



The Advisory Design Review (ADR) Group considers applications and matters affecting the design of buildings, structures, landscaping, and other site improvements in the Town of Ross. The ADR Group makes non-binding advisory recommendations regarding consistency of projects with the Design Review criteria and standards to the Town Planner and Town Council.

Agenda Item No. 4c.

Staff Report

Date: June 21, 2022
To: Advisory Design Review (ADR) Group
From: Nishant Seoni, Planner
Subject: 24 Allen

Recommendation

That the Advisory Design Review Group provide a formal recommendation to the Town Council regarding the merits of the project consistent with the Design Review criteria and standards of Ross Municipal Code Section 18.41.100 (see **Attachment 1**).

Property Address: 24 Allen Avenue
A.P.N.: 073-261-38
Applicant: Imprints Landscape Architecture
Property Owner: Warren and Robyn Luhning
Zoning: R-1:B-7.5
General Plan: ML (Medium Low Density)
Flood Zone: AE (High Risk)

Project Summary: The applicant requests approval of Design Review to remodel and relocate an existing deck; construct a new in-ground pool; construct a patio, arbor, fire pit, pool equipment room, and recreation court; and install new landscaping. A Variance is required to allow the proposed renovation and new construction to deviate from setback standards. The lot has an approved permit for an Accessory Dwelling Unit (ADU) that is not part of the proposed project.

Project Data

This project consists of landscape and hardscape changes only which will not affect the project data table except in the impervious surface coverage.

	Code Standard	Existing	Proposed
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	2,309 SF (21%)	4,308 SF (39.2%)

Background

The project site is a developed 10,991 square foot lot on the east side of Allen Avenue. The lot has an average slope of 2.084%. The lot is not a Hillside Lot as it has an average slope of less than 30%. The property contains an existing 1,989 square foot single-family residence with deck and attached garage. An approved ADU is currently being constructed on the southwest portion of the lot and is not part of the subject application. Access to the site is provided via Allen Avenue, and outdoor parking is provided on an existing driveway. The existing home and deck are nonconforming with respect to the minimum required 40-foot rear yard setback and 15-foot side yard setback.



The lot has an approved Administrative Permit for a 798 square foot ADU (ADU21-005). This ADU is not subject to review as part of the proposed project.

Project Description

The project proposes to remove a portion of the existing deck and relocate it; construct a new in-ground pool; construct a patio, arbor, fire pit, pool equipment room, and recreation court in the; and modify landscaping. Some existing fruit trees will be removed and the lawn at the southeast side of the house will be removed and replaced with turf. Construction will occur primarily at the rear of the house. The proposed project includes a 166 square foot bio-retention basin to offset an increase in impervious surface area on the site. The pool equipment room will

be located on the north side of the house, and a proposed bocce court and stone pavers will be located on the south side of the house. The proposed pool and pool equipment room will encroach into existing setbacks.

Project application materials are included as follows: Project Plans as **Attachment 2**; Project Application as **Attachment 3**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

Design Review

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per Section 18.41.100 are included as **Attachment 1**.

Pursuant to Town Council Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits.

Pursuant to Section 18.41.20 (a), the proposed project requires a Design Review Permit for an increase in impervious surface of over 1,000 feet and grading or filling in excess of 50 cubic yards.

If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

Variances

Where practical difficulties, unnecessary hardships and results inconsistent with the general purpose of the zoning code may result from the strict application of certain provisions thereof, variances, exceptions and adjustments may be granted, by the Town Council in appropriate cases. Variances shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. Any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated. A variance shall not be granted for a lot of property which authorizes a use or activity which is not otherwise expressly authorized by the zone regulation governing the lot or property.

In granting any variance, exception or adjustment under the provisions of Chapter 18.39, the Town Council shall designate such conditions in connection therewith as will in its opinion, secure substantially the objectives of the regulation or provision to which the variance, exception or adjustment is granted, as to light, air, and the public health, safety, comfort, convenience and general welfare. In order to grant any variance, exception or adjustment, the findings of the Town Council shall be that the qualifications under Section 18.48.020 apply to the land, building, or use for which variance, exception or adjustment is sought, and that the variance shall be in harmony with the general purpose of this title.

If Council intends to approve the Variance, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **That there are special circumstances or conditions applicable to the land, building or use referred to in the application. (Section 18.48.020 (1))**
- **That the granting of the application is necessary for the preservation and enjoyment of substantial property rights. (Section 18.48.020 (2))**
- **That the granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood. (Section 18.48.020 (3))**

Public Notice

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date pursuant to the Ross Municipal Code.

Public Comment

At the time of writing the staff report, one email was received from the property owners at 34 Allen Avenue in support of the project.

Attachments

1. Ross Municipal Code Section 18.41.100, Design Review Criteria and Standards
2. Project Plans
3. Project Application

ATTACHMENT 1

Chapter 18.41

DESIGN REVIEW

Sections:

18.41.010	Purpose.
18.41.020	Improvements subject to design review.
18.41.030	Chapter application.
18.41.040	Submittal requirements.
18.41.050	Review authority.
18.41.060	Town Council review.
18.41.070	Approval--Special conditions and findings.
18.41.080	Denial of incomplete or inactive applications.
18.41.090	Administrative review.
18.41.100	Design review criteria and standards.
18.41.110	Noncompliance.
18.41.120	Emergency situations.

18.41.010 Purpose. (a) The “small town” feel and the serene, quiet character of its neighborhoods are special qualities to the town. The existing scale and quality of architecture, the low density of development, the open and tree-covered hills, winding creeks and graciously landscaped streets and yards contribute to this ambience and to the beauty of a community in which the man-made and natural environment co-exist in harmony.

(b) This chapter is intended to guide new development to preserve and enhance these special qualities of Ross and to sustain the beauty of the town’s environment. Other specific purposes include the following:

(1) Provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area. Promote high-quality design that enhances the community, is consistent with the scale and quality of existing development and is harmoniously integrated with the natural environment;

(2) Preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town’s neighborhoods through maintaining historic design character and scale, preserving natural features, minimizing overbuilding of existing lots and retaining densities consistent with existing development in Ross and in the surrounding area;

(3) Preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety. Ensure that site design and intensity recognize site constraints and resources, preserve natural landforms and existing vegetation, and prevent excessive and unsightly hillside grading;

(4) Enhance important community entryways, local travel corridors and the area in which the project is located;

(5) Promote and implement the design goals, policies and criteria of the Ross general plan;

(6) Discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression;

(7) Preserve buildings and areas with historic or aesthetic value and maintain the historic character and scale. Ensure that new construction respects and is compatible with historic character and architecture both within the site and neighborhood;

(8) Upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site.

(9) Preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development to reduce flooding, streambank erosion, sediment in stormwater drainage systems and creeks, and minimize damage to public and private facilities. Ensure that existing site features that naturally aid in stormwater management are protected and enhanced. Recognize that every site is in a watershed and stormwater management is important on both small and large sites to improve stormwater quality and reduce overall runoff.

(c) This chapter establishes procedures and criteria for the review of buildings, structures and improvements necessary to meet this purpose. (Ord. 619 (part), 2010; Ord. 514 §1(part), 1993).

18.41.020 Improvements subject to design review.

(a) Design review is required for the following projects:

(1) All new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area, including enclosing existing open areas.

(2) All building relocations.

(3) Any increase to the existing roof height.

(4) All fences, gates or walls, or a combination of these, greater than forty-eight inches in height in any yard adjacent to the street or right-of-way.

(5) The construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.

(6) New retaining walls with a cumulative total of more than one hundred linear feet.

(7) Any sports court fences over 6 feet in height and for gate columns and other decorative fence elements that exceed the permitted fence height limits.

(8) Any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, as determined by the Planner.

(9) Any activity or project resulting in more than fifty cubic yards of grading or filling, whether or not a building permit is required.

(10) Any construction, improvements, grading/filling or other site work within twenty-five feet of a creek, waterway or drainageway, whether or not a building permit is required with the exception of creek projects in accordance with Section 18.41.020(b)(4) of this Code.

(11) Any project resulting in over 1,000 square feet of new impervious landscape surface, whether or not a building permit is required.

(12) Redevelopment, Rehabilitation, and/or renovation of existing landscaping over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood, whether or not a building permit is required.

(b) Design Review is not required for the following:

(1) Repainting existing structures involving no exterior remodeling resulting in additions, extensions or alterations.

(2) Accessory Dwelling Units in Accordance with Chapter 18.42 of this Code.

(3) Attic improvement permitted under Chapter 18.46 unless the project involves exterior work within twenty-five feet of a creek, waterway or drainageway, or if the attic project is associated with a larger project that requires design review.

(4) Creek stabilization and/or stream bank repair and alteration permits subject to issuance of a building permit and local, state, and federal permitting approval.

(5) Improvement of an existing basement in accordance with Chapter 18.45 of this Code.

(6) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in accordance with Section 18.41.090(d) of this Chapter. (Ord. 704 (part), 2020; Ord. 696 (part), 2019; Ord. 624 (part), 2011; Ord. 619 (part), 2010; Ord. 604 (part), 2008; Ord. 578 §7, 2003; Ord. 575 (part), 2003; Ord. 558 (part), 2001; Ord. 557 (part), 2001; Ord. 544 (part), 1999; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.030 Chapter application. No work shall be started or authorized on any matter which is subject to design review on any lot located within the town until a design review application is approved, unless written approval for the work is first given by the town planner. (Ord. 514 §1(part), 1993).

18.41.040 Submittal requirements. Every design review application shall include drawings, plans, specifications and graphic or written material as required by the town planner or town council to clearly and accurately describe the proposed work, its effect on the environment and its relationship to existing improvements. The applicant shall pay a fee as set by the town council. All drawings and plans shall show both existing and proposed elevations and clearly identify all new construction and label all materials as new or existing. A structural engineer's report on the condition of the existing structure and its ability to meet building code requirements without additional modifications shall be prepared as required by the town planner or town council. An extensive termite, dry rot damage report shall be prepared, as required by the town planner or town council, which shall not only identify areas of damage but shall explore to determine the full extent of the damage, both exposed and concealed. Complete photos and a videotape of the structure's exterior shall be provided as required by the town planner or town council. A project manager, hired by the town at the applicant's expense, shall monitor demolition/construction activity as deemed necessary by the town building official. The applicant shall submit a proposed erosion control and sediment control plan, stormwater control plan, and/or stormwater facilities operation and maintenance plan if required by chapter 12.28 of the town code. Standard submittal requirements will be prepared by the town planner. Additional material may be required by the town planner. (Ord. 657 (part), 2014; Ord. 604 (part), 2008; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.050 Review authority. The town council will conduct the design review provided for by this chapter, except as otherwise provided in this chapter. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.060 Town Council Review. Except as otherwise provided in this chapter, the town council will decide design review applications at a public meeting. The town council will review the application at its next available meeting following a determination by the town planner that the application is complete. The town clerk will mail written notice at least ten calendar days prior to the hearing to the applicant and to all owners of property within three

hundred feet from the exterior boundaries of the project site. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.070 Approval--Special conditions and findings.

