

Exhibit F



August 2, 2020

PROPERTY CONDITION ASSESSMENT

(Updated from original February 13, 2017 PCA)

Property Identification:

Town of Ross Fire and Police Building
33 Sir Francis Drake Blvd.- PO Box 320
Ross, CA 94957

Parcel Number: 073-191-16

Zoning: Civic District (C-D)

General Plan: Public Service

Flood Zone: Zone A (1-percent annual chance floodplain)

Prepared For:

Richard Simonitch
Director of Public Works
Town of Ross
31 Sir Francis Drake Blvd.
Ross, CA 94957-0320

Prepared By:

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Executive Summary

In February of 2016, Construction and Development Solutions Inc. (CDS-Inc, conducted a Property Condition Assessment of the property. In May of 2020, CDS-Inc was contacted by the Town of Ross to update the Assessment. Del Nordby of (CDS-Inc.) performed a “walk-through” of the building at 33 Sir Francis Drake Boulevard (SFDB), Ross, CA. on June 1, 2020 at 10:00 am. The intent of this walkthrough was to visually inspect the condition of the property and determine if any significant changes had occurred from the previous study.

CDS-Inc. had previously engaged outside experts to report on the site topography, exterior and interior building, life safety, exiting, ADA compliance, structural conditions, lead and asbestos, electrical, mechanical, and plumbing systems in 2016. A Mold Report was commissioned by the Town of Ross in January of 2020 that focused on the Fire House and is referenced in this report.

With a very few exceptions, the condition of the property has not changed since February of 2016. It is difficult to categorize, in order of importance, the deficiencies in this property. There are current health issues due to the presence of mold, deficiencies in the structure of the building (pests and structural), deficiencies in ADA accessibility and non-compliance with the Essential Service Act (ESA) requirements for public safety construction.

General Description

The Ross Public Safety building is located on a slightly sloping 2.33-acre lot bounded by Sir Francis Drake Boulevard to the east, Lagunitas Road to the south, Corte Madera Creek to the west, and a single-family property at 39 Sir Francis Drake Boulevard to the north. The building, which occupies a portion of Assessor Parcel 073-191-16, is part of the Ross Civic Center, which also includes Ross Town Hall at 31 Sir Francis Drake Boulevard, and the Corporation Yard at 35 Sir Francis Drake Boulevard.

Designed by architect John White in the Spanish Colonial Revival style. The Ross Public Safety Building includes the firehouse proper and two former residential wings, including the south wing, which presently houses the Ross Police Department, and the vacant north wing. A Historical Research Evaluation by Ver Planck, indicate that the building is considered to be a “historical resource” and is listed in the California Register.

General Physical Conditions

The Ross Public Safety Building is in fair to poor condition - indicative of its age and shows signs of general wear and tear and lacking in overall general maintenance. Generally, the property appears to have been constructed within industry standards in force at the time of construction.

- The apparatus bay is in good condition (photo in Appendix J, page 3).
- The Fire House (middle section) is in poor condition (photo in Appendix J, page 4).
- The Police Department (south wing) in fair condition
- The north wing in poor condition. (photo in Appendix J, page 7).

Much of the firehouse was remodeled in the mid-1990s, presumably when the addition of the apparatus bay was constructed. Most recently a pre-engineered metal structure was installed adjacent the rear apparatus bay doors. The south wing, which has housed the Police Department since 1982, appears to have undergone few significant improvements since then. The north wing is in the poor condition, with little evidence of any significant maintenance having occurred within the last few decades. Much of the interior finishes have been removed and partial renovations have occurred.

The following summaries are taken from various reports prepared by professional consultants for the PCA along with observations made by CDS-Inc. Each consultant's report can be found and referenced in Appendix A through H in this report.

Site Elements

Please refer to ArchiLogix report dated November 12, 2016 in Appendix G to review the consultant's detailed observations and written recommendations.

The drainage and immediate parking areas is in fair condition. The entire parking and drive area lack concrete curb and gutters. Pavement edges consist of varying material such as wood poles and asphalt. In several locations there are no edge material. There have been several comments made by people familiar with the site that significant flooding has occurred on the Property in previous years.

The asphalt is failed in many locations around the building as evidenced by "fatigue cracking". The concrete apron adjacent the apparatus bay is in good condition.

The onsite vehicular and pedestrian circulation present a potential safety challenge. Fire stations require a clear and unimpeded path of travel for apparatus and support vehicles to and from the site. Categorically, the type of vehicles used by administrative staff or the public to and from the civic center campus present possible circulation and parking conflicts as well as safety concerns for pedestrian's visiting the various buildings. If the building's existing police and fire use continuous a way finding system of exterior signs, pavement markings and possible warning signals (flashing lights) along with strategically placed decorative/security lighting should be considered to improve on-site circulation.

Topographically, the public safety's proximity to the existing creek is highlighted by the fact that the 1995 apparatus bay addition sits in the 25-foot creek setback. It is our understanding that from time to time when substantial rain events occur the apparatus bays have been flooded negatively affecting its use as public safety building. If one were to design a public safety facility site today, a finish floor elevation above flood level would be required. A public safety building must operate under emergency conditions for 72 hours.

Although beyond the scope of this report, the ADA accessible and van accessible parking does not appear to be compliant. There are several entry points in to the building and all but one (the Police Department) is not ADA accessible.

Structural Frame and Roof Condition

Please refer to ZFA Structural Engineers report dated October 31, 2016 in Appendix A to review the observed structural assessments along with recommendations.

Per the structural engineer's report, there are several deficiencies to the structural integrity of the building. Highlighted concerns include lack of seismic upgrades at the foundation, in-fill construction, lack of floor girder connections and seismic concerns due to irregular shapes of the buildings. It is concluded that the extent of these deficiencies would require substantial re-configuration and not likely feasible or cost effective to repair.

The existing roof surface is a clay tile installed over a waterproof membrane. The roof appears to be around 20-30 years old. With proper maintenance this type of roof typically remains serviceable for approximately 40 to 50 years. The roofing consultant recommends several repairs and maintenance action items in the Visual Roof Inspection prepared on 10/13/2016 found in Appendix B.

Many of the exterior wood windows appear to be originals and are severally weathered and physically damaged. Most are in poor condition and show signs of deterioration

It should be noted that there is a plan in place to replace the existing windows, although the work had not started when CDS-Inc visiting the site.

Building Exterior and Interior Elements

The exterior wall finish of the building is primarily plaster over wood framing. There are several locations where cracking has occurred in the plaster and areas of dark dis-colorization indicating surface mold (photo in Appendix J, Page 2).

CDS-Inc. noted several exposed cables and wires traversing the plaster walls. These wires appear to be low voltage or communication cables. How the wires are connected to the plaster walls is a concern since the nail fastening penetrations breach the water protecting function of the plaster. There are several wood stairways providing access to the building. The stairs treads and some risers at the fire house have recently been replaced. (photo in Appendix J, page 1). At the rear exit of the Police Department, anti-slip treads have been installed.

The interior conditions of several locations is discussed below:

- The south wing, which houses Police staff, is in good condition.
- The original apparatus bay is in poor condition due to age, multiple changes and structural additions performed over time. There is visible cracking in the interior walls (photo in Appendix J, Page 2, Slide 9). In addition to being small the washroom contains a furnace and water heaters along with exposed framing and wiring.
- The fire house kitchen and second floor areas are in fair condition, showing signs of wear and tear.
- The new apparatus bay is in good condition.

- The north wing is in poor condition. A section of the interior has been demolished exposing the wall framing and electrical wiring (photo in Appendix J, Page 10, Slide 55). There is also visible mold and dry rot.

Electrical, Telephone and Data Systems

Please refer to the report by Brokaw Design dated October 24, 2016 in Appendix E to review the assessments of the electrical and communication systems.

Electrical distribution is accomplished at 120/240V, single-phase to surface or flush mounted panel boards throughout the facility. The panels are varying in age depending on location.

Distribution feeders are either run surface mounted in conduit or concealed in walls. No apparent deficiencies to the power distribution feeders were observed at the time of inspection. It is unknown if there have been any deficiencies or reasons for repair in the past.

The branch circuits are a mix of concealed and surface mounted boxes/conduit. Some branch circuits within the facility have been disabled/cut and it is not known if the serving overcurrent protection devices have been shut-off. The exposed Romex wiring and cut-off branch circuits are a safety concern.

There is an emergency generator at the rear of the building as Manufactured by Generac. The unit is rated 100kW and has a 300-ampere circuit breaker. The unit appears to be in good shape.

The telephone service is fed to the main electric room of the Fire Station portion of the building in the same room as the electric main switchboard. It is unknown if the existing telephone service is adequate for the facility. It appears to lack functionality.

The data server is located in the main electric room. It is unknown if the existing system and cabling is adequate for the facility. It is unknown if there are wireless access points located in the facility.

Mechanical and Plumbing Systems

Please refer to the report by 15000 Inc. dated November 15, 2016 in Appendix F to review noted observations and recommendations for the mechanical and plumbing systems.

The existing HVAC systems are at the end of their life expectancy and should be replaced with new high efficient gas fired equipment.

Ductwork throughout the space should be evaluated and leak tested. Where possible, flexible ductwork shall be replaced with spiral ductwork.

The exhaust fans within the bathrooms are at the end of their life expectancy and should be replaced.

The data server room should be provided with stand-alone split-system cooling coil to maintain proper temperatures within the room (65-75 degree Fahrenheit).

