary residence and ADU; construct a trellis over the existing terrace on the south side of the existing primary residence and on the west side of the residence; expand the second story of the existing primary residence; replace and add to existing landscaping; and construct a new pool and storage shed within side yard setbacks with associated terrace. The total impervious surface of the site will increase by 1,363 square feet.

Project application materials are included as follows: Project Plans as **Attachment 2**; Project Application as **Attachment 3**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

Design Review

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff

associated with development. The Design Review criteria and standards per Section 18.41.100 are included as **Attachment 1**.

Pursuant to Town Council Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits.

Pursuant to Section 18.41.20 (a), the proposed project requires a Design Review Permit for an increase in impervious surface of over 1,000 feet, extensions of existing buildings exceeding two hundred square feet of new floor, alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, and grading or filling in excess of 50 cubic yards.

If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

Public Notice

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date pursuant to the Ross Municipal Code.

Public Comment

At the time of writing the staff report, no comments were received from the public regarding the project.

Attachments

1. Ross Municipal Code Section 18.41.100, Design Review Criteria and Standards
2. Project Plans
3. Project Application

ATTACHMENT 1

Chapter 18.41

DESIGN REVIEW

Sections:

18.41.010	Purpose.
18.41.020	Improvements subject to design review.
18.41.030	Chapter application.
18.41.040	Submittal requirements.
18.41.050	Review authority.
18.41.060	Town Council review.
18.41.070	Approval--Special conditions and findings.
18.41.080	Denial of incomplete or inactive applications.
18.41.090	Administrative review.
18.41.100	Design review criteria and standards.
18.41.110	Noncompliance.
18.41.120	Emergency situations.

18.41.010 Purpose. (a) The “small town” feel and the serene, quiet character of its neighborhoods are special qualities to the town. The existing scale and quality of architecture, the low density of development, the open and tree-covered hills, winding creeks and graciously landscaped streets and yards contribute to this ambience and to the beauty of a community in which the man-made and natural environment co-exist in harmony.

(b) This chapter is intended to guide new development to preserve and enhance these special qualities of Ross and to sustain the beauty of the town’s environment. Other specific purposes include the following:

(1) Provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area. Promote high-quality design that enhances the community, is consistent with the scale and quality of existing development and is harmoniously integrated with the natural environment;

(2) Preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town’s neighborhoods through maintaining historic design character and scale, preserving natural features, minimizing overbuilding of existing lots and retaining densities consistent with existing development in Ross and in the surrounding area;

(3) Preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety. Ensure that site design and intensity recognize site constraints and resources, preserve natural landforms and existing vegetation, and prevent excessive and unsightly hillside grading;

(4) Enhance important community entryways, local travel corridors and the area in which the project is located;

(5) Promote and implement the design goals, policies and criteria of the Ross general plan;

(6) Discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression;

(7) Preserve buildings and areas with historic or aesthetic value and maintain the historic character and scale. Ensure that new construction respects and is compatible with historic character and architecture both within the site and neighborhood;

(8) Upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site.

(9) Preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development to reduce flooding, streambank erosion, sediment in stormwater drainage systems and creeks, and minimize damage to public and private facilities. Ensure that existing site features that naturally aid in stormwater management are protected and enhanced. Recognize that every site is in a watershed and stormwater management is important on both small and large sites to improve stormwater quality and reduce overall runoff.

(c) This chapter establishes procedures and criteria for the review of buildings, structures and improvements necessary to meet this purpose. (Ord. 619 (part), 2010; Ord. 514 §1(part), 1993).

18.41.020 Improvements subject to design review.

(a) Design review is required for the following projects:

(1) All new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area, including enclosing existing open areas.

(2) All building relocations.

(3) Any increase to the existing roof height.

(4) All fences, gates or walls, or a combination of these, greater than forty-eight inches in height in any yard adjacent to the street or right-of-way.

(5) The construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.

(6) New retaining walls with a cumulative total of more than one hundred linear feet.

(7) Any sports court fences over 6 feet in height and for gate columns and other decorative fence elements that exceed the permitted fence height limits.

(8) Any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, as determined by the Planner.

(9) Any activity or project resulting in more than fifty cubic yards of grading or filling, whether or not a building permit is required.

(10) Any construction, improvements, grading/filling or other site work within twenty-five feet of a creek, waterway or drainageway, whether or not a building permit is required with the exception of creek projects in accordance with Section 18.41.020(b)(4) of this Code.

(11) Any project resulting in over 1,000 square feet of new impervious landscape surface, whether or not a building permit is required.

(12) Redevelopment, Rehabilitation, and/or renovation of existing landscaping over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood, whether or not a building permit is required.

(b) Design Review is not required for the following:

(1) Repainting existing structures involving no exterior remodeling resulting in additions, extensions or alterations.

(2) Accessory Dwelling Units in Accordance with Chapter 18.42 of this Code.

(3) Attic improvement permitted under Chapter 18.46 unless the project involves exterior work within twenty-five feet of a creek, waterway or drainageway, or if the attic project is associated with a larger project that requires design review.

(4) Creek stabilization and/or stream bank repair and alteration permits subject to issuance of a building permit and local, state, and federal permitting approval.

(5) Improvement of an existing basement in accordance with Chapter 18.45 of this Code.

(6) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in accordance with Section 18.41.090(d) of this Chapter. (Ord. 704 (part), 2020; Ord. 696 (part), 2019; Ord. 624 (part), 2011; Ord. 619 (part), 2010; Ord. 604 (part), 2008; Ord. 578 §7, 2003; Ord. 575 (part), 2003; Ord. 558 (part), 2001; Ord. 557 (part), 2001; Ord. 544 (part), 1999; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.030 Chapter application. No work shall be started or authorized on any matter which is subject to design review on any lot located within the town until a design review application is approved, unless written approval for the work is first given by the town planner. (Ord. 514 §1(part), 1993).

18.41.040 Submittal requirements. Every design review application shall include drawings, plans, specifications and graphic or written material as required by the town planner or town council to clearly and accurately describe the proposed work, its effect on the environment and its relationship to existing improvements. The applicant shall pay a fee as set by the town council. All drawings and plans shall show both existing and proposed elevations and clearly identify all new construction and label all materials as new or existing. A structural engineer's report on the condition of the existing structure and its ability to meet building code requirements without additional modifications shall be prepared as required by the town planner or town council. An extensive termite, dry rot damage report shall be prepared, as required by the town planner or town council, which shall not only identify areas of damage but shall explore to determine the full extent of the damage, both exposed and concealed. Complete photos and a videotape of the structure's exterior shall be provided as required by the town planner or town council. A project manager, hired by the town at the applicant's expense, shall monitor demolition/construction activity as deemed necessary by the town building official. The applicant shall submit a proposed erosion control and sediment control plan, stormwater control plan, and/or stormwater facilities operation and maintenance plan if required by chapter 12.28 of the town code. Standard submittal requirements will be prepared by the town planner. Additional material may be required by the town planner. (Ord. 657 (part), 2014; Ord. 604 (part), 2008; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.050 Review authority. The town council will conduct the design review provided for by this chapter, except as otherwise provided in this chapter. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.060 Town Council Review. Except as otherwise provided in this chapter, the town council will decide design review applications at a public meeting. The town council will review the application at its next available meeting following a determination by the town planner that the application is complete. The town clerk will mail written notice at least ten calendar days prior to the hearing to the applicant and to all owners of property within three

hundred feet from the exterior boundaries of the project site. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.070 Approval--Special conditions and findings.

(a) The town council may approve, conditionally approve or deny an application for design review. The town council shall include conditions necessary to meet the purpose of this chapter and for substantial compliance with the criteria set forth in this chapter. The council may adopt by resolution standard conditions for all projects to meet.

(b) The town council shall make the following findings in approving any project:

(1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.

(2) The project is in substantial compliance with the design criteria of Section 18.41.100.

(3) The project is consistent with the Ross general plan and zoning ordinance.

(c) The town council shall deny any project for which it cannot make the above findings required in this section. (Ord. 514 §1(part), 1993).

18.41.080 Denial of incomplete or inactive applications. Consistent with state law, the town planner may administratively deny without prejudice any application which remains incomplete or inactive for a period of greater than ninety days or is continued at the applicant's request for more than sixty days. (Ord. 514 §1(part), 1993).

18.41.090 Administrative review. The town planner may administratively approve, conditionally approve or deny the following without notice or a public hearing: (a) An amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulations. Such administrative review may include, but is not limited to, the addition of skylights, greenhouse windows and other minor changes from approved design review plans. (b) Design review of fences pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (c) An application that involves alteration of more than twenty-five percent of the exterior walls, but less than twenty-five percent of the exterior wall coverings of a residence pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (d) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in consultation with the Town's Advisory Design Review Group. (Ord. 704 (part), 2020; Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.100 Design review criteria and standards. This section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

(a) Preservation of Natural Areas and Existing Site Conditions.

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridgelines and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion.

(3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site.

There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

(c) Minimizing Bulk and Mass.

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting.

Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening.

Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a “walled-in” feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate. Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views.

Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning. Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the

same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety.

Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy.

Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations.

Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved

design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District.

The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock.

Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area.

Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) Setbacks.

All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) Low Impact Development for Stormwater Management.

Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) Maximize Permeability and Reduce Impervious Surfaces. Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are

encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

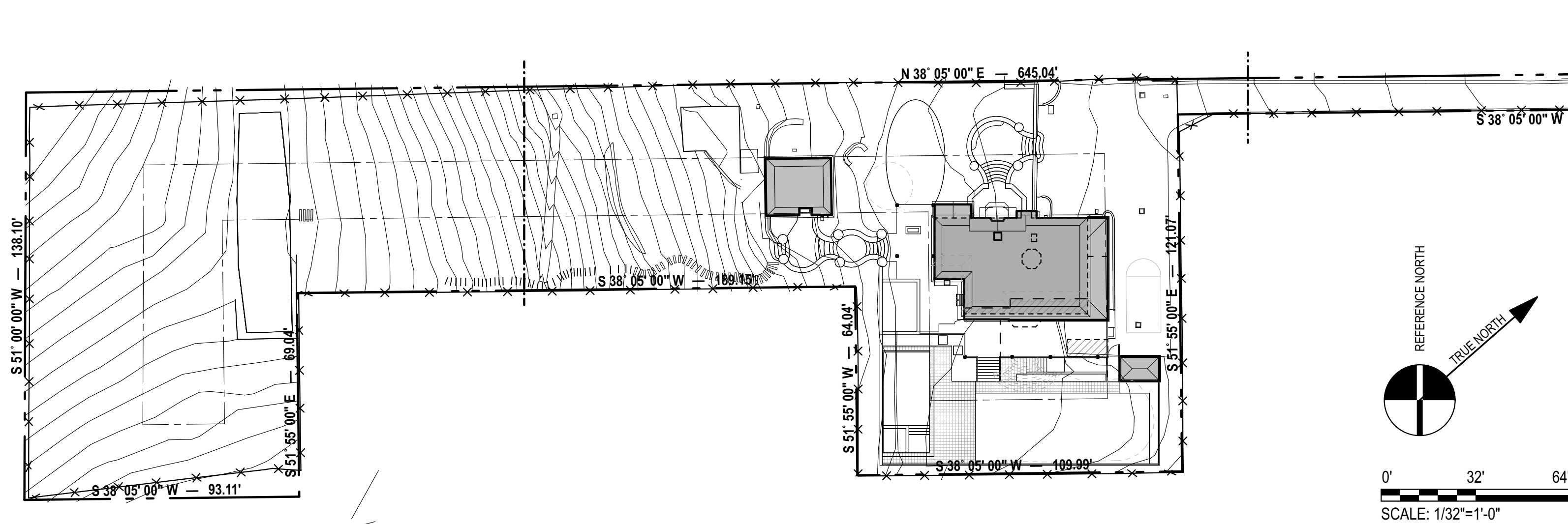
(2) Disperse Runoff On Site. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) Include Small-Scale Stormwater Controls and Storage Facilities. As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or “green roofs”, catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 696 (part), 2019; Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

18.41.110 Noncompliance. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. Such violation will be subject to the enforcement penalties procedures of Chapter 18.64 of this code. (Ord. 514 §1(part), 1993).

18.41.120 Emergency situations. If a condition exists which requires immediate action to protect public health, safety and welfare, the town building official may, after consultation with the town planner, grant emergency approval to temporarily correct or ameliorate such condition without submitting the matter to the Town Council for design review approval or posting written notice. Permanent corrective measures shall require design review approval in accordance with the provisions of this chapter. The building official and town planner may impose conditions on an emergency permit as necessary to ensure compliance with this chapter. (Ord. 514 §1(part), 1993).

