



*The Advisory Design Review (ADR) Group considers applications and matters affecting the design of buildings, structures, landscaping, and other site improvements in the Town of Ross. The ADR Group makes non-binding advisory recommendations regarding consistency of projects with the Design Review criteria and standards to the Town Planner and Town Council.*

## **Agenda Item No. 4b**

### **Staff Report**

**Date:** June 21, 2022  
**To:** Advisory Design Review (ADR) Group  
**From:** Nishant Seoni, Planner  
**Subject:** 189 Lagunitas

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#### **Recommendation**

That the Advisory Design Review Group provide a formal recommendation to the Town Council regarding the merits of the project consistent with the Design Review criteria and standards of Ross Municipal Code Section 18.41.100 (see **Attachment 1**).

**Property Address:** 189 Lagunitas Road  
**A.P.N.:** 073-211-38  
**Applicant:** Brooks McDonald  
**Property Owner:** Jennifer and Jeffrey Bogan  
**Zoning:** R-1:B-A  
**General Plan:** VL (Very Low Density)  
**Flood Zone:** X (Moderate Risk)

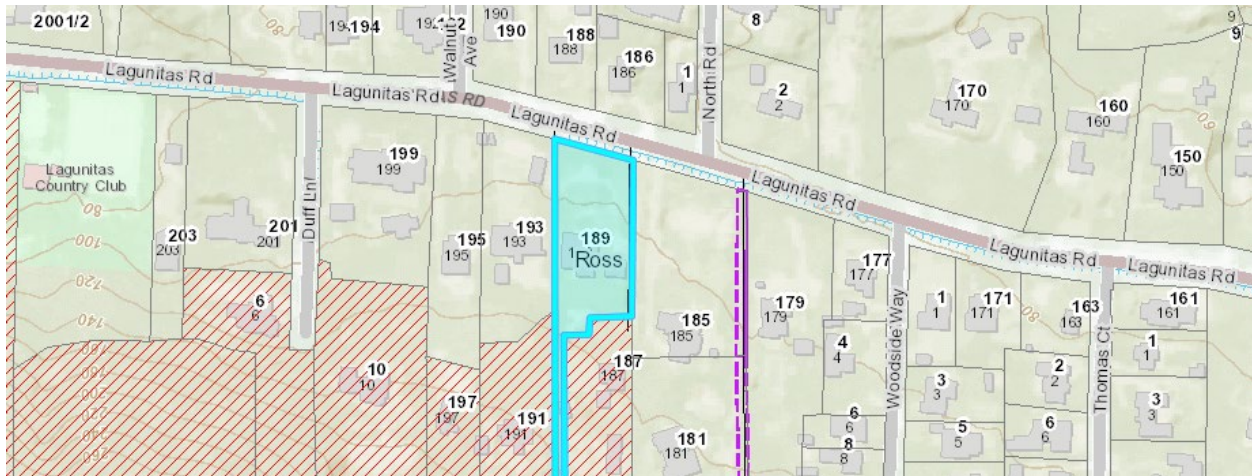
**Project Summary:** The applicant requests approval of Design Review for renovation of the exterior of the existing house; relocation of a basement ADU to above the existing garage; construction of a horizontal addition to the existing house, new fences, a pool and spa, and outdoor lounge areas; and modifications to existing landscaping. The projects meets the allowable lot coverage and floor area for the zoning district.

**Project Data**

	<b>Code Standard</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area</b>	Minimum 5,000 SF	39,428 SF	No change
<b>Floor Area (FAR)</b>	5,914 SF (15%)	5,350 SF (14%)	5,914 SF (15%)
<b>Building Coverage</b>	5,914 SF (15%)	3,717 SF (9%)	4,134 SF (10%)
<b>Front Setback</b>	25'	120'	No change
<b>Left Side Setback</b>	15'	6'6"	No change
<b>Right Side Setback</b>	15'	12'4"	No change
<b>Rear Setback</b>	40'	88'	No change
<b>Building Height</b>	30'	Residence: 25'6" Garage: 15'	No change
<b>Off-street Parking Spaces</b>	5, 2 covered	5, 2 covered	No change
<b>Impervious Surface Coverage</b>	Minimize and/or mitigate for any increase.	12,370 SF (31%)	13,549 SF (34%)

**Background**

The project site is a developed 39,428 square foot lot on the south side of Lagunitas Road. The lot has an average slope of 20.1%. The lot is not a Hillside Lot as it has an average slope of less than 30%. A portion of a narrow strip of land extending from the south end of the lot is of a slope greater than 30%. Because this part of the property is not subject to or near the proposed development, Hillside Lot standards will not apply. The property contains an existing 4,241 square foot single-family residence with 748 square foot garage and a raised patio on the south side of the lot. A 394 square foot Accessory Dwelling Unit (ADU) is located in the basement of the existing home. The property has an existing 16-foot wide access and utility easement along it's east side. Access is provided via Lagunitas Road, and outdoor parking is provided on an existing driveway. The existing home and garage are nonconforming with respect to the minimum required 15-foot side yard setbacks.



## Project Description

The project proposes to renovate the exterior of the residence, including siding and windows; relocate the existing basement ADU to above the existing garage; construct a horizontal additional to the house to be used as a bedroom; construct new fencing, a pool, spa, and outdoor lounge and hardscape areas; and install drainage improvements. The proposed construction will not result in any new setback encroachments or deviations from applicable standards. The total impervious surface of the site will increase by approximately 1,200 square feet.

Project application materials are included as follows: Project Plans as **Attachment 2**; Project Application as **Attachment 3**.

## Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

## Design Review

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per Section 18.41.100 are included as **Attachment 1**.

Pursuant to Town Council Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits.

Pursuant to Section 18.41.20 (a), the proposed project requires a Design Review Permit for an increase in impervious surface of over 1,000 feet, extensions of existing buildings exceeding two hundred square feet of new floor, alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, and grading or filling in excess of 50 cubic yards.

If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

#### **Public Notice**

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date pursuant to the Ross Municipal Code.

#### **Public Comment**

At the time of writing the staff report, no comments were received from the public regarding the project.

#### **Attachments**

1. Ross Municipal Code Section 18.41.100, Design Review Criteria and Standards
2. Project Plans
3. Project Application



# ATTACHMENT 1

## Chapter 18.41

### DESIGN REVIEW

#### Sections:

18.41.010	Purpose.
18.41.020	Improvements subject to design review.
18.41.030	Chapter application.
18.41.040	Submittal requirements.
18.41.050	Review authority.
18.41.060	Town Council review.
18.41.070	Approval--Special conditions and findings.
18.41.080	Denial of incomplete or inactive applications.
18.41.090	Administrative review.
18.41.100	Design review criteria and standards.
18.41.110	Noncompliance.
18.41.120	Emergency situations.

18.41.010 Purpose. (a) The “small town” feel and the serene, quiet character of its neighborhoods are special qualities to the town. The existing scale and quality of architecture, the low density of development, the open and tree-covered hills, winding creeks and graciously landscaped streets and yards contribute to this ambience and to the beauty of a community in which the man-made and natural environment co-exist in harmony.

(b) This chapter is intended to guide new development to preserve and enhance these special qualities of Ross and to sustain the beauty of the town’s environment. Other specific purposes include the following:

(1) Provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area. Promote high-quality design that enhances the community, is consistent with the scale and quality of existing development and is harmoniously integrated with the natural environment;

(2) Preserve and enhance the historical “small town,” low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town’s neighborhoods through maintaining historic design character and scale, preserving natural features, minimizing overbuilding of existing lots and retaining densities consistent with existing development in Ross and in the surrounding area;

(3) Preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety. Ensure that site design and intensity recognize site constraints and resources, preserve natural landforms and existing vegetation, and prevent excessive and unsightly hillside grading;

(4) Enhance important community entryways, local travel corridors and the area in which the project is located;

(5) Promote and implement the design goals, policies and criteria of the Ross general plan;

(6) Discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression;

(7) Preserve buildings and areas with historic or aesthetic value and maintain the historic character and scale. Ensure that new construction respects and is compatible with historic character and architecture both within the site and neighborhood;

(8) Upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site.

(9) Preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development to reduce flooding, streambank erosion, sediment in stormwater drainage systems and creeks, and minimize damage to public and private facilities. Ensure that existing site features that naturally aid in stormwater management are protected and enhanced. Recognize that every site is in a watershed and stormwater management is important on both small and large sites to improve stormwater quality and reduce overall runoff.

(c) This chapter establishes procedures and criteria for the review of buildings, structures and improvements necessary to meet this purpose. (Ord. 619 (part), 2010; Ord. 514 §1(part), 1993).

#### 18.41.020 Improvements subject to design review.

(a) Design review is required for the following projects:

(1) All new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area, including enclosing existing open areas.

(2) All building relocations.

(3) Any increase to the existing roof height.

(4) All fences, gates or walls, or a combination of these, greater than forty-eight inches in height in any yard adjacent to the street or right-of-way.

(5) The construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.

(6) New retaining walls with a cumulative total of more than one hundred linear feet.

(7) Any sports court fences over 6 feet in height and for gate columns and other decorative fence elements that exceed the permitted fence height limits.

(8) Any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence, as determined by the Planner.

(9) Any activity or project resulting in more than fifty cubic yards of grading or filling, whether or not a building permit is required.

(10) Any construction, improvements, grading/filling or other site work within twenty-five feet of a creek, waterway or drainageway, whether or not a building permit is required with the exception of creek projects in accordance with Section 18.41.020(b)(4) of this Code.

(11) Any project resulting in over 1,000 square feet of new impervious landscape surface, whether or not a building permit is required.

(12) Redevelopment, Rehabilitation, and/or renovation of existing landscaping over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood, whether or not a building permit is required.

(b) Design Review is not required for the following:

(1) Repainting existing structures involving no exterior remodeling resulting in additions, extensions or alterations.

(2) Accessory Dwelling Units in Accordance with Chapter 18.42 of this Code.

(3) Attic improvement permitted under Chapter 18.46 unless the project involves exterior work within twenty-five feet of a creek, waterway or drainageway, or if the attic project is associated with a larger project that requires design review.

(4) Creek stabilization and/or stream bank repair and alteration permits subject to issuance of a building permit and local, state, and federal permitting approval.

(5) Improvement of an existing basement in accordance with Chapter 18.45 of this Code.

(6) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in accordance with Section 18.41.090(d) of this Chapter. (Ord. 704 (part), 2020; Ord. 696 (part), 2019; Ord. 624 (part), 2011; Ord. 619 (part), 2010; Ord. 604 (part), 2008; Ord. 578 §7, 2003; Ord. 575 (part), 2003; Ord. 558 (part), 2001; Ord. 557 (part), 2001; Ord. 544 (part), 1999; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.030 Chapter application. No work shall be started or authorized on any matter which is subject to design review on any lot located within the town until a design review application is approved, unless written approval for the work is first given by the town planner. (Ord. 514 §1(part), 1993).

18.41.040 Submittal requirements. Every design review application shall include drawings, plans, specifications and graphic or written material as required by the town planner or town council to clearly and accurately describe the proposed work, its effect on the environment and its relationship to existing improvements. The applicant shall pay a fee as set by the town council. All drawings and plans shall show both existing and proposed elevations and clearly identify all new construction and label all materials as new or existing. A structural engineer's report on the condition of the existing structure and its ability to meet building code requirements without additional modifications shall be prepared as required by the town planner or town council. An extensive termite, dry rot damage report shall be prepared, as required by the town planner or town council, which shall not only identify areas of damage but shall explore to determine the full extent of the damage, both exposed and concealed. Complete photos and a videotape of the structure's exterior shall be provided as required by the town planner or town council. A project manager, hired by the town at the applicant's expense, shall monitor demolition/construction activity as deemed necessary by the town building official. The applicant shall submit a proposed erosion control and sediment control plan, stormwater control plan, and/or stormwater facilities operation and maintenance plan if required by chapter 12.28 of the town code. Standard submittal requirements will be prepared by the town planner. Additional material may be required by the town planner. (Ord. 657 (part), 2014; Ord. 604 (part), 2008; Ord. 534 (part), 1996; Ord. 514 §1(part), 1993).

18.41.050 Review authority. The town council will conduct the design review provided for by this chapter, except as otherwise provided in this chapter. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.060 Town Council Review. Except as otherwise provided in this chapter, the town council will decide design review applications at a public meeting. The town council will review the application at its next available meeting following a determination by the town planner that the application is complete. The town clerk will mail written notice at least ten calendar days prior to the hearing to the applicant and to all owners of property within three

hundred feet from the exterior boundaries of the project site. (Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.070 Approval--Special conditions and findings.

(a) The town council may approve, conditionally approve or deny an application for design review. The town council shall include conditions necessary to meet the purpose of this chapter and for substantial compliance with the criteria set forth in this chapter. The council may adopt by resolution standard conditions for all projects to meet.

(b) The town council shall make the following findings in approving any project:

(1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.

(2) The project is in substantial compliance with the design criteria of Section 18.41.100.

(3) The project is consistent with the Ross general plan and zoning ordinance.

(c) The town council shall deny any project for which it cannot make the above findings required in this section. (Ord. 514 §1(part), 1993).

18.41.080 Denial of incomplete or inactive applications. Consistent with state law, the town planner may administratively deny without prejudice any application which remains incomplete or inactive for a period of greater than ninety days or is continued at the applicant's request for more than sixty days. (Ord. 514 §1(part), 1993).

18.41.090 Administrative review. The town planner may administratively approve, conditionally approve or deny the following without notice or a public hearing: (a) An amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulations. Such administrative review may include, but is not limited to, the addition of skylights, greenhouse windows and other minor changes from approved design review plans. (b) Design review of fences pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (c) An application that involves alteration of more than twenty-five percent of the exterior walls, but less than twenty-five percent of the exterior wall coverings of a residence pursuant to the provisions of Section 18.41.070 and Section 18.41.080. (d) Outdoor advertising for the Local Service Commercial (C-L) Zoning District in consultation with the Town's Advisory Design Review Group. (Ord. 704 (part), 2020; Ord. 641 (part), 2013; Ord. 514 §1(part), 1993).

18.41.100 Design review criteria and standards. This section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

(a) Preservation of Natural Areas and Existing Site Conditions.

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridgelines and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion.

(3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site.

There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

(c) Minimizing Bulk and Mass.

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting.

Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening.

Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a “walled-in” feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate. Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views.

Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning. Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the

same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety.

Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy.

Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations.

Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved



design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District.

The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock.

Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area.

Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) Setbacks.

All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) Low Impact Development for Stormwater Management.

Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) Maximize Permeability and Reduce Impervious Surfaces. Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are

encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

(2) Disperse Runoff On Site. Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) Include Small-Scale Stormwater Controls and Storage Facilities. As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or “green roofs”, catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 696 (part), 2019; Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

18.41.110 Noncompliance. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. Such violation will be subject to the enforcement penalties procedures of Chapter 18.64 of this code. (Ord. 514 §1(part), 1993).

18.41.120 Emergency situations. If a condition exists which requires immediate action to protect public health, safety and welfare, the town building official may, after consultation with the town planner, grant emergency approval to temporarily correct or ameliorate such condition without submitting the matter to the Town Council for design review approval or posting written notice. Permanent corrective measures shall require design review approval in accordance with the provisions of this chapter. The building official and town planner may impose conditions on an emergency permit as necessary to ensure compliance with this chapter. (Ord. 514 §1(part), 1993).

# ATTACHMENT 2



# Town of Ross

## Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

### PLANNING APPLICATION FORM

#### Type of Application (check all that apply):

- |                                                            |                                                             |
|------------------------------------------------------------|-------------------------------------------------------------|
| <input checked="" type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception                    |
| <input type="checkbox"/> Appeals                           | <input type="checkbox"/> Non-conformity Permit              |
| <input type="checkbox"/> Basement and Attics Exception     | <input checked="" type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance         | <input type="checkbox"/> Tentative Map                      |
| <input type="checkbox"/> Demolition Permit                 | <input type="checkbox"/> Tentative Map Amendment            |
| <input checked="" type="checkbox"/> Design Review          | <input type="checkbox"/> Time Extension                     |
| <input type="checkbox"/> Design Review- Amendment          | <input type="checkbox"/> Use Permit                         |
| <input type="checkbox"/> Final or Parcel Map               | <input type="checkbox"/> Variance                           |
| <input type="checkbox"/> General Plan Amendment            | <input type="checkbox"/> Zoning Ordinance                   |
| <input type="checkbox"/> Hillside Lot Permit               | <input type="checkbox"/> Amendment Other:                   |
| <input type="checkbox"/> Lot Line Adjustment               | <input type="checkbox"/> Other:                             |

#### To Be Completed by Applicant:

Assessor's Parcel No(s): 073-211-38

Project Address: 189 LAGUNITAS ROAD

Property Owner: JENNIFER AND JEFFREY BOGAN

Owner Mailing Address (PO Box in Ross):

City/State/Zip: ROSS, CA 94957

Owner's Phone: 404-290-2789

Owner's Email: jeff.t.bogan@gmail.com, jencohenbogan@gmail.com

Applicant: BROOKS MCDONALD, ARCHITECT

Applicant Mailing Address: 1615 BRIDGEWAY

City/State/Zip: SAUSALITO, CA 94965

Applicant's Phone: 415-350-8011

Applicant's Email: BROOKS@BROOKSMCDARCHITECTURE.COM

Primary point of Contact Email: ☐ Owner ☐ Buyer ☐ Agent ☒ Architect

#### To Be Completed by Town Staff:

Date Received: \_\_\_\_\_

Application No.: \_\_\_\_\_

Zoning: \_\_\_\_\_

Planning 5300 \_\_\_\_\_

Tree Permit 5305 \_\_\_\_\_

Fee Program Administration 5315-05 \_\_\_\_\_

Record Management 5316-05 \_\_\_\_\_

Record Retention 5112-05 \_\_\_\_\_

Technology Surcharge 5313-05 \_\_\_\_\_

Date paid: \_\_\_\_\_ TOTAL FEES: \_\_\_\_\_

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

**SUBDIVISION INFORMATION ONLY**Number of Lots: N/A**LOT LINE ADJUSTMENT ONLY**

Describe the Proposed Lot Line Adjustment:

N/A

Existing Parcel Size(s)

*Parcel 1:**Parcel 2:*

Adjusted Parcel Size(s)

*Parcel 1:**Parcel 2:***PARCEL ONE****PARCEL 2**

Owners Signature:

Owner's Signature:

Date:

Date:

Owner's Name (Please Print):

Owner's Name (Please Print):

Assessor's Parcel Number:

Assessor's Parcel Number:

\* If there are more than two affected property owners, please attach separate letters of authorization.

**REZONING OR TEXT AMENDMENT ONLY**

The applicant wishes to amend Section \_\_\_\_\_ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel \_\_\_\_\_ from the \_\_\_\_\_ Zoning District to \_\_\_\_\_.

**GENERAL OR SPECIFIC PLAN AMENDMENT ONLY**

Please describe the proposed amendment:

**CERTIFICATION AND SIGNATURES**

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.


 Owner's Signature:
*Jeffrey Bogan*Date: 04 / 06 / 2022

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Architect/Agent: Signature:

Date: 4.6.2022

**SIGNATURE:**

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

*I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at*

**County of Marin**, California on **4/6/2022**



*Jeffrey Bogan*



Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

**Notice of Ordinance/Plan Modifications**

- ☒ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

**Alternate Format Information**

*The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.*

**Consultant Information**

The following information is required for all project consultants.

**Landscape Architect**

Firm IMPRINTS LANDSCAPE ARCHITECTURE  
 Project Landscape Architect BRAD EIGSTI  
 Mailing Address 202 ROSEMONT AVE  
 City MILL VALLEY State CA ZIP 94941  
 Phone 415.380.0755 Fax \_\_\_\_\_  
 Email BRAD@IMPRINTSGARDENS.COM  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Civil/ Geotechnical Engineer**

Firm Miller Pacific Engineering Group - Geotechnical  
 Project Engineer Monica Thornton  
 Mailing Address 1360 Redwood Way, Suite B  
 City Petaluma State CA ZIP 94954  
 Phone 707-765-6140 Fax \_\_\_\_\_  
 Email MThornton@millerpac.com  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Arborist**

Firm \_\_\_\_\_  
 Project Arborist \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_  
 Email \_\_\_\_\_  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant GLENN DEARTH LTD ENGINEERING, INC. - CIVIL  
 Mailing Address 1050 NORTHGATE DRIVE, SUITE 450  
 City SAN RAFAEL State CA ZIP 94903  
 Phone 415.717.8719 Fax \_\_\_\_\_  
 Email GDEARTH@LTDENGINEERING.COM  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_  
 Email \_\_\_\_\_  
 Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_





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**Mandatory Findings for Variance Applications**

*In order for a variance to be granted, the following mandatory findings must be made:*

**Special Circumstances**

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

N/A

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**Substantial Property Rights**

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

N/A

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**Public Welfare**

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

N/A

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TITLE	Ross Application
FILE NAME	189 Lagunitas pla...lication_form.pdf
DOCUMENT ID	f470c73ead3d2f495ed1c78fa758c4cb18109883
AUDIT TRAIL DATE FORMAT	MM / DD / YYYY
STATUS	● Signed

## Document History



SENT

**04 / 06 / 2022**

19:27:44 UTC

Sent for signature to Jeffrey Bogan (jeff.t.bogan@gmail.com)  
from jeff.t.bogan@gmail.com  
IP: 67.169.14.105



VIEWED

**04 / 06 / 2022**

19:27:56 UTC

Viewed by Jeffrey Bogan (jeff.t.bogan@gmail.com)  
IP: 67.169.14.105



SIGNED

**04 / 06 / 2022**

19:28:10 UTC

Signed by Jeffrey Bogan (jeff.t.bogan@gmail.com)  
IP: 67.169.14.105



COMPLETED

**04 / 06 / 2022**

19:28:10 UTC

The document has been completed.