Portions of the domestic water system show corrosion (including water heater).

Asbestos, Lead Based Materials, Microbial Growth

Please refer to the report by NorthBay Environmental Assessment Report dated October 15, 2016 in Appendix D to review assessments of asbestos, lead based materials and microbial growth findings.

Suspect asbestos containing materials were identified at the roof, exterior stucco, exterior windows, drywall tapping and mudding, vinyl floor and tile/mastic areas during the walkthrough and should be sampled for asbestos prior to any activities taking place that would disturb them.

Based on the age of the various wings (pre-1978) it can be assumed that lead based paint and/or glazing is present on building components and fixtures, both interior and exterior.

Microbial growth was observed in various locations in the fire house. However, the areas in which microbial growth was observed did not appear to be occupied.

Mold

Please refer to Bay Area Mold Pros inspection reports dated January 3, 2020 and January 22, 2020 in Appendix I. This report was limited to the Fire House.

There is mold in 2 rooms, the old gym, and the exercise room of the Fire House. There are also elevated humidity levels in the toilet and shower rooms. The proper course of action to remediate the mold, would be to first identify the cause (areas of water intrusion), hire a remediation company to clean the affected areas and then make the necessary repairs to assure that the source causing the mold is repaired.

Pests and Organisms

Please refer to Buena Vista's Wood Destroying Pests and Organisms Inspection report dated October 10, 2016 in Appendix C.

Subterranean termites, rodent infestation, surface fungus, wood eating beetles and other organisms, have affected various areas of the site and structure. These types of deficiencies typically need to be addressed immediately to prevent further damage. It does not appear that any corrective action has been taken since the Buena Vista's 2016 report.

ADA and Life Safety Systems

There is no central fire alarm system in the facility. Only single-station smoke detectors were observed in some locations. There are no fire sprinklers in the building. According to the NFPA, although not required, fire sprinklers are highly recommended.

It is beyond the scope of this report to provide a California Access Specialist (CASp) survey however, in general terms there are several "barriers" to entry into and throughout the building as defined by the American with Disabilities Act. Path of travel from accessible parking at front of building to main entry has a non-compliant staircase; ramp and accessible parking space signage will need to be updated. The existing bathrooms are non-compliant.

According to the Archilogix report Public safety buildings have a challenge when it comes to disabled accessibility to comply with CBC Chapter 11 as well as ADA. An interior-exiting plan should be prepared and posted based on the existing room layout for both police and fire. Circulation through all circulation hallways is not fully compliant including connection to the modular building. The Town must determine the extent of public access and then to what extent the police and fire stations are available to individuals with disabilities. Ultimately, the architect believes that accessibility and safety are important considerations that must coexist.

Historical Resource Evaluation

The findings of the Ver Plank report dated September 10, 2016 in Appendix H, "The Ross Public Safety Building appears eligible for listing in the California Register under Criterion 1 (Events) as a building constructed as part of the Town's first Civic Center." Additionally, "The Ross Public Safety Building appears eligible for listing in the California Register under Criterion 3 (De-sign/Construction) as a structure that embodies the distinctive characteristics of a type, period, and method of construction, and as the work of a master."

Essential Services Building

The original building was designed significantly prior to 1986 Essential Service Act (ESA) requirements for public safety construction. In short the ESA states that buildings such as firehouses "shall be capable of providing essential services to the public after a disaster, shall be designed and constructed to minimize fire hazards and to resist, insofar as practical, the forces generated by earthquakes, gravity, and winds¹.

It is beyond the scope of this report to interpret the ESA as it relates to the existing facility, however, it should be noted (as described in the attached ArchiLogix report) that the proximity to the existing creek highlights the fact that the 1995 apparatus bay addition sits in the 25-foot creek setback and within a FEMA Special Flood Hazard Area. According to the attached FEMA report (see Appendix M), the building is within Flood Zone AE, which is an area with a 1-percent annual chance flood, also referred to as the base flood or 100-year flood.

It's our understanding that from time to time when substantial rain events occur the apparatus bays have been flooded and not able to be used for their intended use. If one were locating / designing a public safety facility like this today, one would establish the finish floor elevation above flood level especially given the fact that this is an essential service facility and must operate under emergency conditions for 72 hours.

¹https://leginfo.legislature.ca.gov/faces/codes_displayText.xhtml?lawCode=HSC&division=12.5.&title=&part=&chapter=2.&article=1.

Additionally, the reference to the ESA's comment regarding earthquakes, in the structural engineer's report there are several concerns with the seismic integrity of the building and its ability to survive a major event.

Recommendations

Deferred maintenance items and deficiencies that require immediate attention are listed below.

Site Elements:

- Patch paving, seal coat and stripe parking
- Site concrete, curb and gutters
- ADA parking with signage
- Separation of circulation conflicts
- Improve storm drain system to address flooding hazards. It should be noted that the only solution to completely eliminating this issue would be to raise the new apparatus building along with the adjacent site improvements

Structural Frame and Roof Condition:

Per the structural engineer's findings there are several recommendations that can be addressed immediately:

- Foundation – The connection to the foundation at the original structure appeared substandard. Recommendation: Review foundation attachment in detail and provide additional retrofit anchors as needed to connect building framing to foundation
- Exterior Stucco Cracks – The exterior walls and some interior walls at the center firehouse of the original building corner have some pronounced diagonal cracks. Recommendation: Inspect wood framing underneath stucco at areas of exterior cracks. Repair framing as needed and stucco.
- Floor Girder Connections – The ground floor framing girders and posts are not connected with metal hardware Recommendation: Add posts caps and bases to all connections.
- Interior Slab on Grade Cracks – The interior concrete slab on grade at the original fire house shows some cracks. Recommendation: Evaluate functional performance of floor and removed and replace slab or patch slab cracks.
 - *It should be noted that there are several other areas of concern regarding the structure that have been addressed that "Due to historic designation, substantial re-configuration is not likely feasible or cost effective."*
- At the roof, repair the cracked tiles with 50-year tile adhesive and replace 3 broken tiles. Blow-off entire roof, clean and seal all gutters and down spouts. Replace both 3'x4' window awnings. Repair / replace cracked and missing tile mortar at hips and ridges. Replace wood sub-structure and flashing at tower platform. Seal all mastic locations with three-course sealant system.

Building Exterior and Interior Elements:

- Patch and repair all cracked plaster to prevent further water intrusion
- Re-route exposed wires and patch plaster
- Repair and replace dry rotted windows and doors to stop further deterioration.

- The north wing interior required a complete interior renovation to remove all hazardous materials.
- Interior repairs to original apparatus bay
- At fire house paint, carpet and general improvements to kitchen, stairs and second floor due to general wear and tear.

Electrical Systems:

- It is recommended to replace old panel boards with new panel boards and new feeders. Branch circuitry of these replaced panels will need to comply with the latest Title 24 standards for circuit disaggregation. Newer panel boards in the facility might be left as-is or reused. If the main switchboard is replaced, re-work of the existing feeders to panels that remain will be required.
- Add a fire alarm system

Mechanical Systems:

- The existing HVAC systems are at the end of their life expectancy and should be replaced with new high efficient gas fired equipment. Existing HVAC controls should be replaced with current Title 24 code compliant programmable thermostats. New HVAC units shall be provided with a dehumidification accessory to maintain 40-60% relative humidity.
- The exhaust fans within the bathrooms are at the end of their life expectancy and should be replaced. New fans should be provided with humidistats per current CalGreen requirements where showers are present.
- Data server room should be provided with stand-alone split-system cooling coil to maintain proper temperatures within the room (65-75 degree Fahrenheit).
- Ductwork throughout the space should be evaluated and leak tested. Where possible, flexible ductwork shall be replaced with spiral ductwork.

Plumbing Systems:

- Portions of the domestic water system where there is corrosion (including water heater) should be replaced in their entirety.
- Air compressor and storage tank should be replaced with modern and higher efficient equipment.
- Domestic water entrance should be protected from possible vehicle damage and replaced with modern valves and pressure regulator.

Additional Considerations:

- ADA Accessibility – Further evaluation is required. Contract with a CASp consultant to identify all ADA issues related to the subject property.

- Asbestos – Due to age of the original building, it is recommended that a professional Industrial Hygienist be engaged to sample the building and produce a protocol for an abatement contractor for removal any hazardous material that may exist.
- Mold – remediate the mold and repair areas that are the cause of the mold.
- Pest and Rodents – per the Buena Vista report further investigation is required to fully understand the extent of termite, dry rot and rodent damage to the property (this report was limited to visual inspections only, which do indicate that further investigation is required).
- An interior-exiting plan should be prepared and posted based on the existing room layouts for both police and fire. The exiting plan for the fire station side of the existing building is more difficult to prepare because several rooms are not being occupied by staff and basically serve as storage or fitness rooms. Circulation through all hallways are not fully compliant including connection to the modular building.

Typically, a report of this type is limited to addressing the visual deficiencies in the building as described above. In this particular case, it seems relevant to discuss issues that go beyond the visual defects.

Given the aforementioned issues related to noncompliance with ESA due to the building's current use as a public safety structure for the Town of Ross' Fire and Police, it seems appropriate to evaluate or consider a non-ESA related use for the building and repurpose it with due consideration for its inherent historical merits. Such a consideration would require a detailed feasibility analysis into the cost of design, historical review, permitting and re-construction of the existing facility. Due to the deficiencies called out in this report, the cost of re-construction could easily equal that of a new ground up facility.