ATTACHMENT 2



SCOPE OF WORK

SELECTED DEMOLITION OF WALLS OF THE EXISTING HOME; NEW ADDITIONS AND REMODEL OF EXISTING HOME; REPLACE ALL DOORS AND WINDOWS; NEW PLUMBING, ELECTRICAL, AND HVAC; REPLACE WINDOWS AND DOORS OF EXISTING GUEST HOUSE; (N) POOL AND LANDSCAPING

PROJECT DATA

Address:	98 Laurel Grove
Zoning Designation:	R-1-B-A
Assessor's Parcel No.:	AP # 072-211-38
Site Area (SF):	43,526
Occupancy Type:	R-3
Building Type:	V-B
Latitude	N 37° 57'
Longitude	W 122° 32'

INDEX OF DOCUMENTS

ARCHITECTURAL

- A1.0 PROJECT INFORMATION, OVERALL SITE PLAN, STORY POLE PLAN
- A1.1 DETAIL SITE PLAN
- A1.2 EXISTING-DEMO BASEMENT FLOOR PLAN
- A1.3 EXISTING-DEMO FIRST FLOOR PLAN
- A1.4 EXISTING-DEMO SECOND FLOOR & GUEST HOUSE PLAN
- A1.5 PROPOSED BASEMENT PLAN
- A1.6 PROPOSED FIRST FLOOR PLAN
- A1.7 PROPOSED SECOND FLOOR & GUEST HOUSE PLAN
- A2.1 EXTERIOR ELEVATIONS - NORTH
- A2.2 EXTERIOR ELEVATIONS - EAST & WEST
- A2.3 EXTERIOR ELEVATIONS - SOUTH
- A3.1 BUILDING SECTIONS
- A3.2 PERSPECTIVES

LANDSCAPE

- | | |
|----|----------------------------|
| L1 | PRELIMINARY LANDSCAPE PLAN |
| L2 | 3D VIEWS |

SURVEYOR

TOPOGRAPHIC & BOUNDARY SURVEY

ROOF TILES:

Mission Style — match (E) roof tiles

GUTTERS AND DOWNSPOUTS:

Painted White

STUCCO COLOR

Match (E) White stucco finish

1 MATERIALS BOARD LAYOUT

3113
EXTERIOR CYLINDER SCONCE



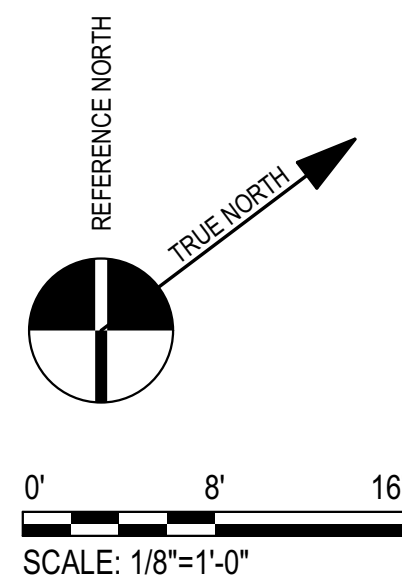
PHOENIX DAY
TING FIXTURES & METALWORK
Since 1850
www.phoenixday.com

2 EXTERIOR SCONCE

SCALE: 1:1.29

STORY POLE SCHEDULE

POLE #	HT TO FIRST FL. (FF elev. +100')	EXISTING GRADE UNDER POLE (+/-)	FIN. FL. TO (E) GRADE	POLE HEIGHT (allow only-pole installer confirms ht)
S.P. 1	19'-2"	(ON ROOF) 100'	0'	19'-2"
S.P. 2	19'-2"	(ON ROOF) 98'	-2'	21'-2"
S.P. 3	19'-2"	(ON ROOF) 90'	-10'	29'-2"
S.P. 4	10'-10"	(ON ROOF) 90'	-10'	20'-10"
S.P. 5	10'-10"	(ON ROOF) 90'	-10'	20'-10"
S.P. 6	0'-0"	90'-6"	-9'-6"	9'-6"
S.P. 7	-1'-5"	90'	-10'	8'-7"
S.P. 8	-1'-5"	90'	-10'	8'-7"
S.P. 9	2"	91'	-9'	8'-10"
S.P. 10	2"	90'-9"	-9'-3"	9'-1"
S.P. 11	-1'-5"	91'-3"	-8'-9"	7'-4"
S.P. 12	-1'-5"	90'-6"	-9'-6"	8'-1"



VICINITY MAP

PROJECT TEAM

OWNER Adam & Kelly Dwinells
98 Laurel Grove Avenue
Ross CA 94904
Tel: 415-676-7917
adamdwinells@gmail.com
kellydwinells@gmail.com

ARCHITECT

Polsky Perlstein Architects
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Larkspur CA 94939
Tel: 415-927-1156 x304
Fax: 415-927-0847
Contact: Jared Polsky
Elizabeth Raar
jared@polskyarchitects.com
elizabeth@polskyarchitects.com

LANDSCAPE ARCHITECT

SURVEYOR: DMG Engineering
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Pleasant Hill, CA 94523
Tel: 925.787.0463
Contact: Dylan Gonsalves
dylan@dmgbayarea.com

CIVIL ENGINEER

DVC Group
513 Center Street
Healdsburg CA 95448
Tel. (707) 775-8986
Contact: Dan Hughes
dan@dvcgroup.net

DWINELLS RESIDENCE

98 LAUREL GROVE AVENUE
ROSS CA
AP# 072-211-38

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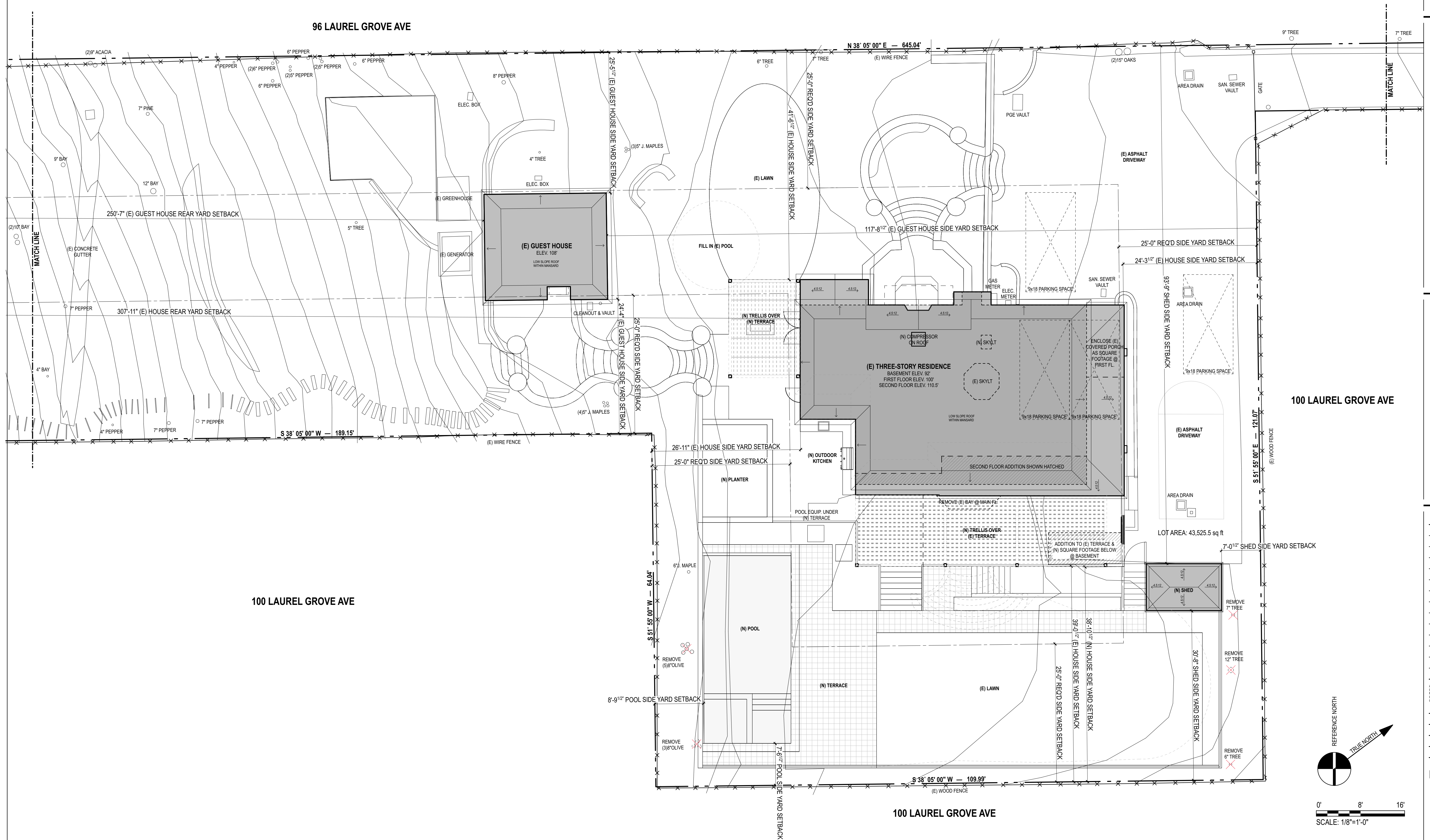
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RAWN	ER
IB #	2106
SCALE	NOTED

DETAIL SITE PLAN

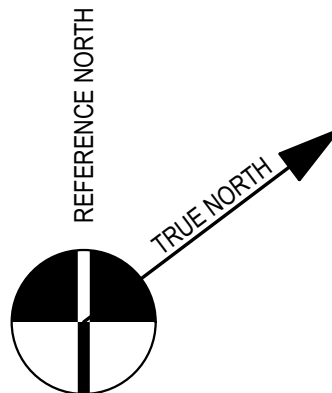
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A1.1



1 SITE PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN



0' 4' 8'

SCALE: 1/4"=1'-0"

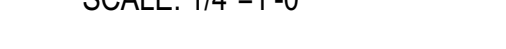
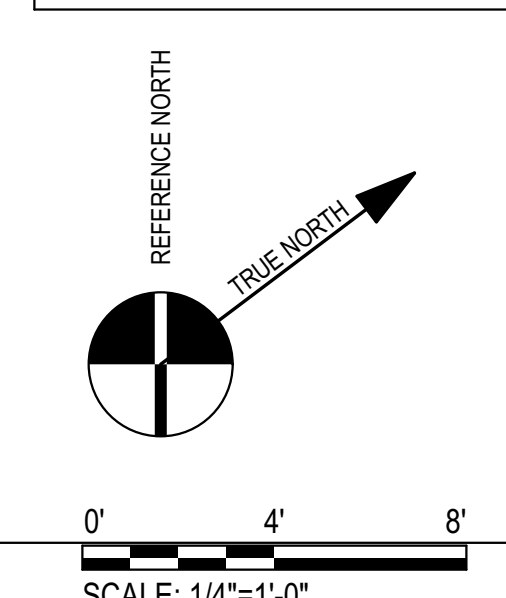
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**EXISTING-DEMO
BASEMENT PLAN**

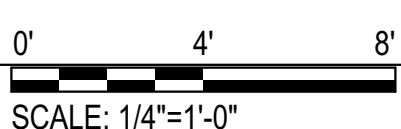
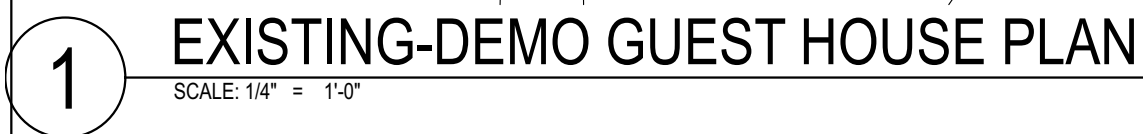
SHEET



()



A1.3



1 EXISTING-DEMO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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OB# | 2106

NAME	NOTED
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NOTED

EXISTING-DEMO

SECOND FLOOR +

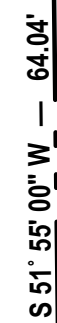
SECOND FLOOR PLAN

GUEST HOUSE PLAN

SHEET

A 1 4


A1.4



2

SCALE: 1/4" = 1'-0"

0' 4' 8'



SCALE: 1/4"=1'-0"

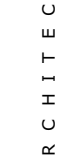
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SHEET

A1.6

98 LAUREL GROVE AVENUE
ROSS CA
AP# 072-211-38





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ROSS CA
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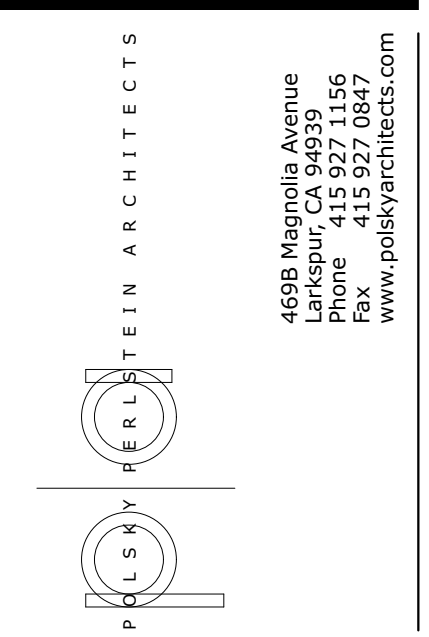
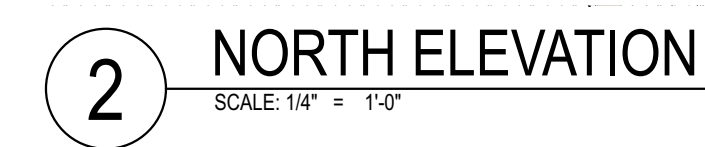
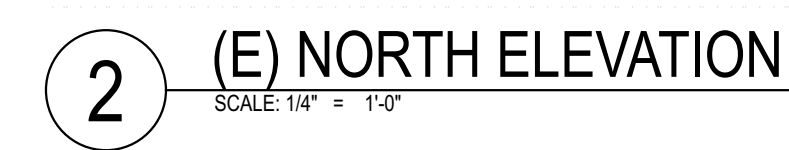
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NOTED

PROPOSED SECOND FLOOR + GUEST HOUSE PLAN

[illegible]