# ATTACHMENT 3



Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

# 189 LAGUNITAS ROAD

ROSS, CA 94960    APN# 073-211-38

## GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), AND THE CALIFORNIA ELECTRICAL CODE (CEC) AND ANY OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
8. [IF APPLICABLE:] SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420). PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF CALGREEN 4.303.1.1 THROUGH 4.303.1.4.4, AND BE INSTALLED IN ACCORDANCE WITH CPC AND SHALL MEET THE APPLICABLE REFERENCE STANDARDS
9. [IF APPLICABLE:] GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 5406 (D) 5)
10. [IF APPLICABLE:] SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
11. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R AND TITLE 24 ENERGY REPORT (ATTACHED ONLY IF APPLICABLE). INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.
12. SEE SHEET CG FOR OTHER MANDATORY MEASURES APPLICABLE TO THIS PROJECT

## ABBREVIATIONS

A.D.	AREA DRAIN	GALV	GALVANIZED	REF	REFERENCE
A.S.F.	ABOVE SUB FLOOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	REFR	REFRIGERATOR
ADJ	ADJUSTABLE	GL	GLASS	REG	REGISTER
AFF	ABOVE FINISH FLOOR	GND	GROUND	REINF	REINFORCED
ALUM	ALUMINUM	GW6	GYPSUM WALLBOARD (SHEETROCK)	REQ'D	REQUIRED
ARCH	ARCHITECTURAL	H.B.	HOSE BIB	RET	RETURN
ATTN	ATTENTION	HDWR	HARDWARE	REV	REVISED
BLKG	BLOCKING	HDR	HEADER	RVA	ROOM
BLDG	BUILDING	HP	HIGH POINT	R.O.W.	RIGHT OF WAY
BD	BOARD	HORIZ	HORIZONTAL	RWL	RAIN WATER LEADER
BTWN	BETWEEN	HT	HEIGHT	S.A.D.	SEE ARCHITECTURE DRAWINGS
B.O.	BY OWNER	ID	INSIDE DIMENSION	SCHED	SCHEDULE
CAB	CABINERY	IN	INCH	SHTG	SHATHING
CL	CENTERLINE	INSUL	INSULATION	SIM	SIMILAR
CLO	CLOSET	INT	INTERIOR	SPEC	SPECIFICATION
CLG	CEILING	JB	JUNCTION BOX	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	JT	JOINT	SF	SQUARE FEET
COL	COLUMN	LAM	LAMINATED	S.M.D.	SEE MECHANICAL DRAWINGS
CONC	CONCRETE	LAV	LAVATORY	S.S.D.	SEE STRUCTURAL DRAWINGS
CONT	CONTINUOUS	LP	LOW POINT	SS	STAINLESS STEEL
CP	CENTER POINT	LT	LIGHT	STD	STANDARD
C.T.	CERAMIC TILE	MECH	MECHANICAL	STL	STEEL
DIA	DIAMETER	MIN	MINIMUM	STRUCT	STRUCTURAL
DBL	DOUBLE	MR	MOISTURE RESISTANT	SUSP	SUSPENDED
DET	DETAIL	MTL	METAL	T	TREAD
DN	DOWN	(N)	NEW	TBD	TO BE DETERMINED
DEPT	DEPARTMENT	N.I.C.	NOT IN CONTRACT	TEMP	TEMPERED
DW	DISHWASHER	NOM	NOMINAL	T.T.	TOP OF
DWG	DRAWINGS	NIS	NOT TO SCALE	T.T.P.	TOP OF PLATE
DWR	DRAWER	OC	ON CENTER	T.T.C.	TOP OF CONCRETE
EA	EACH	OD	OUTSIDE DIMENSION	T.T.W.	TOP OF WALL
EJ	EXPANSION JOINT	OH	OVERHEAD	THK	THICK
ELEC	ELECTRICAL	OPN'G	OPENING	TYP	TYPICAL
ELEV	ELEVATION	OPP	OPPOSITE	UON	UNLESS OTHERWISE NOTED
EQ	EQUAL	PL	PROPERTY LINE	UNF	UNFINISHED
(E)	EXISTING	PLAS	PLASTER	VAR	VARIABLES
EXT	EXTERIOR	PLYWD	PLYWOOD	VCT	VINYL COMPOSITE TILE
F.O.F.	FACE OF FINISH	PT	POINT	VEST	VESTIBULE
F.O.S.	FACE OF STRUCTURE	PTD	PAINTED	VIF	VERIFY IN FIELD
FAY	FORCED AIR UNIT	QTY	QUANTITY	W.C.	WATER CLOSET
FIN	FINISH	R	RISER	WOOD	WOOD
FLR	FLOOR	RAD	RADIUS	W.R.	WATER RESISTANT
F.R.	FIRE RATED	RCP	REFLECTED CEILING PLAN	WT	WEIGHT
GA	GUAGE	RD	ROOF DRAIN		

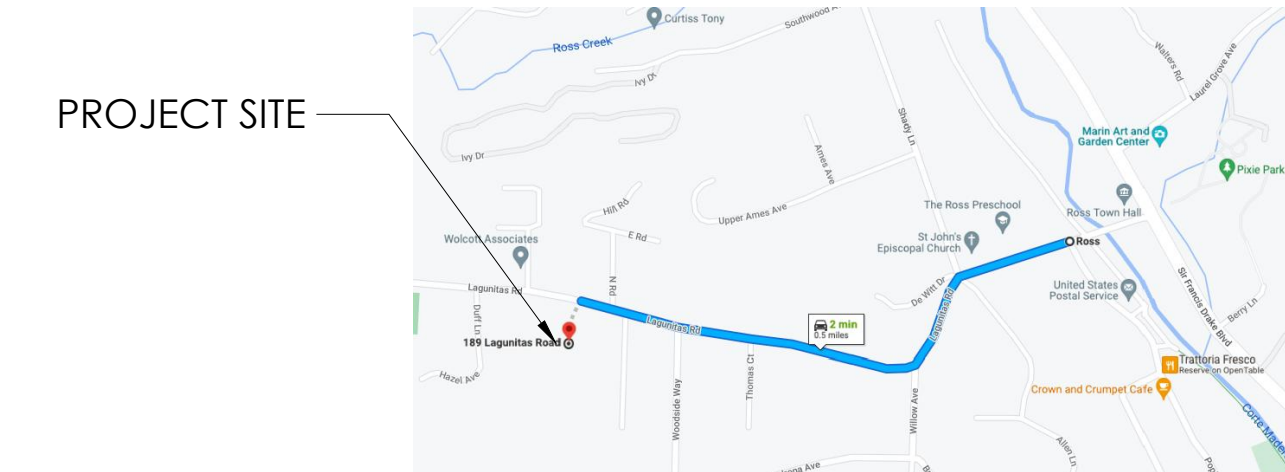
## SYMBOL LEGEND

ROOM NAME	STUDIO A	room name
	117	room number
WALL TYPE	P9A	
DOOR NUMBER	101	
WINDOW NUMBER	9	
RCP ELEVATION	+9'-0"	
FINISH FLOOR ELEVATION	C-XX	
ELEVATION DATUM	FIRST FLR FFE	datum location
	EL. = +X'-X" A.F.F.	elevation
SECTION	X/A/X	view direction
	X/A/X	sheet number
	X/A/X	drawing number
DETAIL	X/A/X	drawing number
	X/A/X	sheet number
ELEVATION	X/A/X	view direction
	X/A/X	sheet number
	X/A/X	drawing number
	X/A/X	drawing number
	X/A/X	elevation designation
	X/A/X	sheet number
INTERIOR ELEVATION	X/A/X	
COLUMN GRIDLINE	99	
ADDENDUM	A	
EXISTING WALLS TO REMAIN		
EXISTING WALLS TO BE REMOVED		
EXISTING ELEMENTS TO BE REMOVED		
NEW TYP, NON-RATED WALL		
1-HOUR RATED WALL:		
1 LAYER TYPE X 3/4" GWB EACH SIDE		
CENTER LINE		
LINE OF ITEM ABOVE		

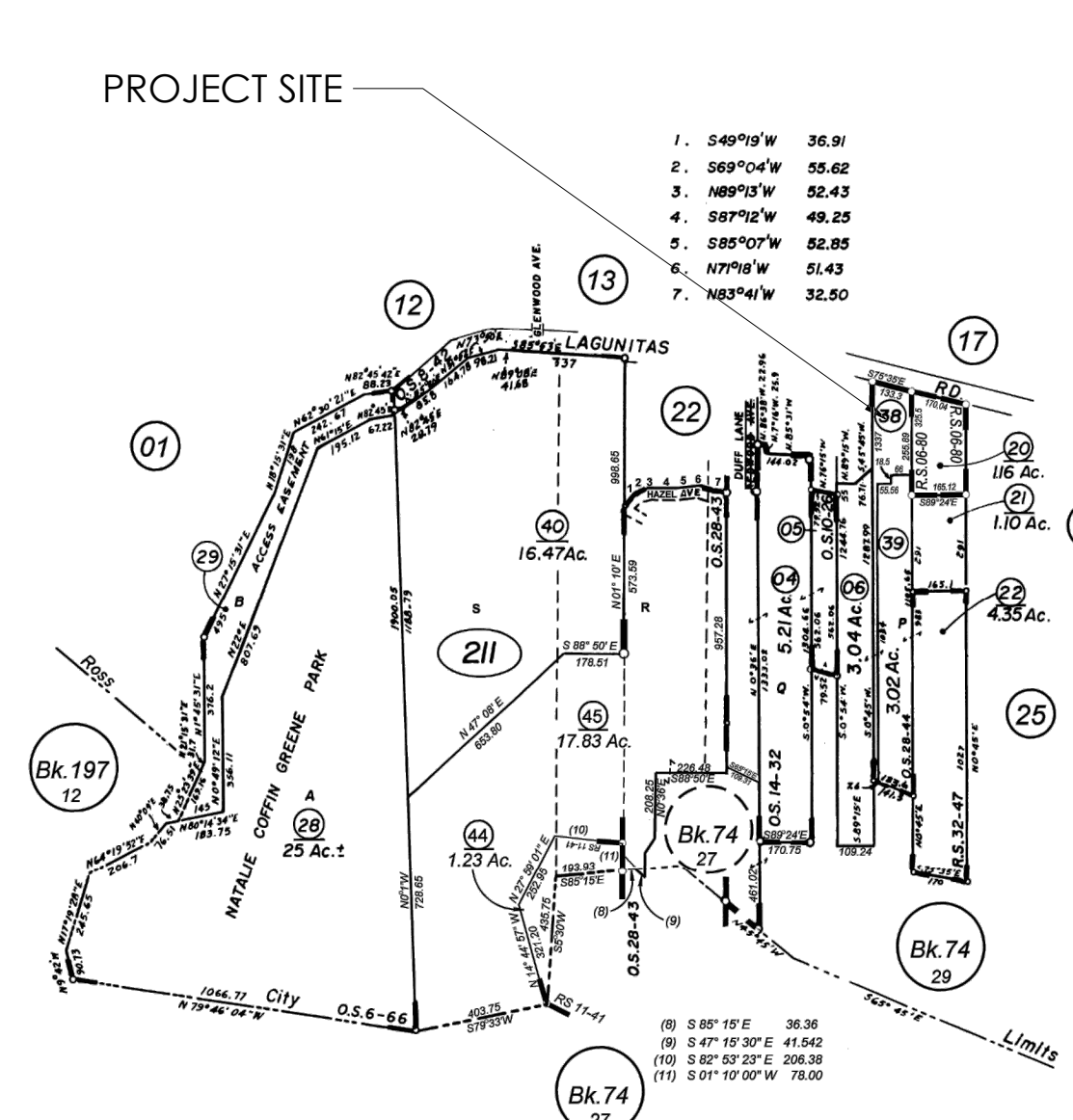
## PROPOSED RENDERING



## VICINITY MAP



## ASSESSOR'S PARCEL MAP



### LOT SIZE\*: 39428

EXISTING LOT COVERAGE (IMPERVIOUS)	PROPOSED LOT COVERAGE (IMPERVIOUS)
MAIN HOUSE: 2909 SF	MAIN HOUSE: 3095 SF
DRIVEWAY: 6779 SF	DRIVEWAY: 5680 SF
HARDSCAPE: 1822 SF	HARDSCAPE: 3034 SF
GARAGE: 860 SF	ADU/GARAGE: 860 SF
	POOL: 880 SF
TOTAL: 12,370 SF (31%)	TOTAL: 13,549 SF (34%)
PERVIOUS: 27,058 SF = 69%	PERVIOUS: 25,879 SF = 66%

## AREA CALCS (SQUARE FEET)

FLOOR	EXISTING	PROPOSED	DELTA
LOWER FLOOR	0	394	+394
LOWER FLOOR ADU	394	0	-394
FIRST FLOOR	2265	2412	+147
SECOND FLOOR	1582	1843	+261
MAIN HOUSE	4241	4649	+408
GARAGE	748	748	+0
ADU	0	517	+517
ABOVE GARAGE STORAGE	351	0	-351
TOTAL GROSS (FAR)	5340	5914	+574

## APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA RESIDENTIAL CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA ENERGY CODE WITH LOCAL AMENDMENTS
- 2019 CALIFORNIA GREEN BUILDING CODE WITH LOCAL AMENDMENTS
- 2019 TOWN OF ROSS MUNICIPAL CODE

THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AND EXTERIOR WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING:

- NONCOMBUSTIBLE MATERIAL
- IGNITION-RESISTANT MATERIAL
- ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION
- THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE FLOOR PROJECTION INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
- THE UNDERSIDE OF A FLOOR PROJECTION ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3

ALL (N) DECKING & STAIRS TO BE 1-1/4" MIN THICK SOLID CON HEART REDWOOD (LISTING 8110-2041:0002) OR 1X6 IPE BY REDWOOD EMPIRE (LISTING 8110-2065:0001) PER SFM 12-7A-4 & 12-7A-5

## PROJECT DIRECTORY

<b>OWNER:</b> JEN & JEFF BOGAN 189 LAGUNITAS RD ROSS, CA 94960	<b>CIVIL ENGINEER:</b> GLENN DEARTH LTD ENGINEERING, INC. 1050 NORTHGATE DRIVE, SUITE 450 SAN RAFAEL, CA 94903 415.717.8719 GDEARTH@LTDENGINEERING.COM
<b>ARCHITECT:</b> BROOKS MCDONALD ARCHITECTURE 1615 BRIDGEWAY SAUSALITO, CA 94965 415.350.8011 BROOKS@BROOKSMCDONALDARCHITECTURE.COM	<b>SURVEYOR</b> RW DAVIS & ASSOC. 45 LEVERONI CT NOVATO CA 94949 415.883.9099 RWDAVIS@RWDAVIS-SURVEY.COM
<b>LANDSCAPE ARCHITECT:</b> BRAD EIGSTI IMPRINTS LANDSCAPE ARCHITECTURE 202 ROSEMONT AVE MILL VALLEY, CA 94741 415.380.0755 BRAD@IMPRINTSGARDENS.COM	

## PROJECT DESCRIPTION

REMODEL AND HORIZONTAL ADDITIONS TO THE REAR AT 2 FLOORS OF MAIN HOUSE. REPLACE DORMERS AT GARAGE STRUCTURE. REPLACE WINDOWS AND EXTERIOR SIDING MATERIALS. UPGRADE EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.

CONVERT EXISTING STORAGE AREA ABOVE GARAGE TO ADU STUDIO. CONVERT EXISTING ADU SPACE TO NON-ADU HABITABLE BEDROOM.

ALL PROPOSED WORK SHALL CONFORM TO THE ROSS MUNICIPAL CODES. LESS THAN 25% EXTERIOR WALLS OR WALL COVERINGS TO BE REMOVED/ALTERED FOR WINDOW REPLACEMENT.

HOUSE AND ADU TO BE FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13D.

## PROJECT DATA

<b>PARCEL INFORMATION</b>	
PARCEL:	073-211-38
PROPERTY ADDRESS:	189 LAGUNITAS RD ROSS, CA 94960
LOT AREA:	44,431 SF (MARIN ASSESSOR) 43,556 SF (SURVEY) 4128 SF EASEMENT (SURVEY) 39,428 SF (SURVEY)

\*LOT AREA FOR FAR CALC:

EXISTING BLDG COVERAGE:	3717 SF = 9%
PROPOSED BLDG COVERAGE:	4134 SF = 10%
15% ALLOWED PER RMC 18.32.060	

EXISTING F.A.R.:	5350 SF = 14%
PROPOSED F.A.R.:	5914 SF = 15%
15% ALLOWED PER RMC 18.32.070	

PROPOSED AREA OF ADDITIONAL DISTURBANCE:	2445 SF
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EXISTING PARKING:	4+1, 2 ENCLOSED
PROPOSED PARKING:	4+1, 2 ENCLOSED
5 REQUIRED PER RMC 18.32.040	

### ZONING INFORMATION

ZONING DISTRICT:	R-1-B-A SINGLE FAMILY RESIDENTIAL
PERCENT SLOPE:	20.1%
TRACT BLOCK:	118100
FLOOD ZONE:	X
FRONT YARD (SETBACK):	25' MIN - PROVIDED
REAR YARD (SETBACK):	40' MIN - PROVIDED
SIDE YARD (SETBACKS):	25' MIN - 6'6" AND 12'4" EXISTING (ALL ADDITIONS TO BE >25') 30' MAX - 27'7" EXISTING (ALL ADDITIONS TO BE <27'-7")
MAX BLDG HEIGHT:	V-8

### BUILDING INFORMATION

OCCUPANCY	R-3 SINGLE FAMILY RESIDENTIAL
NO. UNITS	2 EXISTING / 2 PROPOSED
NO. STORIES MAIN HOUSE:	3 EXISTING / 3 PROPOSED
CONSTRUCTION TYPE:	V-8
SPRINKLER PROTECTION:	FULLY SPRINKLERED ON SEPARATE PERMIT
WILDLAND-URBAN INTERFACE: YES.	ALL CONSTRUCTION SHALL COMPLY WITH BUILDING STANDARDS IN 2019 CFC CHAPTER 7A AND 2019 CRC SECTION 337. ALL VEGETATION AND CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION (DEFENSIBLE SPACE); ALL NEW DECKING SHALL BE CON HEART REDWOOD 2X MINIMUM THICKNESS.

GRADING CALCS:	
CUT: 410 CUBIC YARDS	
FILL: 20 CUBIC YARDS	
EXCESS/OFFHAUL: 390 CUBIC YARDS	

## SHEET INDEX

### ARCHITECTURAL DRAWINGS

A0.1	PROJECT INFORMATION
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A1.2	STORY POLE DIAGRAM
A2.0	DEMO & PROPOSED BASEMENT FLOOR PLANS
A2.1	DEMO & PROPOSED LOWER FLOOR PLANS
A2.2	DEMO & PROPOSED UPPER FLOOR PLANS
A2.3	DEMO & PROPOSED ABOVE GARAGE (ADU) PLAN
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A4.3	EXTERIOR ELEVATIONS
A4.4	EXTERIOR ELEVATIONS - ADU
A5.0	SECTIONS
A5.1	SECTIONS
A6.0	MATERIALS BOARD

### LANDSCAPE DRAWINGS

L1	LANDSCAPE CONCEPT PLAN
L2	LANDSCAPE CONCEPT PLAN, PLANT LIST
L3	LANDSCAPE CONCEPT PLAN, PLANT LIST

### CIVIL DRAWINGS

C-1	COVER SHEET
C-2	CONCEPTUAL GRADING & DRAINAGE PLAN (1/2)
C-3	CONCEPTUAL GRADING & DRAINAGE PLAN (2/2)
C-4	DETAILS
V-1	SURVEY

BROOKS MCDONALD  
ARCHITECTURE  
info@brooksmcdonaldarchitecture.com  
415.350.8011  
CA LIC #C33087  
www.brooksmcdonaldarchitecture.com

BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN #073-211-38



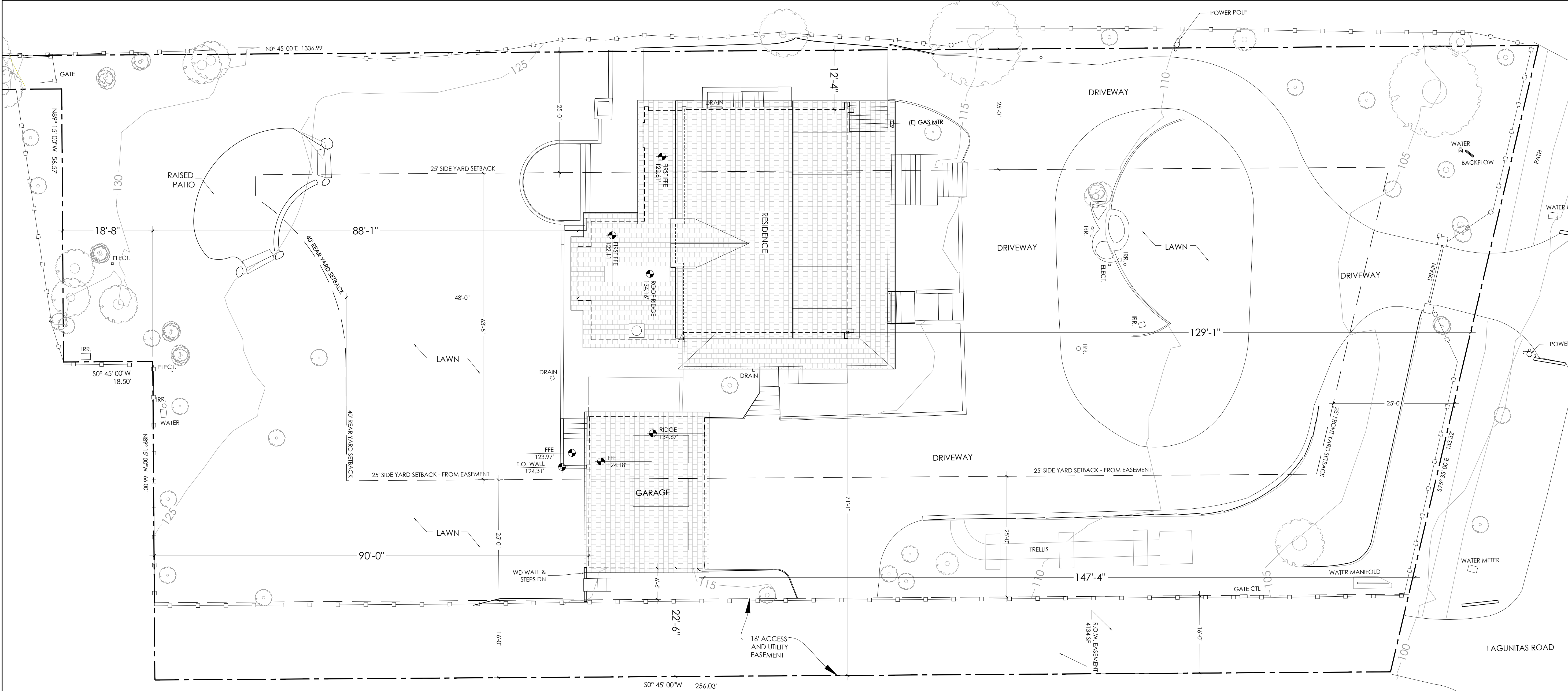
ISSUED  
DESIGN REVIEW:  
4.6.2022

### PROJECT INFO

A0.1



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# 1 EXISTING / DEMO SITE PLAN

3/32" = 1'-0"

## TREE PROTECTION MEASURES

- PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING DEMOLITION OR GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED A MINIMUM OF TWO FEET BEYOND THE CANOPY DRIPLINES THAT CREATE THE TPZ (TREE PROTECTION ZONE). THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIPLINE ENCROACHMENT OF ANY TYPE BY CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, AND PERSONNEL.
- FENCING SHALL BE A MINIMUM FOUR FOOT HEIGHT AT ALL LOCATIONS, AND SHALL FORM A CONTIGUOUS BARRIER WITHOUT ENTRY POINTS AROUND THE TPZ. BARRIER TYPE FENCING SUCH AS CHAIN LINK OR TENSAR PLASTIC FENCING IS SUGGESTED, BUT ANY FENCING SYSTEM THAT ADEQUATELY PREVENTS THE ENTRY OF EQUIPMENT AND ACTIVITY IS ACCEPTABLE. FENCING SHALL BE INSTALLED IN A PROFESSIONAL MANNER WITH ADEQUATE UPRIGHTS AND APPROPRIATE ATTACHMENTS. ANY ENCROACHMENTS INTO THE DRIPLINE FOR FENCING OR CONSTRUCTION PURPOSES SHALL BE DISCUSSED WITH THE PROJECT ARBORIST IN ADVANCE.
- CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREAS AT ALL TIMES UNTIL THE PROJECT IS COMPLETE, AND SHALL INSTRUCT PERSONNEL AND SUBCONTRACTORS ABOUT THE IMPORTANCE OF TREE PRESERVATION.
- FENCING SHALL REMAIN IN PLACE AND NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. THIS SHALL INCLUDE GRADING AND COMPACTION ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES, AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED PRIOR TO LANDSCAPE INSTALLATION. THERE

- MAY BE OCCASION WHEN ACCESS IS REQUIRED, AND FENCING MAY TEMPORARILY BE MOVED TO FACILITATE THE WORK.
- ROOTS OF SINGLE STANDING TREES OFTEN EXTEND TWO TO THREE TIMES THE DISTANCE OF THE ACTUAL DRIPLINE AND FUNCTION PRIMARILY IN THE UPTAKE OF NUTRIENTS AND WATER. AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE BEYOND THE DRIPLINE SHOULD HAVE MINIMUM INTRUSION TO FURTHER ENSURE TREE SURVIVAL AND HEALTH.

## DEMOLITION NOTES

- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION (C&D) WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN "EASY METHOD".
- C&D MATERIALS SHALL BE SELF-HAULED OR HAVE YOUR DEBRIS BOX HAULER DELIVER C&D MATERIALS TO A CERTIFIED FACILITY FOR RECYCLING.
- RECEIPTS SHALL BE COLLECTED FROM CERTIFIED FACILITIES FOR ALL LOADS, STAPLED TO THE "POST CONSTRUCTION RECYCLING DOCUMENTATION" FORM (SEE SHEET CG HEREIN), AND TURNED IN WITH THE COMPLETED FORM PRIOR TO FINAL INSPECTION.