Purpose and Scope

At the request of Richard Simonitch of the Town of Ross, CDS-Inc. performed a Property Condition Assessment substantially in accordance with the American Society for Testing and Materials, ASTM E2018-01, Standard Guide for Property Condition Assessment-Baseline Property Condition Assessment Process. The intent of this report is to identify and communicate conspicuous defects or material deferred maintenance of a subject property's material systems, components, or equipment as observed on the date of the Field Observer's Walk-Through Survey. This is a visual review of readily accessible areas and components. It is not technically exhaustive and no excavation, disassembly or removal of covers, panels or obstructions is performed. Hidden or obstructed defects may not be observed. In addition, some components are assessed on a random sampling of like items.

The physical conditions of building components are typically defined as being in one of three categories: Good, Fair, or Poor. For the purposes of this report, the following provides an explanation of the definitions used:

Good: Average to above-average condition for the building system evaluated, taking into consideration factors of age and design. Generally, other than normal maintenance, no repair is recommended or required.

Fair: Average condition for the building system evaluated, taking into consideration factors of age and design. Some short term or immediate maintenance or repairs are recommended to return the system to a good condition.

Poor: Below-average condition for the building system evaluated taking into consideration factors of age and design. Immediate repair, significant work or replacement is anticipated to return the building system to a good or fair condition.

Present during the site visit were:

- Del Nordby of CDS-Inc. www.cds-inc.net

The Property Condition Report is intended only for use by the Client. It is not intended to benefit, be used by or relied upon by any third party.

Conclusion

Typically, a report of this type is limited to addressing the visual deficiencies in the building as described above. In this particular case, it seems relevant to discuss issues that go beyond the visual defects.

Per the assessment reports included in Appendices A through I there are a number of building systems and components with a diminished level of integrity and capacity. This is due to exceeding limits on their life expectancy, in addition to, non-compliance with the Essential Service Act (ESA) requirements for public safety construction.

Given the aforementioned issues related to non-compliance with ESA due to the building's current use as a public safety structure for the Town of Ross' Fire and Police, it appears cost prohibitive to correct the issues related to the non-compliance of the ESA due to seismic and flooding issues.

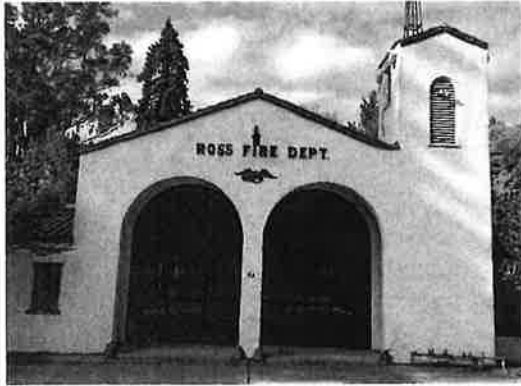
Such a consideration would require a detailed planning and feasibility study that focuses on needs analysis, environmental and historical records, design, permitting and re-construction of the existing facility. Given the deficiencies called out in this report, the cost of re-construction could easily equal that of a new ground up facility.

If CDS-Inc. is engaged to study this further, then a proposal can include multiple options to re-purpose the building.

APPENDIX A

ZFA Structural Engineers Conditions Assessment Report dated February 13, 2017

ZFA STRUCTURAL ENGINEERS



Conditions Assessment Report Ross Public Safety Building

33 Sir Francis Drake Blvd.
Ross, CA
ZFA Project: 16523.00

February 9, 2017

Prepared For:
Construction and Development Solutions Inc
Santa Rosa, CA

Prepared By:
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ZFA STRUCTURAL ENGINEERS



Conditions Assessment Report Ross Public Safety Building

33 Sir Francis Drake Blvd.
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INTRODUCTION

A general condition assessment structural review of the building located at 33 Sir Francis Drake Blvd in Ross, CA (see Appendix B: Location Map) was performed as requested by Construction and Development Solutions Inc. This review was based on one site visit completed on November 11, 2016 to visually review the general condition of the structure.

The following documents were provided for review:

- Town Facilities Master Plan Site Plan dated February 1, 2016 by Archilogix
- Historic Resource Evaluation: Town of Ross Public Safety Building dated September 10, 2016 by Ver Plank Historic Preservation Consulting which included images of the original floor plan, site plan, and front elevation (see Appendix B: Original Floor Plan)
- Town of Ross Firestation Expansion architectural drawings with no date by Strauss Architects
- Town of Ross Firestation Expansion structural drawings dated August 7, 1995 by Engle and Engle (see Appendix B: 1995 Expansion Drawings)
- No other documents were provided

The American Society of Civil Engineers (ASCE) 41 Standard for Evaluation and Retrofit of Existing Buildings provides a "Tier 1" checklist format which will be used as a guide for this assessment which helps to identify points of review and potential deficiencies. The assessment does not constitute a full seismic evaluation. See Appendix C for ASCE 41 Tier 1 checklists used for the entire structure. In a complete seismic evaluation, checklists would be performed for both the original and the 1995 expansion as separate structures.

STRUCTURE OVERVIEW

General Site Description

The Ross Public Safety campus is located on a slightly sloping 2.33 acre commercial lot between Corte Madera Creek and Sir Francis Drake Blvd. The campus is located with several entrances facing north to Sir Francis Drake. The site and structures are currently occupied by the Ross Valley Police and Fire Departments.

Structural System and Materials Description

General

The original structure is historic and was designed and built in 1927-28. The original structure is cruciform shape in plan and includes three distinct elements: the north wing – originally designed as a residence for staff, the center main firehouse, and the south wing – also designed as a residence for the chief. The building was and remains essentially symmetrical north to south. Two atriums in the north and south wings were infilled and a small addition to the south wing was added with unknown construction in the mid-1980's. An apparatus bay expansion was added in 1995 and is structurally/seismically separated from the original structure. The original main firehouse and the apparatus bay expansion are two story and the north and south wings are one story. The north wing is unoccupied. Subsequently, two temporary (no foundations) and connected modular buildings were added to the north in 2006 and are structurally and seismically separated from the original structure.

Roof Framing

The original structure has a wood-framed hip and gable-end roof consisting of historic standard sawn-lumber sizes in a stick framed system supporting heavy terra cotta tile shingles. The infill and addition are flat roof systems also wood-framed.

33 Sir Francis Drake Blvd. Ross, CA.

The 1995 expansion is a wood framed gable end system consisting of modern standard wood framing with ridge and rafter construction supporting heavy terra cotta shingles. The ceiling is also sawn lumber and provides an attic and bearing for pony walls supporting the roof. Structural steel beams and columns are used to support large open spans.

Second Floor Framing

The second floor at the center firehouse portion of the original building is also historic sawn lumber joists at standard spacing. Diagonal wood sheathing provides the diaphragm.

The second floor at the 1995 expansion is modern wood framed joists and plywood diaphragm.

Walls

The exterior and interior walls for are wood framed with standard stud sizes and spacing. The original building is sheathed with straight sheathing and stucco at the exterior. Plaster is used at the interior with typical gypsum board assumed at the more modern infill and additions. The 1995 expansion has plywood at the exterior.

Seismic Force-Resisting System

The primary lateral (seismic and wind) force resisting system is sheathed walls. The original structure utilizes historic construction with straight sheathing/stucco/plaster shear walls. The 1995 expansion utilizes modern plywood shear walls and a one-bay structural steel moment frame at the open bay elevation.

Ground Floor and Foundations

Foundations are assumed shallow spread concrete footings at exterior walls of the original structure. A concrete slab on grade provides the ground floor at the central firehouse. Interior pad footings, wood posts, girders, and floor joists provide the ground floor framing and foundation system at the north and south wings. The 1995 expansion is also concrete shallow spread footings and slab on grade.

Field Verification and Condition Assessment

The historic original building appears in general accordance with the original floor plan and varies in structural condition. The central firehouse is the most original and retains a generally moderate existing condition with some cracks in stucco/plaster and various points of decay. The south wing has been modified several times with undocumented construction and is also in moderate condition. The north wing is in significant disrepair with an obvious lack of maintenance. Most of the infill construction was performed with sub-standard construction.

The 1995 firehouse expansion appears in general conformance with the original construction documents provided and in generally good structural condition with little to no decay. Therefore, there are few items of significant structural interest associated with this newer more modern constructed portion of the building. Only the last three items below apply to the expansion portion of the structure.

FINDINGS AND RECOMMENDATIONS

The following items of structural interest were observed during site review of the structure (see Appendix A: Images). Items are listed in order of structural significance.

- a. ESSENTIAL SERVICE REQUIREMENTS AND RESIDENTIAL CONSTRUCTION – The original building was designed significantly prior to 1986 Essential Service Act requirements for public safety construction as well as modern wood construction techniques. Further the original floor plan notes the north and south wing as residential occupancy. Therefore, the construction is likely substantially less than current standards.

RECOMMENDATION: Due to historic classification, substantial compliance with current essential service facility and code requirements is not likely feasible or cost effective. Review and analyze the capacity of original systems and strengthen critical elements. Historical building code may be used to lessen structural requirements. Critical review of essential service facility occupancy is recommended.

- b. IRREGULAR SHAPE – The original building was designed in a highly irregular shape with significant re-entrant corners which concentrate forces during an earthquake. Portions of the structure respond differently and could create local structural issues.