A1.7



DWINELLS RESIDENCE

98 LAUREL GROVE AVENUE
ROSS CA
AP# 072-211-38

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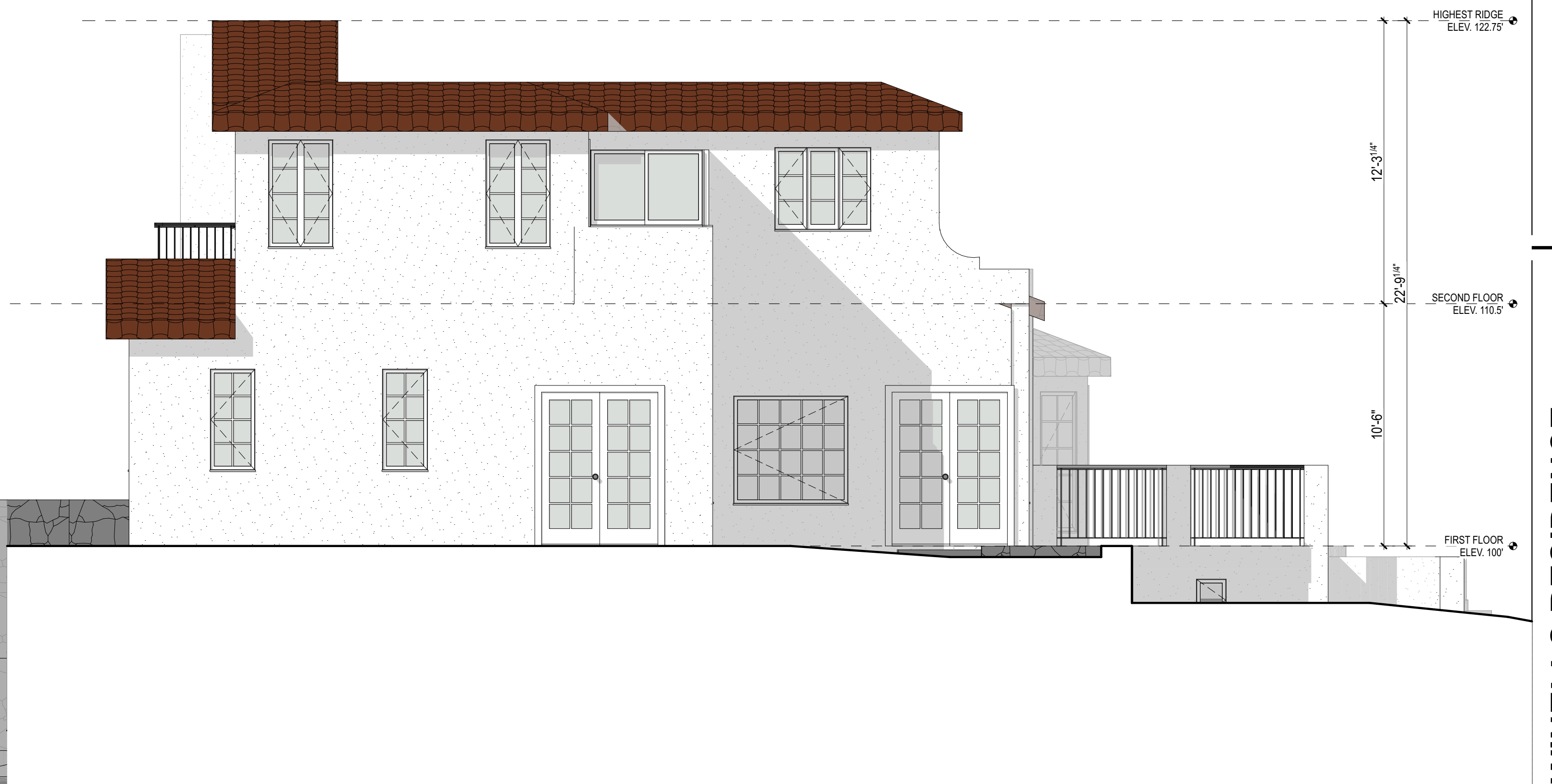
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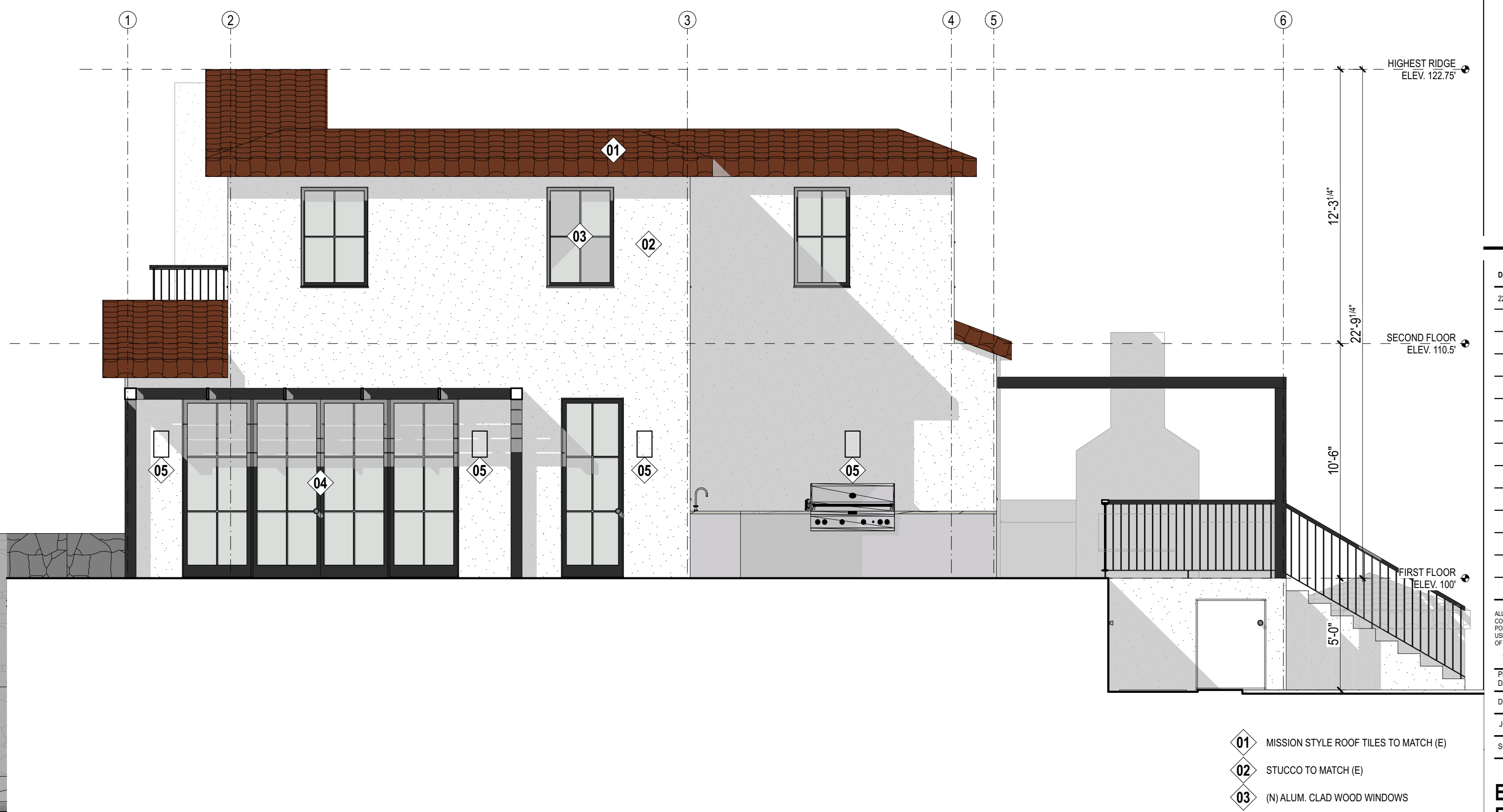
**EXTERIOR
ELEVATIONS-NORTH**

1657

A2.1



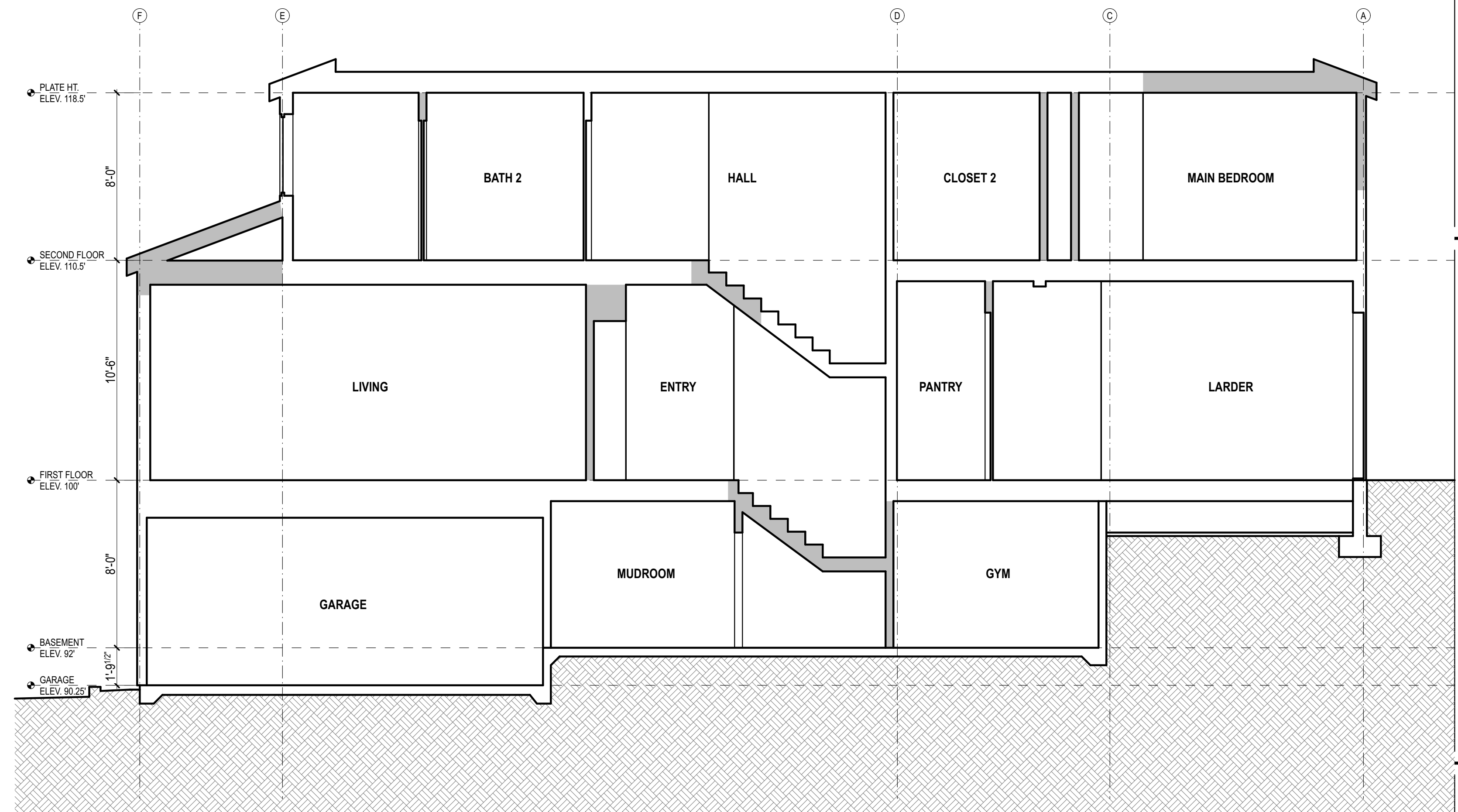
1 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"



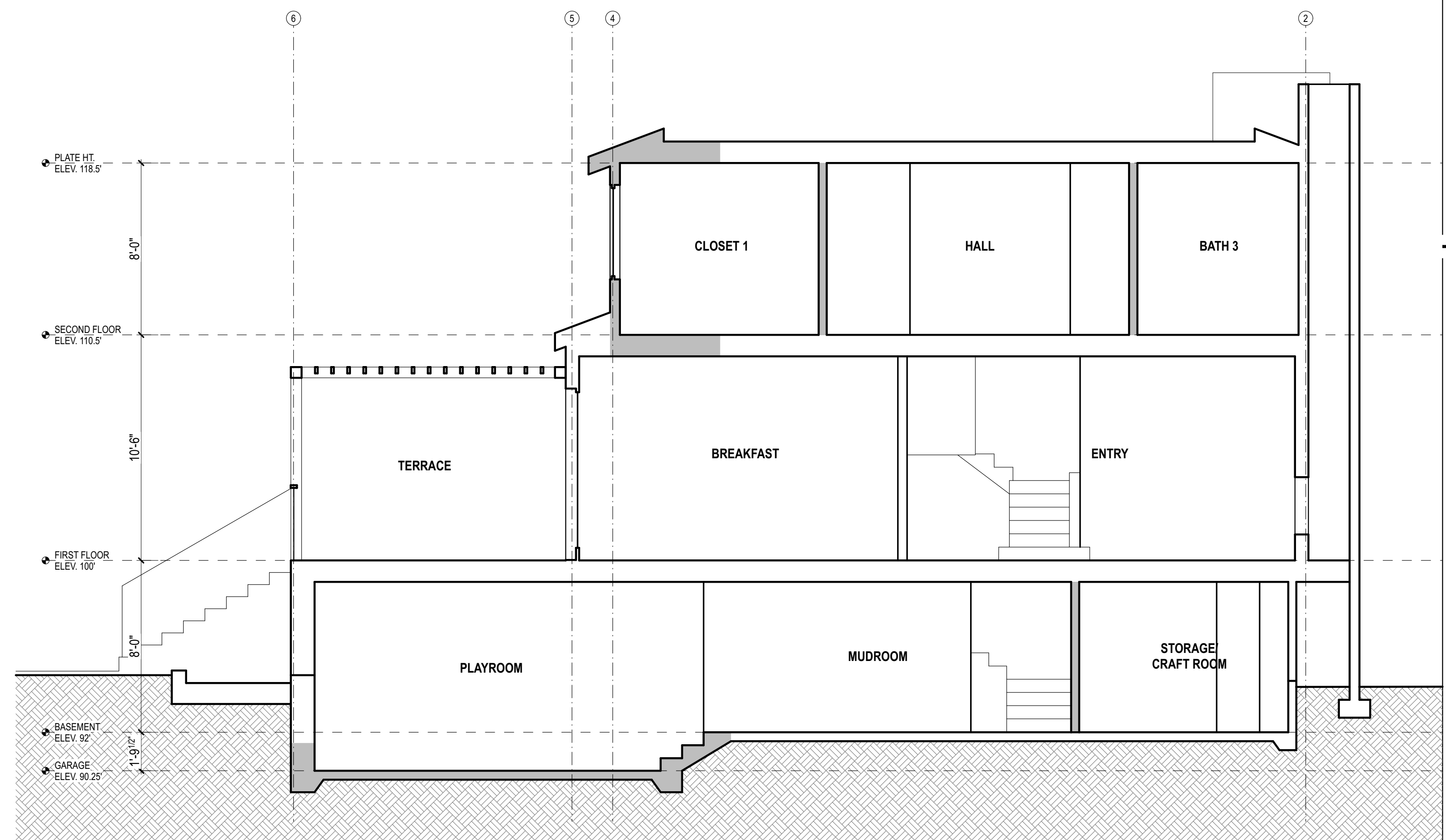
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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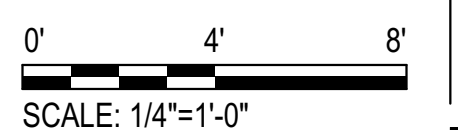
**EXTERIOR
ELEVATIONS-EAST +
WEST**