(a) The town council may approve, conditionally approve or deny an application for design review. The town council shall include conditions necessary to meet the purpose of this chapter and for substantial compliance with the criteria set forth in this chapter. The council may adopt by resolution standard conditions for all projects to meet.

(b) The town council shall make the following findings in approving any project:

(1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.

(2) The project is in substantial compliance with the design criteria of Section 18.41.100.

(3) The project is consistent with the Ross general plan and zoning ordinance.

(c) The town council shall deny any project for which it cannot make the above findings required in this section. (Ord. 514 §1(part), 1993).

18.41.080 Denial of incomplete or inactive applications. Consistent with state law, the town planner may administratively deny without prejudice any application which remains incomplete or inactive for a period of greater than ninety days or is continued at the applicant's request for more than sixty days. (Ord. 514 §1(part), 1993).

18.41.090 Administrative review. The town planner may administratively approve, conditionally approve or deny the following without notice or a public hearing: (a) An amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulations. Such administrative review may include, but is not limited to, the addition of skylights, greenhouse windows and other minor changes from approved design review plans. (b) Design review of fences pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (c) An application that involves alteration of more than twenty-five percent of the exterior walls, but less than twenty-five percent of the exterior wall coverings of a residence pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (d) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in consultation with the Town's Advisory Design Review Group. (Ord. 704 (part), 2020; Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.100 Design review criteria and standards. This section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

(a) Preservation of Natural Areas and Existing Site Conditions.

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridgelines and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion.

(3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site.

There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

(c) Minimizing Bulk and Mass.

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting.

Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening.

Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a “walled-in” feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate. Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views.

Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning. Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the

same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety.

Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy.

Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations.

Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved

design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District.

The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock.

Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area.

Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) Setbacks.

All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) Low Impact Development for Stormwater Management.

Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) Maximize Permeability and Reduce Impervious Surfaces. Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are

encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

(2) Disperse Runoff On Site. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) Include Small-Scale Stormwater Controls and Storage Facilities. As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or “green roofs”, catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 696 (part), 2019; Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

18.41.110 Noncompliance. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. Such violation will be subject to the enforcement penalties procedures of Chapter 18.64 of this code. (Ord. 514 §1(part), 1993).

18.41.120 Emergency situations. If a condition exists which requires immediate action to protect public health, safety and welfare, the town building official may, after consultation with the town planner, grant emergency approval to temporarily correct or ameliorate such condition without submitting the matter to the Town Council for design review approval or posting written notice. Permanent corrective measures shall require design review approval in accordance with the provisions of this chapter. The building official and town planner may impose conditions on an emergency permit as necessary to ensure compliance with this chapter. (Ord. 514 §1(part), 1993).

ATTACHMENT 2



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input checked="" type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-261-38

Project Address: 24 Allen Avenue

Property Owner: Warren and Robyn Luhnig

Owner Mailing Address (PO Box in Ross): 24 Allen Avenue

City/State/Zip: Ross, CA 94957 Owner's Phone: 415-225-0264

Owner's Email: rluhnig@gmail.com

Applicant: Imprints Landscape Architecture

Applicant Mailing Address: 202 Rosemont Avenue

City/State/Zip: Mill Valley, CA 94941 Applicant's Phone: 415-380-0755 danielokane

Applicant's Email:

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

danielokane@mac.com

To Be Completed by Town Staff:

Date Received: _____
 Application No.: _____
 Zoning: _____

Planning 5300 _____
 Tree Permit 5305 _____
 Fee Program Administration 5315-05 _____
 Record Management 5316-05 _____
 Record Retention 5112-05 _____
 Technology Surcharge 5313-05 _____
 TOTAL FEES: _____

Date paid: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment: _____

Existing Parcel Size(s)

Parcel 1:

Parcel 2:

Adjusted Parcel Size(s)

Parcel 1:

Parcel 2:

PARCEL ONE**PARCEL 2**

Owners Signature: _____

Owner's Signature: _____

Date: _____

Date: _____

Owner's Name (Please Print): _____

Owner's Name (Please Print): _____

Assessor's Parcel Number: _____

Assessor's Parcel Number: _____

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

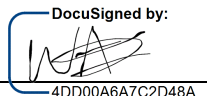
GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment: _____

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: _____

DocuSigned by:

 4DD00A6A7C2D48A...

Date: _____

4/6/2022

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: _____

Date: _____

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.


I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

Warren Luhning

4/6/2022

_____, California on _____

DocuSigned by:


 Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- ☐ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm Imprints Landscape Architecture

Project Landscape Architect Brad Eigsti

Mailing Address 202 Rosemont Avenue

City Mill Valley State CA ZIP 94941

Phone 415-380-0755

Fax _____

Email daniel@imprintsgardens.com

Town of Ross Business License No. 00300250 Expiration Date 12/31/2022

Civil/ Geotechnical Engineer

Firm LTD Engineering

Project Engineer Glenn Dearth

Mailing Address 1050 Northgate Drive Suite 450

City San Rafael State CA ZIP 94903

Phone 415-446-7402

Fax _____

Email gdearth@LTDengineering.com

Town of Ross Business License No. 00300056 Expiration Date 12/31/2022

Arborist

Firm _____

Project Arborist _____

Mailing Address _____

City _____ State _____ ZIP _____

Phone _____

Fax _____

Email _____

Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____

Mailing Address _____

City _____ State _____ ZIP _____

Phone _____

Fax _____

Email _____

Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____

Mailing Address _____

City _____ State _____ ZIP _____

Phone _____

Fax _____

Email _____

Town of Ross Business License No. _____ Expiration Date _____

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

WE ARE PROPOSING TO BUILD A NEW 12'X26' POOL AND SPA, INSTALL NEW STONE PAVERS W/TURF, INSTALL A NEW PATIO AREA, A NEW WOOD DECK AT THE S/W HOUSE SIDE, A NEW WOOD DECK AT THE N/W HOUSE SIDE WITH SHADE STRUCTURE, RELOCATE AN (E) STEEL PANEL AT THE N/W PROPERTY LINE, INSTALL A FIREPIT, A BOCCCE/GAME COURT AT S/W CORNER AND A TURF AREA AT THE S/E HOUSE SIDE.

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Because of the triangular shape of the site and the fact that the house encroaches on the setback, the proposed site for the pool is the best suited situation for the pool as requested by our client.

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

ATTACHMENT 3

WE ARE PROPOSING TO REMOVE THE (E) WOOD DECK AT THE S/W HOUSE SIDE, THE (E) WOOD DECK AT THE N/W HOUSE SIDE, RELOCATE AN (E) STEEL PANEL AT THE N/W PROPERTY LINE, REMOVE LAWN, REMOVE THE LAWN AT THE S/E HOUSE SIDE, REMOVE FRUIT TREES AS NOTED ON DEMO PLAN.

WE ARE PROPOSING TO BUILD A NEW 12'X26' POOL AND SPA, INSTALL NEW STONE PAVERS W/TURF, INSTALL A NEW PATIO AREA, A NEW WOOD DECK AT THE S/W HOUSE SIDE, A NEW WOOD DECK AT THE N/W HOUSE SIDE WITH SHADE STRUCTURE, RELOCATE AN (E) STEEL PANEL AT THE N/W PROPERTY LINE, INSTALL A FIREPIT, A BOCCIE/GAME COURT AT S/W CORNER AND A TURF AREA AT THE S/E HOUSE SIDE.

IMPRINTS LANDSCAPE ARCHITECTURE - CONTACT: BRAD
EIGST - 202 ROSEMONT MILL VALLEY, CA - (415) 380-0755 -
BRAD@IMPRINTSGARDENS.COM

LTD ENGINEERING, INC. - CONTACT: GLEN DEARTH - 1050 NORTHGATE
DRIVE, SAN RAFAEL, CA 94903 - (415) 446-7402 -
gdearth@LTDengineering.com

SHEET	DESCRIPTION
L0.1	COVER SHEET & SITE PLAN
C-1	SURVEY
L1.1	LANDSCAPE DEMO PLAN
L2.1	CONCEPT PLAN
L3.1	LANDSCAPE LAYOUT/STAKING PLAN
C-1	CIVIL COVER SHEET
C-2	CIVIL GRADING & DRAINAGE PLAN
C-3	CIVIL DETAILS

A detailed map of the Ross, California area. The map shows a network of streets including Lagunitas Rd, Allen Ave, Sir Francis Drake Blvd, and others. Several points of interest are marked with location pins and labels, such as 'Jean Mastagni', 'St John's Episcopal Church', 'The Ross Preschool', 'Ross School', 'Ross School K-8', 'Whateley Tow Truck Co', 'Tattoria Fresco', 'Crown and Crummet Cafe', 'inquired philanthropy Book store', 'Kentfield Hospital', and 'WindChime of Marin'. A specific location is highlighted with a black circle and an arrow pointing to it, labeled '24 Allen Ave, Ross, CA 94957'. The map also shows topographical features like hills and a creek.

<u>GENERAL INFO.</u>	
PARCEL NUMBER:	073-261-38
ZONING:	R-1 B-7 5 (Single Family Res.)
AVERAGE SLOPE:	2.084%
WILDLIFE INTERFACE:	Yes
LOT AREA:	9,433 S.F.

FRONT SETBACK:	20'-0"
REAR SETBACK:	40'-0"
WEST SIDE SETBACK:	15'-0"
EAST SIDE SETBACK:	N/A

BUILDING & PLANNING CODE
ALL CONSTRUCTION, REGARDLESS OF DETAILS SHOWN ON
THE PLANS, SHALL COMPLY WITH THE FOLLOWING:

2019 California Building Code (CBC)
2019 California Electrical Code (CEC)
2019 California Mechanical Code (CMC)
2019 California Plumbing code(CPC)
2019 California Fire Code (CFC)
2019 Green Building Standards
2019 California Energy Code
2019 California Residential Code (CRC)
City of Ross Local Codes

"ALTHOUGH OUR PLAN REVIEW IS COMPREHENSIVE AND INTENDED TO BE COMPLETE, NON-COMPLIANT ELEMENTS AND CONDITIONS MAY OCCASIONALLY BE OVERLOOKED, OR SOME ELEMENTS MAY LACK CLARITY, OR AN ELEMENTS MAY BE MISREPRESENTED ON THE SUBMITTED PLANS. PLEASE BE AWARE NON-COMPLIANT ELEMENTS AND CONDITIONS NOT ADDRESSED IN PLAN REVIEW ARE SUBJECT TO FIELD REVIEW, AND COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS WILL BE REQUIRED."