RECOMMENDATION: Due to historic designation, substantial re-configuration is not likely feasible or cost effective. Review and analyze the effects of irregularities and strengthen critical connections and/or provide new seismic separations between north and south wing and central firehouse.

- c. INFILL CONSTRUCTION – The infill construction added to the original building is undocumented, appears sub-standard in some conditions, and could pose significant risk to the structure.

RECOMMENDATION: Review infill construction in detail and analyze effects on original structure. Removal and/or reconstruction may be required.

- d. FOUNDATION ANCHORAGE – The connection to the foundation at the original structure appeared sub-standard

RECOMMENDATION: Review foundation attachment in detail and provide additional retrofit anchors as needed to connect building framing to foundation

- e. EXTERIOR STUCCO CRACKS – The exterior walls and some interior walls at the center firehouse of the original building corner have some pronounced diagonal cracks.

RECOMMENDATION: Inspect wood framing underneath stucco at areas of exterior cracks. Repair framing and or sheathing as needed and re-apply stucco.

- f. FLOOR GIRDER CONNECTION – The ground floor framing girders and posts at the original building are not connected with metal hardware

RECOMMENDATION: Add posts caps and bases to all connections

- g. INTERIOR SLAB ON GRADE CRACKS – The interior concrete slab on grade at the original fire house shows some cracks.

RECOMMENDATION: Evaluate functional performance of floor and removed and replace slab or patch slab cracks.

- h. EXTERIOR FRAMING – Some of the exterior framing appears to suffer exposure degradation.

RECOMMENDATION: Evaluate functional performance exterior framing including emergency access conditions and replace as needed.

CONDITIONS ASSESSMENT REPORT- Ross Public Safety Building

33 Sir Francis Drake Blvd. Ross, CA.

- i. **GEOTECHNICAL REVIEW** – The site has a close proximity to creek, is prone to flooding, and no geotechnical information is available.

RECOMMENDATION: A full geotechnical and geological investigation is recommended to identify potential geologic hazards. This applies to both the original building and the expansion.

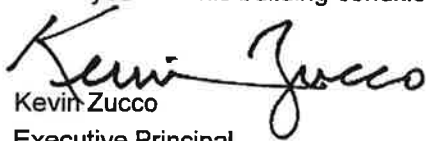
- i. **BUILDING SEPARATION** – The expansion building is located 3" from the original building but has a flexible moment frame system.

RECOMMENDATION: Due to existing construction, substantial re-configuration is not likely feasible or cost effective.

CLOSING

The structural review is based on that which was plainly visible at time of site review and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.



Kevin Zucco

Executive Principal

ZFA Structural Engineers

APPENDIX A – IMAGES

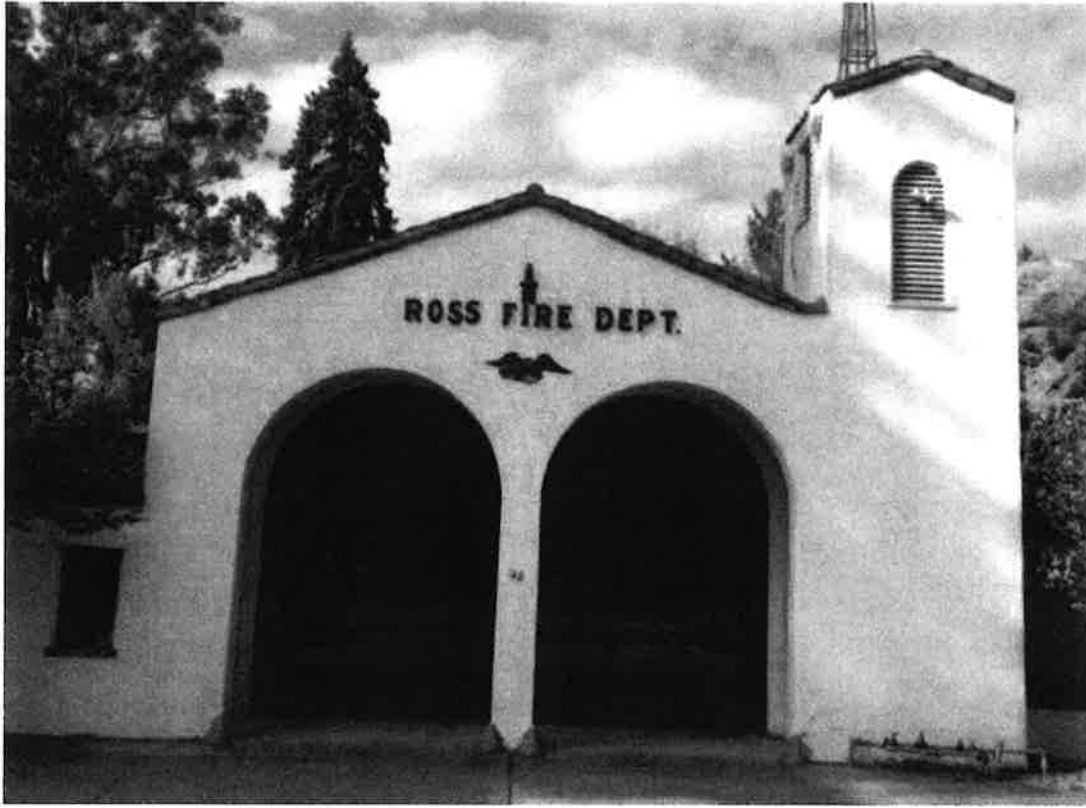


Image 1 Original Central Firehouse – Front elevation



Image 2: North Wing



Image 3: Expansion



Image 4: South Wing



Image 5: Central Firehouse – north elevation



Image 6: Infill between central and north wing

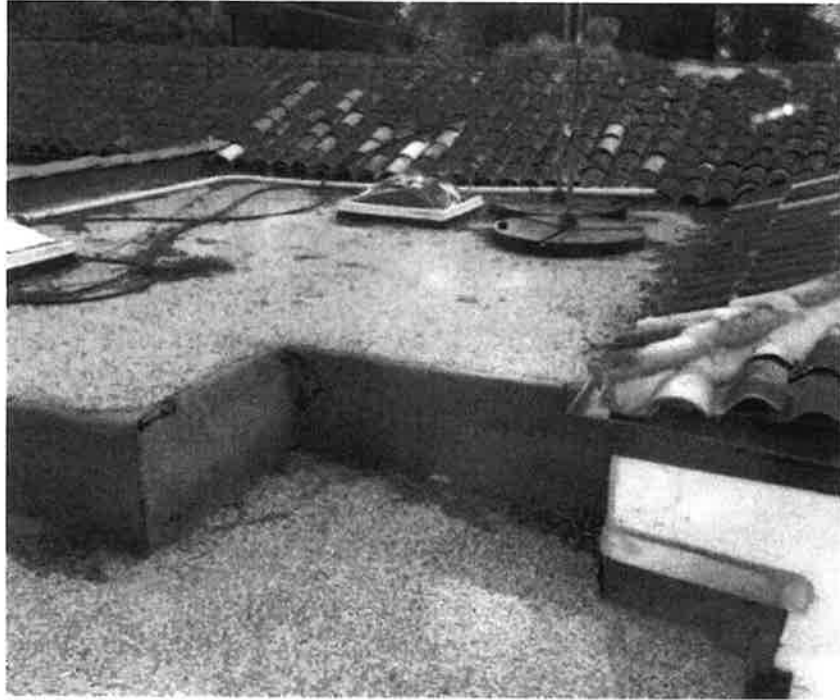


Image 7: Infill construction roof between central and south wing



Image 8: Central firehouse dorm access stair (residential construction)



Image 9 and 10: South wing – Interior substandard construction

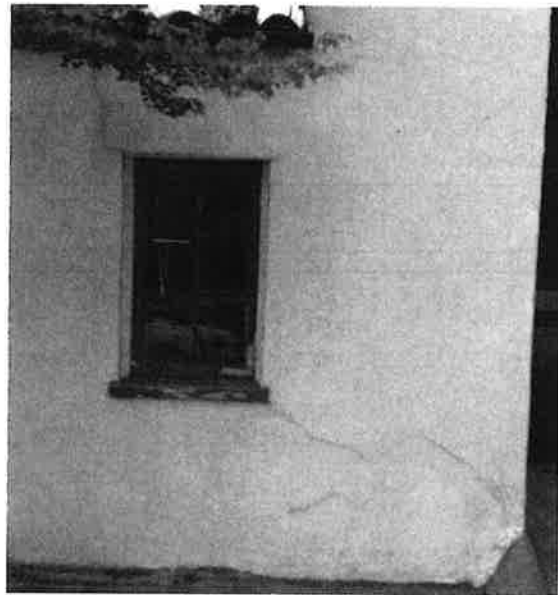
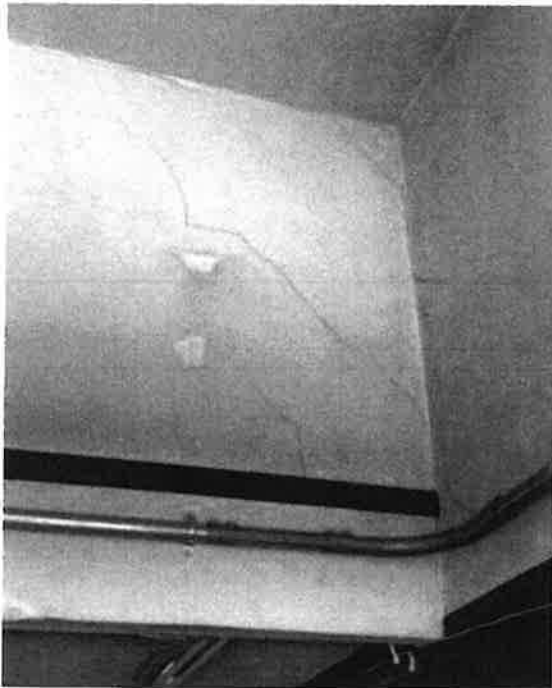