SECTION A-A
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"

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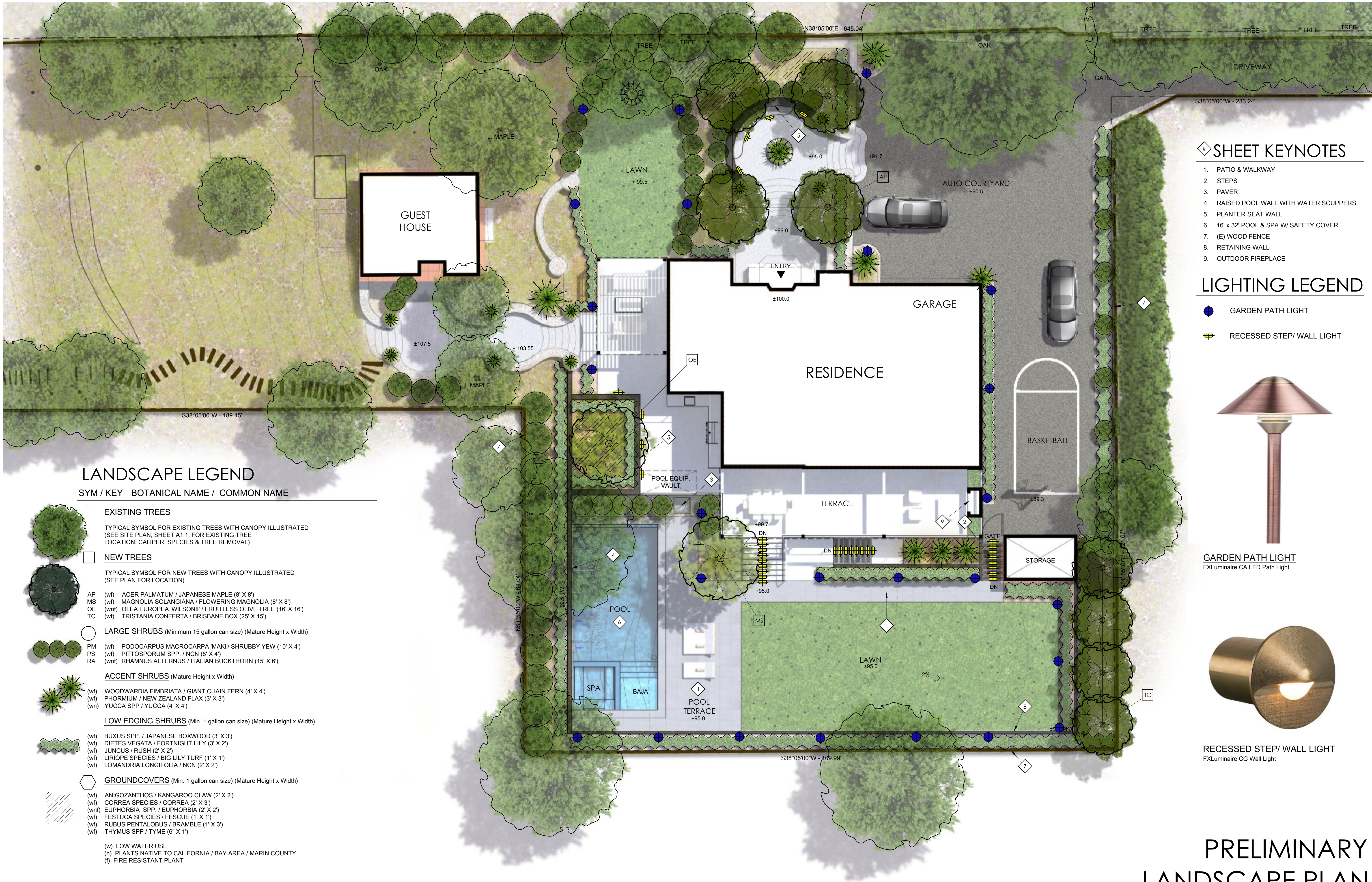
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BUILDING SECTIONS A & B

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LANDSCAPE LEGEND



SYM / KEY BOTANICAL NAME / COMMON NAME

- EXISTING TREES**
- TYPICAL SYMBOL FOR EXISTING TREES WITH CANOPY ILLUSTRATED (SEE SITE PLAN, SHEET A1.1, FOR EXISTING TREE LOCATION, CALIPER, SPECIES & TREE REMOVAL)
- NEW TREES**
- TYPICAL SYMBOL FOR NEW TREES WITH CANOPY ILLUSTRATED (SEE PLAN FOR LOCATION)
- AP (wf) ACER PALMATUM / JAPANESE MAPLE (8' X 8')
- MS (wf) MAGNOLIA SOLANGIANA / FLOWERING MAGNOLIA (8' X 8')
- OE (wnf) OLEA EUROPEA 'WILSONII' / FRUITLESS OLIVE TREE (16' X 16')
- TC (wf) TRISTANIA CONFERTA / BRISBANE BOX (25' X 15')
- LARGE SHRUBS** (Minimum 15 gallon can size) (Mature Height x Width)
- PM (wf) PODOCARPUS MACROCARPA 'MAKI' / SHRUBBY YEW (10' X 4')
- PS (wf) PITTOSPORUM SPP. / NCN (8' X 4')
- RA (wnf) RHAMNUS ALTERNUS / ITALIAN BUCKTHORN (15' X 6')
- ACCENT SHRUBS** (Mature Height x Width)
- (wf) WOODWARDIA FIMBRIATA / GIANT CHAIN FERN (4' X 4')
- (wf) PHORMIUM / NEW ZEALAND FLAX (3' X 3')
- (wn) YUCCA SPP / YUCCA (4' X 4')
- LOW EDGING SHRUBS** (Min. 1 gallon can size) (Mature Height x Width)
- (wf) BUXUS SPP. / JAPANESE BOXWOOD (3' X 3')
- (wf) DIETES VEGATA / FORTNIGHT LILY (3' X 2')
- (wf) JUNCUS / RUSH (2' X 2')
- (wf) LIRIOPE SPECIES / BIG LILY TURF (1' X 1')
- (wf) LOMANDRIA LONGIFOLIA / NCN (2' X 2')
- GROUNDCOVERS** (Min. 1 gallon can size) (Mature Height x Width)
- (wf) ANIGOZANTHOS / KANGAROO CLAW (2' X 2')
- (wf) CORREA SPECIES / CORREA (2' X 3')
- (wnf) EUPHORBIA SPP. / EUPHORBIA (2' X 2')
- (wf) FESTUCA SPECIES / FESCUE (1' X 1')
- (wf) RUBUS PENTALOBUS / BRAMBLE (1' X 3')
- (wf) THYMUS SPP / TYME (6" X 1')
- (w) LOW WATER USE
- (n) PLANTS NATIVE TO CALIFORNIA / BAY AREA / MARIN COUNTY
- (f) FIRE RESISTANT PLANT

SHEET KEYNOTES

1. PATIO & WALKWAY
2. STEPS
3. PAVER
4. RAISED POOL WALL WITH WATER SCUPPERS
5. PLANTER SEAT WALL
6. 16' x 32' POOL & SPA W/ SAFETY COVER
7. (E) WOOD FENCE
8. RETAINING WALL
9. OUTDOOR FIREPLACE

LIGHTING LEGEND

-  GARDEN PATH LIGHT
-  RECESSED STEP/ WALL LIGHT

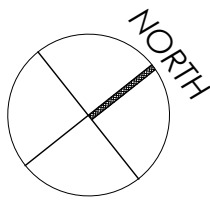
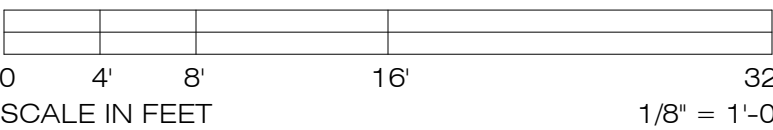


GARDEN PATH LIGHT
FXLuminaire CA LED Path Light



RECESSED STEP/ WALL LIGHT
FXLuminaire CG Wall Light

PRELIMINARY
LANDSCAPE PLAN



DATE:
FEBRUARY 15, 2022

Bradanini & Associates
LANDSCAPE ARCHITECTURE

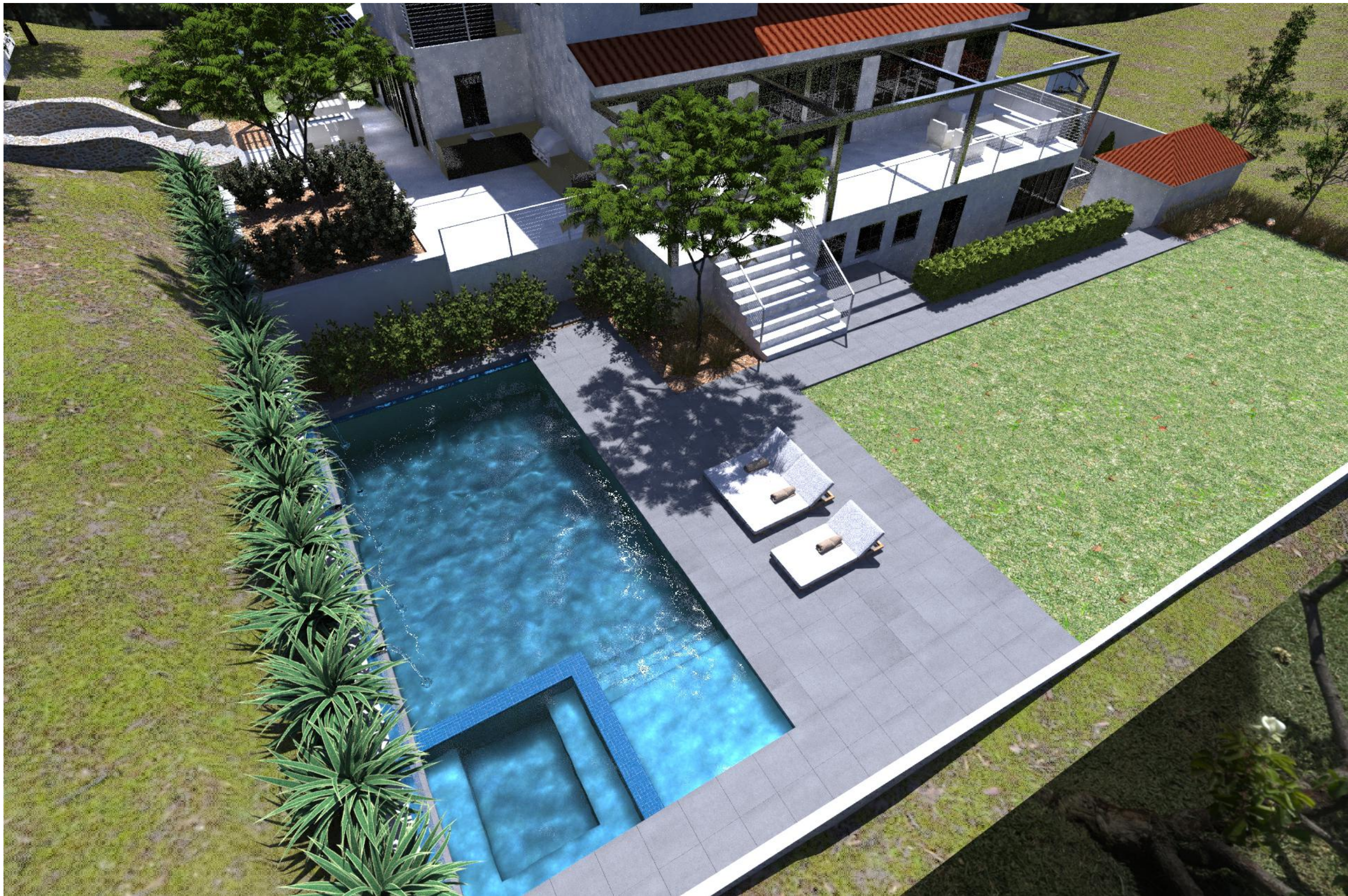
90 Throckmorton Avenue #16
P: 415.383.9780
F: 415.383.9782
W: www.bradanini.com
E: jlm@bradanini.com

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

LANDSCAPE IMPROVEMENT PLANS
DWINELLS RESIDENCE
98 LAUREL GROVE AVENUE
ROSS, CA 94957
APN 072-211-38

L1

PLOT DATE: 2022-02-15



3D VIEWS

Bradani & Associates
LANDSCAPE ARCHITECTURE
90 Throckmorton Avenue #16 Mill Valley, California 94941
p: 415.383.9780 w: www.bradanini.com
f: 415.383.9782 e: jlm@bradanini.com

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

LANDSCAPE IMPROVEMENT PLANS
DWINELLS RESIDENCE
98 LAUREL GROVE AVENUE
ROSS, CA 94957
APN 072-211-38

L2

Grading and Drainage Notes

1. PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), APPENDIX J AND APPLICABLE TOWN OF ROSS CODE AND REGULATIONS.
2. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE TOWN OF ROSS BUILDING DEPARTMENT. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
3. THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
4. TOWN OF ROSS BUILDING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CBC APPENDIX J, TOWN OF ROSS CODE AND REGULATIONS, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC.
5. ISSUANCE OF A GRADING/DRAINAGE PERMIT BY TOWN OF ROSS DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
7. EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN CITY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT TOWN OF ROSS DEPARTMENT OF PUBLIC WORKS AT (415) 453-1453 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
9. IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 588-9455. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE TOWN OF ROSS PER THE ARCHEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER AT (415) 499-6043.
10. SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
11. RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
12. EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT TOWN OF ROSS APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
13. GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH CITY REQUIREMENTS EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
14. EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED.
15. CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5- FEET TO BLEND WITH THE NATURAL TERRAIN.
16. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
17. GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
18. FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V(50%) OR AS DICTATED BY THE SOILS ENGINEER.
19. FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
20. FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
21. ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERY. NOTIFICATION SHALL BE IN WRITING.