Site plan for a residential property at 24 Allen Ave. The plan shows the layout of the existing residence, pool, spa, and various setbacks. Key features include a pool (12' x 26'), spa, gas firepit, and a veg garden. The plan also shows the location of the adjacent garage, bocce/game court, and the adjacent residence (partial). The site is bounded by 24 Allen Ave. to the east and a property line to the west. The plan includes dimensions for setbacks, pool, and other features. A north arrow and scale bar (1/8" = 1'-0") are provided in the bottom right corner.

Labels and dimensions on the plan include:

- ADJACENT GARAGE
- STONE GRID W/TURF
- 12" FIG.
- STONE STEPS
- ARBOR SHADE STRUCTURE: "DASHED"
- BBQ (BY OWNER)
- 15'-0" SETBACK
- (E) AC
- (E) GATE
- (E) TRASH AREA
- (E) DRIVEWAY
- (E) FENCE
- (E) GATE
- (E) PAVERS
- 25'-0" SETBACK
- TURF
- 24 ALLEN AVE
- (E) FENCE / GATE
- STONE OR CONC. SLAB PAVERS
- BOCCIE/GAME COURT
- ADJACENT RESIDENCE (PARTIAL)
- PROP. LINE
- 16'-0"
- 30'-0"
- POOL (12' x 26')
- 40'-0" SETBACK
- SETBACK
- SPA
- GAS FIREPIT
- (E) FENCE / ROCK WALL
- VEG GARDEN
- ADU (APPROVED UNDER SEPERATE PERMIT)
- 15'-0" SETBACK
- WOOD DECK
- OVERSIZED STEPS
- WOOD DECK (MODIFY EXISTING)
- RAISED STONE PATIO
- 11'-5"
- 8'-0"
- 1'-6"
- 8'-5"
- 11'-9"
- 7'-5"
- 1'-0"
- 3'-6"
- 2'-0"
- 3'-0"
- 3'-0"
- 1'-6"
- 15'-6" SETBACK

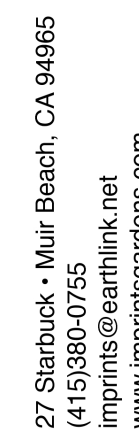
[illegible]

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE THE ORIGINAL AND
UNPUBLISHED WORK OF IMPRINTS LANDSCAPE
ARCHITECTURE AND MAY NOT BE DUPLICATED, USED
OR DISCLOSED WITHOUT THE EXPRESS WRITTEN
CONSENT OF IMPRINTS LANDSCAPE ARCHITECTURE
© 2021 IMPRINTS LANDSCAPE ARCHITECTURE

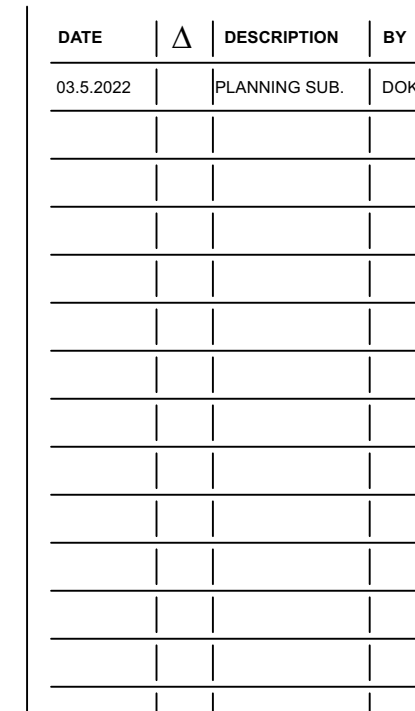
COVER SHEET

SHEET

L0.1



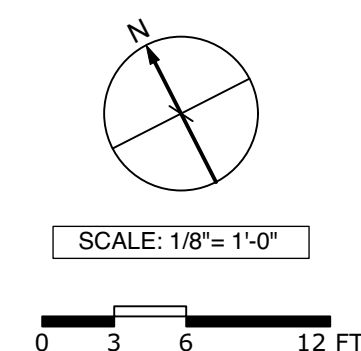
**24 ALLEN AVENUE
ROSS, CA 94957
AP #:073-261-38**

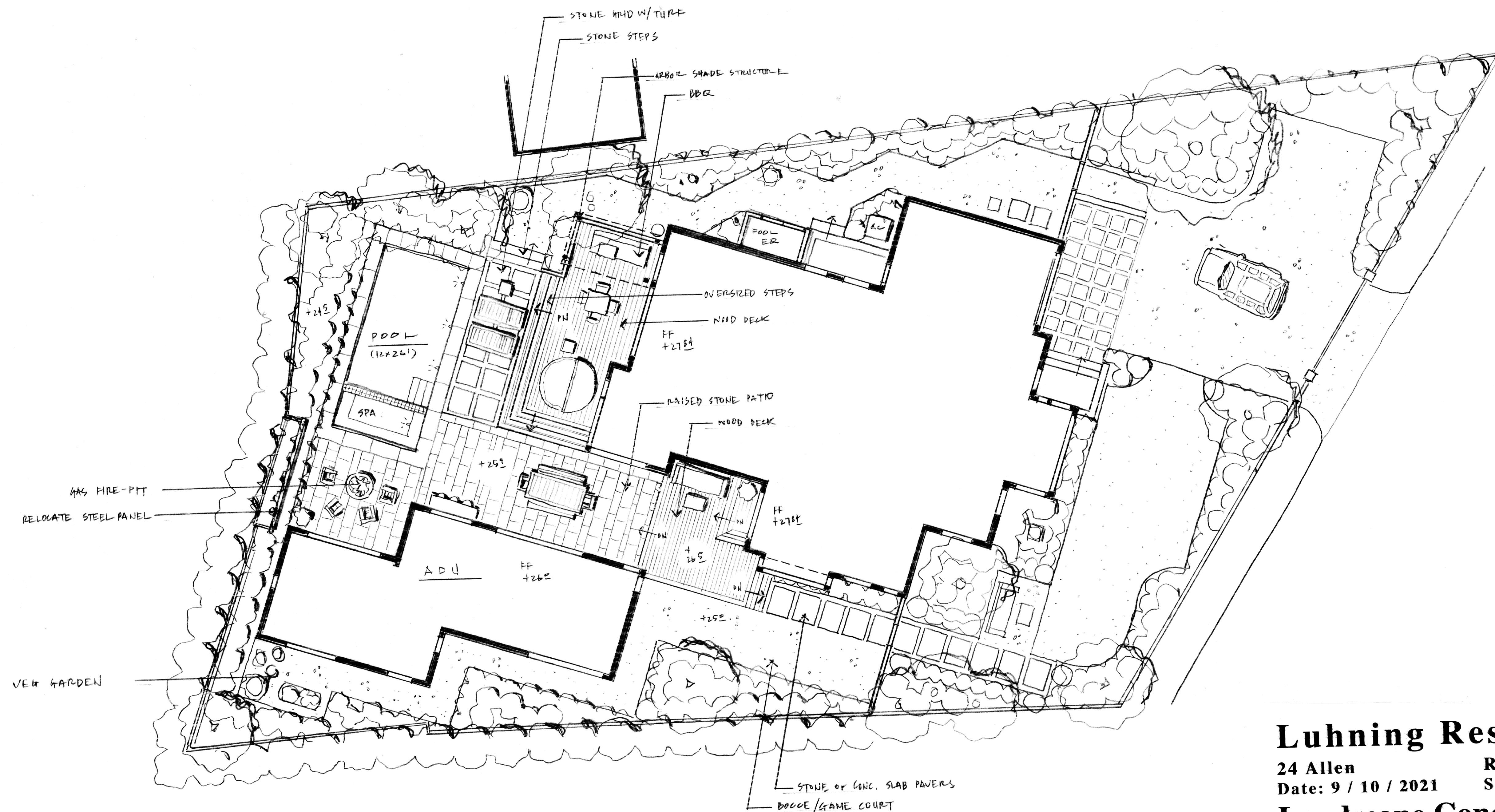


ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF IMPRINTS LANDSCAPE ARCHITECTURE AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF IMPRINTS LANDSCAPE ARCHITECTURE
© 2021 IMPRINTS LANDSCAPE ARCHITECTURE

SHEET

L1.1



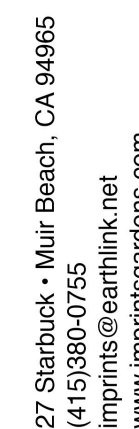


Luhning Residence 24 Allen Ross, CA. Date: 9 / 10 / 2021 Scale: 1/8"=1'-0" **Landscape Concept Plan**