Image 11 and 12: Central firehouse – stucco cracks

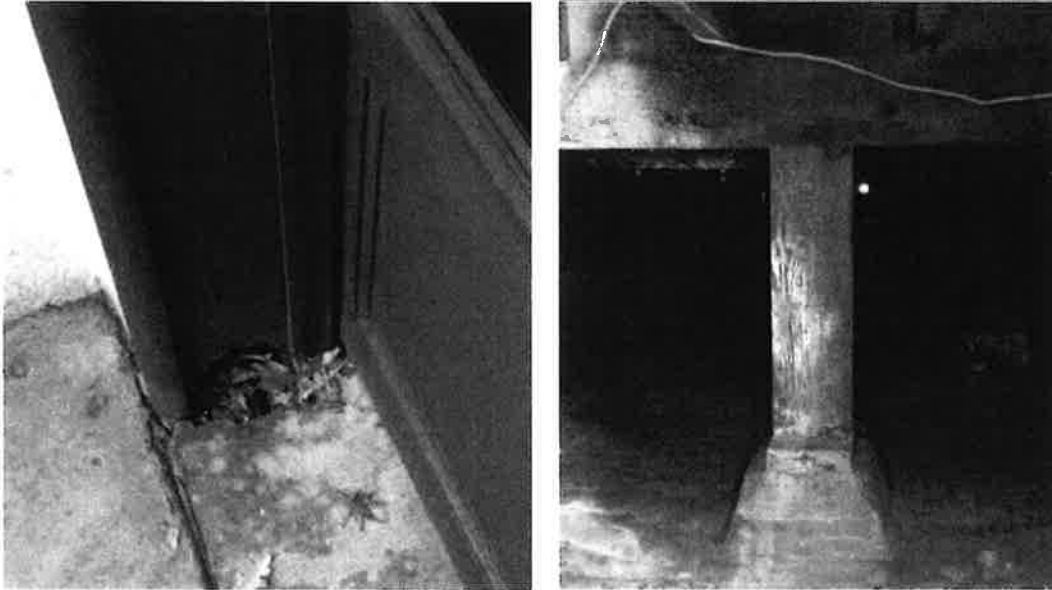


Image 13 and 14: Central and North Wing – decay and floor girder/post

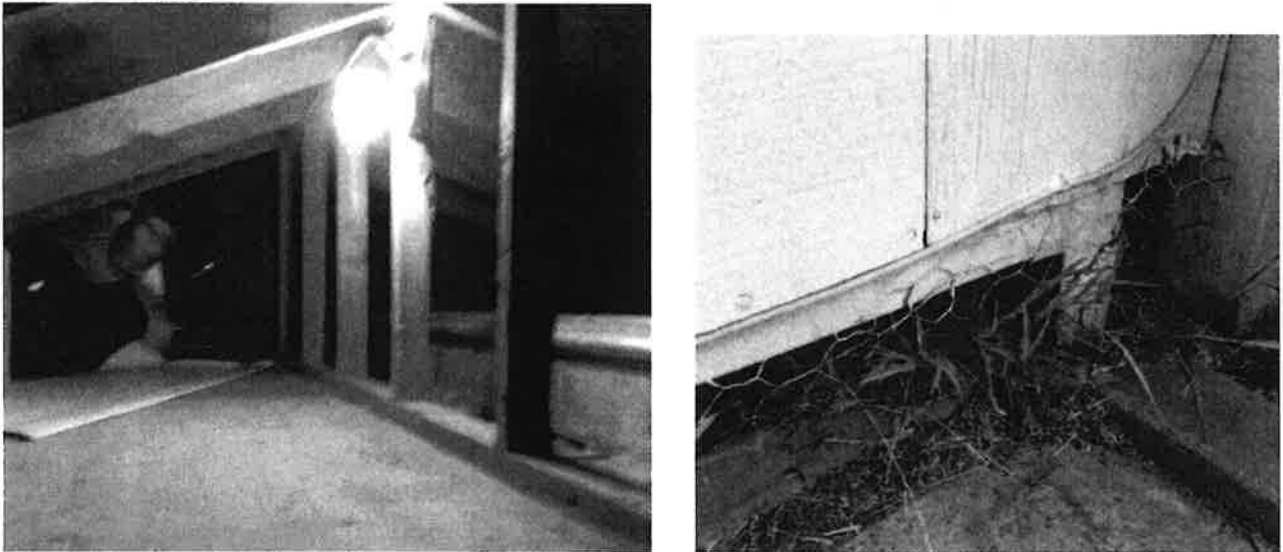


Image 15 and 16: Expansion and Infill – Roof framing and infill construction