## PARCEL INFORMATION

PARCEL: 073-211-38  
PROPERTY ADDRESS: 189 LAGUNITAS RD  
ROSS, CA 94960  
LOT AREA: 44,431 SF (MARIN ASSESSOR)  
43,556 SF (SURVEY)  
4128 SF EASEMENT (SURVEY)  
39,428 SF (SURVEY)

\*LOT AREA FOR FAR CALC:

EXISTING BLDG COVERAGE: 3717 SF = 9%  
PROPOSED BLDG COVERAGE: 4134 SF = 10%  
15% ALLOWED PER RMC 18.32.060

EXISTING F.A.R.: 5350 SF = 14%  
PROPOSED F.A.R.: 5914 SF = 15%  
15% ALLOWED PER RMC 18.32.070

PROPOSED AREA OF ADDITIONAL DISTURBANCE: 2445 SF

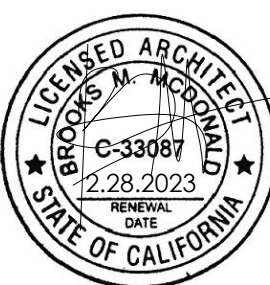
EXISTING PARKING: 4+1, 2 ENCLOSED  
PROPOSED PARKING: 4+1, 2 ENCLOSED  
5 REQUIRED PER RMC 18.32.040

## ZONING INFORMATION

ZONING DISTRICT: R-1-B-A SINGLE FAMILY RESIDENTIAL  
PERCENT SLOPE: 20.1%  
TRACT BLOCK: 118100  
FLOOD ZONE: X  
FRONT YARD (SETBACK): 25' MIN - PROVIDED  
REAR YARD (SETBACK): 40' MIN - PROVIDED  
SIDE YARD (SETBACKS): 25' MIN - 6'-6" AND 12'-4" EXISTING  
(ALL ADDITIONS TO BE >25)  
30' MAX - 27'-7" EXISTING  
(ALL ADDITIONS TO BE <27'-7")

## BUILDING INFORMATION

OCCUPANCY: R-3 SINGLE FAMILY RESIDENTIAL  
NO. UNITS: 2 EXISTING / 2 PROPOSED  
NO. STORIES MAIN HOUSE: 3 EXISTING / 3 PROPOSED  
CONSTRUCTION TYPE: V-B  
SPRINKLER PROTECTION: FULLY SPRINKLERED ON SEPARATE PERMIT



ISSUED

DESIGN REVIEW:  
4.6.2022

EXISTING / DEMO SITE  
PLAN

3/32" = 1'-0"

A1.0

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BOGAN RESIDENCE  
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APN #073-211-38



This site plan illustrates a residential property with a main house, a two-car garage, a swimming pool, and a driveway. The plan includes various setbacks, easements, and proposed additions.

**Key Features and Dimensions:**

- Property Dimensions:** The property is bounded by a 125-foot front setback, a 130-foot side setback, and a 147-foot rear setback.
- House and Garage:** The main house is a two-story structure with a roof slope of 12:12. The garage is a single-story structure with a roof slope of 8:12. The house has a total area of 12,281 sq. ft. and the garage has a total area of 12,187 sq. ft.
- Pool and Deck:** A new pool with a motorized cover is located in the rear yard, measuring 22'-0" by 18'-0". A new deck is located adjacent to the pool, measuring 16'-0" by 22'-6".
- Driveway:** The driveway is 18'-0" wide and 25'-0" deep. It includes a 16'-0" access and utility easement.
- Lawn and Landscaping:** The lawn is 129'-1" wide and 147'-4" deep. Landscaping is shown with various trees and shrubs.
- Setbacks and Easements:** The plan shows a 25' side yard setback, a 40' rear yard setback, and a 25' front yard setback. A 16' access and utility easement is also indicated.
- Proposed Additions:** The plan shows several proposed additions, including a new stone patio, a new stone steps with lights, a new deck, and a new pool with a motorized cover.

**Other Details:**

- The plan includes a north arrow pointing towards the top right.
- Various utility lines (water, sewer, gas) are shown.
- The plan is dated 11/15/15.

$3/32'' = 1'-0''$

1. PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING DEMOLITION OR GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED A MINIMUM OF TWO FEET BEYOND THE CANOPY DRIFLINES THAT CREATE THE TPZ (TREE PROTECTION ZONE). THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIFLINE ENCRoACHMENT OF ANY TYPE BY CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, AND PERSONNEL.
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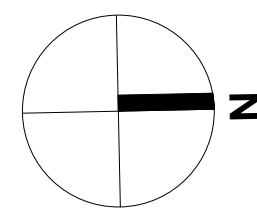
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ROOTS OF SINGLE STANDING TREES OFTEN EXTEND TWO TO THREE TIMES THE DISTANCE OF THE ACTUAL DRILLPILE AND FUNCTION PRIMARILY IN THE UPTAKE OF NUTRIENTS AND WATER. AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE BEYOND THE DRILLPILE SHOULD HAVE MINIMUM INTRUSION TO FURTHER ENSURE TREE SURVIVAL AND HEALTH.

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[illegible]

DIRECTIONS FROM SIR FRANCIS DRAKE:  
1. HEAD NORTH ON SIR FRANCIS DRAKE FROM HWY 101  
2. TURN LEFT (WEST) ONTO LAGUNITAS ROAD  
3. DRIVE 0.5 MILES. THE HOUSE IS ON THE LEFT.



ISSUED  
DESIGN REVIEW:  
4.6.2022

$$3/32'' = 1'-0''$$

## A1.1



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[illegible]

STORY POLE DIAGRAM



### STORY POLE DIAGRAM

## A1.2

BOGAN RESIDENCE

**MCDONALD**  
ARCHITECTURE

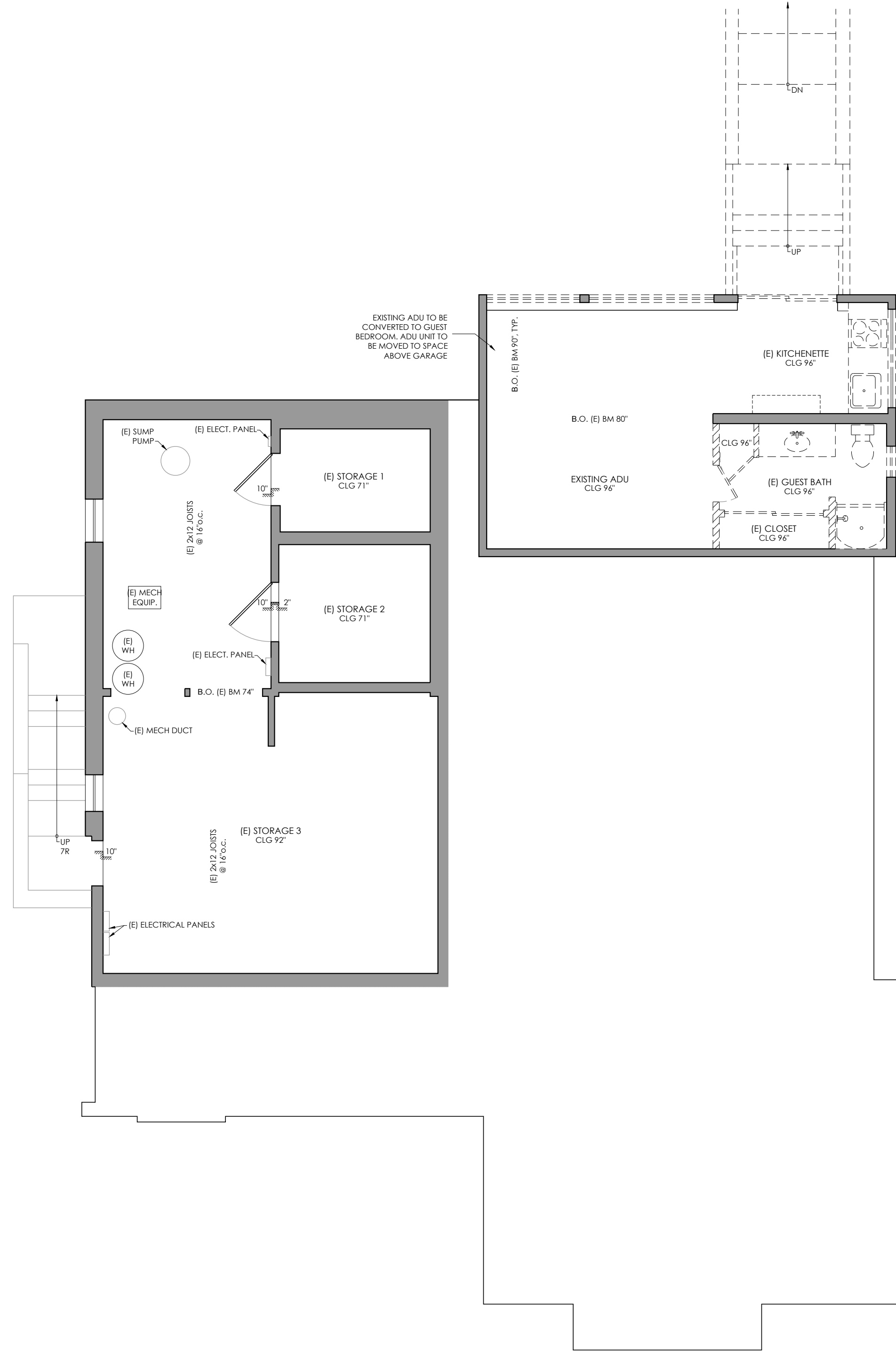
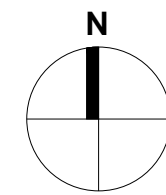
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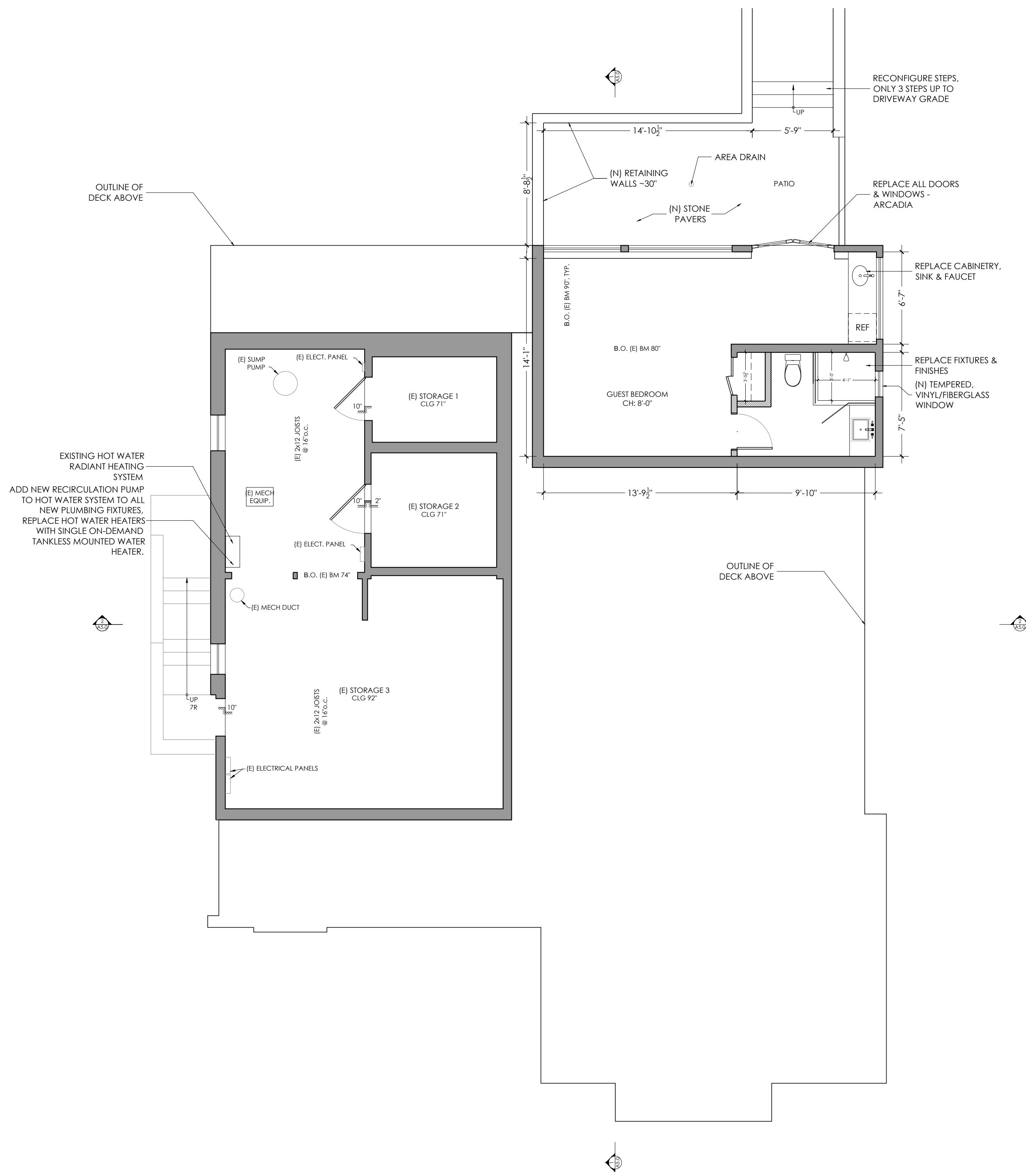
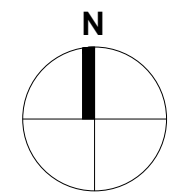
1

LOWER FLOOR DEMO PLAN  
3/16" = 1'-0"



2

LOWER FLOOR PROPOSED PLAN  
3/16" = 1'-0"



WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW TYP. NON-RATED WALL
- 1-HOUR RATED WALL:  
1 LAYER TYPE X 5/8" GWB EACH SIDE

ISSUED  
DESIGN REVIEW:  
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MAIN HOUSE  
EXISTING / DEMO  
LOWER FLOOR PLANS

3/16" = 1'-0"

A2.0



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(E) GAS METER

DN 78

(E) STORAGE

(E) STUDY CLG 106"

B.O. (E) BM 94"

(E) STORAGE

B.O. (E) BM 95"

(E) POWDER CLG 101"

(E) REFRIG.

(E) ELECTRICAL METER

(E) OVEN

(E) KITCHEN CLG 118"

(E) BREAKFAST CLG 101"

CHANGE IN CEILING HT

CLG SLOPES 10/12

(E) STORAGE CLG 101"

(E) PRELACE

(E) LIVING ROOM CLG 106"

B.O. (E) BM 94"

B.O. (E) BM 94"

B.O. (E) BM 94"

(E) DINING ROOM CLG 104"

(E) 9PH SCOFF

B.O. (E) BM 95"

B.O. (E) BM 88"

(E) B.O. (E) BM 101"

(E) FAMILY ROOM CLG 312

(E) SKYLIGHT

(E) 24x10 JOISTS @ 32" o.c.

(E) 13PH PEAK

(E) 24x10 JOISTS @ 32" o.c.

(E) FIREPLACE

(E) 94H T.P. 312

(E) 94H T.P. 312

(E) GUARDRAIL

DN 148

(E) GUARDRAIL

DN 138

EXISTING LINEAR DISTANCE OF EXTERIOR WALLS:

EXISTING LINEAR DISTANCE OF EXTERIOR WALLS TO BE DEMOLISHED:

207.5 LINEAR FT






49 LINEAR FT ( $\frac{49}{207.5} = 23.6\%$ )

[illegible]

1. ADD OR REPLACE BATT OR SPRAY INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
2. BATT INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
3. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
4. ALL NEW WINDOWS AND GLASS DOORS TO COMPLY WITH TITLE 24 ENERGY REPORT.
5. DEMOLITION ON EXISTING PLANS SHOWN BY DASHED LINE.
6. ALL NEW FIXTURES SHALL HAVE MAX FLOW RATES AS FOLLOWS: SHOWERHEADS 1.8 GPM, LAVATORY FAUCETS 1.2 GPM, KITCHEN FAUCETS 1.8 GPM, TOILETS 1.28 GPM.
7. SHOWERS AND TUBS SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OF THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).
8. GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 5406 (D) 5).
9. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.

RET. WALL

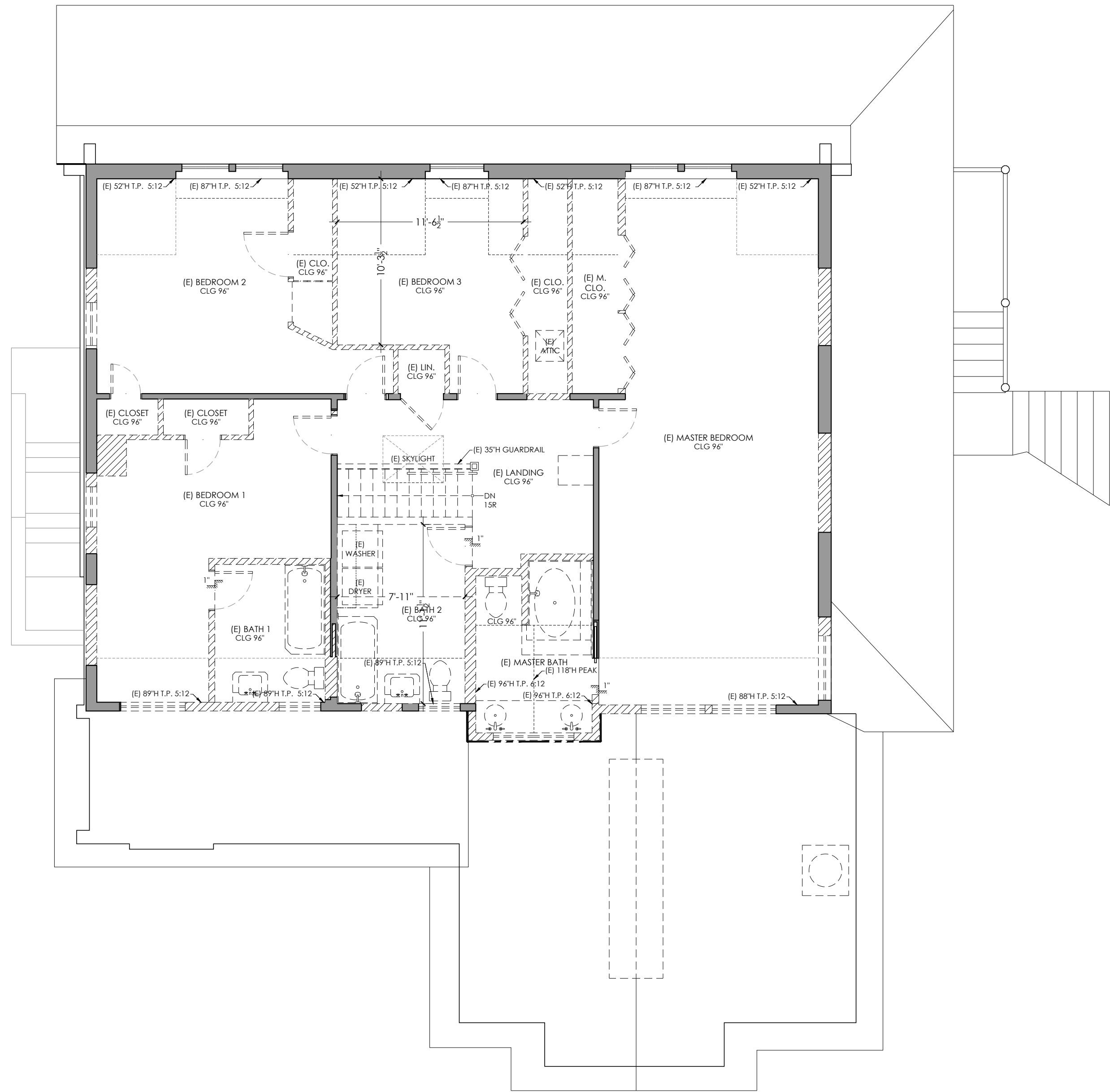
LANDSCAPIN

 EXISTING WALLS TO REMAIN  
 EXISTING WALLS TO BE REMOVED  
 EXISTING ELEMENTS TO BE REMOVED  
 NEW TYP. NON-RATED WALL  
 1-HOUR RATED WALL:  
 1 LAYER TYPE X 5/8" GWB EACH SIDE

### MAIN HOUSE PROPOSED MAIN FLOOR PLANS

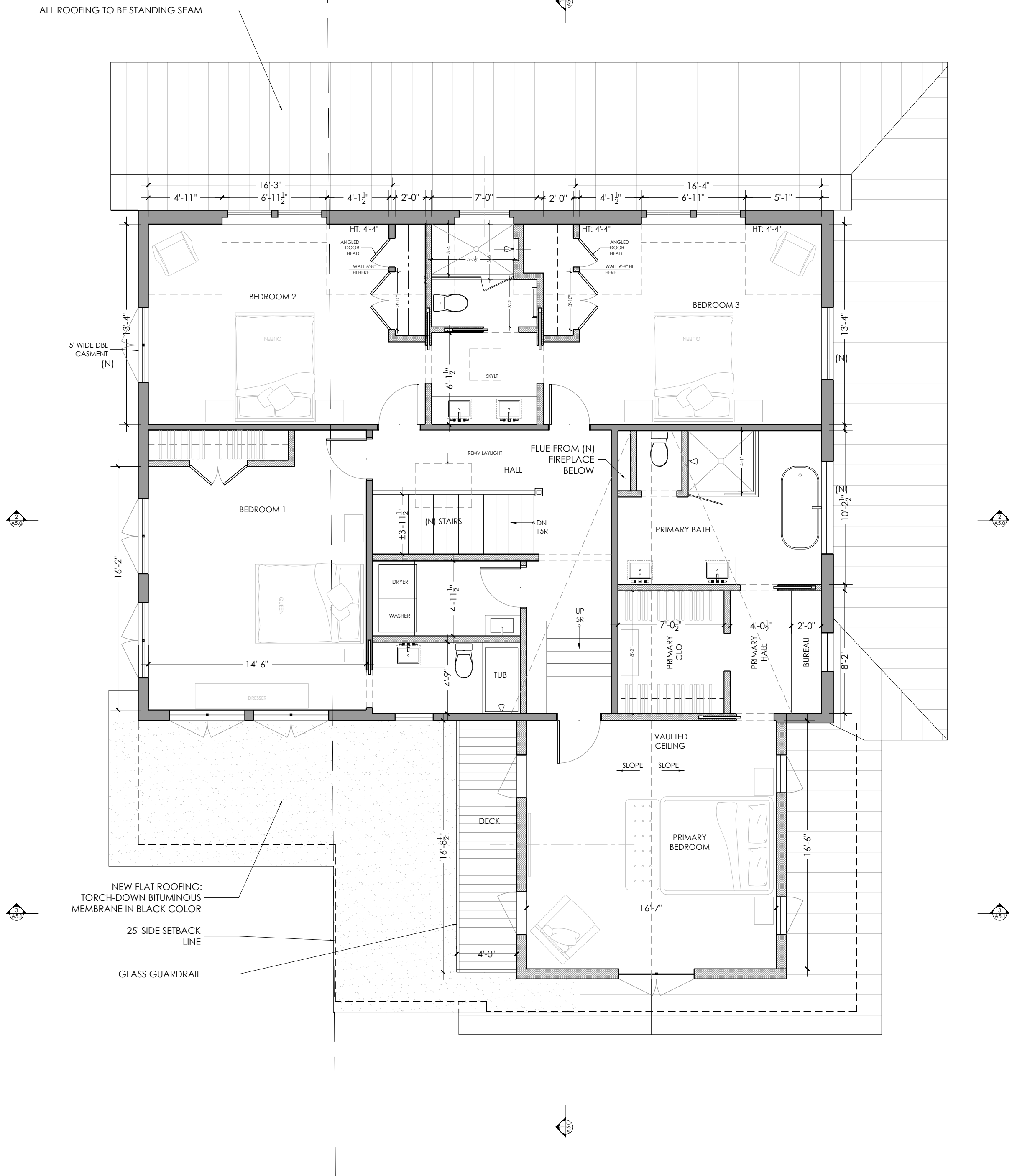
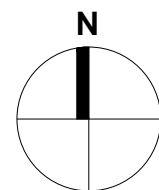
## A2.1

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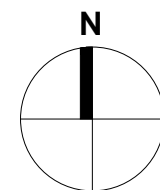
EXISTING LINEAR DISTANCE OF EXTERIOR WALLS: 160.5 LINEAR FT  
EXISTING LINEAR DISTANCE OF EXTERIOR WALLS TO BE DEMOLISHED: 14 LINEAR FT (1/10.3 = 8.7%)