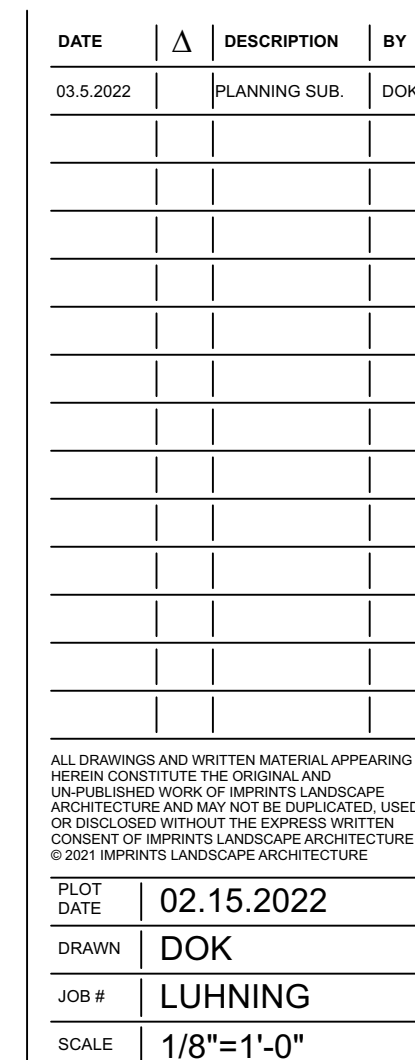


202 Rosemont Mill Valley CA 94941
 (415) 380-0755
 brad@imprintsgardens.com
 www.imprintsgardens.com

L2.1

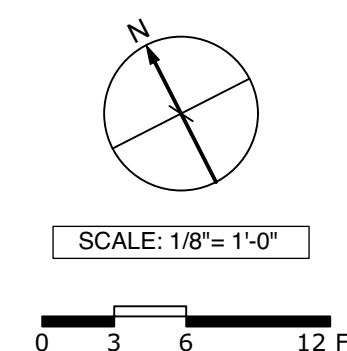


**24 ALLEN AVENUE
ROSS, CA 94957
AP #:073-261-38**

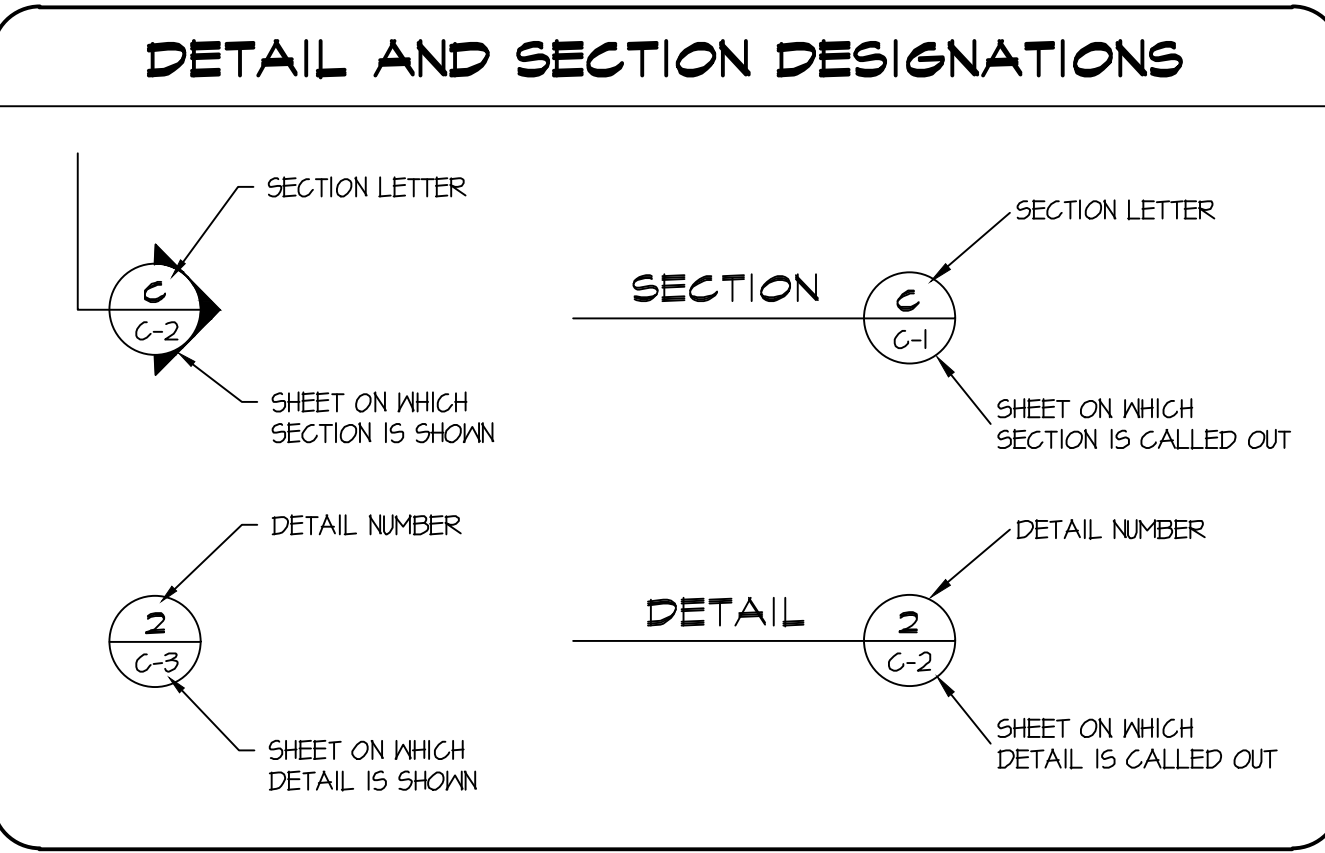


SHEET

L3.1



LEGEND			
<div>EX NEW</div> <div><div></div><div></div></div> ASPHALT PAVING (IMPERVIOUS)	<div><div></div><div></div></div> PROPERTY LINE	<div>EX NEW</div> <div><div></div><div></div></div> CONC RETAINING WALL	<div><div></div><div></div></div> SUBDRAIN (PERFORATED PIPE)
<div><div></div><div></div></div> CONCRETE PAVING (IMPERVIOUS)	<div><div></div><div></div></div> EASEMENT LINE	<div><div></div><div></div></div> STORM DRAIN PIPE	
<div><div></div><div></div></div> NEW FLAGSTONE PAVING (IMPERVIOUS)	<div><div></div><div></div></div> EX WOODEN RET WALL	<div><div></div><div></div></div> ELECTRICAL OVERHEAD LINE	
<div><div></div><div></div></div> NEW CONCRETE PAVERS (SEMI-PERVIOUS)	<div><div></div><div></div></div> DRAINAGE DITCH/ BIO-SWALE	<div><div></div><div></div></div> ELECTRICAL UNDERGROUND	
<div><div></div><div></div></div> NEW WOOD DECK (PERVIOUS)	<div><div></div><div></div></div> UNDISTURBED SOIL	<div><div></div><div></div></div> COMMUNICATION OVERHEAD LINE	
<div><div></div><div></div></div> PERVIOUS PAVING	<div><div></div><div></div></div> COMPACTED FILL MATERIAL	<div><div></div><div></div></div> COMMUNICATION UNDERGROUND	
<div><div></div><div></div></div> PLANTED, LANDSCAPED AREA	<div><div></div><div></div></div> GEOTEXTILE	<div><div></div><div></div></div> JOINT TRENCH	
<div><div></div><div></div></div> GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)	<div><div></div><div></div></div> EROSION CONTROL BLANKET	<div><div></div><div></div></div> SANITARY SEWER	
<div><div></div><div></div></div> EROSION CONTROL BLANKET	<div><div></div><div></div></div> TURF REINFORCING MAT	<div><div></div><div></div></div> WATER LINE	
<div><div></div><div></div></div> BUILDING ADDITION	<div><div></div><div></div></div> STRAW WATTLE	<div><div></div><div></div></div> GAS LINE	
<div><div></div><div></div></div> AREA DRAIN	<div><div></div><div></div></div> RUNOFF FLOW DIRECTION	<div><div></div><div></div></div> EDGE OF ROAD	
<div><div></div><div></div></div> OR DRAINAGE INLET	<div><div></div><div></div></div> SWALE FLOW DIRECTION	<div><div></div><div></div></div> ROOF EAVE	
<div><div></div><div></div></div> ROOF LEADER	<div><div></div><div></div></div> STORMWATER LEVEL SPREADER	<div><div></div><div></div></div> EX FENCE	
<div><div></div><div></div></div> FIRE HYDRANT	<div><div></div><div></div></div> BUBBLE-UP DRAINAGE EMITTER	<div><div></div><div></div></div> NEW WIRE FENCE	
<div><div></div><div></div></div> JOINT POLE	<div><div></div><div></div></div> POP-UP DRAINAGE EMITTER	<div><div></div><div></div></div> NEW WOOD FENCE	
<div><div></div><div></div></div> GAS METER, ELECTRIC METER	<div><div></div><div></div></div> SUBDRAIN END CAP	<div><div></div><div></div></div> EXISTING GRADE ELEVATION CONTOUR	
<div><div></div><div></div></div> WATER METER	<div><div></div><div></div></div> SUBDRAIN OR STORMWATER CLEANOUT	<div><div></div><div></div></div> FINISHED GRADE ELEVATION CONTOUR	
<div><div></div><div></div></div> EX TREE	<div><div></div><div></div></div> SUBDRAIN OUTLET	<div><div></div><div></div></div> 85.5 x REMOVE EX TREE	
<div><div></div><div></div></div> EX TREE DRIPLINE	<div><div></div><div></div></div> HIDDEN FOUNDATION OR RETAINING WALL		
	<div><div></div><div></div></div> TREE PROTECTION FENCING		



UTILITY CONNECTION NOTES:

- THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:

WATER: MARIN MUNICIPAL WATER DISTRICT

SEWER: ROSS VALLEY SANITARY DISTRICT NO. 1

ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)

GAS: PACIFIC GAS AND ELECTRIC (PG&E)

TELEPHONE: AT&T

CABLE: COMCAST
- INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.
- CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. 1 STANDARDS.

ESTIMATED EARTHWORK QUANTITIES	
EXCAVATION	75 CY
FILL	30 CY
EXCESS	45 CY
MAX. EXCAVATION DEPTH	6 FT
MAX. FILL DEPTH	1.5 FT
DISTURBED AREA	0.09 AC

EARTHWORK NOTES:

- QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
- LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
- SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

GREEN BUILDING STANDARDS

- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

INDEX OF DRAWINGS

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	GRADING AND DRAINAGE PLAN
C-3	DETAILS

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COMM/UG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
E/UG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FG	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLFF	LOWER LEVEL FINISHED FLOOR ELEV
LPFF	LOW POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MLFF	MAIN LEVEL FINISHED FLOOR ELEV
MMWD	MARIN MUNICIPAL WATER DISTRICT
OH	OVERHEAD
PG&E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RIM	ELEV AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
S	SLOPE
SGH	SCHEDULE
SIM	SIMILAR
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
UCS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULFF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE

STORMWATER PLAN SUMMARY

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	2,309 SF	4,308 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	0 SF
LANDSCAPE (PERVIOUS)	8,682 SF	6,683 SF
TOTAL LOT AREA	10,991 SF	10,991 SF

STORMWATER NOTES:

- IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS, POOL AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
- NEW OR REPLACEMENT IMPERVIOUS AREA IS 1,998 SF.

GENERAL NOTES:

- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY LAWRENCE DOYLE, LAND SURVEYOR, CIVIL ENGINEER, 100 HELENS LANE, MILL VALLEY, CA. 94541. DATED 10/9/18. DATUM IS PER MARIN GIS MAPPING.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

FLOOD PLAIN INFORMATION

THE FEMA FLOOD INSURANCE RATE MAP CURRENTLY IN EFFECT SHOWS THE PROPERTY WITHIN THE 100-YEAR FLOOD PLAIN WITH A BASE FLOOD ELEVATION OF 17.0 FEET NAVD88. SEE FEMA MAP 06041C0458F DATED 3-16-2016. FLOODS GREATER THAN THE 100-YEAR FLOOD CAN OCCUR AND FLOODWATER COULD RISE ABOVE 18.0 FEET, NAVD88.