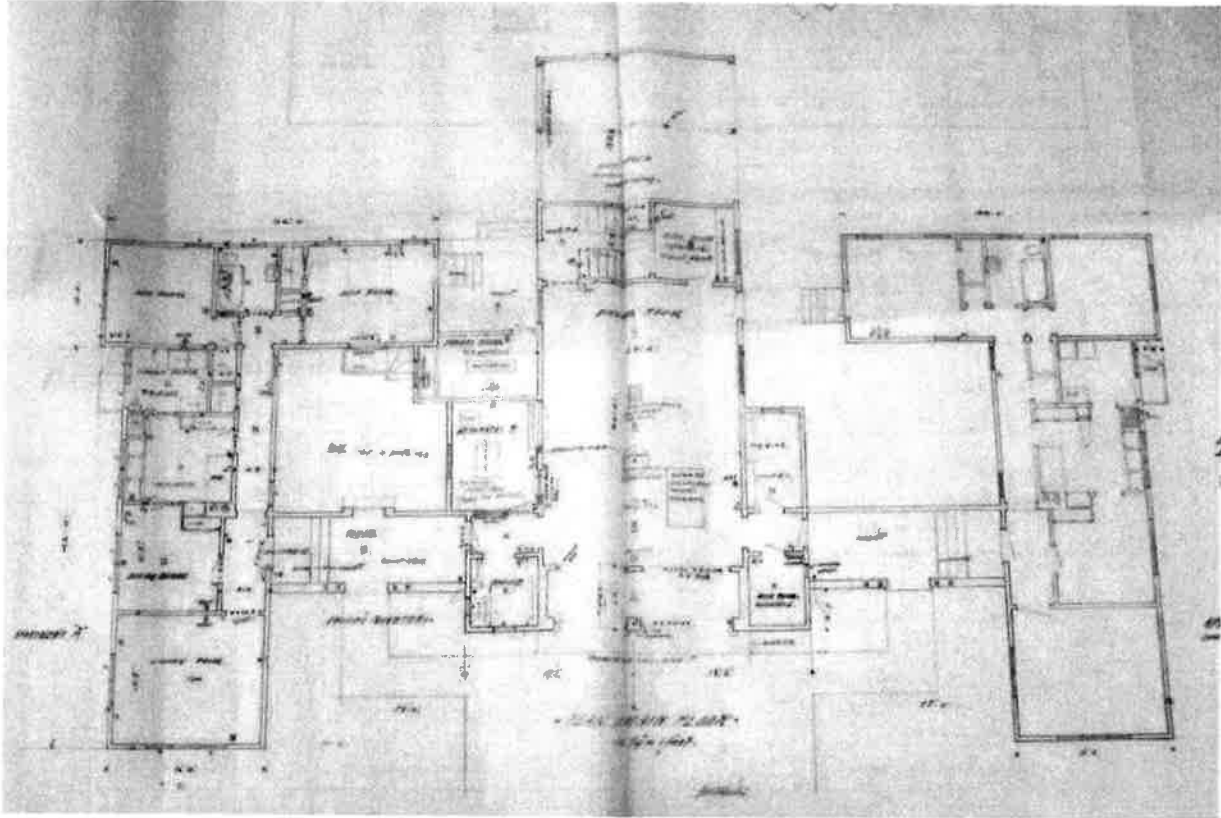
APPENDIX B – MAPS AND PLANS

33 Sir Francis Drake Blvd. Ross, CA.

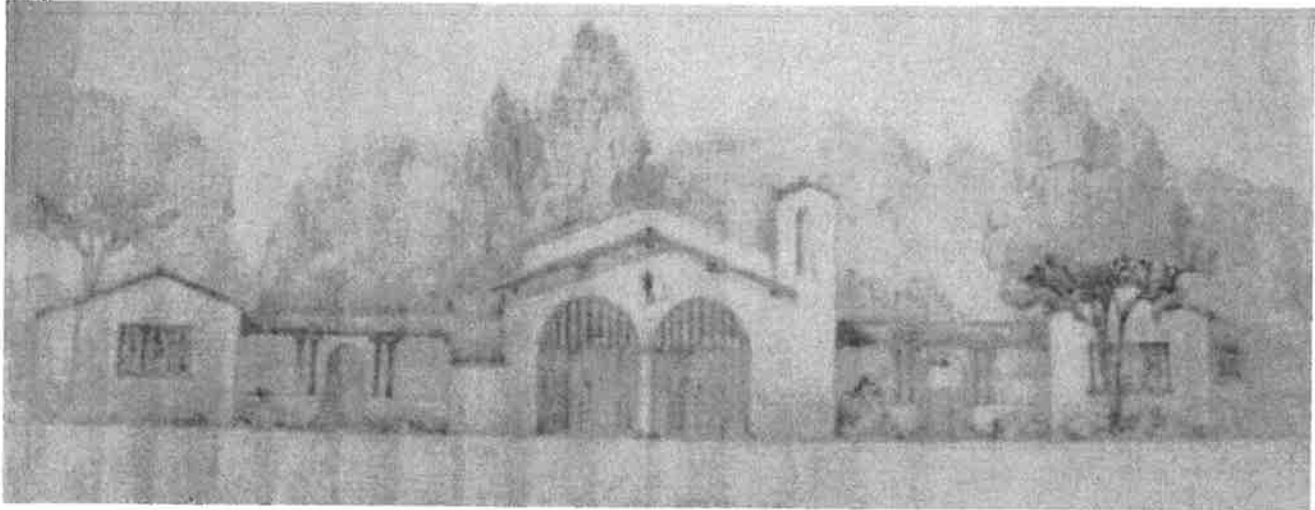
Location Map



Original Floor Plan

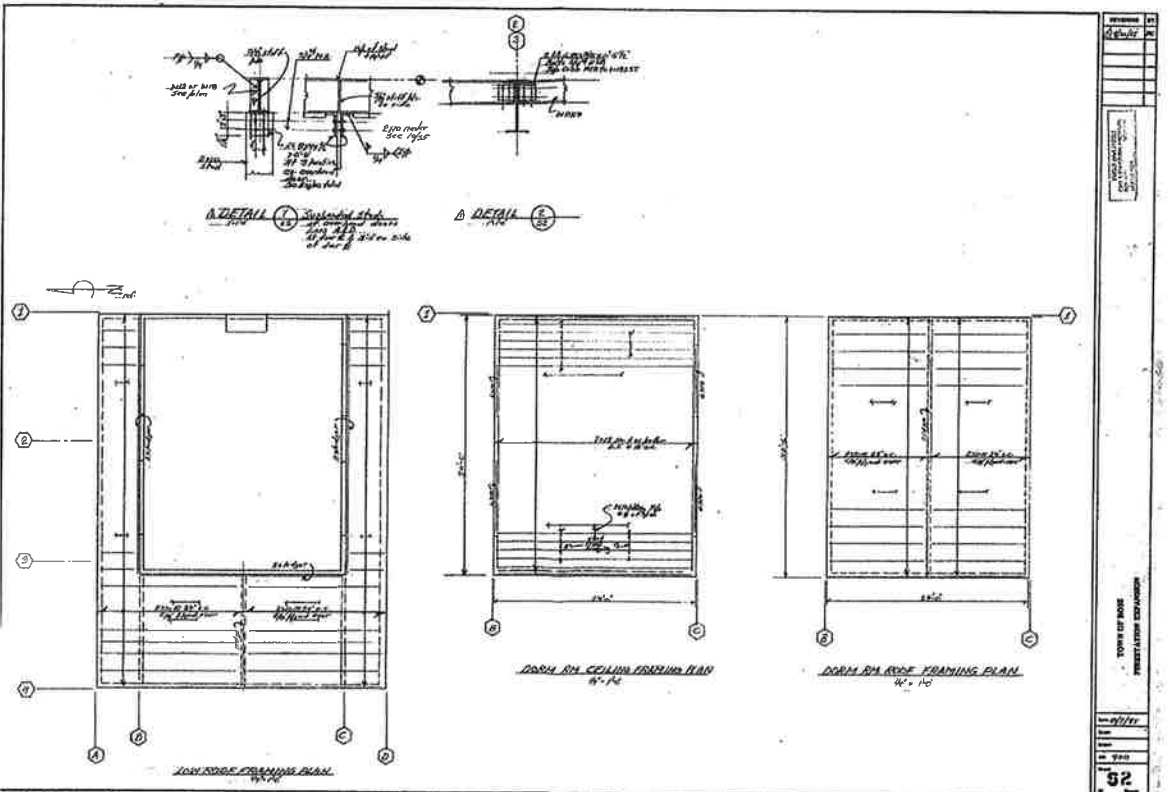
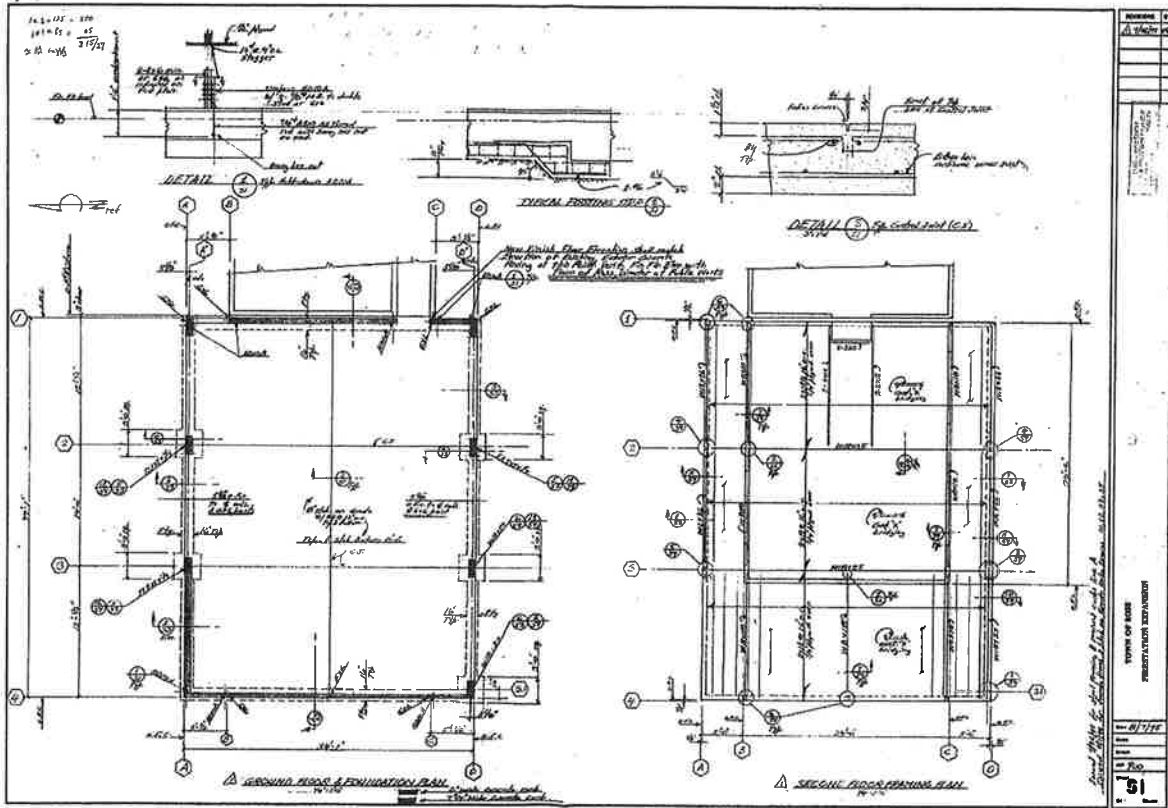