Erosion Prevention and Sediment Control Notes

1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH TOWN OF ROSS REGULATIONS, WHICH FOLLOWS BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) MANUAL.
2. THE APPROVED PLANS SHALL CONFORM WITH THE TOWN OF ROSS EROSION CONTROL REQUIREMENTS.
3. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
4. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.

Rainy Season Operations

1. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 1 - APRIL 30). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE TOWN OF ROSS STANDARDS. STORM WATER BMP'S REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
2. THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
3. AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO APRIL 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE TOWN OF ROSS CODE AND REGULATIONS.

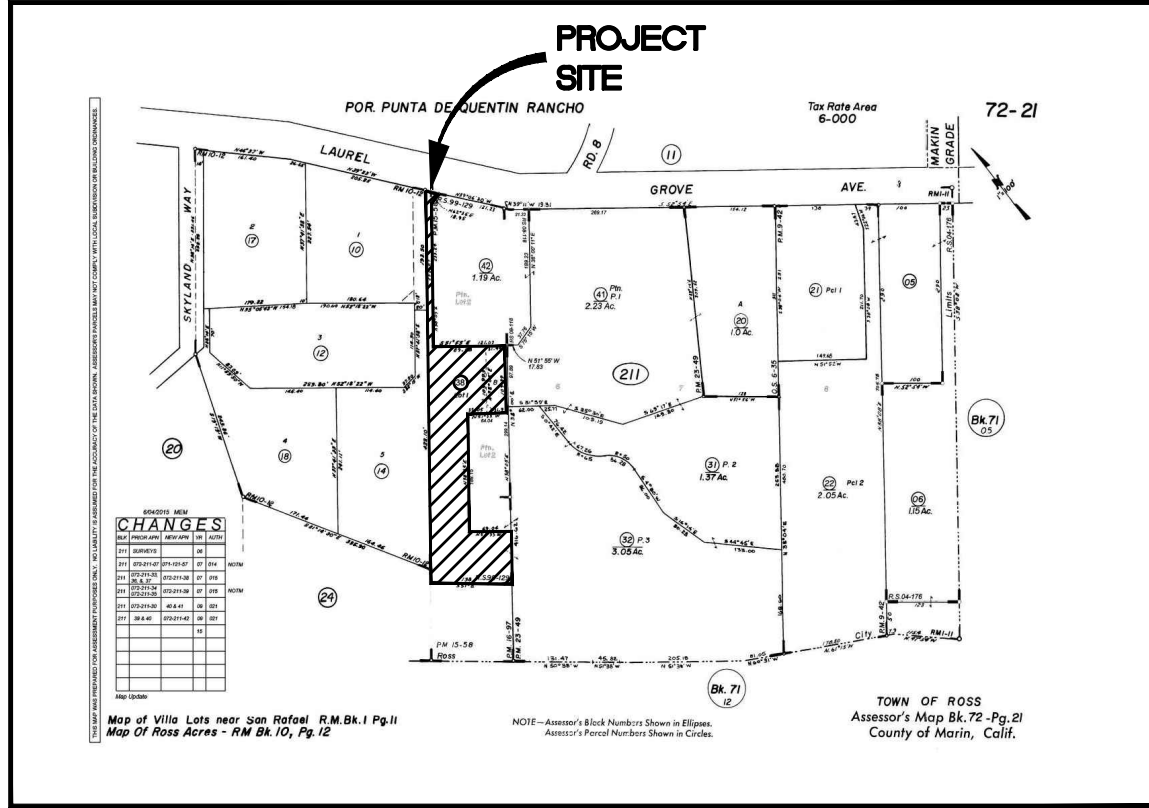
Year Round Requirements

1. DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMP'S REFERENCED OR DETAILED IN PRMD'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMP'S SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
3. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
4. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
5. DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINTS, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
6. ENTRANCES(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE CITY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
7. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
8. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
9. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE, AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	
<i>Bromus nollis</i> (BLANDO BROME)	40
<i>Trifolium hirtum</i> (HYKON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULPHUR	500
MULCH	4000
HYDRAULIC STABILIZING*	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER
*NON-ASPHALTIC, DERIVED FROM PLANTS	
10. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.	
11. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.	
12. ENERGY DISSIPATERS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY ERODIVE STORM WATER FLOW.	
13. SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.	
14. SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.	
15. A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.	
16. PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.	
17. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.	
18. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.	

Grading and Drainage Plan
for
Dwinells Residence
Ross, CA
072-211-38



AP Map

NO SCALE

Project Description

PARTIAL REMODEL OF EXISTING RESIDENCE, CONSTRUCTION OF A NEW PATIO, A NEW PDOL, LANDSCAPING, AND ASSOCIATED GRADING AND DRAINAGE IMPROVEMENTS.

Construction Schedule

TO BE DETERMINED

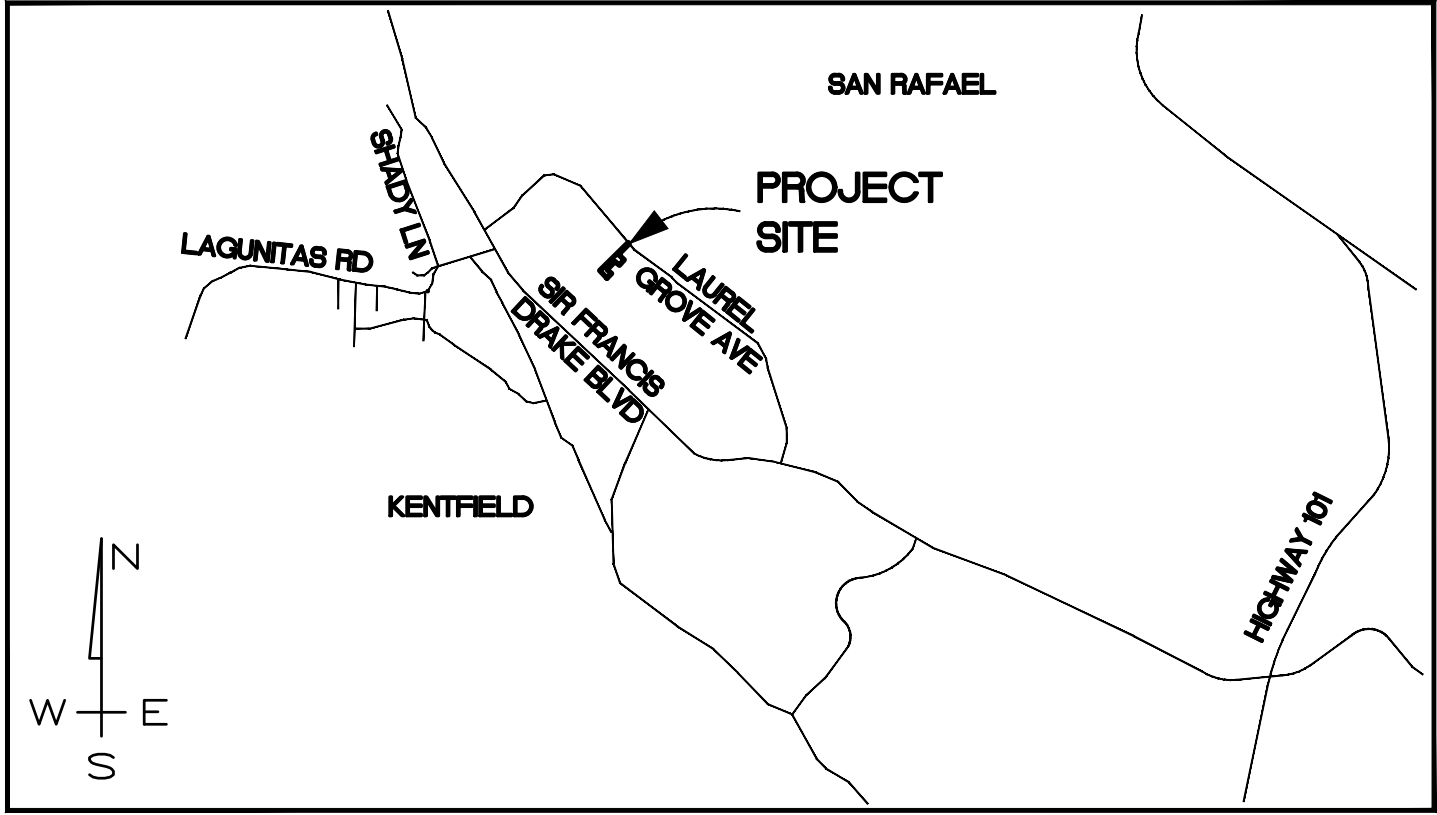
Survey Notes

TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM A TOPOGRAHICAL SURVEY BY DMG ENGINEERING, INC. DATED APRIL, 2021.

1. THE LOCATION OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAS BEEN DETERMINED FROM SURFACE EVIDENCE OF THEIR EXISTENCE AND/OR FROM INFORMATION OBTAINED FROM PUBLIC AND/OR UTILITY AGENCIES. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES, ANY INDIVIDUAL, COMPANY OR AGENCY USING THIS MAP MUST CONFIRM THE LOCATION OF ALL UNDERGROUND LINES OR STRUCTURES PRIOR TO COMMENCING ANY EXCAVATION.
2. THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE SPECIFIC REQUEST OF THE CLIENT(S) AND/OR THEIR CONSULTANT(S). THE SURVEYOR ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANY ONE OTHER THAN THE CLIENT(S) AND/OR CONSULTANTS FOR WHOM IT WAS PREPARED.
3. BOUNDARY NOTE: LOT 1, AS SHOWN UPON THAT CERTAIN MAP ENTITLED, "RECORD OF SURVEY, LOT LINE ADJUSTMENT BETWEEN BRUSH AND GILMORE/CANAGA", FILED JULY 27, 1999, IN BOOK 199 OF MAPS AT PAGE 129, MARIN COUNTY RECORDS.
4. BASIS OF ELEVATION: ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM. MAIN FINISH FLOOR AT THE LOCATION SHOWN, ELEVATION = 100.00 FEET.

Abbreviations/Legend

AB	AGGREGATE BASE	PDE	PRIVATE STORM DRAIN EASEMENT	---	---	---	PROPERTY LINE
AC	ASPHALT CONCRETE	PIV	PST INDICATOR VALVE	---	---	---	NEIGHBORING PROPERTY LINE
ANG	ANGLE	PVC	POINT OF CONNECTION	---	---	---	
BC	BEGIN CURVE	PSE	PRIVATE SEWER EASEMENT	---	---	---	
BD	BLOW-OFF	PT	POINT OF TANGENCY	---	---	---	
BSL	BUILDING SETBACK LINE	PUE	PUBLIC UTILITY EASEMENT	---	---	---	CENTERLINE
BSW	BACK OF SIDEWALK	PVC	POLYVINYLCHLORIDE PIPE	---	---	---	
BVC	BEGIN VERTICAL CURVE	PVT	PRIVATE VERTICAL CURVE	---	---	---	BUILDING LINE
BV	BOTTOM OF RETAINING WALL	R	RADIUS	---	---	---	
CB	CATCH BASIN	R/W	RIGHT OF WAY	---	---	---	GRAVEL DRIVEWAY
CCNC	CONCRETE	RCF	REINFORCED CONCRETE PIPE	---	---	---	
CPP	CORRUGATED PLASTIC PIPE	RET	RETAINING RETAINING WALL	---	---	---	EDGE OF PAVING
CR	CURB RETURN	RPBP	REDUCED PRESSURE BACK FLOW PREVENTER	---	---	---	
DI	DROP INLET	S.A.D.	SEE ARCHITECTURAL DESIGN	---	---	---	CONCRETE CURB & GUTTER
DIP	DUCTILE IRON PIPE	S=	SLOPE	---	---	---	
DWY	DRIVEWAY	SD	STORM DRAIN	---	---	---	STRAW WATTLE
EC	END CURVE	SDCQ	STORM DRAIN CLEANDUT	---	---	---	
EG	EXISTING GROUND	SDII	STORM DRAIN DROP INLET	---	---	---	
ELEV	ELEVATION	SDE	PUBLIC STORM DRAIN EASEMENT	---	---	---	SANITARY SEWER LINE & SIZE
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE	---	---	---	
ESMT	EASEMENT	S.L.D	SEE LANDSCAPE DESIGN	---	---	---	EXISTING OVER HEAD WIRES
EVC	END VERTICAL CURVE	S.S.D.	SEE STRUCTURAL DESIGN	---	---	---	
(E),EX.	EXISTING	SS	SANITARY SEWER	---	---	---	
FC	FACE OF CURB	SSCQ	SANITARY SEWER CLEANDUT	---	---	---	
FG	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE	---	---	---	EXISTING FENCE LINE (TYPE VARIES)
FS	FINISH SURFACE	STA	STATION	---	---	---	
GB	GRADE BREAK	STD	STANDARD	---	---	---	UNDERGROUND GAS LINE
HDPE	HIGH DENSITY POLYETHYLENE	SW	SIDEWALK	---	---	---	
HT	HEIGHT	SWE	SIDEWALK EASEMENT	---	---	---	
MDN	MARIN CO. SEWER DISTRICT	TC	TOP OF CURB	---	---	---	DRIP LINE OF TREE OR BRUSH LINE
MMWD	MARIN MUNICIPAL WATER DISTRICT	TG	TOP OF GRATE	---	---	---	
PAE	STANDARD CITY MONUMENT PRIVATE ACCESS, MAINTENANCE, DRAINAGE, SIDEWALK, AND UTILITY EASEMENT	TW	TOP OF RETAINING WALL	---	---	---	
PC	POINT OF CURVATURE	TYP	TYPICAL	---	---	---	SURFACE FLOW DIRECTION
PCC	PORTLAND CEMENT CONCRETE	UNO	UNLESS NOTED OTHERWISE	---	---	---	
		UNO	UNLESS NOTED OTHERWISE	---	---	---	
		WL	WATER LINE	---	---	---	PROPOSED STORM DRAIN
		WM	WATER METER	---	---	---	
		WS	WATER SERVICE	---	---	---	
		VC	VERTICAL CURVE	---	---	---	PROPOSED ROOF DRAIN