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

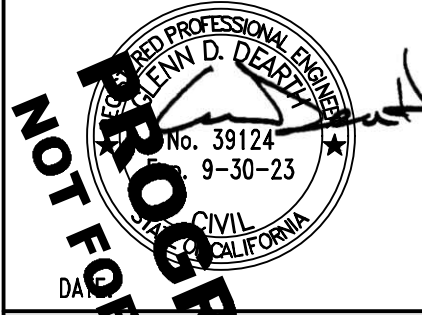
RETAINING WALL AND FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

LTD Engineering, Inc.
1050 Northgate Drive, Suite 450
San Rafael, CA 94903
Tel. 415.446.7402 Cell 415.717.8719
gdearth@LTDengineering.com

OWNER

WARREN & ROBYN LUHNING
24 ALLEN AVENUE
ROSS, CALIFORNIA 94457



ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

© LTD Engineering, Inc. 2022
These documents and the ideas and designs incorporated herein are an instrument of professional service and the property of LTD Engineering, Inc. Reuse of these documents for any other project, in whole or in part, is not allowed without written authorization from LTD Engineering, Inc.

LUHNING RESIDENCE
ADU, POOL & LANDSCAPE
APN 073-261-38
24 ALLEN AVENUE
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
△	3/30/22	ISSUED FOR REVIEW
△		
△		
△		
△		
△		

DESIGNED BY:	G. DEARTH
DRAWN BY:	E. HAYDEN
APPROVED BY:	
SCALE:	NA
DATE:	3/30/2022
PROJECT NO.	704.001

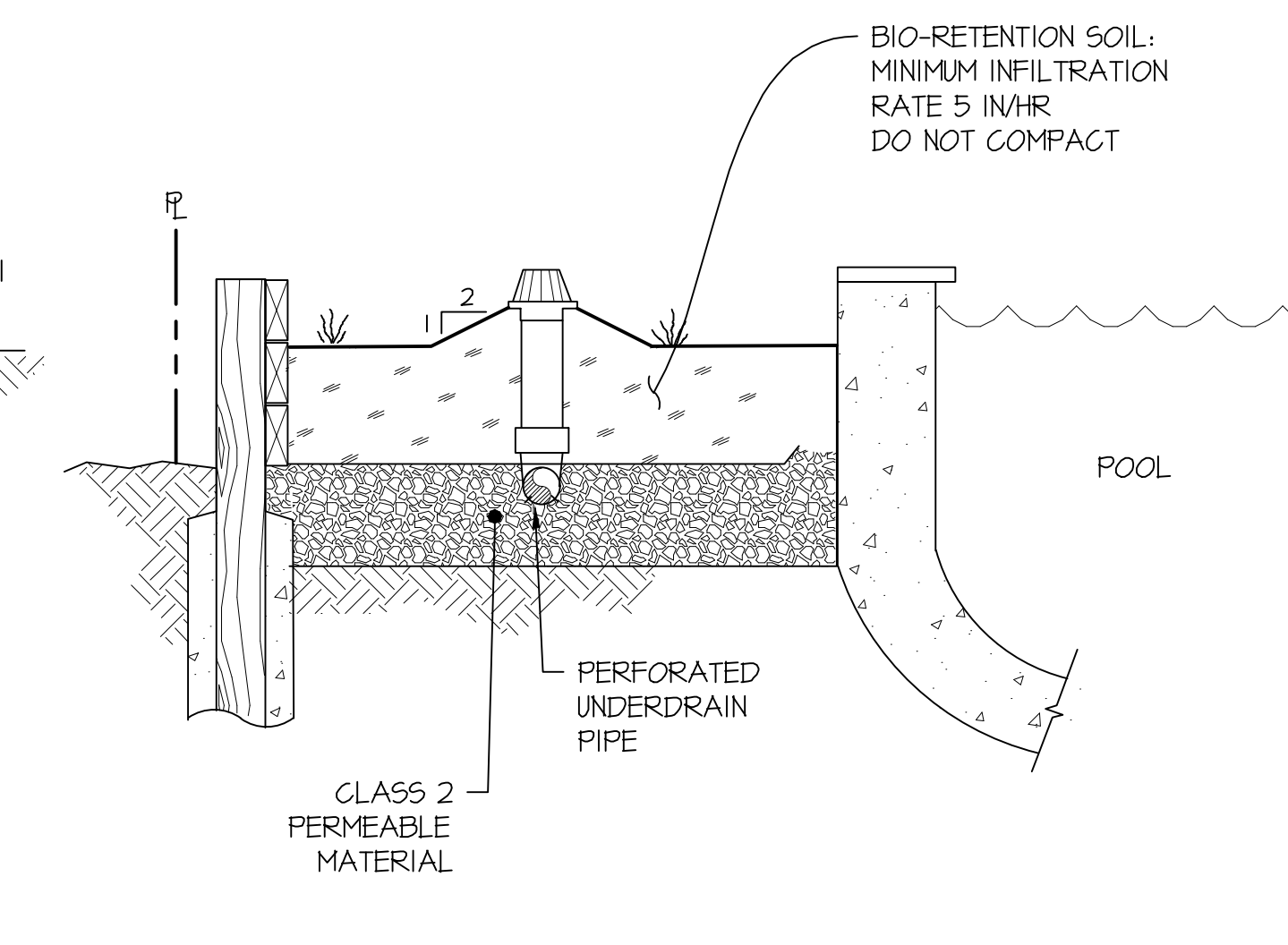
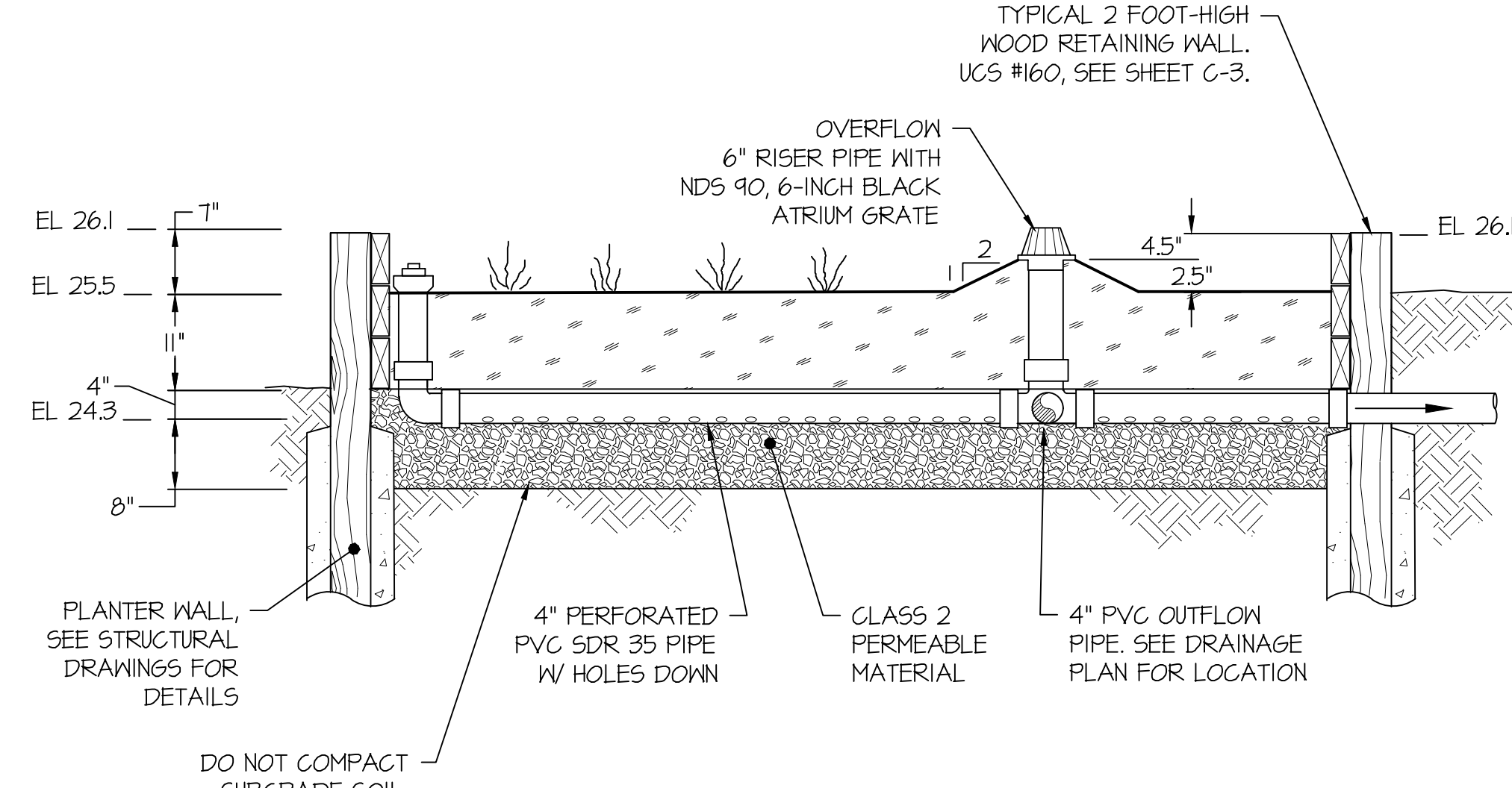
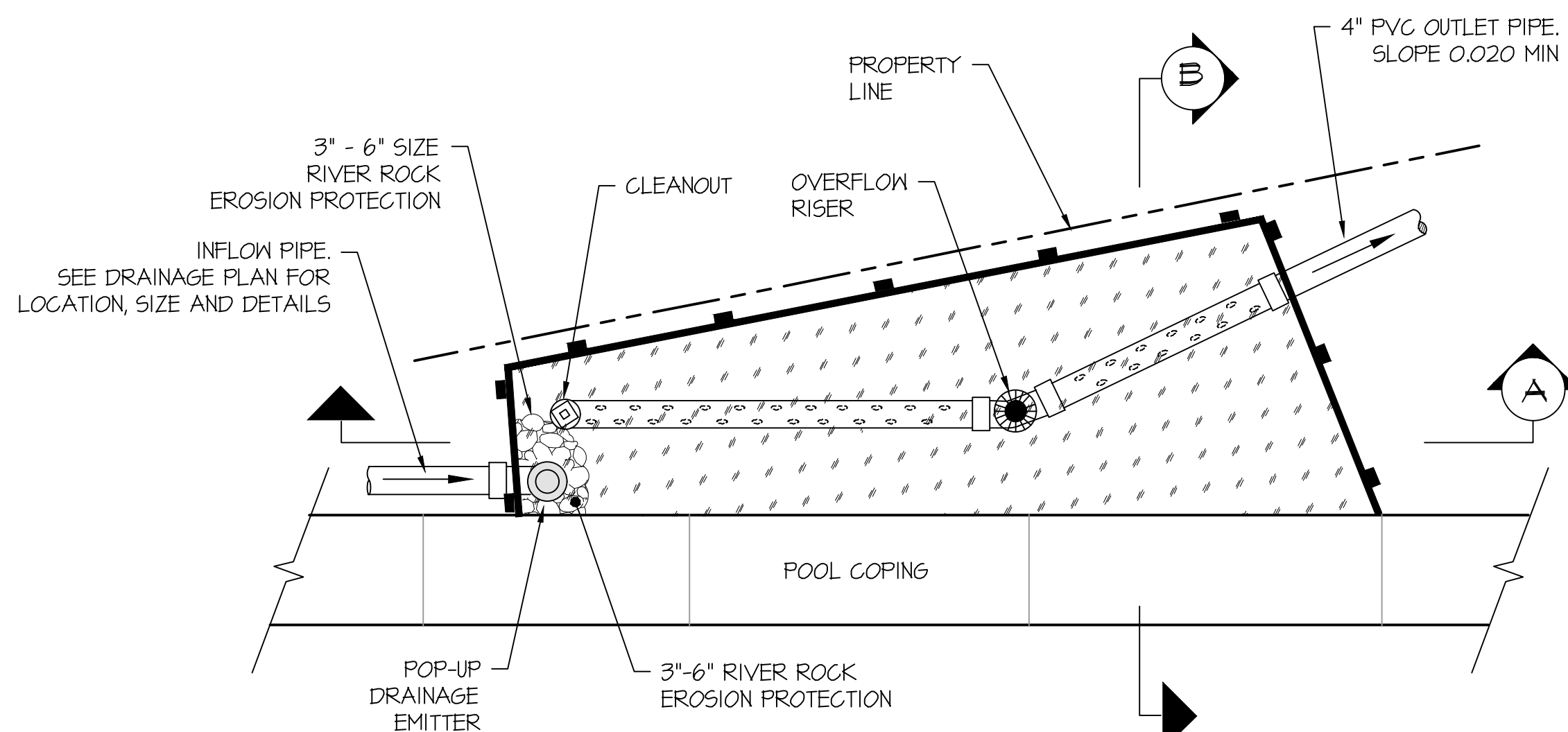
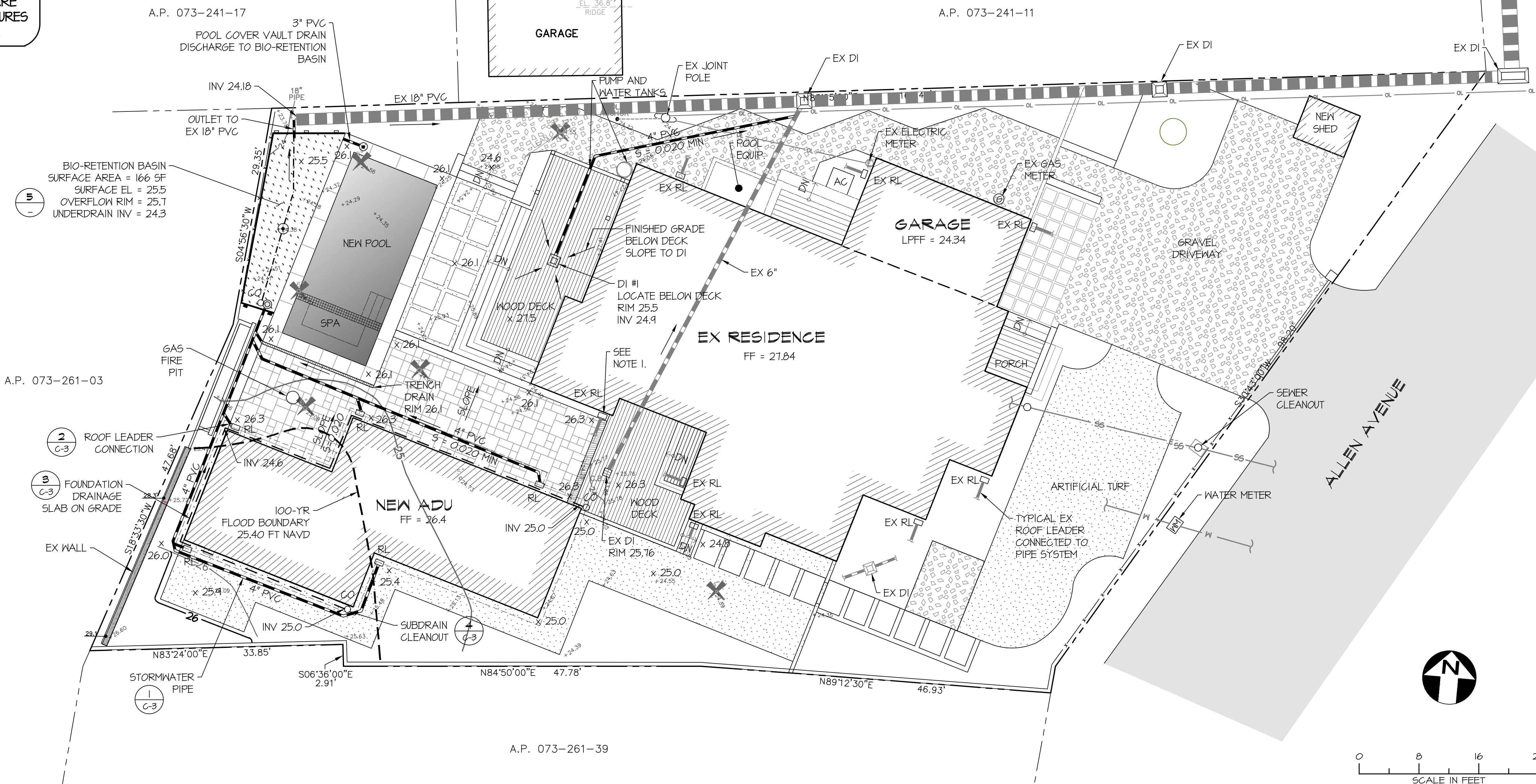
COVER SHEET	
REVISION	0
SHEET NO.	1 OF 3
DRAWING	C-1