1 UPPER FLOOR DEMO PLAN  
3/16" = 1'-0"



NEW FLAT ROOFING:  
TORCH-DOWN BITUMINOUS  
MEMBRANE IN BLACK COLOR  
25' SIDE SETBACK  
LINE  
GLASS GUARDRAIL

2 UPPER FLOOR PROPOSED PLAN  
3/16" = 1'-0"



FLOOR PLAN NOTES:

1. ADD OR REPLACE BATT OR SPRAY INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
2. BATT INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
3. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS, ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40" ABOVE THE WALKING SURFACE.
4. ALL NEW WINDOWS AND GLASS DOORS TO COMPLY WITH TITLE 24 ENERGY REPORT.
5. DEMOLITION ON EXISTING PLANS SHOWN BY DASHED LINE.
6. ALL NEW FIXTURES SHALL HAVE MAX FLOW RATES AS FOLLOWS: SHOWERHEADS 1.8 GPM, LAVATORY FAUCETS 1.2 GPM, KITCHEN FAUCETS 1.8 GPM, TOILETS 1.28 GPM.
7. SHOWERS AND TUBS SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OF THE THERMOSTATIC MIXING VALVE TYPE, (CPC 420).
8. GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 5406 (D) 5).
9. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW TYP. NON-RATED WALL
- 1-HOUR RATED WALL:  
1 LAYER TYPE X 5/8" GWB EACH SIDE



ISSUED  
DESIGN REVIEW:  
4.6.2022

MAIN HOUSE  
PROPOSED UPPER  
FLOOR PLANS

3/16" = 1'-0"

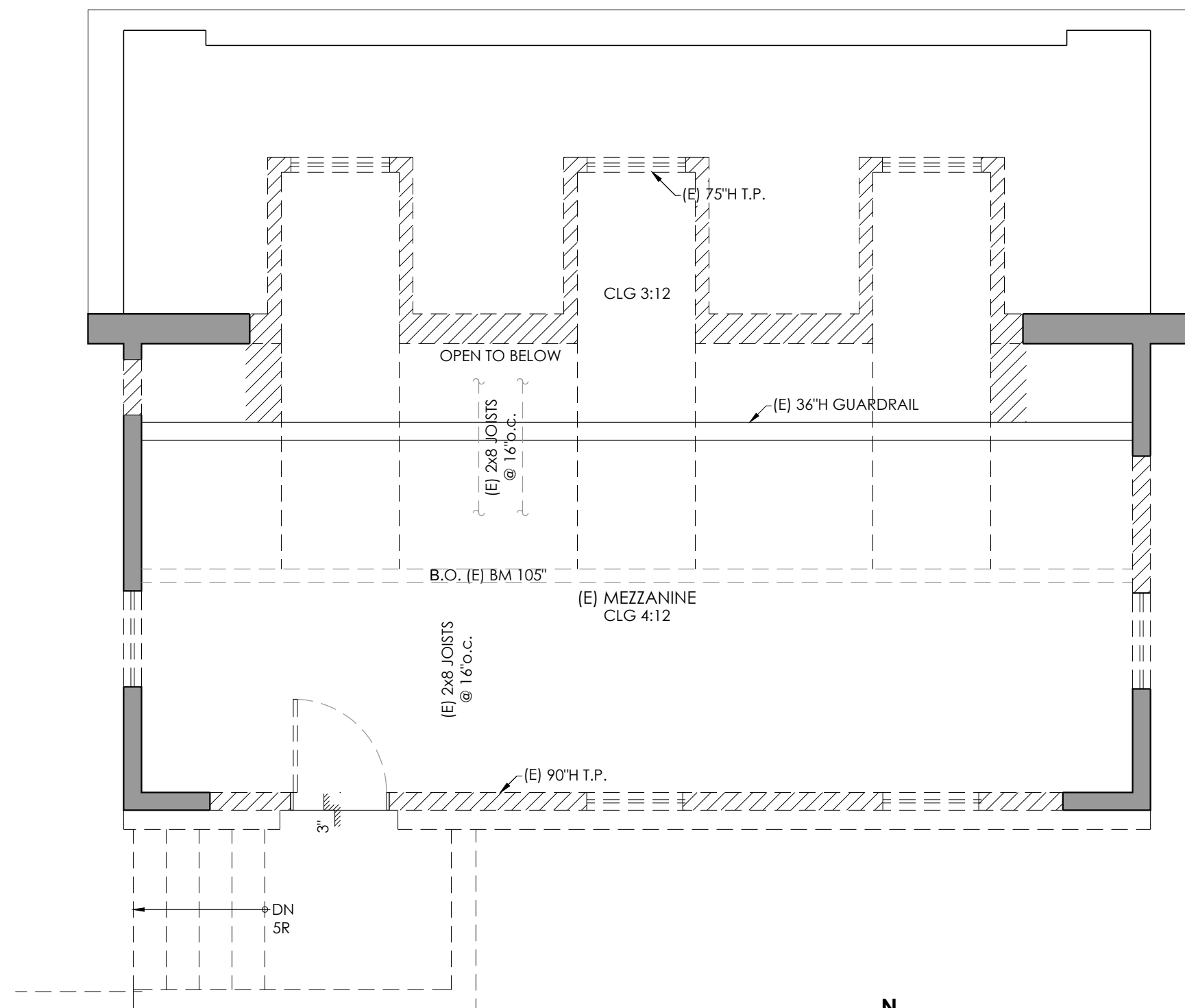
A2.2

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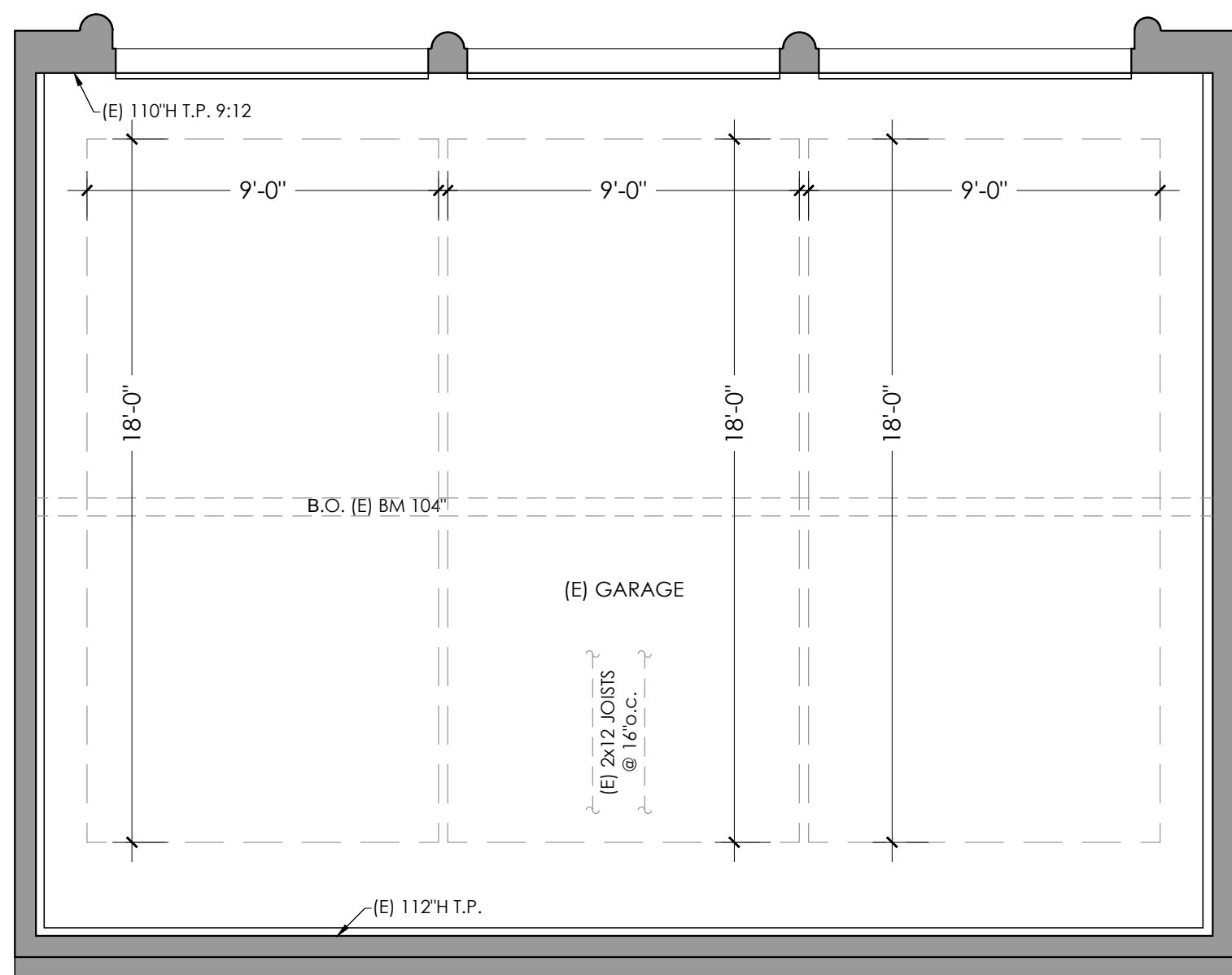
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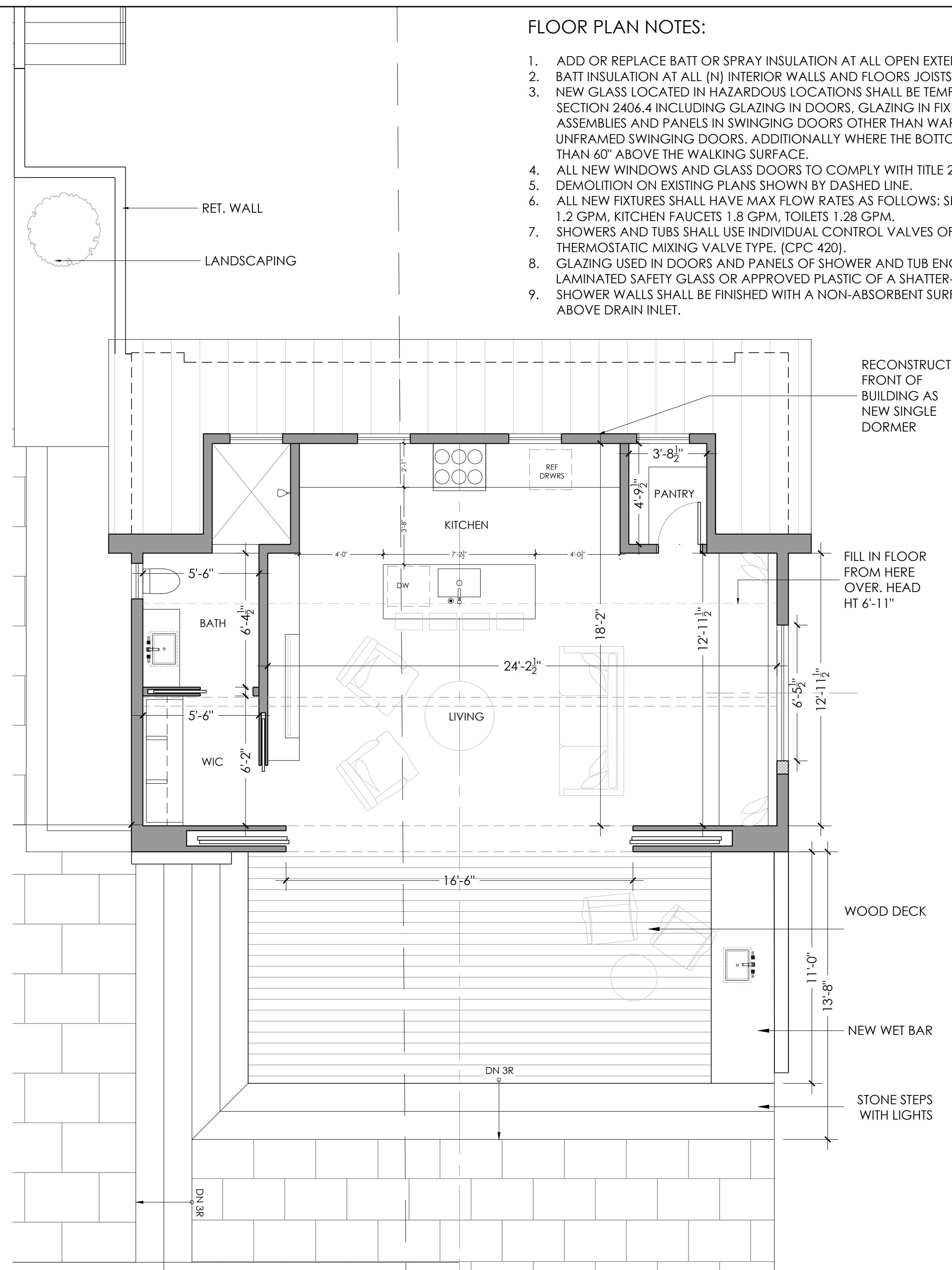
2 DEMO ABOVE GARAGE PLAN  
1/4" = 1'-0"



1 EXISTING GARAGE PLAN (NO WORK - FOR REFERENCE ONLY)  
1/4" = 1'-0"



3 PROPOSED ABOVE GARAGE (ADU) PLAN  
1/4" = 1'-0"



- FLOOR PLAN NOTES:
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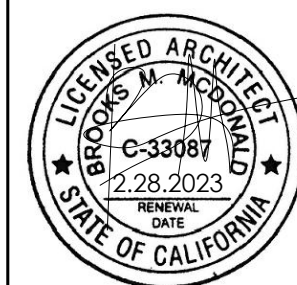
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  - EXISTING WALLS TO BE REMOVED
  - EXISTING ELEMENTS TO BE REMOVED
  - NEW TYP. NON-RATED WALL
  - 1-HOUR RATED WALL:  
1 LAYER TYPE X 5/8" GWB EACH SIDE

ISSUED  
DESIGN REVIEW:  
4.6.2022

ACCESSORY  
STRUCTURE  
FLOOR PLANS

1/4" = 1'-0"

A2.3



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2 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"

- NOTES:
1. ALL WINDOWS TO BE REPLACED UNLESS OTHERWISE NOTED WITH (E) FOR "EXISTING TO REMAIN."
  2. TYPICAL WINDOWS TO BE ALUMINUM-CLAD WOOD
  3. TYPICAL SIDING TO BE STAINED VERTICAL BOARD-AND-BATTEN CVG CEDAR
  4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.

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BOGAN RESIDENCE  
189 LAGUNITAS ROAD, ROSS CA 94960  
APN #073-211-38



ISSUED  
DESIGN REVIEW:  
4.6.2022

EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.0

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- NOTES:
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2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



1 EXISTING WEST ELEVATION  
1/4" = 1'-0"

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2 PROPOSED SOUTH (SIDE) ELEVATION  
1/4" = 1'-0"



1 EXISTING SOUTH (SIDE) ELEVATION  
1/4" = 1'-0"

- NOTES:
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ISSUED  
DESIGN REVIEW:  
4.6.2022

EXTERIOR ELEVATIONS

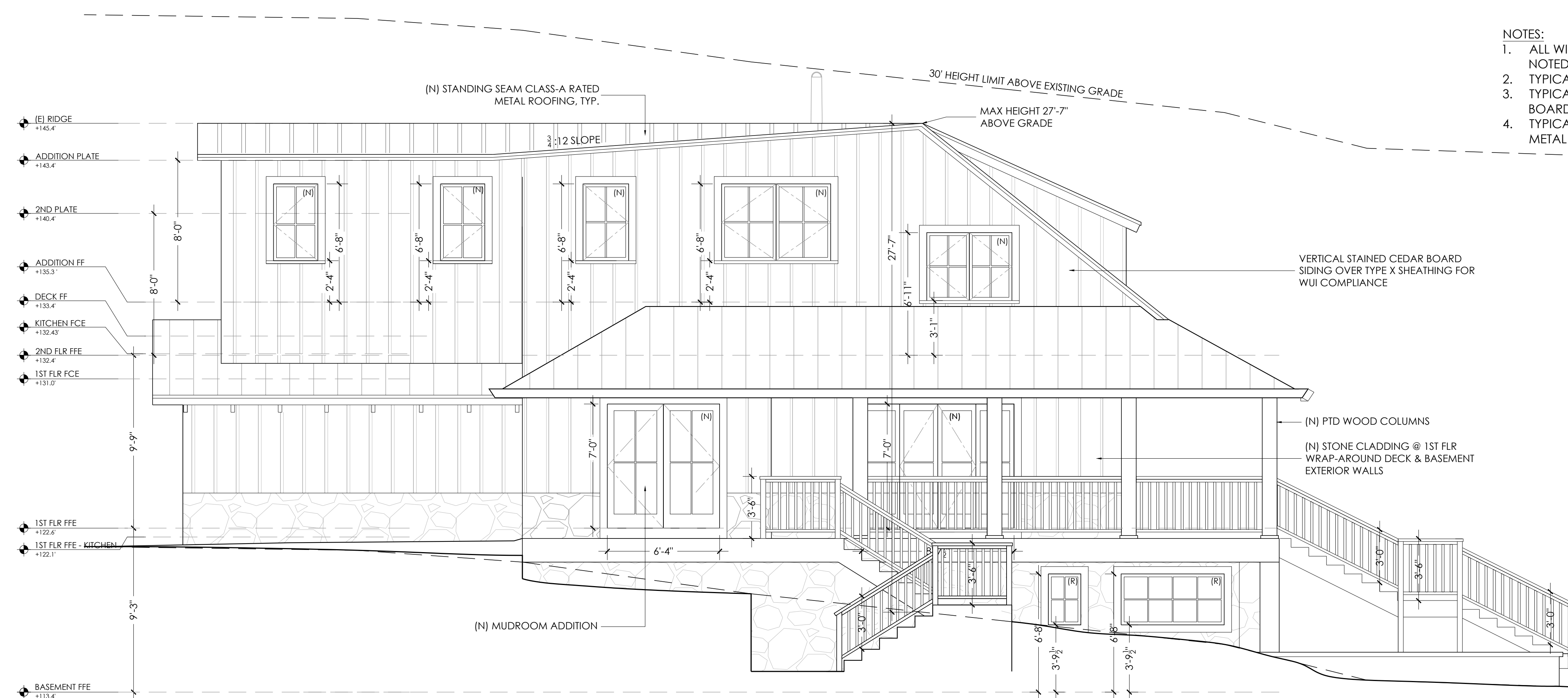
1/4" = 1'-0"

A4.2

BOGAN RESIDENCE  
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VERTICAL STAINED CEDAR BOARD  
— SIDING OVER TYPE X SHEATHING FOR  
WUI COMPLIANCE

— (N) PTD WOOD COLUMNS

(N) STONE CLADDING @ 1ST FLR

— WRAP-AROUND DECK & BASEMENT  
EXTERIOR WALLS

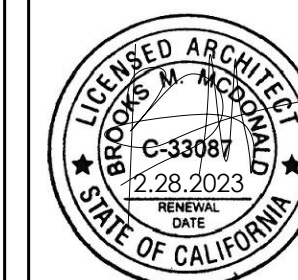
2 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