Location Map

NO SCALE

Owner

ADAM AND KELLY DWINELLS
98 LAUREL GROVE
ROSS, CA 94904

Contact

DVC GROUP, INC.
513 CENTER STREET
HEALDSBURG, CA 95448
(707)-395-0968

Index of Drawings

- C1 COVER SHEET
C2 GRADING AND DRAINAGE PLAN
C3 EROSION CONTROL PLAN AND DETAILS
C4 DETAILS

Earthwork

	CUT	FILL	NET
SITE	334 CY	179 CY	155 CY CUT
TOTAL	334 CY	179 CY	155 CY CUT <OFFHAUL>

1. THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY. ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR BENCHING, KEYWAYS, ETC.
2. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
3. NO EXPANSION/CONTRACTION FACTORS HAVE BEEN APPLIED. EXPANSION AND/OR CONTRACTION MAY BE EXPERIENCED DUE TO ACTUAL FIELD CONDITIONS.
4. ANY EXCESS MATERIAL SHALL BE DISPOSED OF ONSITE UNDER THE DIRECTION OF THE PROJECT SOILS ENGINEER AND COORDINATED WITH THE PROJECT CIVIL ENGINEER.
5. APPROXIMATE DISTURBED AREA OF SITE = 0.20 ACRES.

NOTES:

- ASSUME 9" FROM (N) CONCRETE FS TO SG
- ASSUME DEPTH OF (N) PDOL 5' FROM RIM ELEVATION

REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
PLANNING • ENGINEERING • C.M.
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968



Daniel John Hughes
DANIEL JOHN HUGHES
PCE 60225

DWINELLS RESIDENCE
COVER SHEET
072-211-38
98 LAUREL GROVE AVENUE
ROSS, CA

FEBRUARY 3, 2022

JOB NO.

90-21

SHEET NO.

C1

OF 4 SHEETS

1. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, WALLS AND FOUNDATION DETAILS.
2. DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
3. INSTALL RETAINING WALL AND FOUNDATION BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS. BACKDRAINS SHALL DRAIN THROUGH 3"Ø WEEP HOLES AT 5' O.C. MIN.
4. DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
5. ALL PAVED AND UNPAVED FINISHED SURFACES SHALL HAVE POSITIVE DRAINAGE.
6. ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
7. GRADING SHALL NOT BE PERMITTED TO OCCUR BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/DIRECTOR OF PUBLIC WORKS.
8. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND CONFIRMING THAT THE PROPOSED IMPROVEMENTS MEET THE COUNTY OF MARIN'S REQUIREMENTS. SHOULD DISCREPANCIES BE FOUND, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER FOR RESOLUTION.
9. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL EXISTING STORM DRAIN SYSTEM DRAIN FACILITIES, CLEAN OUT, AND VERIFY ALL ARE FUNCTIONING PROPERLY. MAKE ANY NECESSARY REPAIRS AND/OR UPGRADES TO ENSURE ALL FUNCTION PROPERLY.

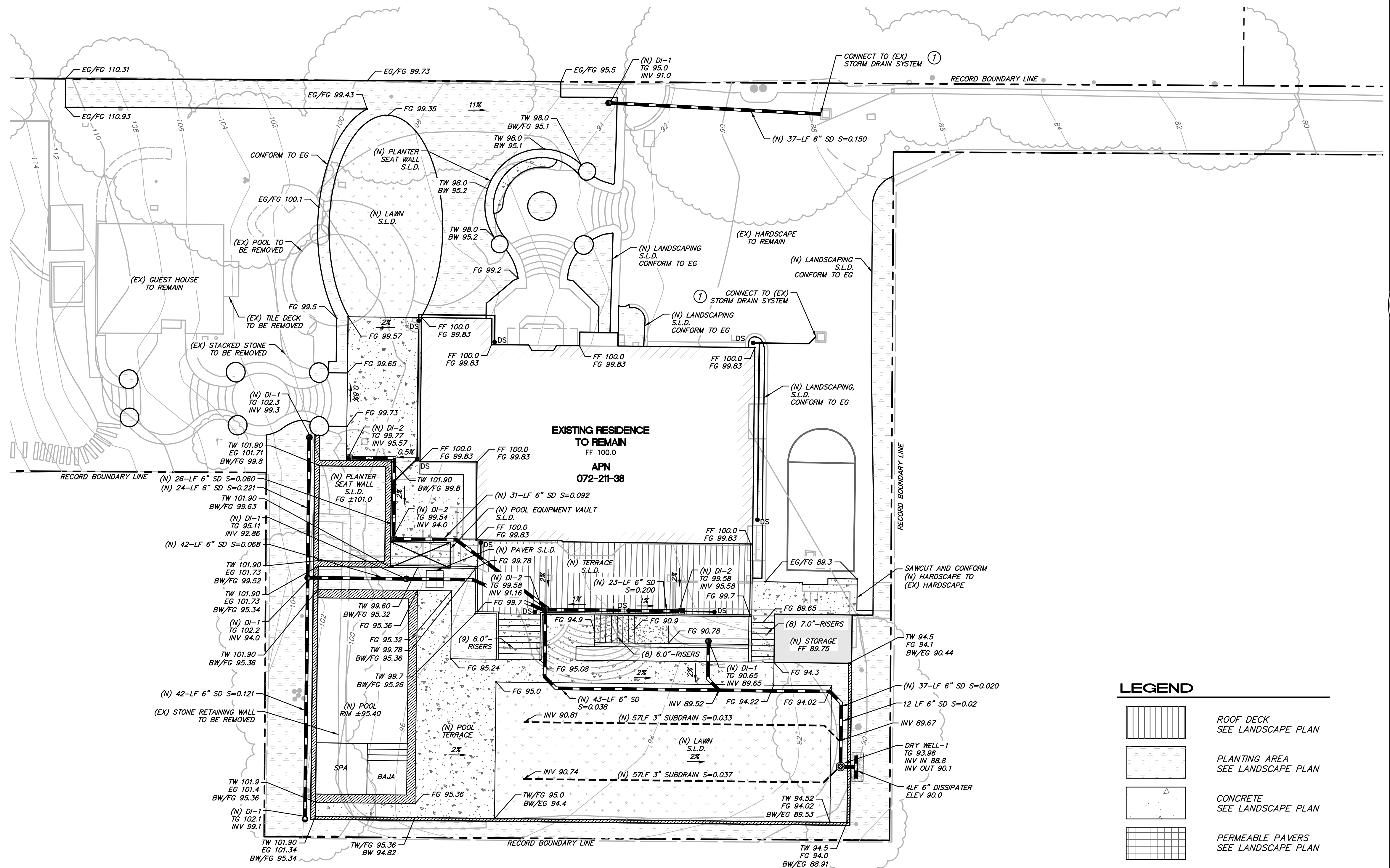
① CONNECT TO (EX) STORM DRAIN INLET. INLET AND SYSTEM SHALL BE ANALYZED PRIOR TO THE START OF CONSTRUCTION TO ENSURE INLET AND SYSTEM IS IN GOOD CONDITION AND CAN CLEARLY OPERATE, ENSURE INVERT ELEVATIONS CAN BE MET TO ACHIEVE A MINIMUM OF 1' COVER OVER STORM DRAIN PIPES AND PROPERLY/POSITIVELY FLOW. SHOULD ANY ISSUES BE FOUND THAT MAY IMPACT THE PROPER INSTALLATION AND/OR FUNCTION, CIVIL ENGINEER SHALL BE CONTACTED TO COORDINATE.

1. PER CITY OF ROSS REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLY WITH THE BASMAA POST-CONSTRUCTION MANUAL. PROJECTS THAT CREATE OR REPLACE 2,500 SF OR MORE OF IMPERVIOUS SURFACE ARE REQUIRED TO IMPLEMENT AT LEAST ONE MEASURE TO REDUCE RUNOFF. FOR EXAMPLE, DISPERSE RUNOFF TO LANDSCAPE OR USING PERVIOUS PAVEMENTS. MORE THAN 50% OF IMPERVIOUS SURFACE IS BEING CREATED/REPLACED, THEREFORE TWO BEST MANAGEMENT PRACTICES ARE PROPOSED TO ACCOUNT FOR THE INCREASE IN RUNOFF PROVIDING TREATMENT AND RETENTION (DISPERSE RUNOFF TO VEGETATED AREAS AND DRY WELLS AND DISSIPATORS)..

2. ADDITIONAL REQUIREMENTS ARE AS FOLLOWS:

- LIMIT CLEARING, GRADING AND SOIL COMPACTION.
- MINIMIZE IMPERVIOUS SURFACES.
- CONSERVE NATURAL AREAS OF THE SITE (GRADING LIMITS LIMITED TO BUILDING ENVELOPE).
- PROTECT SLOPES AGAINST EROSION (EROSION CONTROL).

PRE- AND POST- CONSTRUCTION PERVIOUS/IMPERVIOUS AREAS (WITHIN LOT LIMITS)				
NOTE: TOTAL PARCEL AREA = 43,523 SF ; 0.909 AC	IMPERVIOUS AREA (SF)	% OF LOT	PERVIOUS AREA (SF)	% OF LOT
PRE-CONSTRUCTION	10,469 SF	24.0%	33,054 SF	76.0%
POST-CONSTRUCTION	11,832 SF	27.2%	31,691 SF	72.8%
TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF)	2,989 SF			




ROOF DECK
SEE LANDSCAPE PLAN


PLANTING AREA
SEE LANDSCAPE PLAN


CONCRETE
SEE LANDSCAPE PLAN


PERMEABLE PAVERS
SEE LANDSCAPE PLAN


RETAINING WALL
SEE DESIGN BY OTHERS


TREE TO BE SAVED


TREE TO BE REMOVED

DI-1	6" DIA. ROUND ATRIUM GRATE, OR APPROVED EQUAL
DI-2	6" DIA. ROUND DECORATIVE GRATE, OR APPROVED EQUAL

ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.
 ALL 3" SUBDRAIN PIPE TO BE PVC SCHEDULE 40.
 ALL ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40 W/MIN
 SLOPE OF 1.5%.

SCALE: 1" = 10'

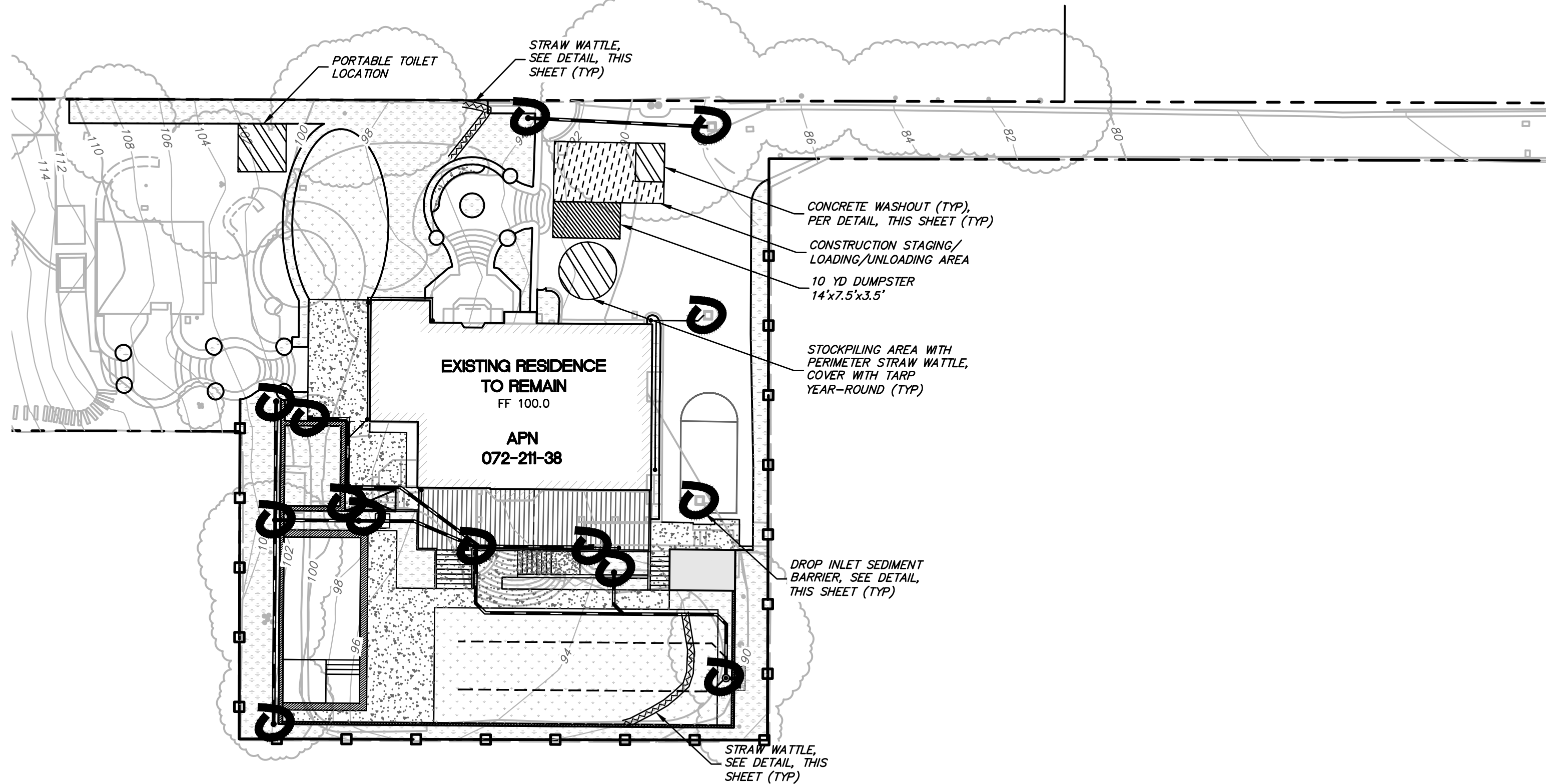
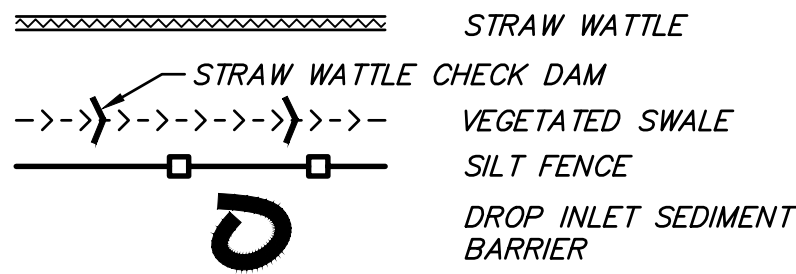