EXISTING UTILITY LOCATION

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.

NOTES:

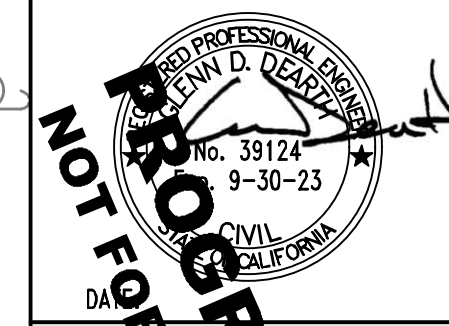
- CONTRACTOR VERIFY LOCATION OF ROOF LEADER OUTLET PIPE AND CONSULT ENGINEER ABOUT REPAIR OR REPLACEMENT.



BIO-RETENTION BASIN DETAIL
NO SCALE

LTD Engineering, Inc.
1050 Northgate Drive, Suite 450
San Rafael, CA 94903
Tel. 415.446.7402 Cell 415.717.8719
gdearth@LTDengineering.com

OWNER
WARREN & ROBYN LUHNING
24 ALLEN AVENUE
ROSS, CALIFORNIA 94457



ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

© LTD Engineering, Inc. 2022
These documents and the ideas and designs incorporated herein are an instrument of professional service and the property of LTD Engineering, Inc. Reuse of these documents for any other project, in whole or in part, is not allowed without written authorization from LTD Engineering, Inc.

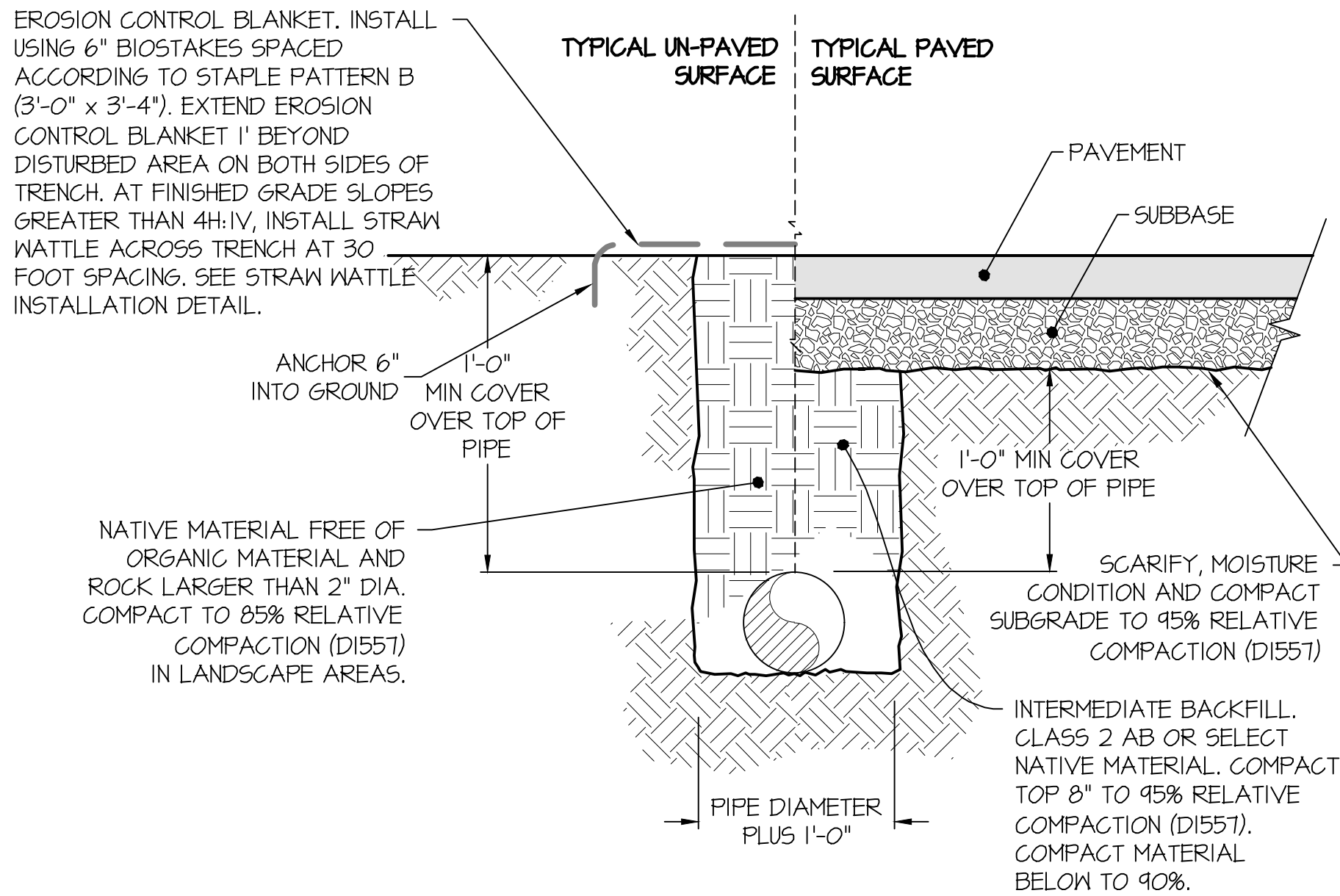
LUHNING RESIDENCE
ADU, POOL & LANDSCAPE
APN 073-261-38
24 ALLEN AVENUE
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	3/30/22	ISSUED FOR REVIEW
2		
3		
4		
5		