1 EXISTING EAST ELEVATION  
1/4" = 1'-0"

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APN #073-211-38



ISSUED  
DESIGN REVIEW:  
4.6.2022

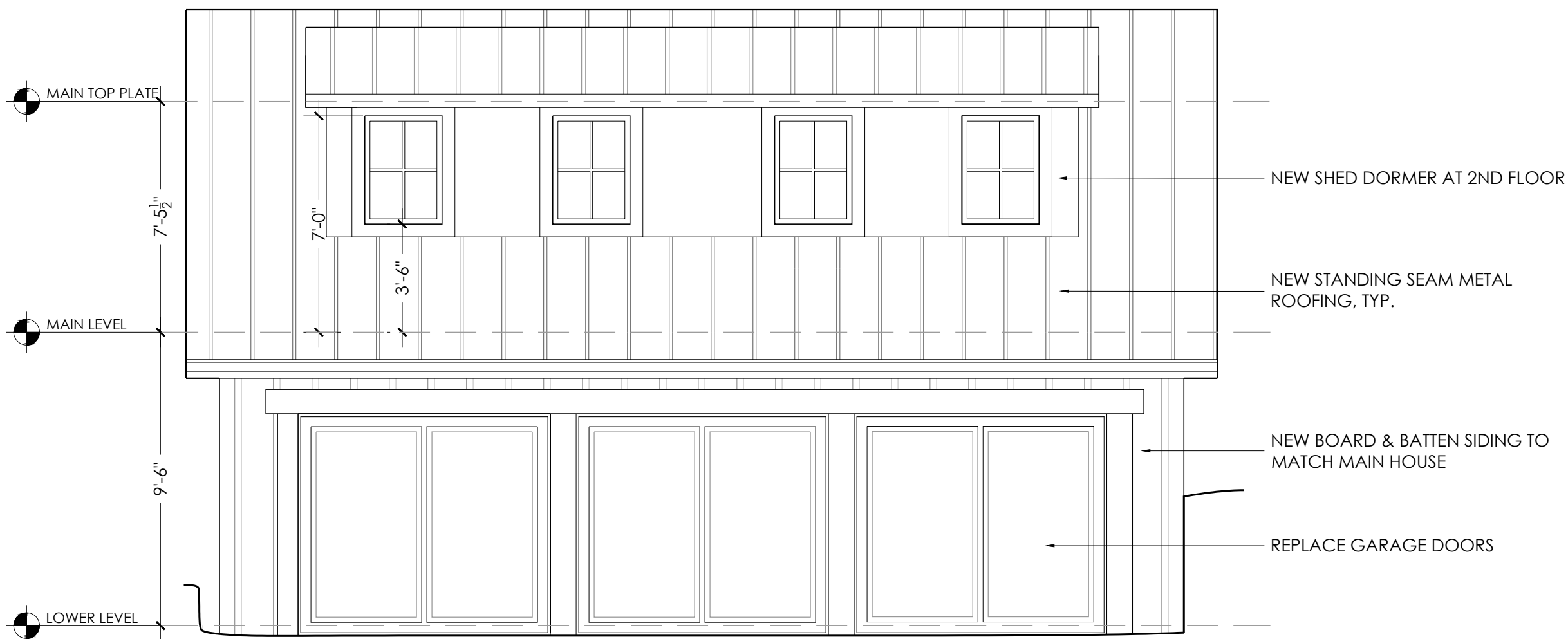
## EXTERIOR ELEVATIONS

 $1/4" = 1'-0"$ 

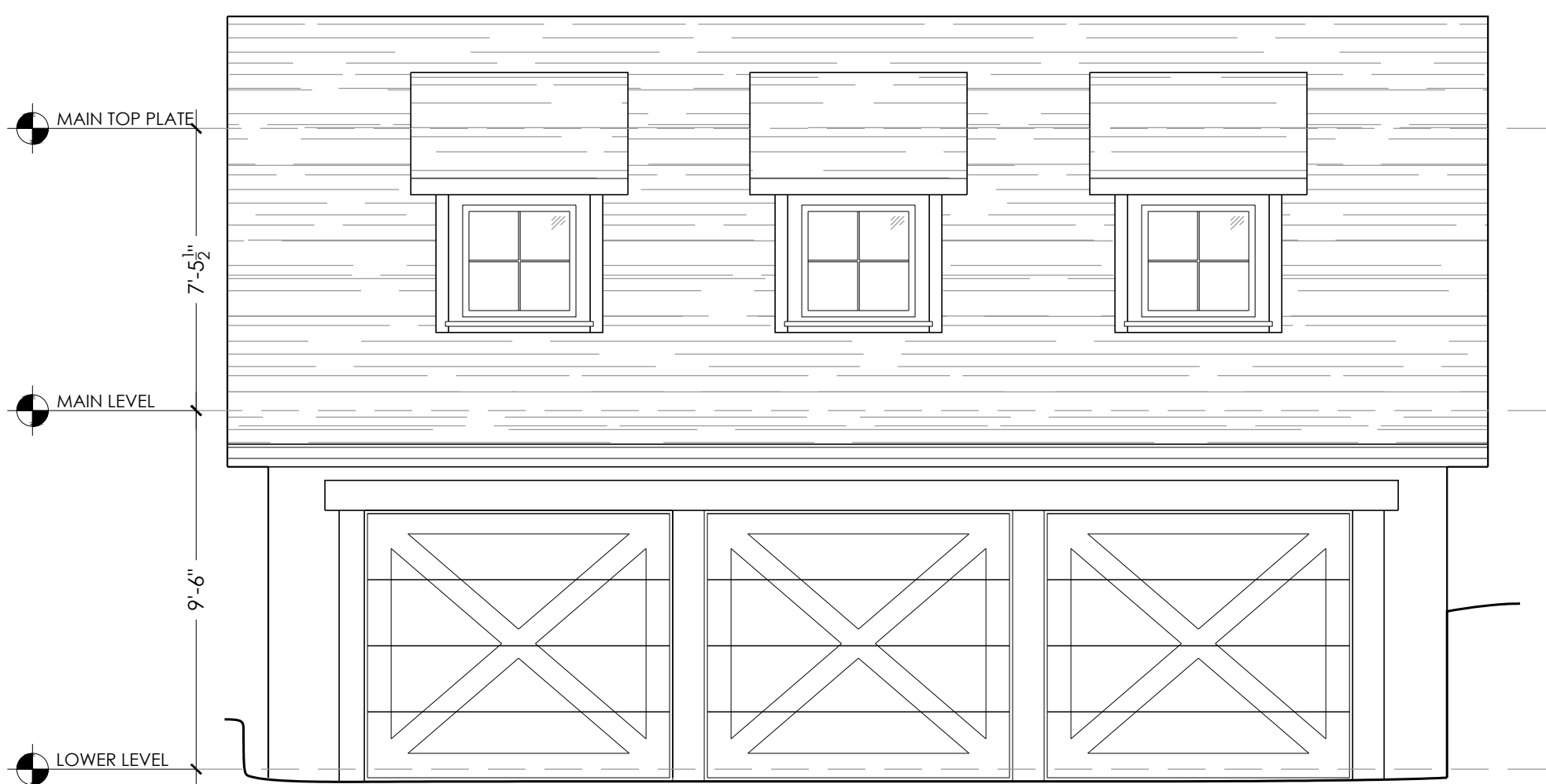
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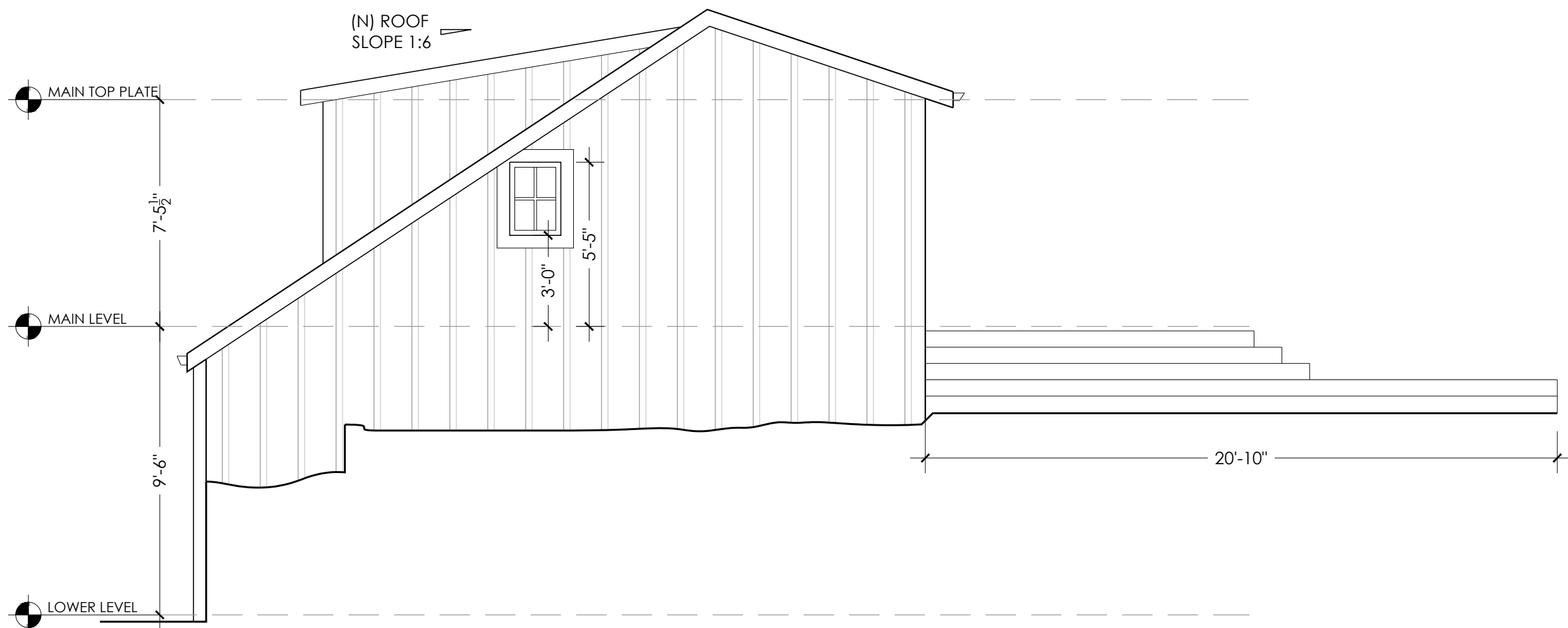
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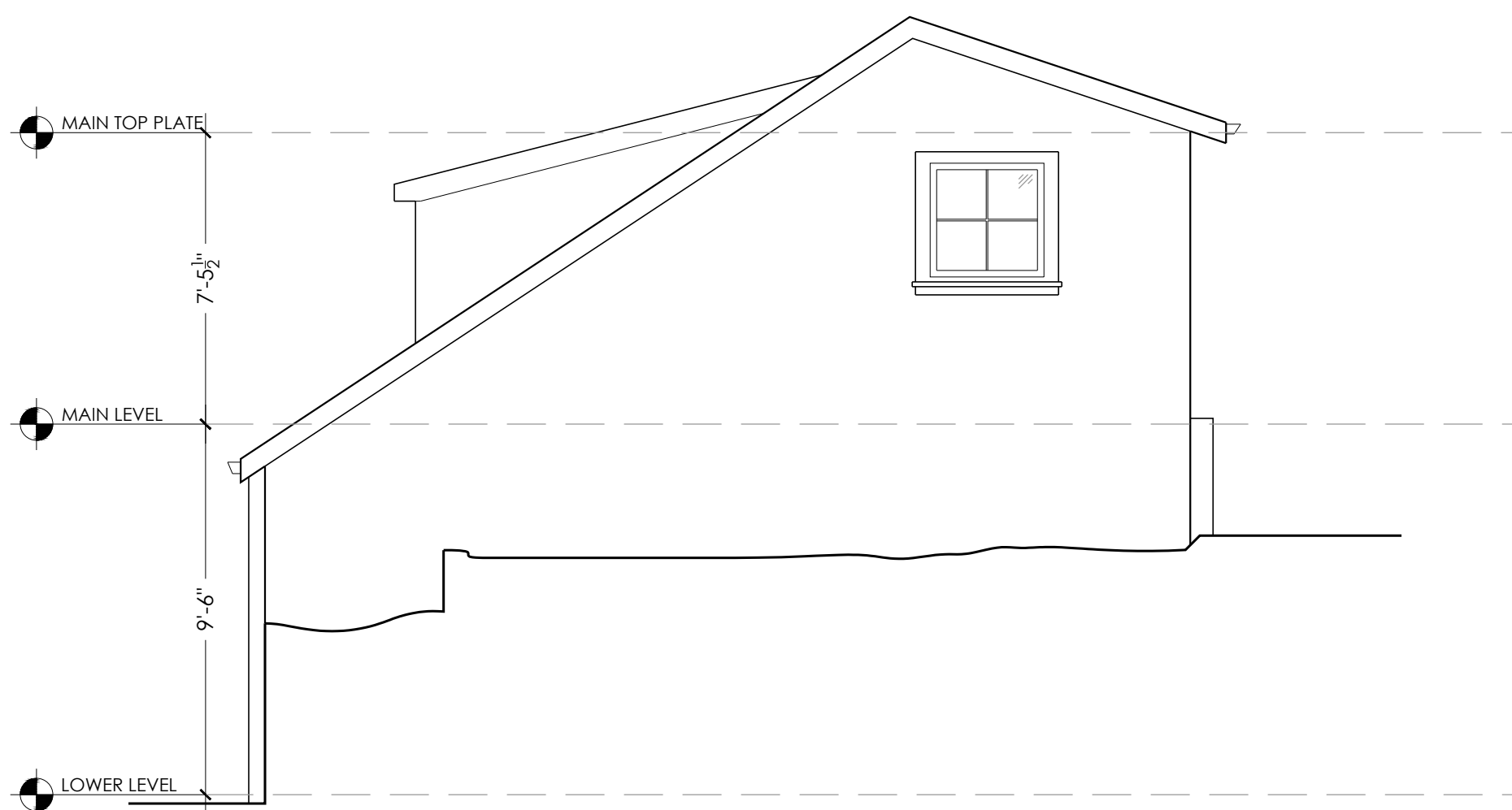
3 PROPOSED NORTH ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



2 EXISTING WEST ELEVATION - GARAGE/ADU  
1/4" = 1'-0"

- NOTES:
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  4. TYPICAL ROOFING TO BE BLACK STANDING SEAM METAL TO BLACK GUTTERS & DOWNSPOUTS.



ISSUED  
DESIGN REVIEW:  
4.6.2022

EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.4

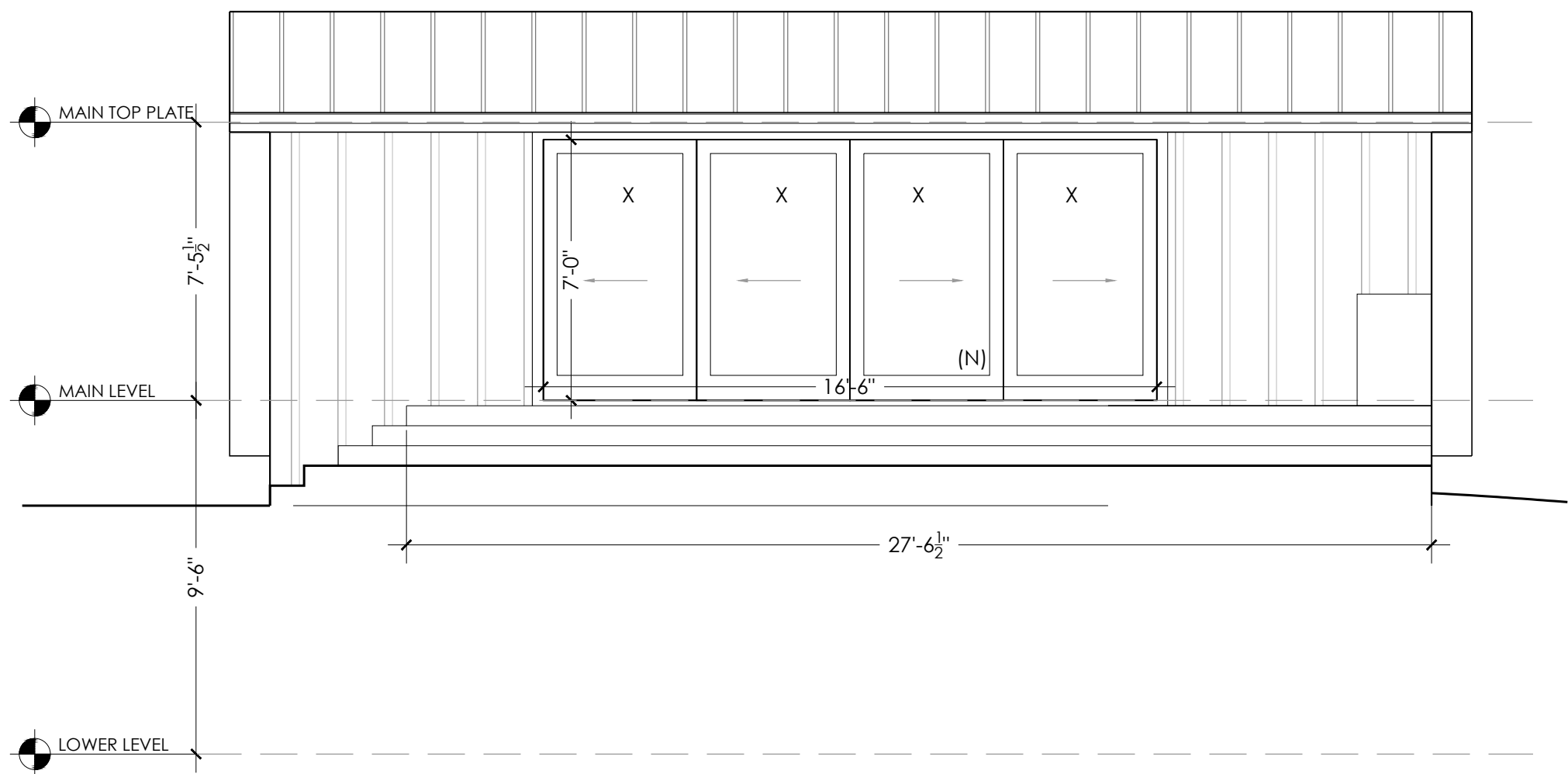
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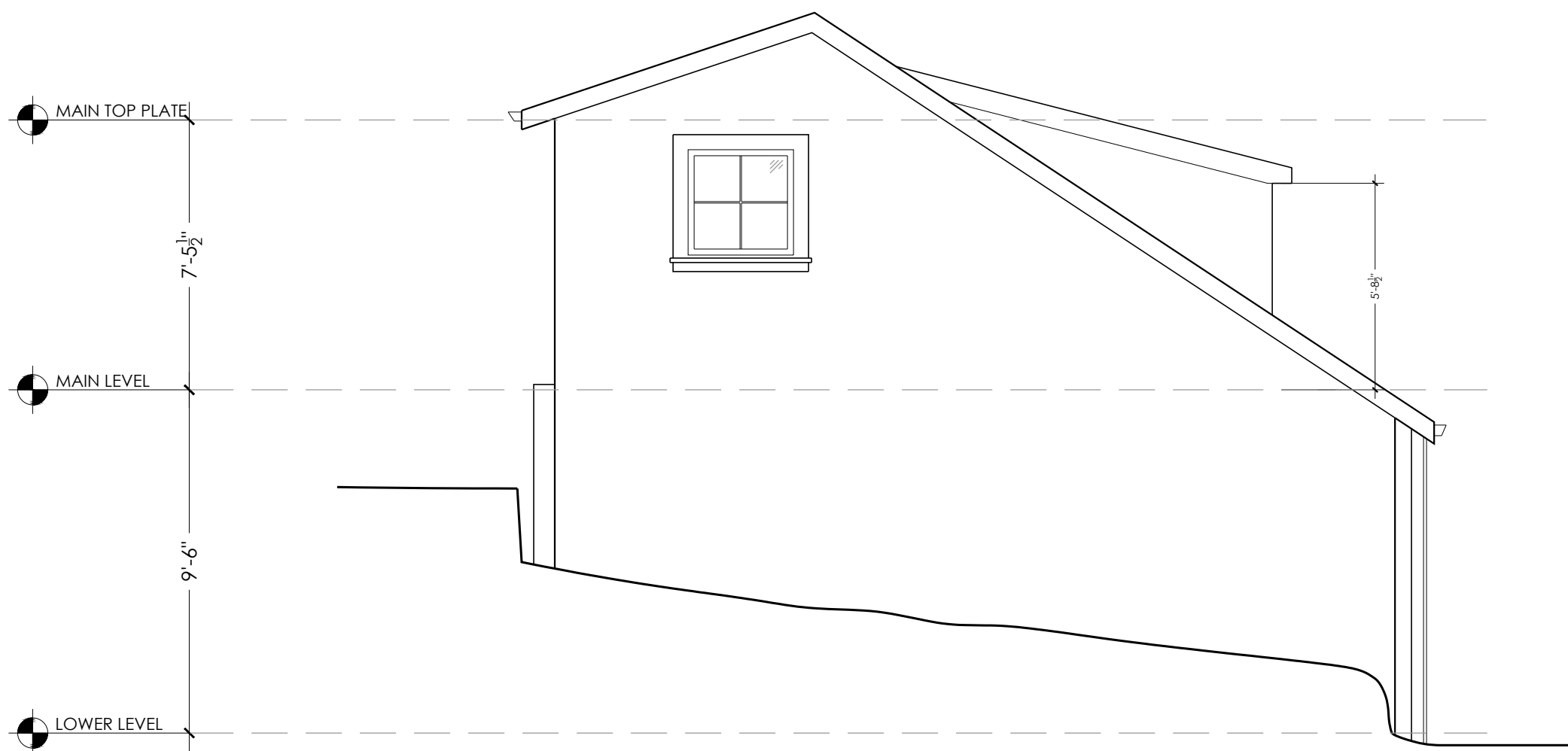
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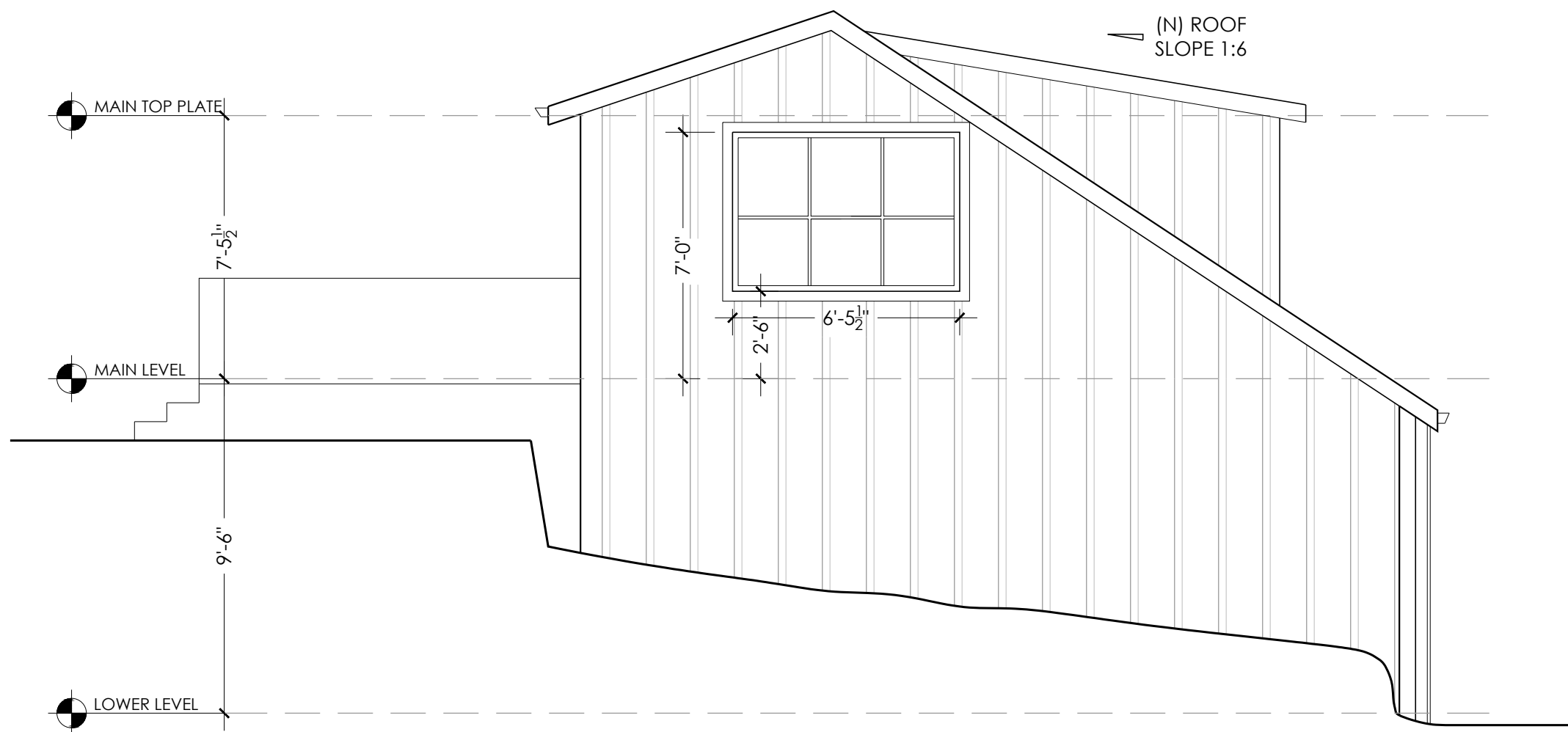
1 EXISTING SOUTH ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



2 EXISTING EAST ELEVATION - GARAGE/ADU  
1/4" = 1'-0"



4 PROPOSED EAST ELEVATION - GARAGE/ADU  
1/4" = 1'-0"

NOTES:

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ISSUED  
DESIGN REVIEW:  
4.6.2022

EXTERIOR ELEVATIONS

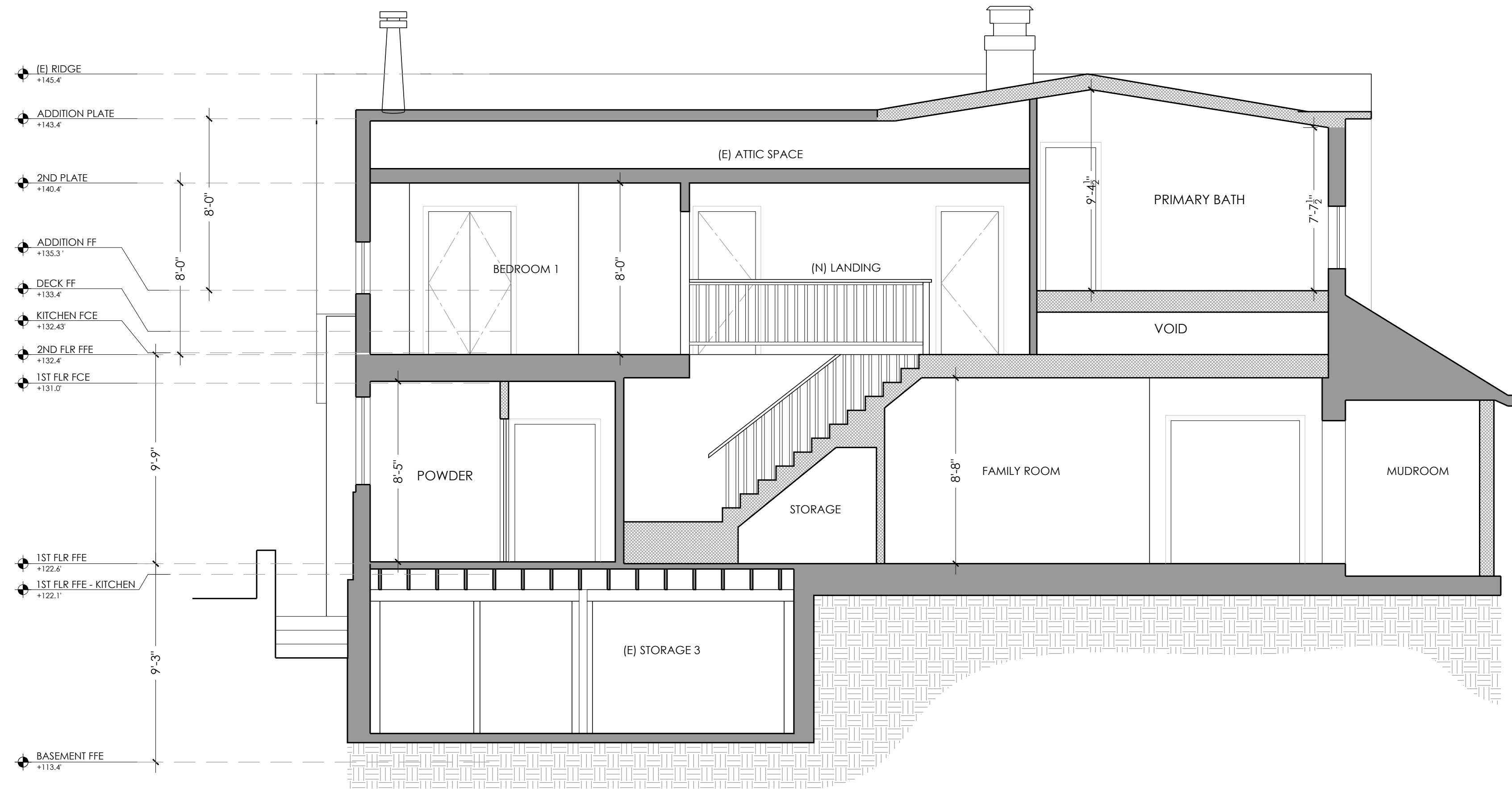
1/4" = 1'-0"