Original Front Elevation

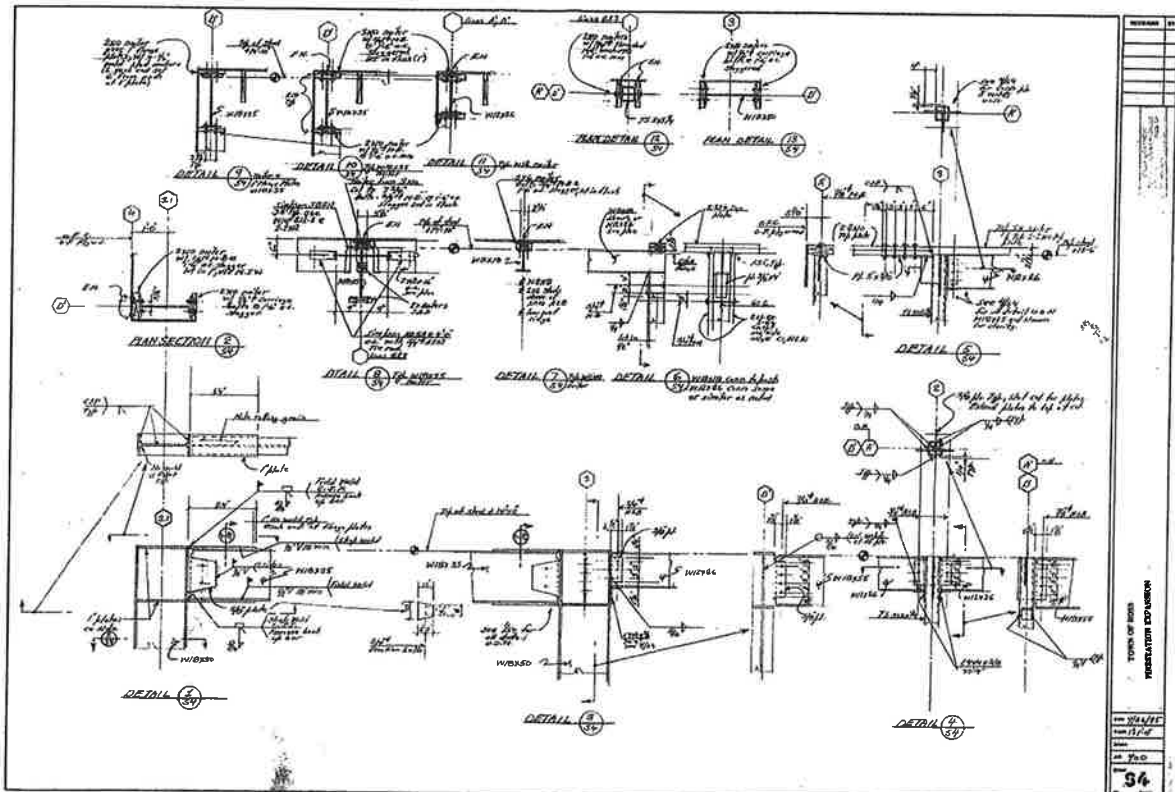
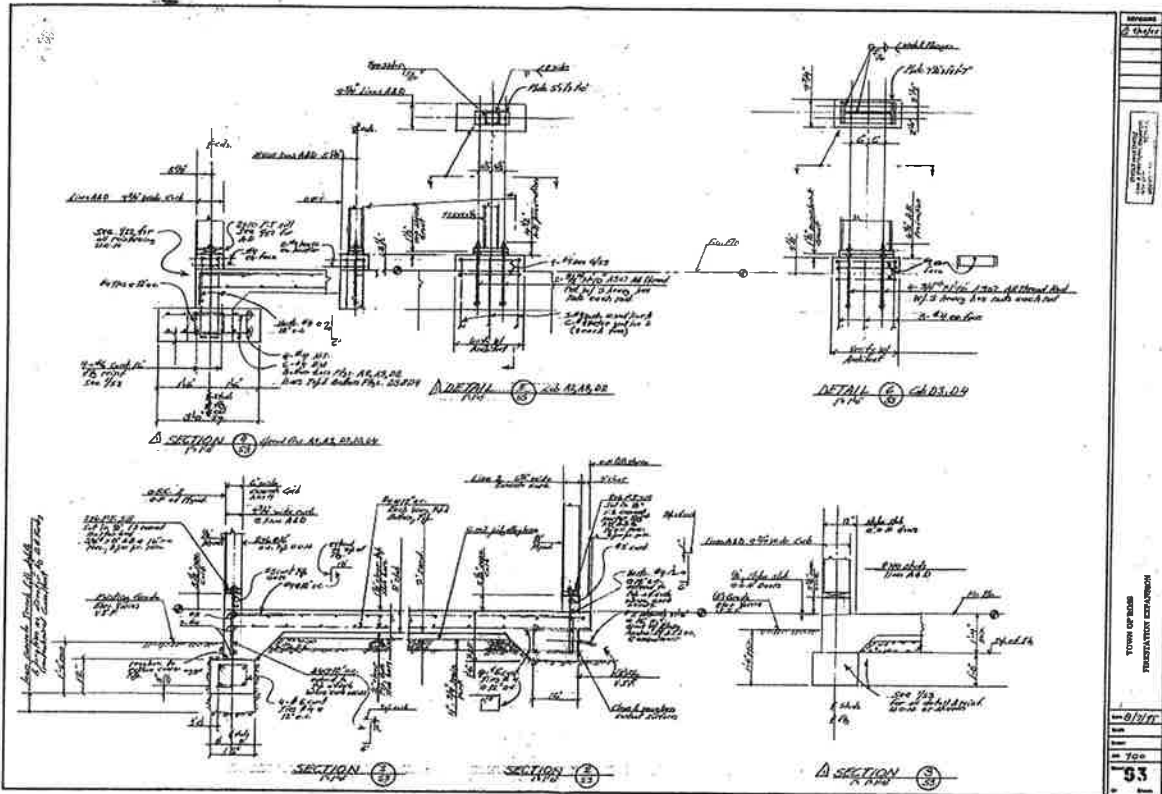


33 Sir Francis Drake Blvd. Ross, CA.

1995 Expansion Structural Plans



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APPENDIX C – ASCE 41 Tier 1 Checklists

16.1.2LS Life Safety Basic Configuration Checklist

This Basic Configuration Checklist shall be completed for all building types, except buildings in very low seismicity, being evaluated to the Life Safety Performance Level. Once this checklist has been completed, complete the appropriate building type checklist for the desired seismic performance level as shown in Table 4-7. Tier 1 evaluation shall include on-site investigation and condition assessment as required by Section 4.2.1.

Each of the evaluation statements on this checklist shall be marked Compliant (C), Non-compliant (NC), Unknown (U), or Not Applicable (N/A) for a Tier 1 Evaluation. Compliant statements identify issues that are acceptable according to the criteria of this standard, while non-compliant and unknown statements identify issues that require further investigation. Certain statements may not apply to the buildings being evaluated. For non-compliant and unknown evaluation statements, the design professional may choose to conduct further investigation using the corresponding Tier 2 Evaluation procedure; corresponding section numbers are in parentheses following each evaluation statement.

C16.1.2LS Life Safety Basic Configuration Checklist

For buildings in low, moderate, and high seismicity the following evaluation statements represent general configuration issues applicable for most building based on observed earthquake structural damage during actual earthquakes. This checklist should be completed for all buildings in low, moderate, and high seismicity for Life Safety Performance Level.

The section numbers in parentheses following each evaluation statement refer to the commentary in Appendix A regarding the statement's purpose and the corresponding Tier 2 Evaluation procedures. If additional information on the evaluation statement is required, refer to the commentary in the Tier 2 procedure for that evaluation statement.

Low Seismicity

Building System

General

C NC N/A U

LOAD PATH: The structure shall contain a complete, well defined load path, including structural elements and connections, that serves to transfer the inertial forces associated with the mass of all elements of the building to the foundation. (Commentary: Sec. A.2.1.1. Tier 2: Sec. 5.4.1.1)

ADJACENT BUILDINGS: The clear distance between the building being evaluated and any adjacent building is greater than 4% of the height of the shorter building. This statement shall not apply for the following building types: W1, W1A, and W2. (Commentary: Sec. A.2.1.2. Tier 2: Sec. 5.4.1.2)

MEZZANINES: Interior mezzanine levels are braced independently from the main structure or are anchored to the seismic-force-resisting elements of the main structure. (Commentary: Sec. A.2.1.3. Tier 2: Sec. 5.4.1.3)

Building Configuration

33 Sir Francis Drake Blvd., Ross, CA

| C | NC | N/A | U | |
|-------------------------------------|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | WEAK STORY: The sum of the shear strengths of the seismic-force-resisting system in any story in each direction is not less than 80% of the strength in the adjacent story above. (Commentary: Sec. A.2.2.2. Tier 2: Sec. 5.4.2.1) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | SOFT STORY: The stiffness of the seismic-force-resisting system in any story is not less than 70% of the seismic-force-resisting system stiffness in an adjacent story above or less than 80% of the average seismic-force-resisting system stiffness of the three stories above. (Commentary: Sec. A.2.2.3. Tier 2: Sec. 5.4.2.2) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | VERTICAL IRREGULARITIES: All vertical elements in the seismic-force-resisting system are continuous to the foundation. (Commentary: Sec. A.2.2.4. Tier 2: Sec. 5.4.2.3) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | GEOMETRY: There are no changes in the net horizontal dimension of the seismic-force-resisting system of more than 30% in a story relative to adjacent stories, excluding one-story penthouses and mezzanines. (Commentary: Sec. A.2.2.5. Tier 2: Sec. 5.4.2.4) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | MASS: There is no change in effective mass more than 50% from one story to the next. Light roofs, penthouses, and mezzanines need not be considered. (Commentary: Sec. A.2.2.6. Tier 2: Sec. 5.4.2.5) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | TORSION: The estimated distance between the story center of mass and the story center of rigidity is less than 20% of the building width in either plan dimension. (Commentary: Sec. A.2.2.7. Tier 2: Sec. 5.4.2.6) |

Medium Seismicity: Complete the Following Items in Addition to the Items for Low Seismicity

Geologic Site Hazards

| C | NC | N/A | U | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | LIQUEFACTION: Liquefaction-susceptible, saturated, loose granular soils that could jeopardize the building's seismic performance shall not exist in the foundation soils at depths within 50 ft under the building. (Commentary: Sec. A.6.1.1. Tier 2: 5.4.3.1) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | SLOPE FAILURE: The building site is sufficiently remote from potential earthquake-induced slope failures or rockfalls to be unaffected by such failures or is capable of accommodating any predicted movements without failure. (Commentary: Sec. A.6.1.2. Tier 2: 5.4.3.1) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | SURFACE FAULT RUPTURE: Surface fault rupture and surface displacement at the building site are not anticipated. (Commentary: Sec. A.6.1.3. Tier 2: 5.4.3.1) |

High Seismicity: Complete the Following Items in Addition to the Items for Low and Moderate Seismicity

Foundation Configuration

| C | NC | N/A | U | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | OVERTURNING: The ratio of the least horizontal dimension of the seismic-force-resisting system at the foundation level to the building height (base/height) is greater than $0.6S_a$. |

(Commentary: Sec. A.6.2.1. Tier 2: Sec. 5.4.3.3)



TIES BETWEEN FOUNDATION ELEMENTS: The foundation has ties adequate to resist seismic forces where footings, piles, and piers are not restrained by beams, slabs, or soils classified as Site Class A, B, or C. (Commentary: Sec. A.6.2.2. Tier 2: Sec. 5.4.3.4)

16.3LS Building Type W2

Life Safety Structural Checklist For Building Type W2: Wood Frames, Commercial And Industrial

This Life Safety Structural Checklist shall be completed where required by Table 4-7 and where the building configuration complies with the description of W2 building type defined in Table 3-1. Tier 1 evaluation shall include on-site investigation and condition assessment as required by Section 4.2.1.