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: 1" = 8'-0"
DATE: 3/30/2022 PROJECT NO. 104.001

CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISION 0
SHEET NO. 2 OF 3
DRAWING C-2



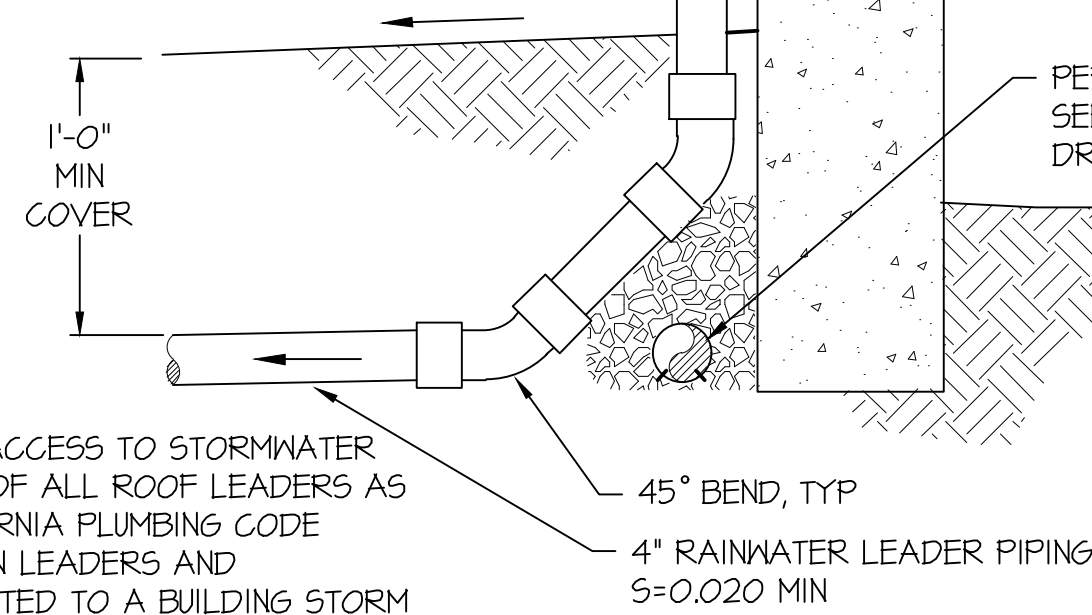
TYPICAL DRAINAGE PIPE TRENCH DETAIL
3", 4" AND 6" DIAMETER PIPE

NO SCALE

1
C-2

MAX ROOF AREA PER LEADER
2" DIA LEADER 544 SQ FT
3" DIA LEADER 1610 SQ FT
4" DIA LEADER 3,460 SQ FT
2"x3" LEADER 1,370 SQ FT
3"x4" LEADER 3,300 SQ FT
(BASED ON 4 IN/HR RAINFALL INTENSITY)

DOWNSPOUT ADAPTER.
DO NOT GLUE JOINTS.
INSTALL ADAPTER LOOSE
SO THAT IT CAN BE RAISED
AND PIPES CAN BE OFFSET
TO ALLOW ACCESS FOR CLEANING.



PROVIDE MEANS OF ACCESS TO STORMWATER PIPING AT THE BASE OF ALL ROOF LEADERS AS REQUIRED BY CALIFORNIA PLUMBING CODE SECTION 1101.3.1. RAIN LEADERS AND CONDUCTORS CONNECTED TO A BUILDING STORM SEWER MUST HAVE A CLEANOUT INSTALLED AT THE BASE OF THE OUTSIDE LEADER OR OUTSIDE CONDUCTOR BEFORE IT CONNECTS TO THE HORIZONTAL DRAIN.

ROOF LEADER CONNECTION DETAIL

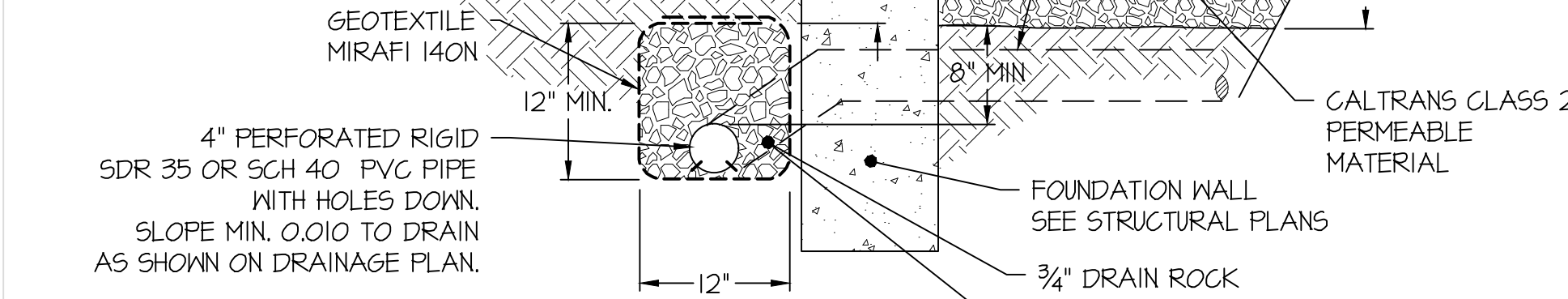
NO SCALE

2
C-2

CLEARANCE:
• 2" FROM WOOD SIDING OR WEEP SCREED TO PAVEMENT
• 4" FROM WEEP SCREED TO EARTH
• 6" FROM WOOD SIDING TO EARTH

CLEARANCE:
• 8" FROM WOOD CONSTRUCTION/SHEATHING TO EARTH

FINISHED GRADE SLOPE
SOIL: S=0.050 MIN 10 FT DISTANCE
PAVEMENT: S=0.020 MIN 10 FT DISTANCE

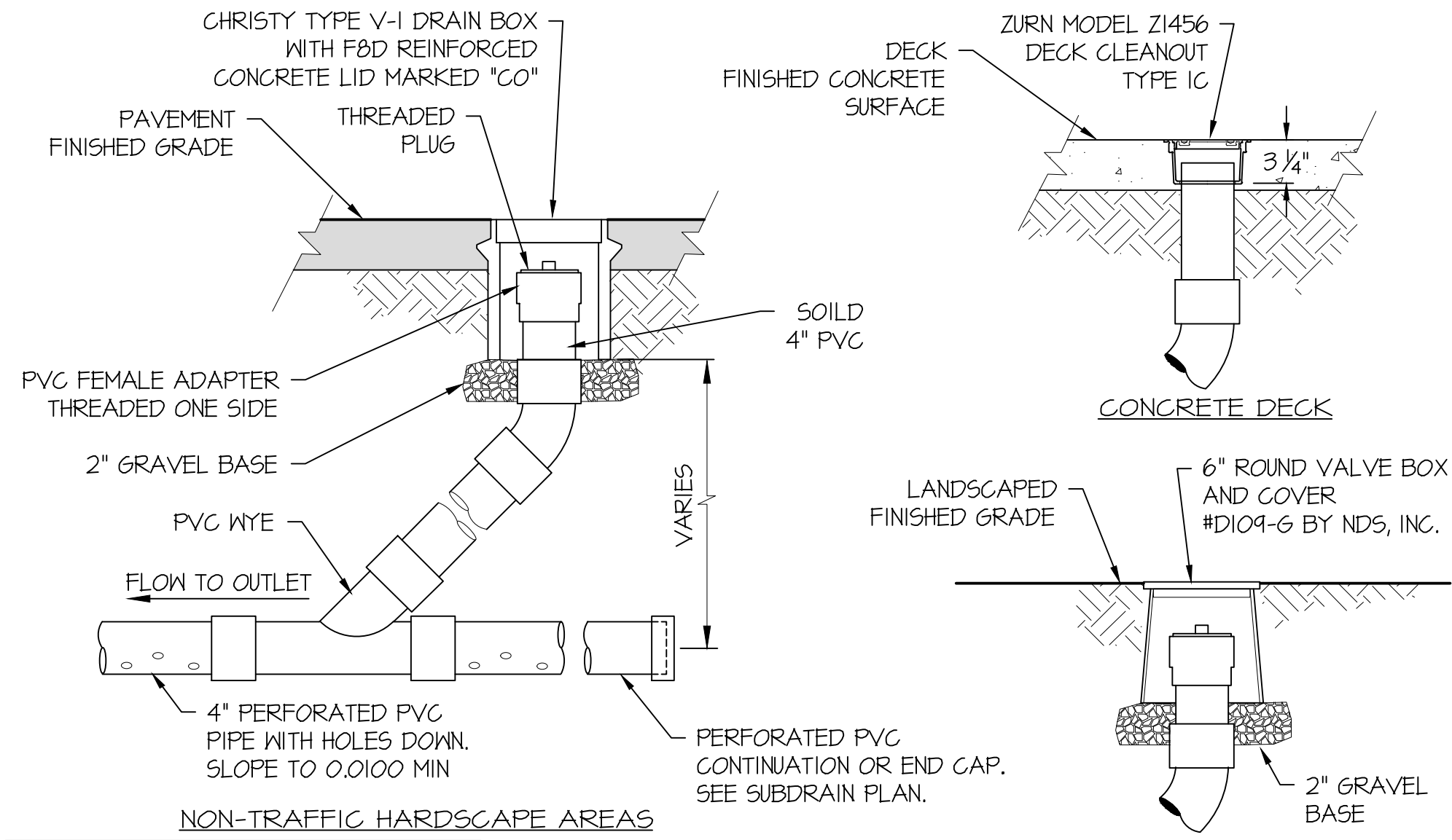


NOTE: CLEARANCE MAY BE REDUCED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANPA VI FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.