A4.5

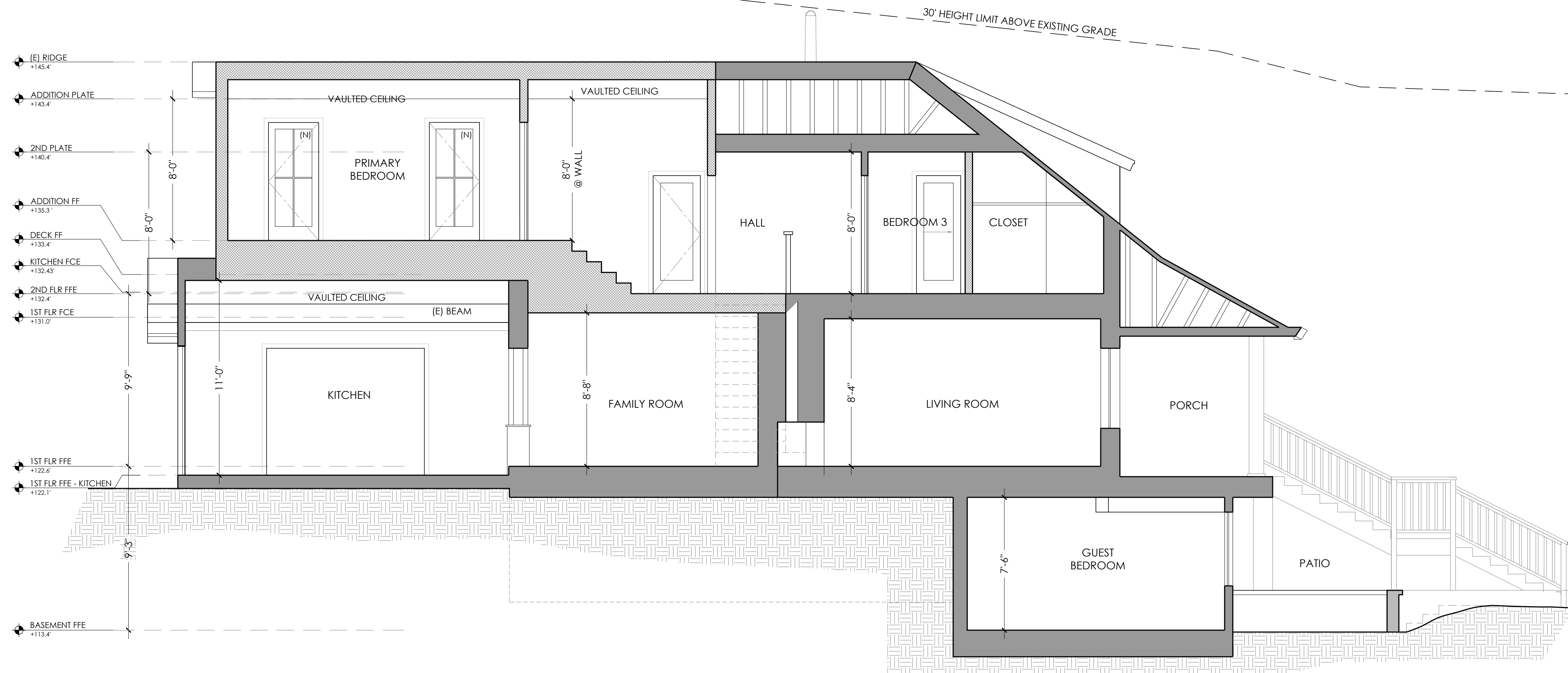
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2 PROPOSED EAST-WEST SECTION  
1/4" = 1'-0"



1 PROPOSED NORTH-SOUTH SECTION  
1/4" = 1'-0"

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ISSUED  
DESIGN REVIEW:  
4.6.2022

SECTIONS

1/4" = 1'-0"

A5.0

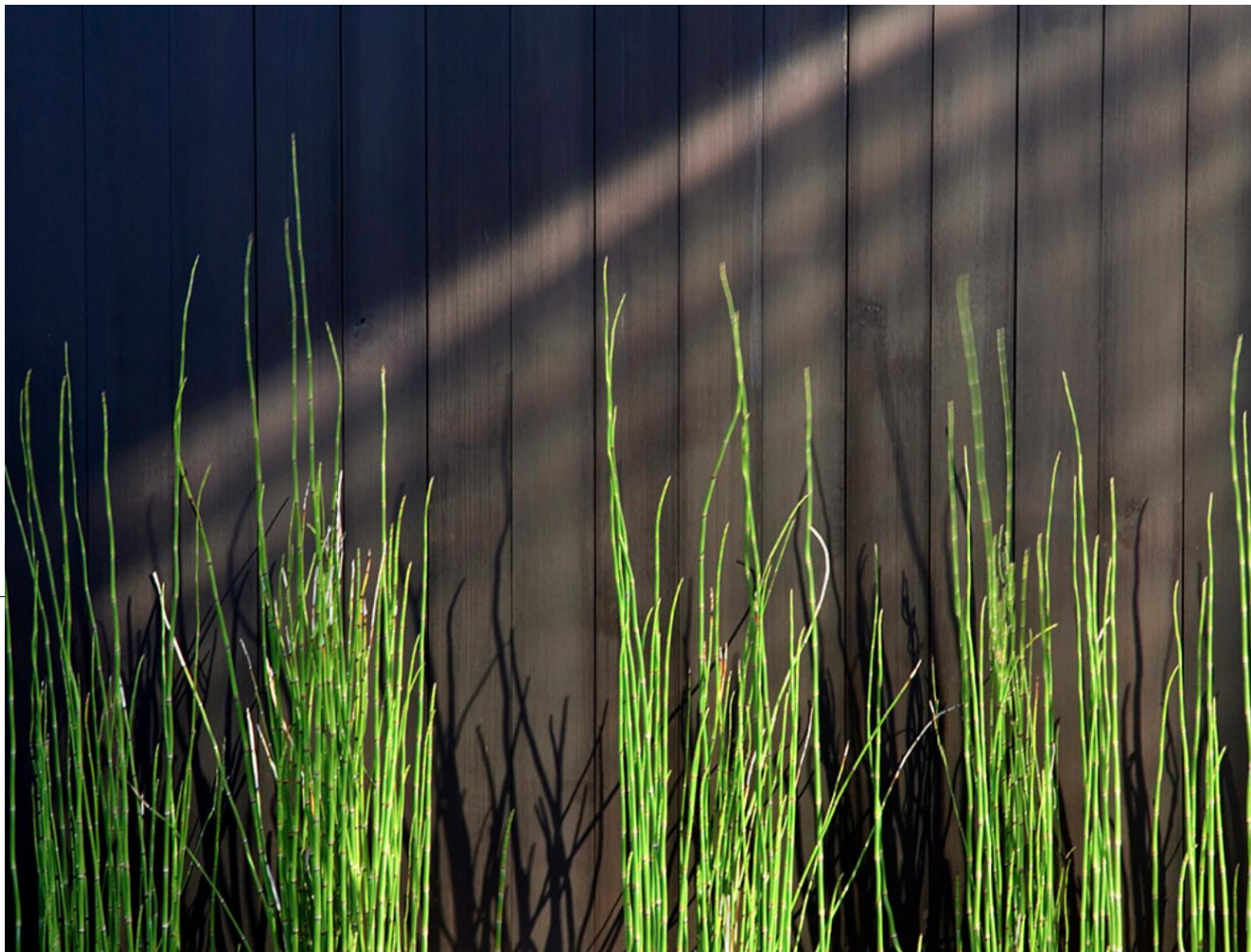


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2 CONCEPTUAL RENDERING

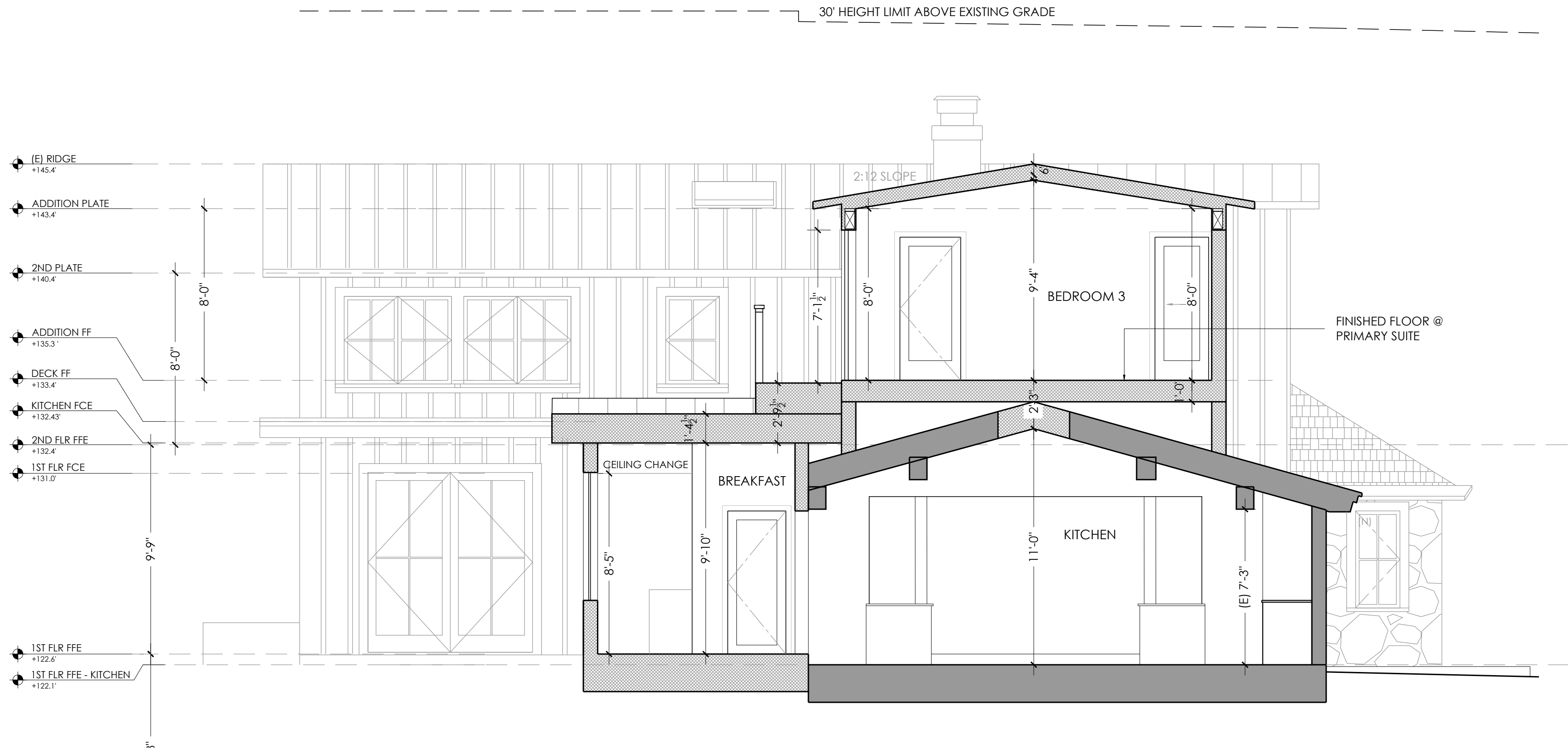
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BOARD & BATTEN VERTICAL CEDAR SIDING IN DARK BROWN SEMI-TRANSPARENT STAIN



STONE AT NEW WATER-TABLE ALONG EXTERIOR WALLS AT FIRST FLOOR PORCH



1 PROPOSED EAST-WEST SECTION (THROUGH REAR ADDITION)  
1/4" = 1'-0"

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APN #073-211-38



ISSUED  
DESIGN REVIEW:  
4.6.2022

SECTIONS

1/4" = 1'-0"

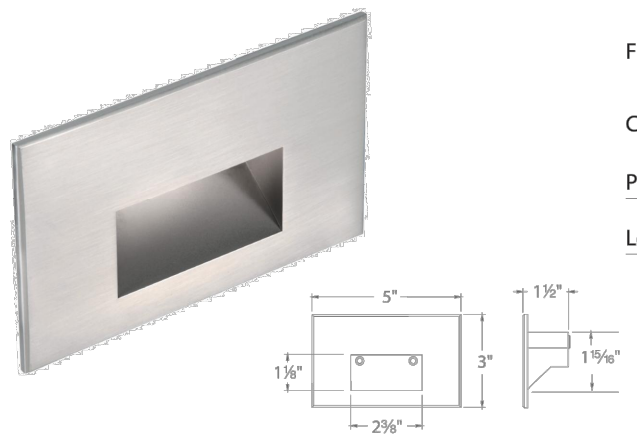
A5.1



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TYPICAL EXTERIOR LANDSCAPE STEP LIGHT  
DOWNWARD DIRECTED LED

RECTANGLE STEP LIGHTS 12V  
4011



WAC  
LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkway and building perimeters.

Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated. Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1638 Listed

SPECIFICATIONS

**Input:** 5-15VAC (Transformer is required)  
**Power:** 2W / 3.1W  
**CRI:** 90  
**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/4" x 2 1/4" Includes bracket for J-Box mount.  
**Rated Life:** 60,000 hours

ORDERING NUMBER

	Color Temp	CRI	Finish	Lumens	
4011	27	2700K	90	BBR Bronze on Brass	17
			BK Black on Aluminum	17	
			BZ Bronze on Aluminum	17	
			WT White on Aluminum	36	
	30	3000K	90	BBR Bronze on Brass	17
			BK Black on Aluminum	17	
			BZ Bronze on Aluminum	17	
			WT White on Aluminum	36	
	AM	Amber	-	SS Cast Stainless Steel	23
			BBR Bronze on Brass	11	
			BK Black on Aluminum	11	
			BZ Bronze on Aluminum	11	
			SS White on Aluminum	23	
			SS Cast Stainless Steel	14	

4011-

Example: 4011-30BK

wacighting.com Phone (800) 526-2588 Fax: (800) 526-2585	Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050	Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122	Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760
---------------------------------------------------------------	-----------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------	---------------------------------------------------------------------------

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016

TYPICAL EXTERIOR WALL SCONCE  
DOWNWARD DIRECTED, LED

TUBE - model: WS-W26  
LED Wall Mount



Fixture Type:

Catalog Number:

Project:

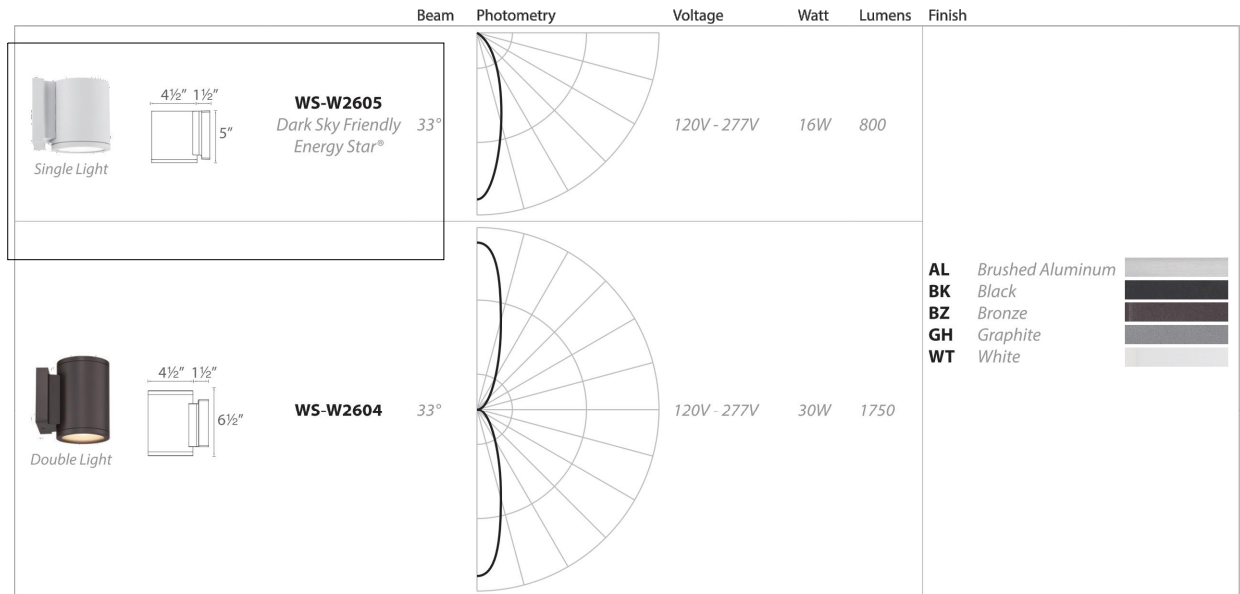
Location:

SPECIFICATIONS

**Construction:** Aluminum with etched glass.  
**Power:** Integral driver in luminaire. 120V - 277V input.  
**Light Source:** High output LED  
**Mounting:** Mounts directly to junction box  
**Dimming:** 0-10V Dimming: 100%-10%  
ELV Dimming: 100%-15% (120V only)  
**Finish:** Brushed Aluminum (AL), Black (BK), Bronze (BZ), Graphite (GH), White (WT)  
**Color Temp:** 3000K  
**CRI:** 90  
**Rated Life:** 70,000 hours  
**Standards:** IP65 Rated, ETL & cETL Wet Location Listed, Dark Sky Friendly.

FEATURES

- IP65 Rated, ETL & cETL Wet Location Listed
- Mounts up or down
- Die Cast Aluminum Construction
- Universal Voltage Input (120V - 277V)
- Dimming: ELV (120V) or 0-10V



Example: WS-W2604-BZ

WAC Lighting www.wacighting.com Phone (800) 526-2588 - Fax (800) 526-2585	Headquarters/Eastern Distribution Center 44 Harbor Park Drive - Port Washington, NY 11050 Phone (800) 526-2588 - Fax (800) 526-2585	Western Distribution Center 1750 Archibald Avenue - Ontario, CA 91760 Phone (800) 526-2588 - Fax (800) 526-2585
---------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------

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FRONT COLUMNS IN CEDAR WOOD WITH KNOTS



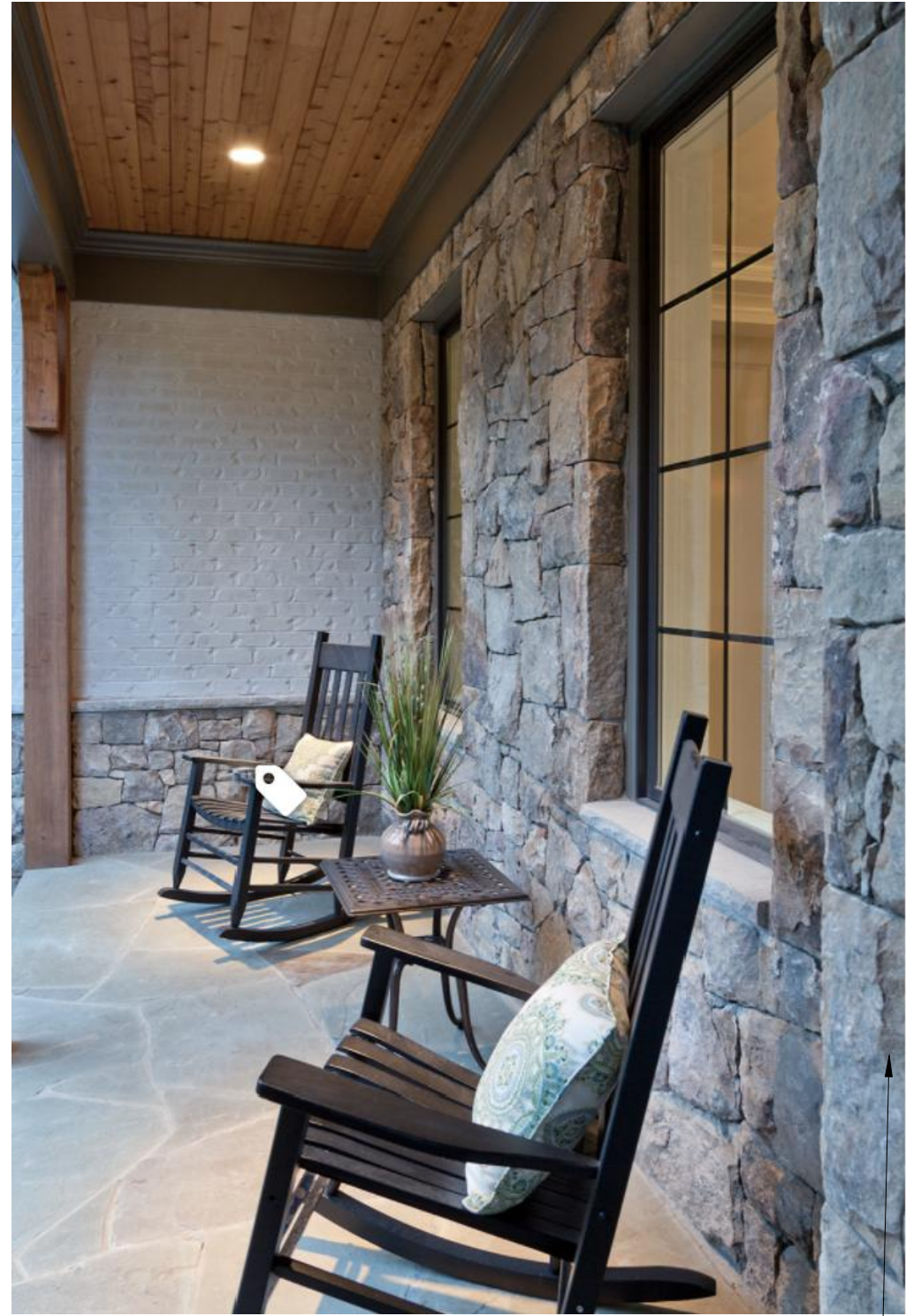
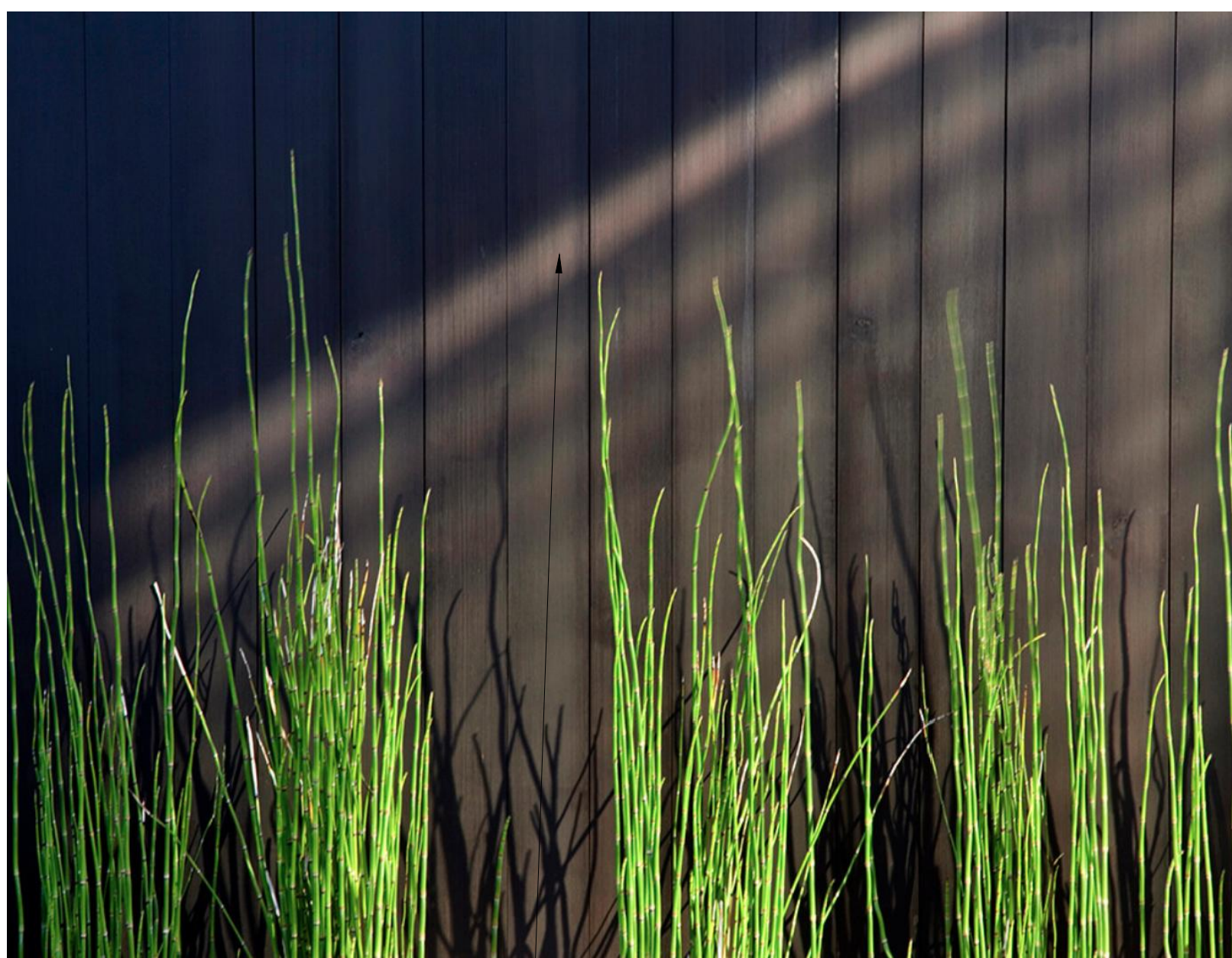
EXTERIOR DOORS & WINDOWS (BLACK)