(GRAPHIC SCALE IN FEET)

NOTES:

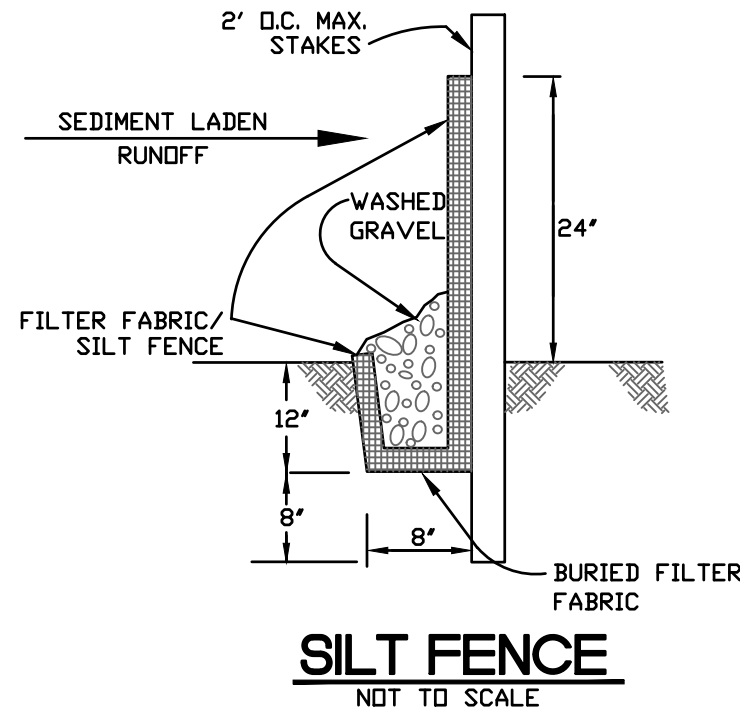
1. THE GEOTECHNICAL ENGINEER MUST MONITOR EROSION AND SEDIMENT CONTROL MEASURES ON A MONTHLY BASIS, AS WELL AS BEFORE AND AFTER A RAIN EVENT. MONTHLY MONITORING REPORTS FROM THE GEOTECHNICAL ENGINEER SHALL BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE PLACED ON EXPOSED AREAS WHEN RAIN IS WITHIN A 5 DAY FORECAST.

LEGEND

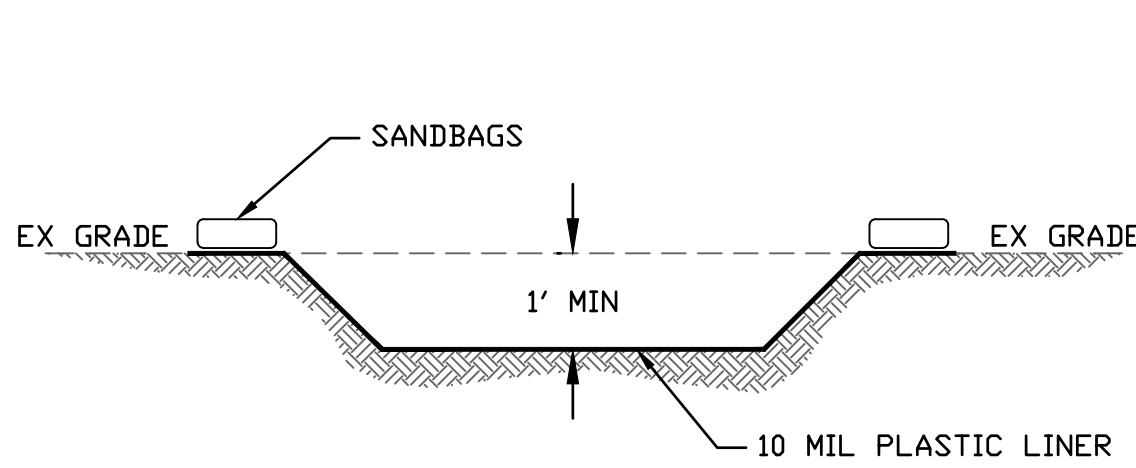


EROSION CONTROL PLAN

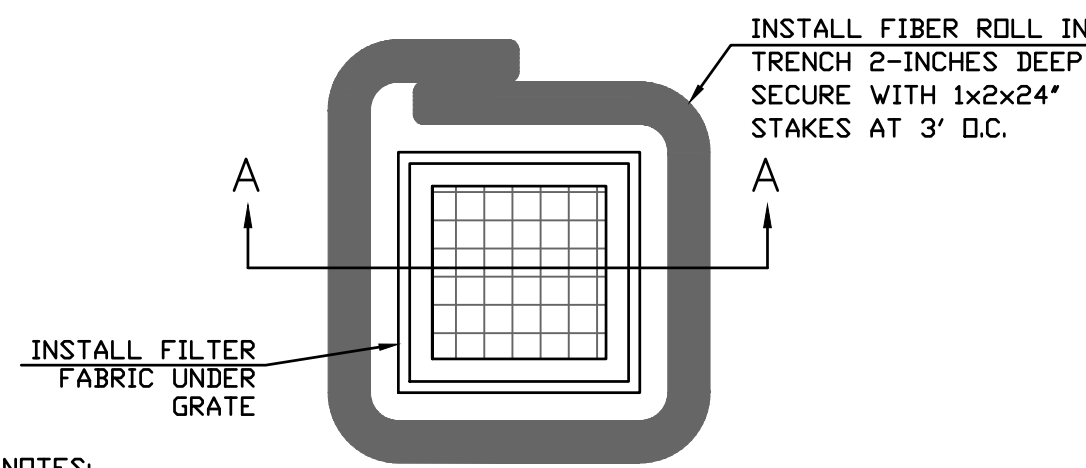
SCALE: 1" = 20'
(GRAPHIC SCALE IN FEET)