FOUNDATION DRAINAGE AT SLAB ON GRADE DETAIL

NO SCALE

3
C-2

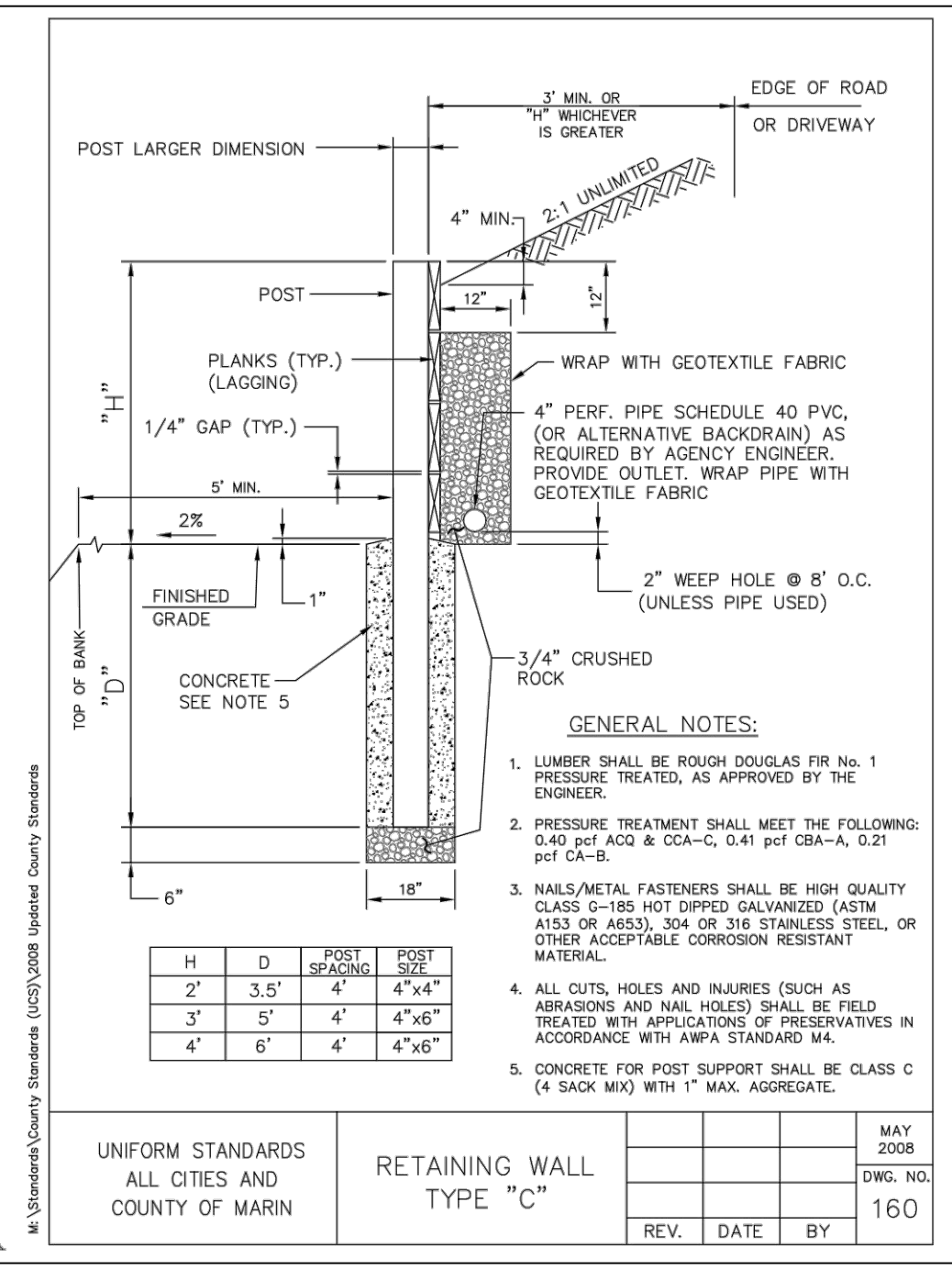


NOTE:
OMIT DRAIN BOX AND GRAVEL BASE AT CLEANOUTS LOCATED IN CRAWL SPACE. SET THREADED PLUG 6" ABOVE FINISHED GRADE IN CRAWL SPACE.

SUBDRAIN CLEANOUT DETAIL

NO SCALE

4
C-2



BIO-RETENTION BASIN NO. 1 SIZING

Calculation method based on:
BASMAA Post-Construction Manual
(January, 2019)

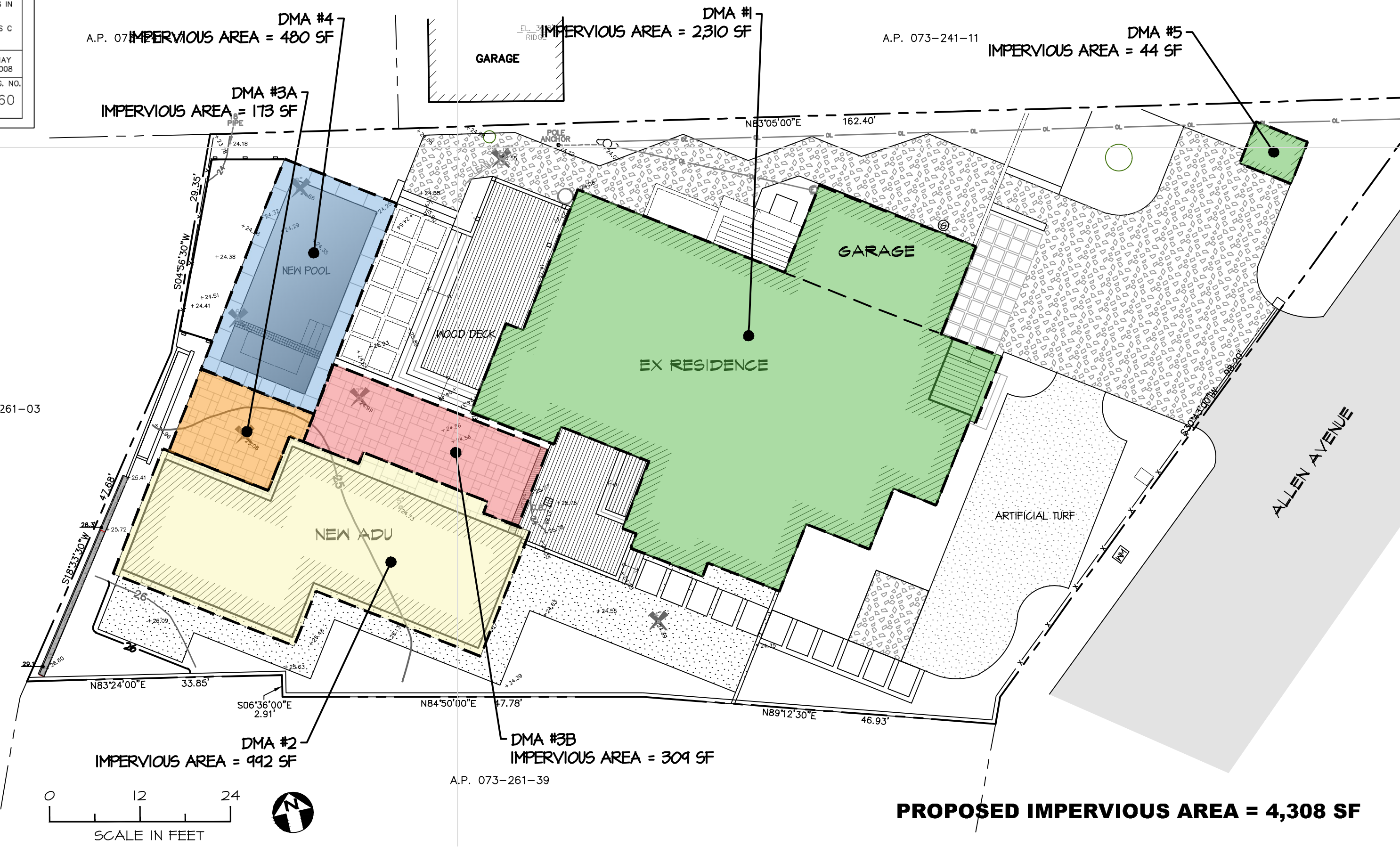
LTD Engineering, Inc.
G. Dearth
March 30, 2022

PROJECT: Luhning Residence ADU and Pool, Ross, CA

Area Name	Area (sq ft)	Surface Type	Runoff Factor	Area x Runoff Factor (sq ft)
DMA #2	992	Impervious	1.0	992
DMA #3A	173	Impervious	1.0	173
DMA #4	480	Impervious	1.0	480
TOTAL	1,645			1,645

Standard Required Bio-retention Basin Area (sq ft)	66
Town of Ross Required Bio-retention Basin Area (sq ft)	132
Proposed Design Bio-retention Basin Area (sq ft)	166

Runoff Factors	
Roofs and paving	1.0
Landscape areas	0.1
Bricks or solid pavers - grouted	1.0
Bricks or concrete pavers on sand base	0.2
Pervious concrete or asphalt	0.1
Turfblock or gravel (min 6" thickness)	0.1
Open or porous pavers	0.1
Artificial turf	0.0
Standard Bio-retention Basin Sizing Factor	0.04
Town of Ross Bio-retention Basin Sizing Factor	0.08



LTD Engineering, Inc.
1050 Northgate Drive, Suite 450
San Rafael, CA 94903
Tel. 415.446.7402 Cell 415.717.8719
gdearth@LTDengineering.com

OWNER
WARREN & ROBYN LUHNING
24 ALLEN AVENUE
ROSS, CALIFORNIA 94457

PROFESSIONAL SEAL
G. DEARTH
No. 39124
9-30-23
CIVIL
PLUMBING
DA

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

© LTD Engineering, Inc. 2022
These documents and the ideas and designs incorporated herein are an instrument of professional service and the property of LTD Engineering, Inc. Reuse of these documents for any other project, in whole or in part, is not allowed without written authorization from LTD Engineering, Inc.

LUHNING RESIDENCE
ADU, POOL & LANDSCAPE

APN 073-261-38
24 ALLEN AVENUE
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	3/30/22	ISSUED FOR REVIEW

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: AS SHOWN
DATE: 3/30/2022
PROJECT NO. 104.001

DETAILS

REVISION 0
SHEET NO. 3 OF 3
DRAWING C-3