BOARD & BATTEN VERTICAL CEDAR SIDING IN DARK BROWN SEMI-TRANSPARENT STAIN



1.5" PROTRUDING CASING DETAIL



STONE AT NEW WATER-TABLE ALONG EXTERIOR WALLS AT FIRST FLOOR PORCH



STANDING SEAM CLASS-A RATED METAL ROOFING IN BLACK

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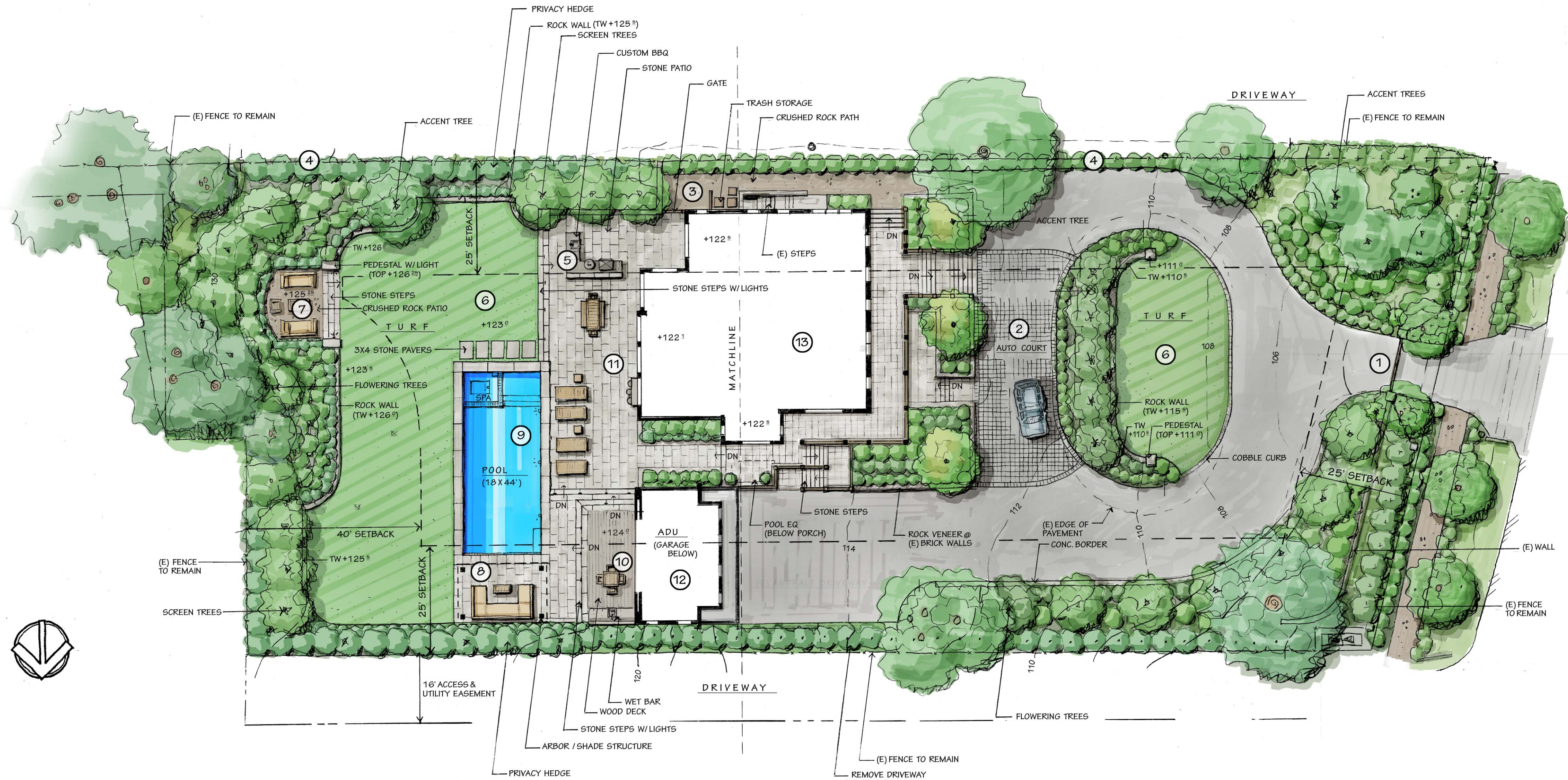
ISSUED  
DESIGN REVIEW:  
4.6.2022

MATERIALS BOARD

1/4" = 1'-0"

A6.0





LEGEND

- 1 AUTO GATE AND PEDESTRIAN GATE (EXISTING TO REMAIN)
- 2 AUTO COURT ( REMOVE EXISTING ASPHALT DRIVEWAY AND REPLACE WITH NEW PERMEABLE PRECAST CONCRETE PAVERS. WIDEN DRIVEWAY AS SHOWN) .
- 3 SIDE YARD (REMOVE BRICK AND REPLACE WITH CRUSHED ROCK)
- 4 6' WOOD FENCE WITH PRIVACY HEDGE (REMOVE AND REPLACE WOOD FENCE TO THE PROPERTY LINE, INCLUDING SCREEN PRIVACY HEDGING )
- 5 CUSTOM BBQ (REPLACE EXISTING BBQ AND BRICK PATIO WITH NEW BBQ )
- 6 ARTIFICIAL TURF (REPLACE LAWN WITH ARTIFICIAL TURF )
- 7 OVERLOOK (REPLACE EXISTING GARDEN OVERLOOK AREA)
- 8 SHADE ARBOR (PROPOSED WOOD SHADE STRUCTURE - 9' MAXIMUM IN HEIGHT )
- 9 SWIMMING POOL (PROPOSED SWIMMING POOL WITH INTEGRAL SPA AND COVER)
- 10 WOOD DECK WITH BAR (PROPOSED WOOD DECK WITH BAR COUNTER)
- 11 PERMEABLE STONE PATIO (REMOVE AND REPLACE EXISTING BRICK PATIO AND REPLACE WITH NEW PERMEABLE STONE PATIO AS SHOWN)
- 12 GARAGE / ADU (SEE ARCHITECTURAL DRAWINGS )
- 13 EXISTING MAIN HOUSE (SEE ARCHITECTURAL DRAWINGS )

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS TO UPGRADE THE EXISTING LANDSCAPE IN CONJUNCTION WITH PROPOSED ARCHITECTURAL IMPROVEMENTS.

THE FRONT YARD IS PROPOSED TO HAVE A NEW DRIVEWAY SURFACE THAT CLOSELY FOLLOWS THE EXISTING DRIVEWAY. THE EXISTING ROCK WALL IS TO BE REPLACED AND NEW TURF INSTALLED TO REPLACE THE EXISTING LAWN. PLANTING IS IMPROVED TO CONFORM TO WATER USE AND FIRE DEPARTMENT REQUIREMENTS.

THE GOAL OF THE REAR YARD IS TO INSTALL A NEW SWIMMING POOL, WOOD DECK, OUTDOOR KITCHEN, WET BAR, SHADE ARBOR, PERMEABLE STONE PATIO TO REPLACE THE EXISTING BRICK PATIO. NEW ROCK WALLS ARE PROPOSED TO REPLACE THE EXISTING ROCK WALLS AND A RAISED OVERLOOK PATIO PROPOSED TO REPLACE THE EXISTING PATIO. PLANTING IS IMPROVED TO CONFORM TO WATER USE AND FIRE DEPARTMENT REQUIREMENTS.

NEW FENCES ARE PROPOSED TO REPLACE THE FAILING WIRE FENCING AS SHOWN. NEW FENCES ARE TO BE 6' MAXIMUM IN HEIGHT. NEW FENCES ARE TO BE GRAPE STAKE TO MATCH EXISTING FENCES.

IRRIGATION SYSTEM IS TO REMAIN, WITH REPAIRS MADE AS NECESSARY.

EXTERIOR LIGHTING IS LIMITED TO DOWN-LIGHTS MOUNTED UNER THE BBQ BACKSPLASH CAP, STEP LIGHTS, PATH-LIGHTS AND WALL LIGHTS.

DESIGN REVIEW NOTES

- GENERAL NOTES
- 1. THE LANDSCAPE PLAN IS BASED ON DRAWINGS PROVIDED BY THE OWNER, SITE MEASUREMENTS AND A PROFESSIONALLY SURVEY. ANY MAJOR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
  - 2. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND UNIFORM CONSTRUCTION STANDARDS (UCS) OF THE COUNTY OF MARIN AND THE TOWN OF ROSS.
  - 3. THESE DRAWING ARE FOR DESIGN REVIEW APPLICATION PURPOSES ONLY. THIS DRAWING IS NOT EXTENSIVELY DETAILED AND IS NOT TO BE USED FOR PERMIT APPLICATION AND / OR CONSTRUCTION.
  - 4. SWIMMING POOL IS TO MEET ALL POOL SAFETY CODES AND REQUIREMENTS.

CONSTRUCTION NOTES

- 1. ALL PATIOS, STEPS AND POOL COPING IS TO BE ITALIAN BLUESTONE . ALL NEW PATIOS ARE TO BE PERMEABLE.

IRRIGATION NOTES

- 1. ALL PLANTING TO BE IRRIGATED IN ACCORDANCE TO THE PROVISIONS OF ORDINANCE 421 OF THE MARIN MUNICIPAL WATER DEPARTMENT. ALL PLANTING AREAS ARE TO BE IRRIGATED UTILIZING DRIP METHODS.

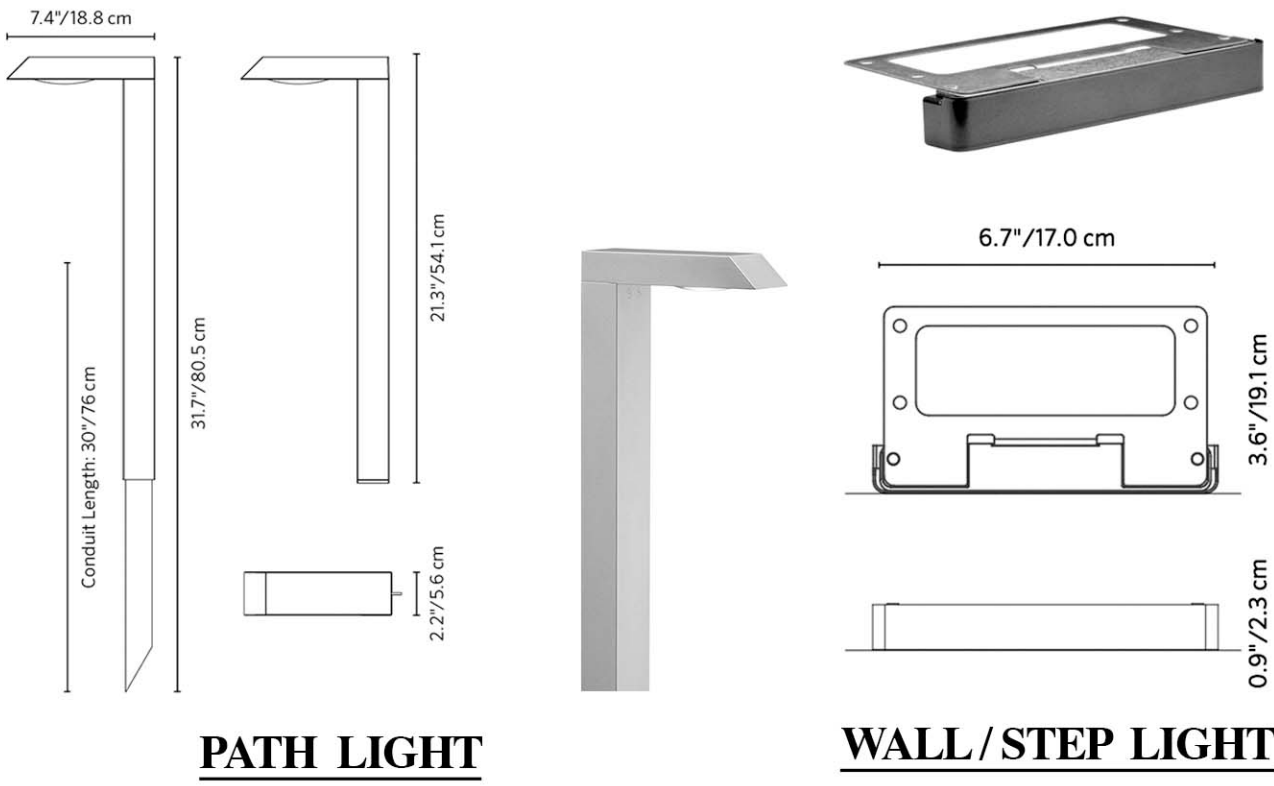
PLANTING NOTES

- 1. ALL EXISTING PLANT MATERIAL IS TO BE REMOVED AND REPLACED AS SHOWN.
- 2. NO PYROPHYTIC PLANT MATERIAL IS PROPOSED FOR THIS PROJECT.
- 3. ALL PLANTING IS TO CONFORM TO MMWD AND RVFD VEGETATION MANAGEMENT ORDINANCES AND REQUIREMENTS.

LIGHTING LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION	Q
⌈	FX LUMINAIRE	WALL LIGHT (LF-ZD-1 LED-BZ)	TBD
⌋	FX LUMINAIRE	STEP LIGHT (LF-ZD-1 LED-BZ)	TBD
⊕	FX LUMINAIRE	PATH LIGHT (M-PL—ZD-1LED-BZ)	TBD
	FX LUMINAIRE	TRANSFORMER	TBD
VERIFY W/ MANUFACTURER			

WWW.FXL.COM



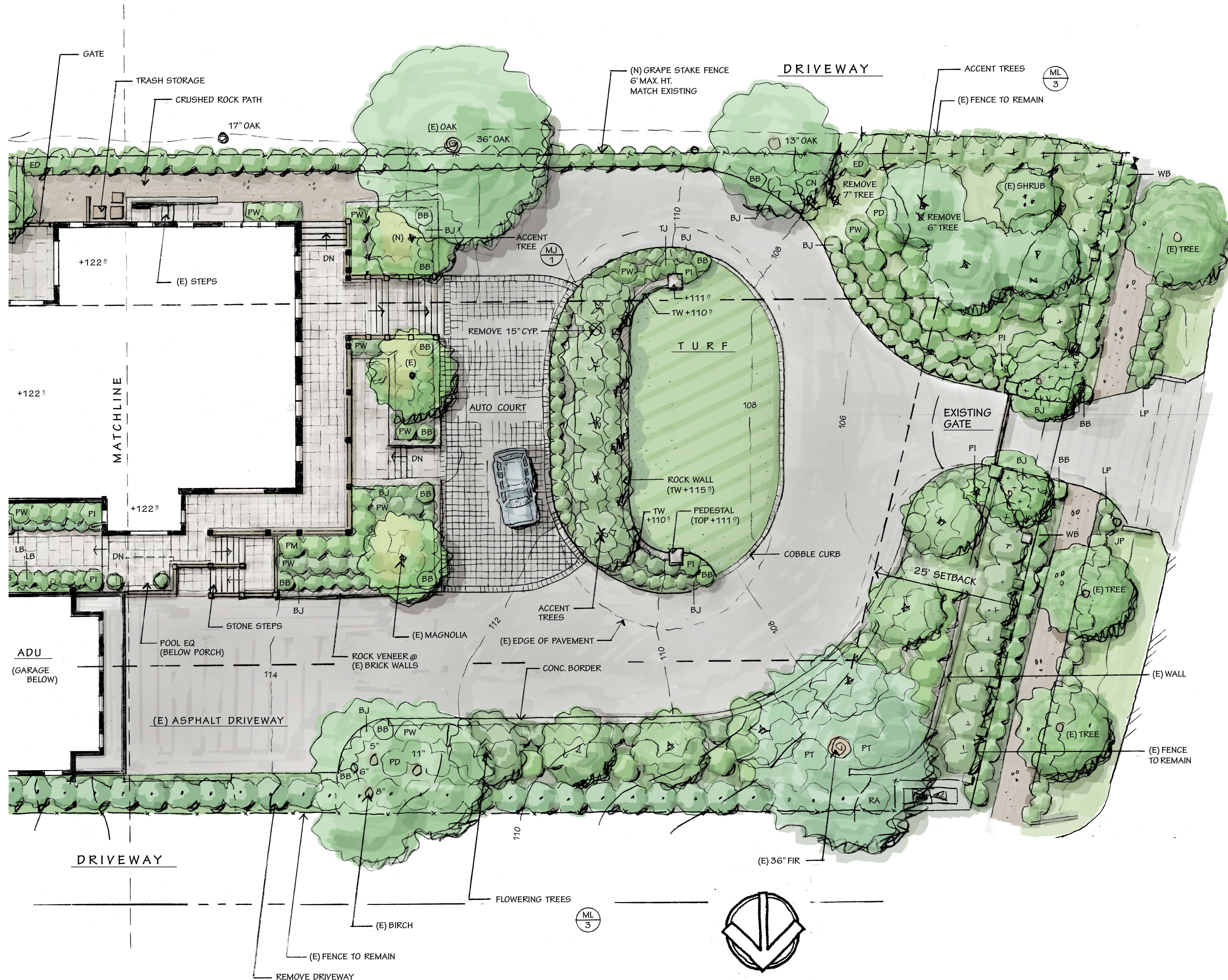
Bogan Residence  
189 Lagunitas Ross , CA.  
Date: 1 / 27 / 2022 Scale: 1/16" = 1' - 0"  
L1 Landscape Concept Plan



202 Rosemont Mill Valley CA 94941  
(415) 380-0753  
brad@imprintsgardens.com  
www.imprintsgardens.com

REVISED: 3 /15 / 2022





### PRELIMINARY PLANT LIST

ABBR.	BOTANIC NAME	COMMON NAME	SIZE	Q	HT./WIDTH	NOTE
AR	ACER "OCTOBER GLORY"	RED MAPLE	24" B	1	25 X 20'	D F
LI	LAGERSTROEMIA "WHITE"	CRABE MYRTLE	24" B	7	15 X 15'	D W F
MG	MAGNOLIA GRANDIFLORA	MAGNOLIA	24" B	1	20' X 15'	E F
ML	MAGNOLIA "LITTLE GEM"	MAGNOLIA	24" B	9	20' X 15'	E F
PC	PRUNUS CERACIFERA	PURPLE LEAF PLUM	24" B	5	15 X 15'	D F
	"PURPLE PONY"					

ABBR.	BOTANIC NAME	COMMON NAME	SIZE	HT./WIDTH	NOTE
AZ	AZALEA "WHITE"	AZALEA	1 G	3 X 3'	E F
BB	BUXUS "GREEN BEAUTY"	BOXWOOD	5 G	3 X 3'	E W F
	(GLOBE FORM)				
BJ	BUXUS "GREEN BEAUTY"	BOXWOOD	1 G	3 X 3'	E W F
CN	CAMELIA "NUCCIOS GEM"	CAMELIA (WHITE)	5 G	6 X 5'	E W F
ED	ELEAOCARPUS DECIPENS	ELEAOCARPUS	15 G	10 X 5'	E F
	(COLUMN FORM)				
HQ	HYDRANGEA QUERCIFOLIA	HYDRANGEA	5 G	5 X 4'	D F
LP	LOMANDRA "PLATINUM BEAUTY"	LOMANDRA	1 G	2 X 2'	E W F
PM	PITTOSPORUM	PITTOSPORUM	15 G	8 X 6'	E F
	"MARJORIE CHANNON"				
PT	PITTOSPORUM TENNUIFOLIUM	PITTOSPORUM	15 G	10 X 6'	E F
PW	PITTOSPORUM "WHEELERS DWARF"	PITTOSPORUM	5 G	3 X 3'	E F
PI	PODOCARPUS "ICE BLUE"	PODOCARPUS	15 G	7 X 4'	E W F
PD	POLYGALA DALMASIANA	SWEET PEA	5 G	4 X 4'	E W F
PL	PRUNUS LAUROCEASUS	ENGLISH LAUREL	15 G	12 X 12'	E F
TJ	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 G	3 X 3'	E W F
RA	RHAMNUS ALATERNUS	ITALIAN BUCKTHORN	15 G	8 X 5'	E W F
WB	WESTRINGIA "BLUE GEM"	COAST ROSEMARY	5 G	4 X 4'	E W F

### LEGEND

E = EVERGREEN  
D = DECIDUOUS  
N = CALIFORNIA NATIVE  
W = LOW WATER USE REQUIREMENTS  
F = LOW FIRE / NON - PYROPHYTIC

### NOTE:

ALL PLANTS ARE TO BE IRRIGATED UTILIZING DRIP IRRIGATION METHODS.  
ALL PLANTS ARE NON-PYROPHYTIC

## Bogan Residence

189 Lagunitas Ross, CA.  
Date: 1 / 27 / 2022 Scale: 1/8" = 1' - 0"  
**L2 Landscape Concept Plan**



REVISED: 3 / 15 / 2022

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EX

NEW

ASPHALT PAVING (IMPERVIOUS)

EX

NEW

CONCRETE PAVING (IMPERVIOUS)

NEW FLAGSTONE PAVING (IMPERVIOUS)

NEW CONCRETE PAVERS (SEMI-PERVIOUS)

NEW WOOD DECK (PERVIOUS)

PERVIOUS PAVING

PLANTED, LANDSCAPED AREA

GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)

EROSION CONTROL BLANKET

BUILDING ADDITION

AD

AREA DRAIN

OR

DRAINAGE INLET

ROOF LEADER

FIRE HYDRANT

JOINT POLE

GAS METER, ELECTRIC METER

WATER METER

EX TREE

EX TREE DRIPLINE

LEGEND

PROPERTY LINE

EASEMENT LINE

EX WOODEN RET WALL

DRAINAGE DITCH/ BIO-SWALE

UNDISTURBED SOIL

COMPACTED FILL MATERIAL

GEOTEXTILE

EROSION CONTROL BLANKET

TURF REINFORCING MAT

STRAW WATTLE

RUNOFF FLOW DIRECTION

SWALE FLOW DIRECTION

STORMWATER LEVEL SPREADER

BUBBLE-UP DRAINAGE EMITTER

POP-UP DRAINAGE EMITTER

SUBDRAIN END CAP

SUBDRAIN OR STORMWATER CLEANOUT

SUBDRAIN OUTLET

HIDDEN FOUNDATION OR RETAINING WALL

TREE PROTECTION FENCING

EX

NEW

CONC RETAINING WALL

SUBDRAIN (PERFORATED PIPE)

STORM DRAIN PIPE

E/OH

E/OH

ELECTRICAL OVERHEAD LINE

E/UG

E/UG

ELECTRICAL UNDERGROUND

COM/OH

COM/OH

COMMUNICATION OVERHEAD LINE

COM/UG

COM/UG

COMMUNICATION UNDERGROUND

JT

JT

JOINT TRENCH

SS

SS

SANITARY SEWER

W

W

WATER LINE

G

G

GAS LINE

EDGE OF ROAD

ROOF EAVE

EX FENCE

NEW WIRE FENCE

NEW WOOD FENCE

EXISTING GRADE ELEVATION CONTOUR

FINISHED GRADE ELEVATION CONTOUR

85.5 x

FINISHED GRADE ELEVATION

REMOVE EX TREE

SECTION LETTER

C

C-2

SHEET ON WHICH SECTION IS SHOWN

SECTION

C

C-1

SHEET ON WHICH SECTION IS CALLED OUT

DETAIL NUMBER

2

C-3

SHEET ON WHICH DETAIL IS SHOWN

DETAIL

2

C-2

SHEET ON WHICH DETAIL IS CALLED OUT

UTILITY CONNECTION NOTES:

1. THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.

2. UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:

WATER: MARIN MUNICIPAL WATER DISTRICT

SEWER: ROSS VALLEY SANITARY DISTRICT NO. 1

ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)

GAS: PACIFIC GAS AND ELECTRIC (PG&E)

TELEPHONE: AT&T

CABLE: COMCAST

3. INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.

4. CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. 1 STANDARDS.

ESTIMATED EARTHWORK QUANTITIES	
EXCAVATION	410 CY
FILL	20 CY
EXCESS	390 CY
MAX. EXCAVATION DEPTH	6 FT
MAX. FILL DEPTH	2 FT
DISTURBED AREA	0.24 AC

EARTHWORK NOTES:

1. QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.

2. LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.

3. SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

GREEN BUILDING STANDARDS

1. THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.

2. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

INDEX OF DRAWINGS	
DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	GRADING AND DRAINAGE PLAN (1 OF 2)
C-3	GRADING AND DRAINAGE PLAN (2 OF 2)
C-4	DETAILS

ABBREVIATIONS	
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COMM/UG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
E/UG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FG	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLFF	LOWER LEVEL FINISHED FLOOR ELEV
LPFF	LOW POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MLFF	MAIN LEVEL FINISHED FLOOR ELEV
MMWD	MARIN MUNICIPAL WATER DISTRICT
OH	OVERHEAD
PG&E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RIM	ELEV AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
S	SLOPE
SCH	SCHEDULE
SIM	SIMILAR
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
UCS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULFF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE

STORMWATER PLAN SUMMARY

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	12,310 SF	13,549 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	1,099 SF
LANDSCAPE (PERVIOUS)	31,186 SF	28,908 SF
TOTAL LOT AREA	43,556 SF	43,556 SF

STORMWATER NOTES:

1. IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS, POOL AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.

2. CONCRETE PAVERS INCLUDE PART OF DRIVEWAY.

3. NEW OR REPLACEMENT IMPERVIOUS AREA IS 3600 SF.

GENERAL NOTES:

1. SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY RJD DAVIS & ASSOCIATES LAND SURVEYORS, 45 LEVERONI COURT, NOVATO, CA. 94944. (415) 883-9099. rjdavis@rjdavis-survey.com. DATED 05-14-2013. BOUNDARY LINES BASED ON 28 ROS 44. VERTICAL DATUM IS ASSUMED.