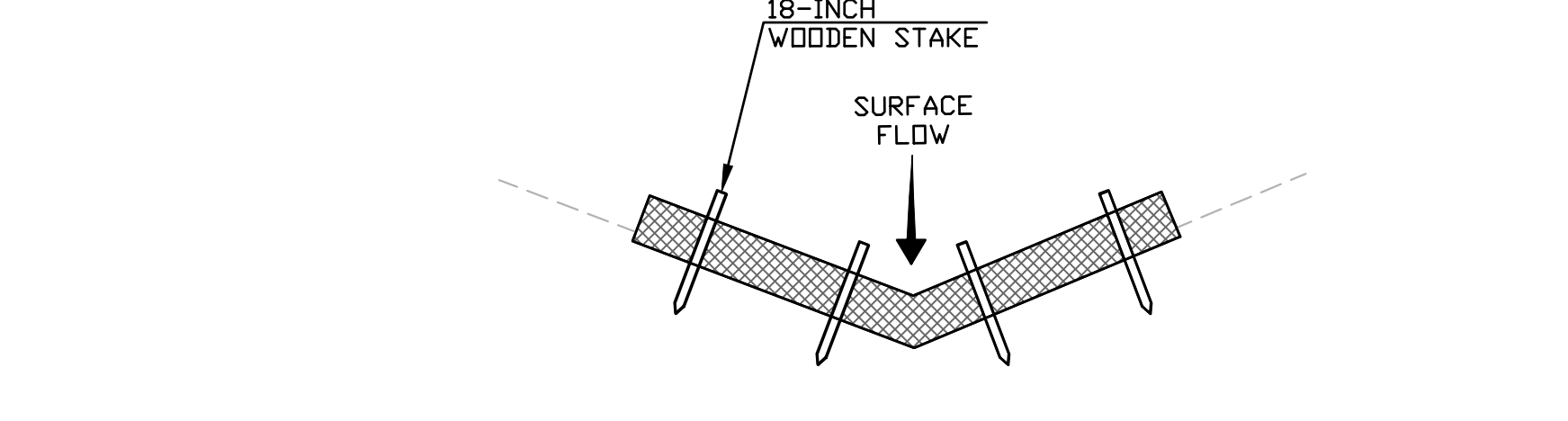
SILT FENCE
NOT TO SCALE



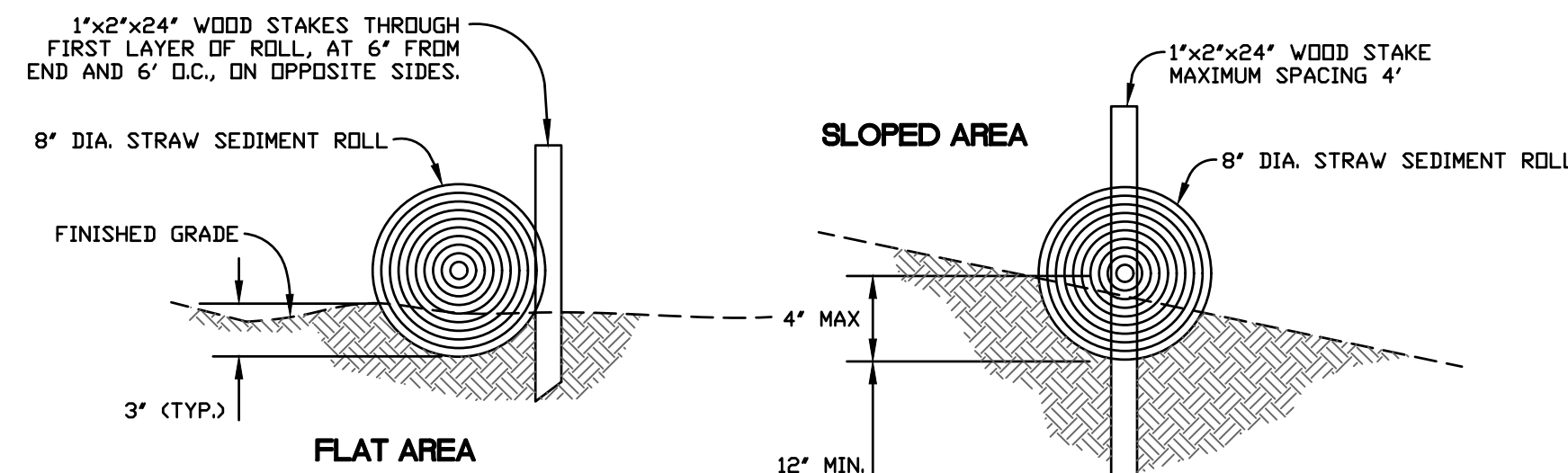
CONCRETE WASHOUT DETAIL
NOT TO SCALE



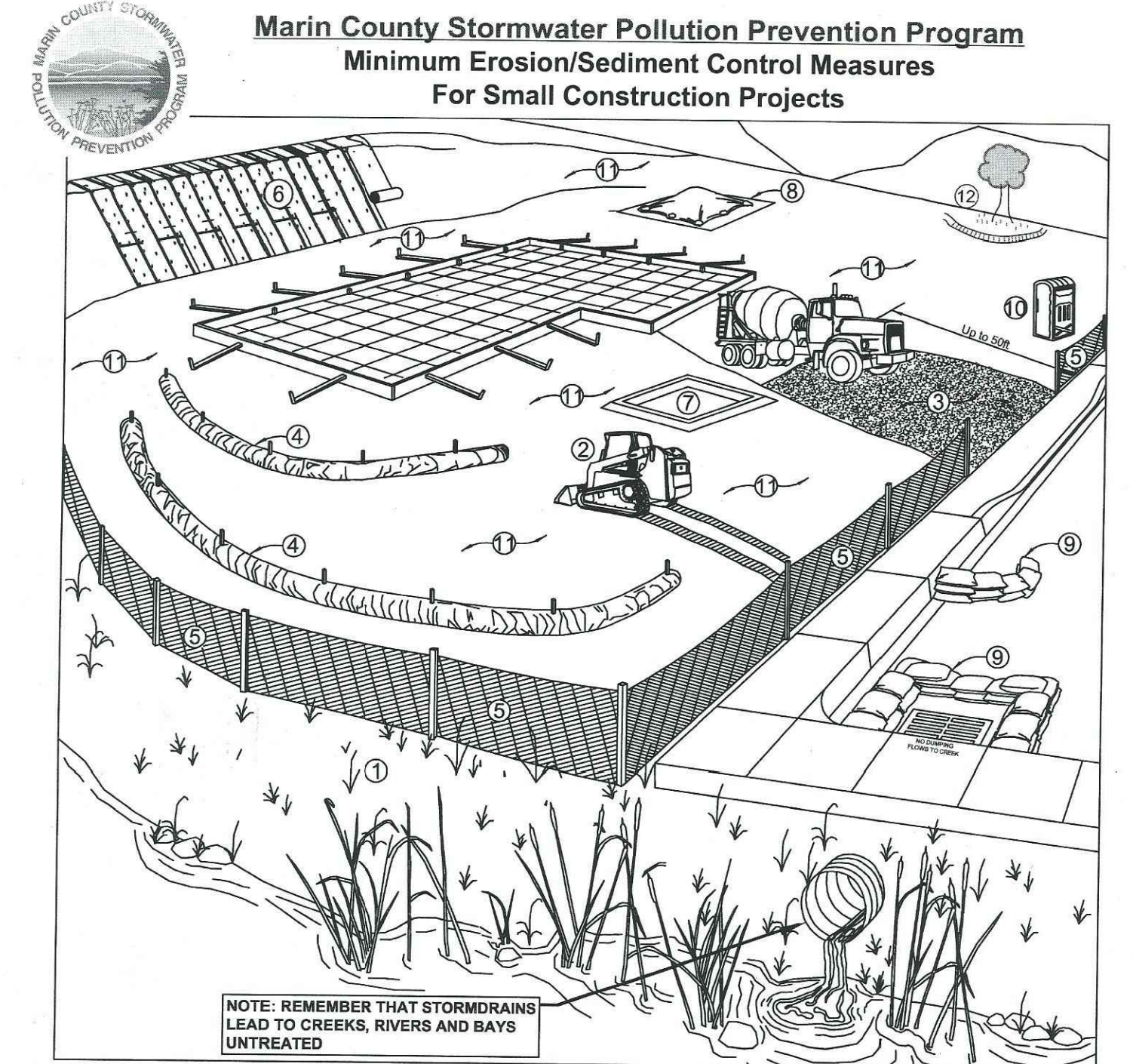
DROP INLET SEDIMENT BARRIER
NOT TO SCALE



STRAW WATTLE CHECK DAM DETAIL
NOT TO SCALE



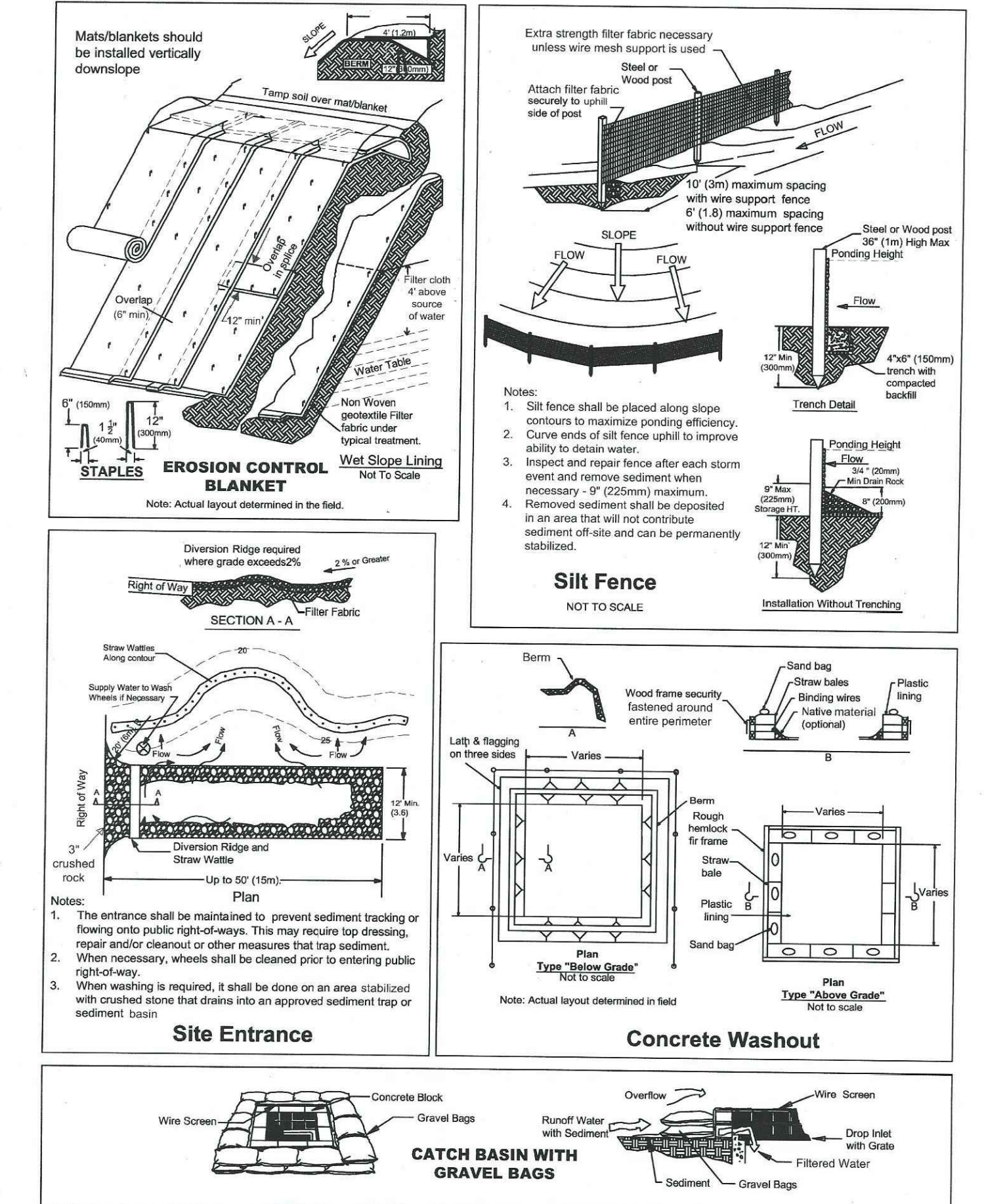
STRAW WATTLE DETAIL
NOT TO SCALE



- (1) Check with your local Planning and Public Works departments for creek setback requirements. Grading and/or building may be limited or prohibited within creekside buffers.
- (2) During grading phase, track-walk up and down slopes (not parallel to them).
- (3) "Stabilize site entrance and temporary driveway - use 3" crushed rock up to 50' (or as far as possible) to prevent tracking soil offsite.
- (4) "Use straw wattles along contours with 2:1 slopes or steeper, keyed into ground at least 3" deep (typically 25' to 50' apart).
- (5) "Install silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance.
- (6) "Install erosion control blankets (or equivalent) on any disturbed site with 2:1 slopes or greater.
- (7) "Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove at end of project.
- (8) Cover all stockpiles and landscape material and berm properly with straw wattles or sand bags. Keep behind silt fence, away from water bodies.
- (9) "Use pea-gravel bags (or similar product) around drain inlets located both onsite and in gutter as a last line of defense.
- (10) Place port-a-potty near stabilized site entrance, behind the curb and away from storm drain inlets and water bodies.
- (11) Cover all exposed soil with straw mulch and tackifier (or equivalent).
- (12) Existing vegetation should be preserved as much as possible. Revegetate areas of disturbed soil/vegetation as soon as practical.

Note: Schedule construction activities to reduce erosion potential. Sediment and erosion control shall be continually maintained throughout the rainy season (October 1st - April 30th) and must remain effective through the construction and landscape phases. Inspect and maintain BMPs before and after rain events. *See reverse for detail drawings. Visit www.mcsteppp.org for more information on construction site management.

TYPICAL DETAILS



REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
PLANNING • ENGINEERING • CM
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968



Daniel John Hughes
RCE 60225

DWINELLS RESIDENCE
EROSION CONTROL PLAN
072-21-38
98 LAUREL GROVE AVENUE
ROSS, CA

FEBRUARY 3, 2022
JOB NO. 90-21
SHEET NO.

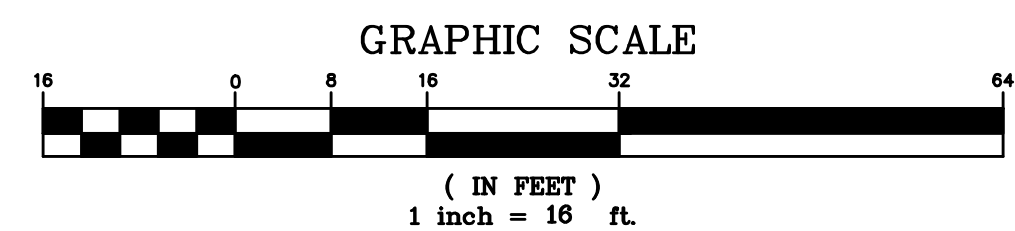


C4

OF 4 SHEETS

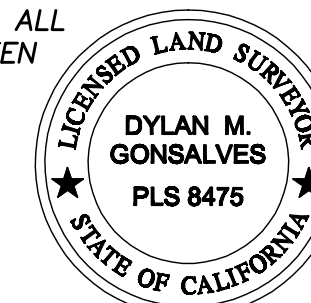


MARIN COUNTY — CALIFORNIA
SCALE: 1 INCH = 16 FEET APRIL 2021



4-7-2021

DATE



30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: (925) 787-0463
FAX: (925) 287-8503

DMG ENGINEERING, INC.
RESTRICTED ENGINEERING DRAWINGS

The information, plans, designs, notes and arrangements shown on this drawing are confidential and may not be reproduced in whole or in part without the expressed written permission of DMG ENGINEERING, Inc. Drawings and information that is specifically subject to verification and/or change. The engineer makes no claim for accuracy of conceptual information or of information supplied by others.

[illegible]

**TOPOGRAPHIC AND
BOUNDARY SURVEY**
98 LAUREL GROVE AVENUE

TOWN OF ROSS - CALIFORNIA
SCALE: 1 INCH = 16 FEET
APRIL 2022

SHEET 1
OF 1 SHEET(S)
ORIG.DWG: 4-7-2021
REV.DWG: _____
JOB: 21-18

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input checked="" type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 072-211-38

Project Address: 98 Laurel Grove Avenue

Property Owner: Adam & Kelly Dwinells

Owner Mailing Address (PO Box in Ross): PO Box 583

City/State/Zip: Ross, CA 94957 Owner's Phone: 415.676.7917

Owner's Email: adamdwinells@gmail.com; kellydwinells@gmail.com

Applicant: Polsky Perlstein Architects

Applicant Mailing Address: 469B Magnolia Avenue

City/State/Zip: Larkspur, CA 94939 Applicant's Phone: 415.927.1156x304

Applicant's Email: elizabeth@polskyarchitects.com

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

To Be Completed by Town Staff:

Date Received: _____

Application No.: _____

Zoning: _____

Planning 5300 _____

Tree Permit 5305 _____

Fee Program Administration 5315-05 _____

Record Management 5316-05 _____

Record Retention 5112-05 _____

Technology Surcharge 5313-05 _____

TOTAL FEES: _____

Date paid: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLYDescribe the Proposed Lot Line Adjustment: _____

Existing Parcel Size(s)

Parcel 1:

Parcel 2:

Adjusted Parcel Size(s)

Parcel 1:

Parcel 2:

PARCEL ONE**PARCEL 2**

Owners Signature: _____

Owner's Signature: _____

Date: _____

Date: _____

Owner's Name (Please Print): _____

Owner's Name (Please Print): _____

Assessor's Parcel Number: _____

Assessor's Parcel Number: _____

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLYPlease describe the proposed amendment: _____
_____**CERTIFICATION AND SIGNATURES**

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: _____

Date: _____

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: _____

Date: _____

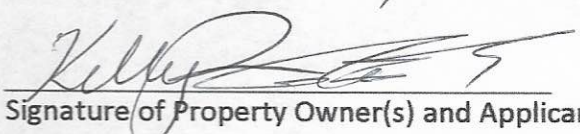
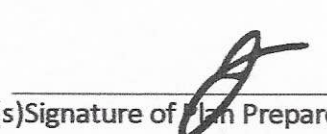
SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

98 Laurel Grove, Ross, California on 2/17/22
 
 Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
Project Landscape Architect _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
Project Engineer _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Written Project Description – *may be attached.*

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

Selected demolition of walls of the existing home; new additions and remodel of the existing home; replace all doors and windows; new plumbing, electrical, and HVAC; replace doors and windows of existing guest house; (N) trellis' at exterior terraces; (N) landscaping; (N) pool within side yard setbacks; (N) storage shed at driveway level within side yard setbacks.

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Due to the unusual shape of the lot and the setbacks, the existing main house & guest house occupy most of the non-setback area in the rear and side yards except for the undeveloped uphill rear yard. This leaves only a small portion of the front yard as conforming to put a pool or a storage shed into.

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

Many properties in Ross enjoy pools and adjoining patios and there are many properties with existing non-conformities that prevent building a pool within the conforming lot area. Granting the variance would allow the owner's to enjoy property rights that are common for surrounding neighbors.

Granting the variance for the shed would allow the owner to house their garbage cans in an enclosure rather than leaving them in the open air along the house. The existing garage does not allow space for the cans in addition to two parked cars.

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

While the pool would be into the setback, the portion of the neighboring property it would encroach towards is undeveloped

hillside. There are no buildings in this area that would be hindered by the addition of this pool and the neighbors have voiced

their support.

Due to the grade change between the existing driveway and lawn, the shed height would be minimized on two sides. Leaving the

garbage cans in the open at the driveway would be more injurious to the neighboring properties than if they were enclosed in the

the proposed shed.