2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-221-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR. ADDITIONAL COSTS AND DELAYS IN PREPARING THE REQUIRED REVIEW LETTER.

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

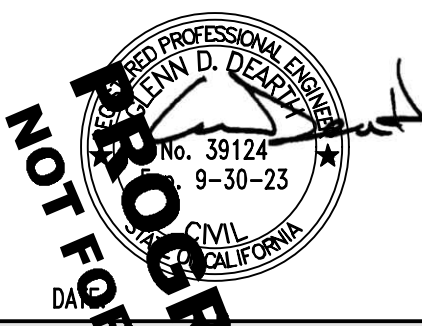
RETAINING WALL AND FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

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OWNER

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189 LAGUNITAS ROAD  
ROSS, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION
△	4/6/22	ISSUED FOR REVIEW
△		
△		
△		
△		
△		

DESIGNED BY: G. DEARTH

DRAWN BY: E. HAYDEN

APPROVED BY:

SCALE: NA

DATE: 4/6/2022

PROJECT NO. 105.001

COVER SHEET

REVISION

0

SHEET NO.

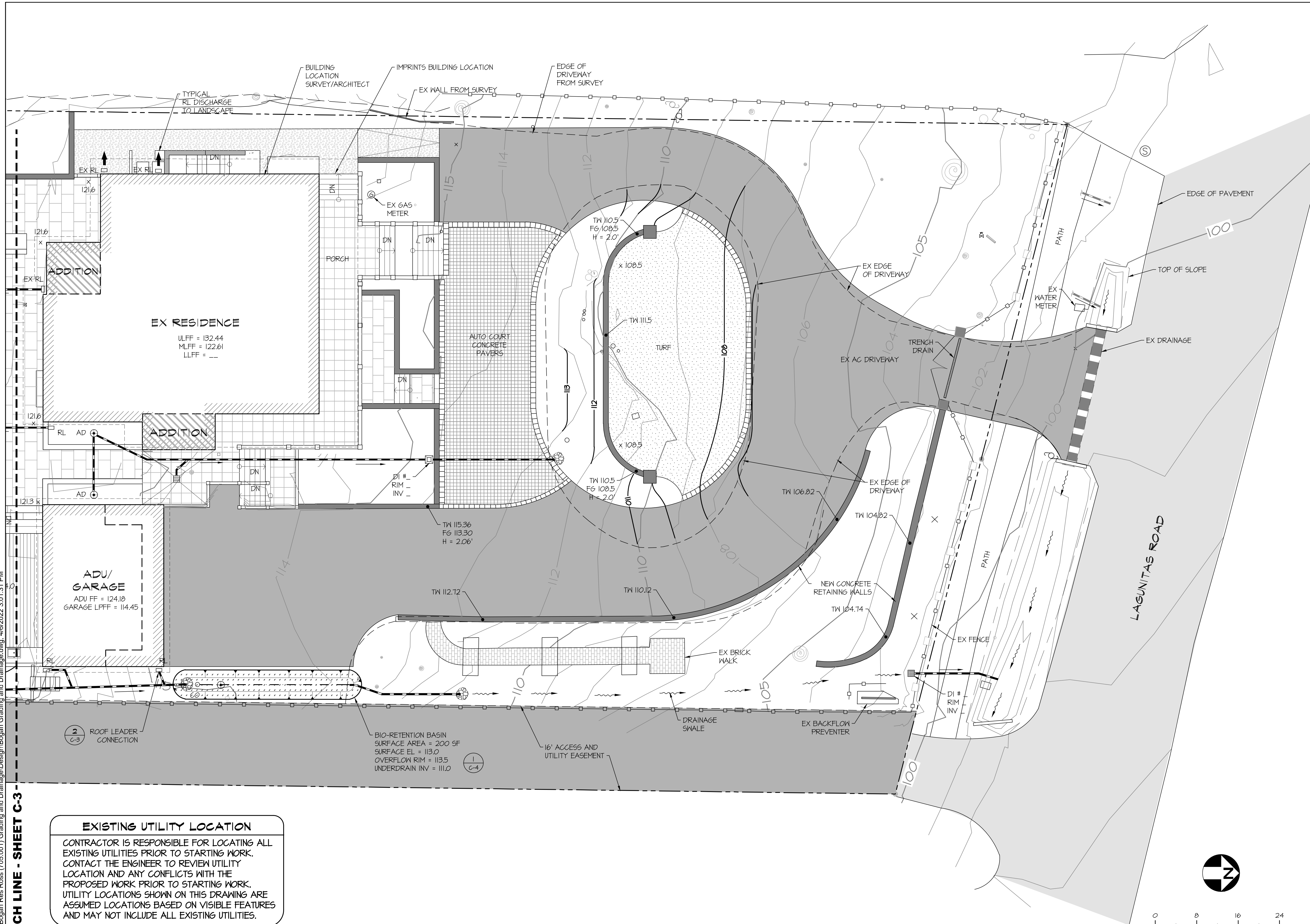
1 OF 4

DRAWING

C-1

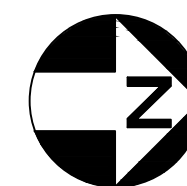
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MATCH LINE - SHEET C-3



#### EXISTING UTILITY LOCATION

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.



0 8 16 24  
SCALE IN FEET

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DESIGNED BY: G. DEARTH

DRAWN BY: E. HAYDEN

APPROVED BY:

SCALE: 1" = 8'-0"

DATE: 4/6/2022 PROJECT NO. 105.001

CONCEPTUAL  
GRADING AND  
DRAINAGE  
PLAN  
(1 OF 2)

REVISION 0

SHEET NO. 2 OF 4

DRAWING C-2



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DESIGN REVIEW NOTES

STORMWATER DRAINAGE PLAN

1. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 12,310 SQUARE FEET (SQ FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 43,556 SQ FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 28 PERCENT OF THE TOTAL LOT AREA.
3. THE PROPOSED DEVELOPMENT PLAN ADDS 1,171 SQ FT OF NEW IMPERVIOUS AREA, GIVING A TOTAL OF 13,541 SQ FT OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 31 PERCENT OF THE LOT AREA.
4. THE PROPOSED DEVELOPMENT PLAN MINIMIZES THE USE OF IMPERVIOUS HARDSCAPE. PERVIOUS PAVING (CONCRETE PAVERS) WILL BE USED FOR THE PART OF THE DRIVEWAY.
5. RUNOFF FROM 2,140 SQ FT OF THE PROPOSED IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO AN ON-SITE BIO-RETENTION BASIN. THE IMPERVIOUS AREA DIRECTED TO THE BIO-RETENTION BASIN INCLUDES THE ENTIRE NEW PATO AT THE REAR OF THE HOUSE, THE ADU ROOF AND PART OF THE HOUSE ROOF. RUNOFF FROM REMAINING IMPERVIOUS AREA WILL SHEET FLOW TO LANDSCAPE AREAS OR DISCHARGE THROUGH THE EXISTING DRAINAGE SYSTEM TO THE SWALE ALONG LAGUNITAS ROAD.
6. THE INCREASE IN STORMWATER RUNOFF DUE TO CONSTRUCTION OF ADDITIONAL IMPERVIOUS SURFACES WILL BE MITIGATED BY INSTALLING A BIO-RETENTION BASIN. A PIPED STORMWATER DRAINAGE SYSTEM WILL BE USED TO CONNECT ROOF LEADERS AND AREA DRAINS TO A BIO-RETENTION BASIN LOCATED NEXT TO THE DRIVEWAY. THE BIO-RETENTION BASIN WILL SLOW THE RUNOFF RATE, ALLOW STORMWATER TO INFILTRATE AND PROVIDE STORMWATER TREATMENT. ANY OVERFLOW FROM THE BIO-RETENTION BASIN WILL BE DIRECTED TO THE EXISTING DRAINAGE SYSTEM SWALE ALONG LAGUNITAS ROAD.
7. AREA DRAINS IN LANDSCAPE AND HARDSCAPE AREAS ARE LIMITED TO LOCATIONS WHERE THEY ARE NECESSARY TO PREVENT WATER PONDING THAT COULD DAMAGE THE HOUSE. RUNOFF FROM MOST OF THE HARDSCAPE AREAS WILL BE ALLOWED TO SHEET FLOW TOWARD LANDSCAPED AREAS WHERE IT CAN INFILTRATE OR SLOWLY RUNOFF TOWARD THE STREET DRAINAGE SYSTEM.
8. THE BIO RETENTION BASINS ARE DESIGNED TO CAPTURE THE 10-YEAR STORM AND INFILTRATE IT INTO THE GROUND IN ACCORDANCE WITH MCDSTOPPP GUIDELINES. THE SURFACE AREA OF THE BASINS AND DETAILS OF CONSTRUCTION COMPLY WITH MCDSTOPPP GUIDELINES.
9. A FOUNDATION DRAINAGE AND RETAINING WALL BACK DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

EXCAVATION & GRADING PLAN

1. SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN.
2. EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

EROSION CONTROL

1. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAW WATTLES WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARPES TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET AND STRAW WATTLES.
2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLANS.

STORMWATER POLLUTION PREVENTION

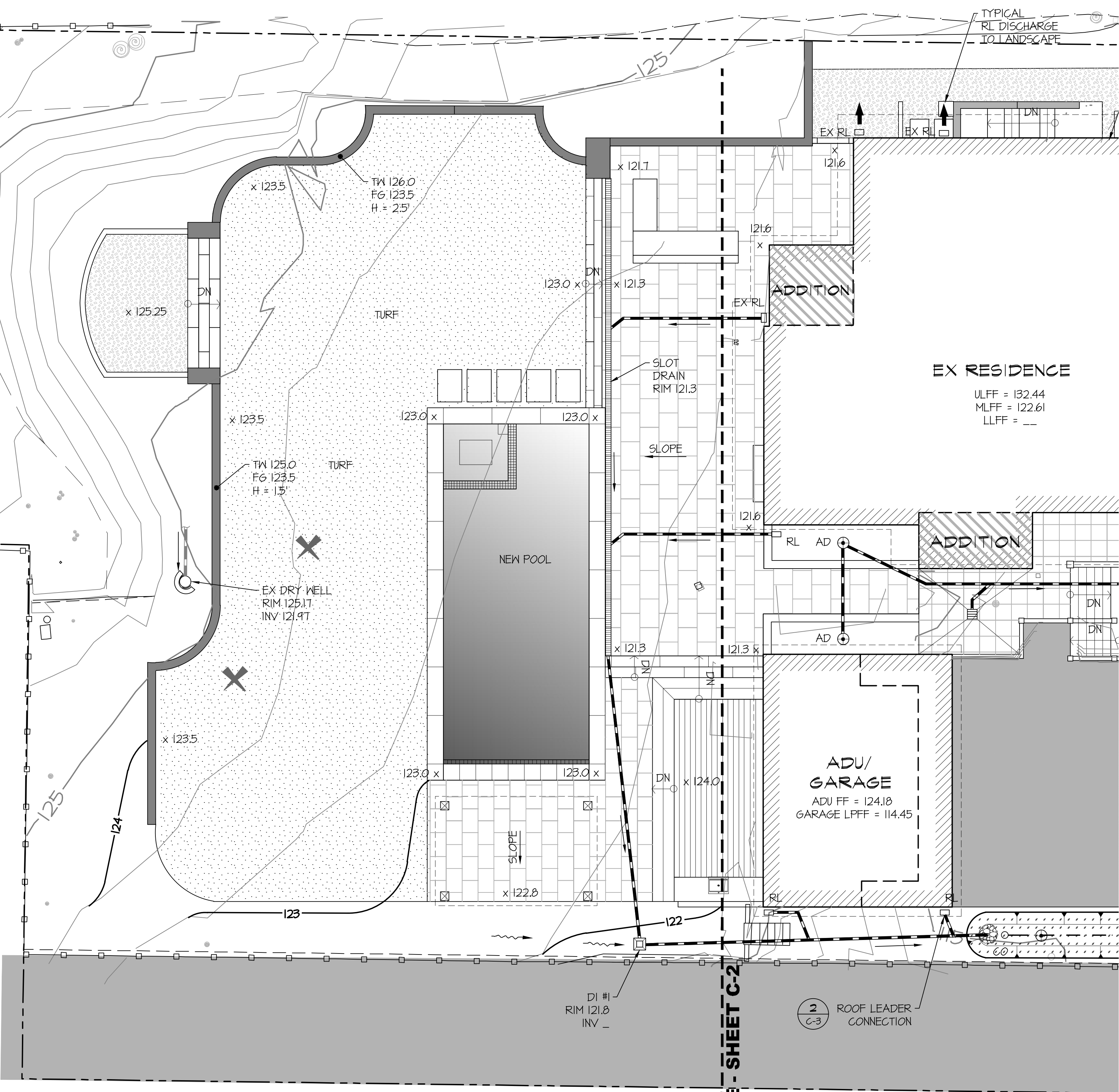
1. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

UTILITY PLAN

1. ALL UTILITY SERVICES WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE. NO NEW CONNECTIONS TO SERVICE MAINS ARE PLANNED.

RETAINING WALL CONSTRUCTION NOTES

1. ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION SUPPORTED BY SPREAD FOOTINGS OR DRILLED PIERS AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.



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REVISIONS		
NO.	DATE	DESCRIPTION
1	4/6/22	ISSUED FOR REVIEW

DESIGNED BY:	G. DEARTH
DRAWN BY:	E. HAYDEN
APPROVED BY:	
SCALE:	1" = 8'-0"
DATE:	PROJECT NO.
4/6/2022	705.001

CONCEPTUAL  
GRADING AND  
DRAINAGE  
PLAN  
(2 OF 2)

REVISION	0
SHEET NO.	3 OF 4
DRAWING	C-3



BIO-RETENTION BASIN SIZING

Calculation method based on:  
BASMAA Post-Construction Manual  
(January, 2019)

LTD Engineering, Inc.

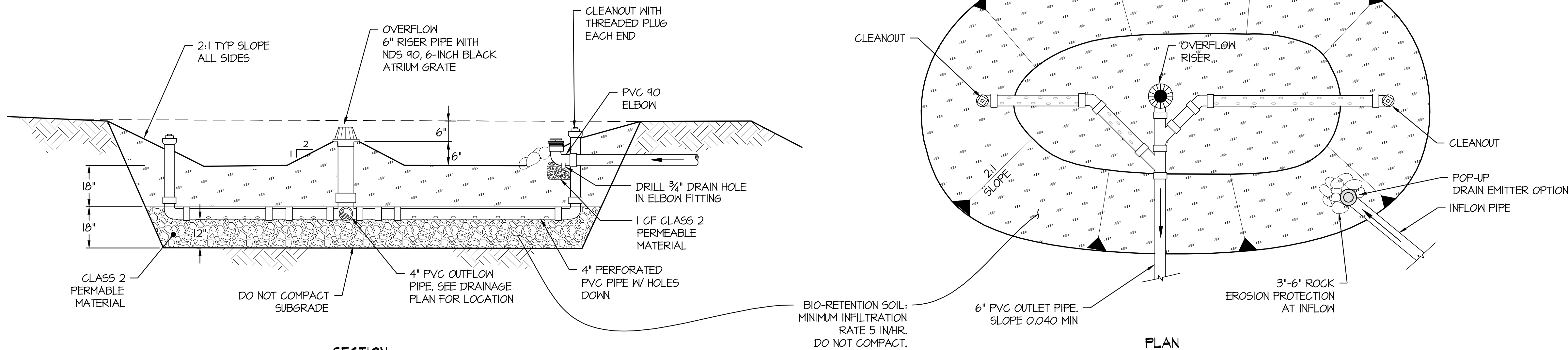
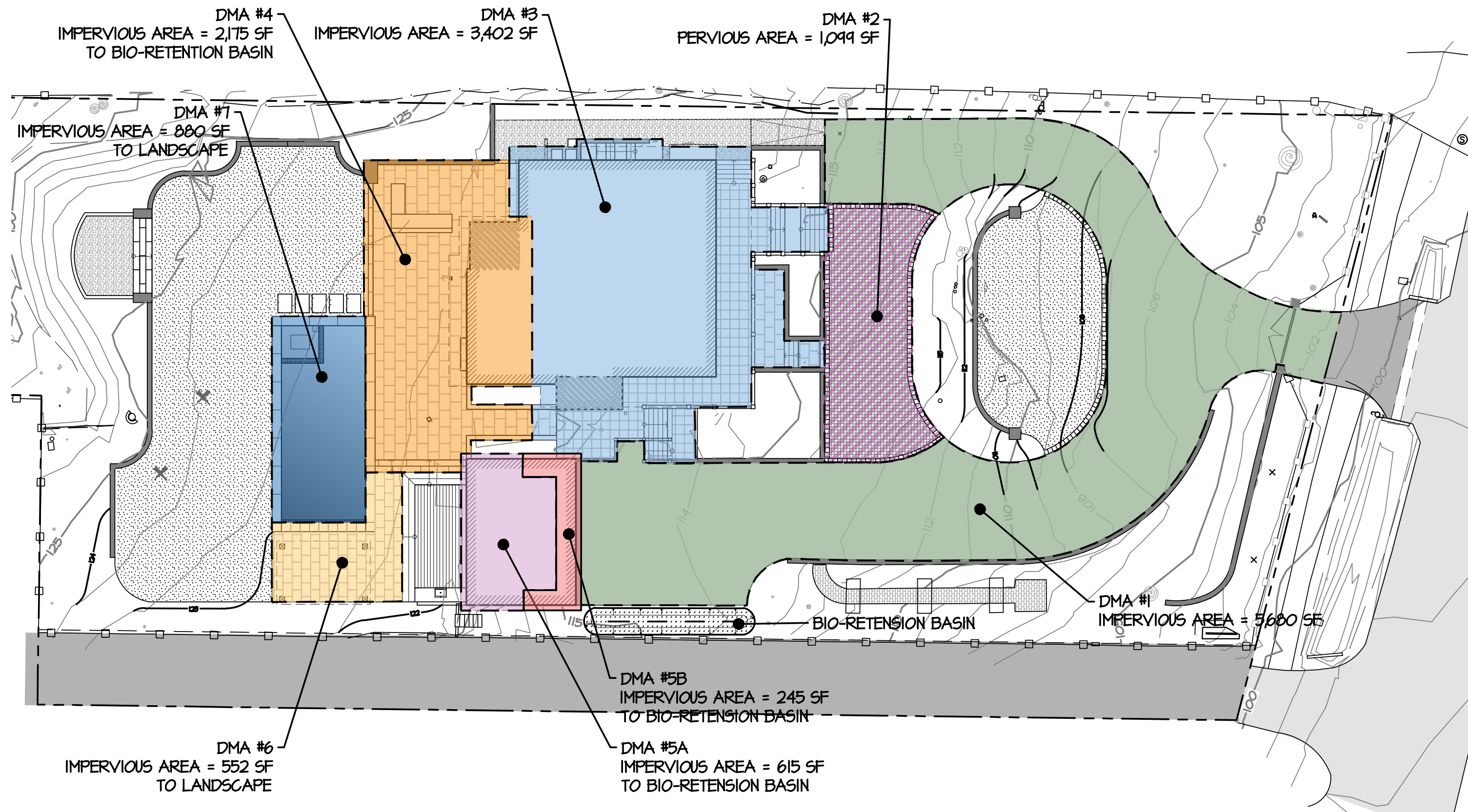
G. Dearth  
April 6, 2022

PROJECT: Bogan Residence, ADU and Pool, Ross, CA

Area Name	Area (sq ft)	Surface Type	Runoff Factor	Area x Runoff Factor (sq ft)
DMA #4	2,175	Impervious	1.0	2,175
DMA #5A	615	Impervious	1.0	615
DMA #5B	245	Impervious	1.0	245
TOTAL		3,035	----	3,035

Standard Required Bio-retention Basin Area (sq ft)	121
Town of Ross Required Bio-retention Basin Area (sq ft)	243
Proposed Design Bio-retention Basin Area (sq ft)	200

Runoff Factors	
Roofs and paving	1.0
Landscape areas	0.1
Bricks or solid pavers - grouted	1.0
Bricks or concrete pavers on sand base	0.2
Permeable concrete or asphalt	0.1
Turfblock or gravel (min 6" thickness)	0.1
Open or porous pavers	0.1
Artificial turf	0.0
Standard Bio-retention Basin Sizing Factor	0.04
Town of Ross Bio-retention Basin Sizing Factor	0.08



BIO-RETENTION BASIN DETAIL

NO SCALE

LTD Engineering, Inc.  
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gdearth@LTDengineering.com

OWNER  
CHARLIE BOGAN  
189 LAGUNITAS ROAD  
ROSS, CALIFORNIA  
CONTACT #



ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION

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BOGAN RESIDENCE  
REMODEL  
APN 073-211-38  
189 LAGUNITAS ROAD  
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	4/6/22	ISSUED FOR REVIEW

DESIGNED BY: G. DEARTH  
DRAWN BY: E. HAYDEN  
APPROVED BY:  
SCALE: AS SHOWN  
DATE: 4/6/2022 PROJECT NO. 105.001

DETAILS

REVISION	0
SHEET NO.	4 OF 4
DRAWING	C-4