Each of the evaluation statements on this checklist shall be marked Compliant (C), Non-compliant (NC), Not Applicable (N/A), or Unknown (U) for a Tier 1 Evaluation. Compliant statements identify issues that are acceptable according to the criteria of this standard, while non-compliant and unknown statements identify issues that require further investigation. Certain statements may not apply to the buildings being evaluated. For non-compliant and unknown evaluation statements, the design professional may choose to conduct further investigation using the corresponding Tier 2 Evaluation procedure; corresponding section numbers are in parentheses following each evaluation statement.

C16.3LS Life Safety Structural Checklist for Building Type W2

Building Type W2

These buildings are commercial or industrial buildings with a floor area of 5,000 square feet or more. There are few, if any, interior walls. The floor and roof framing consists of wood or steel trusses, glulam or steel beams, and wood posts or steel columns. Seismic forces are resisted by wood diaphragms and exterior stud walls sheathed with plywood, oriented strand board, stucco, plaster, straight or diagonal wood sheathing, or braced with rod bracing. Wall openings for storefronts and garages, where present, are framed by post-and-beam framing.

Low and Moderate Seismicity

Seismic-Force-Resisting System

| C | NC | N/A | U | |
|--------------------------|-------------------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2. (Commentary: Sec. A.3.2.1.1. Tier 2: Sec. 5.5.1.1) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | SHEAR STRESS CHECK: The shear stress in the shear walls, calculated using the Quick Check procedure of Section 4.5.3.3, is less than the following values (Commentary: Sec. A.3.2.7.1. Tier 2: Sec. 5.5.3.1.1): Structural panel sheathing 1,000 lb/ft Diagonal sheathing 700 lb/ft Straight sheathing 100 lb/ft All other conditions 100 lb/ft |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | STUCCO (EXTERIOR PLASTER) SHEAR WALLS: Multi-story buildings do not rely on exterior stucco walls as the primary seismic-force-resisting system. (Commentary: Sec. A.3.2.7.2. Tier 2: Sec. 5.5.3.6.1) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | GYPSUM WALLBOARD OR PLASTER SHEAR WALLS: Interior plaster or gypsum wallboard are not used as shear walls on buildings more than one story high with the exception of the uppermost level of a multistory building. (Commentary: Sec. A.3.2.7.3.) |

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Tier 2: Sec. 5.5.3.6.1)

- | | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | NARROW WOOD SHEAR WALLS: Narrow wood shear walls with an aspect ratio greater than 2-to-1 are not used to resist seismic forces. (Commentary: Sec. A.3.2.7.4. Tier 2: Sec. 5.5.3.6.1) |
|-------------------------------------|--------------------------|--------------------------|--------------------------|---|

- | | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | WALLS CONNECTED THROUGH FLOORS: Shear walls have an interconnection between stories to transfer overturning and shear forces through the floor. (Commentary: Sec. A.3.2.7.5. Tier 2: Sec. 5.5.3.6.2) |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--|

- | | | | | |
|--------------------------|-------------------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | HILLSIDE SITE: For structures that are taller on at least one side by more than one-half story because of a sloping site, all shear walls on the downhill slope have an aspect ratio less than 1-to-1. (Commentary: Sec. A.3.2.7.6. Tier 2: Sec. 5.5.3.6.3) |
|--------------------------|-------------------------------------|--------------------------|--------------------------|---|

- | | | | | |
|--------------------------|-------------------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | CRIPPLE WALLS: Cripple walls below first-floor-level shear walls are braced to the foundation with wood structural panels. (Commentary: Sec. A.3.2.7.7. Tier 2: Sec. 5.5.3.6.4) |
|--------------------------|-------------------------------------|--------------------------|--------------------------|---|

- | | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | OPENINGS: Walls with openings greater than 80% of the length are braced with wood structural panel shear walls with aspect ratios of not more than 1.5-to-1 or are supported by adjacent construction through positive ties capable of transferring the seismic forces. (Commentary: Sec. A.3.2.7.8. Tier 2: Sec. 5.5.3.6.5) |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--|

Connections

- | C | NC | N/A | U | |
|--------------------------|-------------------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | WOOD POSTS: There is a positive connection of wood posts to the foundation. (Commentary: Sec. A.5.3.3. Tier 2: Sec. 5.7.3.3) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | WOOD SILLS: All wood sills are bolted to the foundation. (Commentary: Sec. A.5.3.4. Tier 2: Sec. 5.7.3.3) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | GIRDER/COLUMN CONNECTION: There is a positive connection using plates, connection hardware, or straps between the girder and the column support. (Commentary: Sec. A.5.4.1. Tier 2: Sec. 5.7.4.1) |

High Seismicity: Complete the Following Items in Addition to the Items for Low and Moderate Seismicity

Diaphragms

- | C | NC | N/A | U | |
|--------------------------|-------------------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | DIAPHRAGM CONTINUITY: The diaphragms are not composed of split-level floors and do not have expansion joints. (Commentary: Sec. A.4.1.1. Tier 2: Sec. 5.6.1.1) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | ROOF CHORD CONTINUITY: All chord elements are continuous, regardless of changes in roof elevation. (Commentary: Sec. A.4.1.3. Tier 2: Sec. 5.6.1.1) |

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- | | | | |
|---|---|---|---|
| ☐ | ☐ | ☑ | ☐ |
|---|---|---|---|

DIAPHRAGM REINFORCEMENT AT OPENINGS: There is reinforcing around all diaphragm openings larger than 50% of the building width in either major plan dimension. (Commentary: Sec. A.4.1.8. Tier 2: Sec. 5.6.1.5)

- | | | | |
|---|---|---|---|
| ☑ | ☐ | ☐ | ☐ |
|---|---|---|---|

STRAIGHT SHEATHING: All straight sheathed diaphragms have aspect ratios less than 2-to-1 in the direction being considered. (Commentary: Sec. A.4.2.1. Tier 2: Sec. 5.6.2)

- | | | | |
|---|---|---|---|
| ☐ | ☑ | ☐ | ☐ |
|---|---|---|---|

SPANS: All wood diaphragms with spans greater than 24 ft consist of wood structural panels or diagonal sheathing. Wood commercial and industrial buildings may have rod-braced systems. (Commentary: Sec. A.4.2.2. Tier 2: Sec. 5.6.2)

- | | | | |
|---|---|---|---|
| ☑ | ☐ | ☐ | ☐ |
|---|---|---|---|

DIAGONALLY SHEATHED AND UNBLOCKED DIAPHRAGMS: All diagonally sheathed or unblocked wood structural panel diaphragms have horizontal spans less than 40 ft and aspect ratios less than or equal to 4-to-1. (Commentary: Sec. A.4.2.3. Tier 2: Sec. 5.6.2)

- | | | | |
|---|---|---|---|
| ☐ | ☐ | ☑ | ☐ |
|---|---|---|---|

OTHER DIAPHRAGMS: The diaphragm does not consist of a system other than wood, metal deck, concrete, or horizontal bracing. (Commentary: Sec. A.4.7.1. Tier 2: Sec. 5.6.5)

Connections

- | | | | | |
|---|----|-----|---|---|
| C | NC | N/A | U | |
| ☐ | ☐ | ☐ | ☑ | WOOD SILL BOLTS: Sill bolts are spaced at 6 ft or less with proper edge and end distance provided for wood and concrete. (Commentary: Sec. A.5.3.7. Tier 2: Sec. 5.7.3.3) |

APPENDIX B

Visual Roof Inspection Report dated 10/13/2016



T.A. KRAUSE
Roofing, Solar and Specialty Coatings

October 13, 2016

Del Nordby
50 Santa Rosa Ave.
Santa Rosa CA 95404

Re: Visual Roof Inspection at: 33 Sir Francis Drake BLVD San Anselmo CA

Del Nordby,

Thank you for the opportunity of inspecting the roof at the above-referenced address. A visual inspection was made of the roof surface only. The roofing material was not removed to examine the underlayment or nailing unless specified below. The interior of the building, including the attic, was not inspected, and this inspection does not cover the structure, electrical, or plumbing.

Please note that this inspection report is not a guarantee that the existing roof is free of defects. The sole purpose of this report is to determine the expected service life of the roof under typical weather conditions with proper maintenance.

We assume no liability for roof leaks that have not been disclosed to us or reported to us at the time of our inspection.

Please be advised that the roof is tile, which has the wear characteristics of being approximately 20 to 30 yrs. old. This type of roof typically remains serviceable for approximately 40 to 50 years with proper maintenance.

After recommended repairs and maintenance are completed, given the general condition of the roof, this roof should have a minimum two-year useful life, which is the expected standard.

Please note that this inspection is not a guarantee against leakage, but an opinion on the serviceable life of the roof. Our Company assumes no liability for any damages resulting from leakage. This roof should be periodically inspected, kept clean of debris, and should have repairs made when needed. This would be considered normal owner maintenance.

RE: 33 Sir Francis Drake Blvd.
San Anselmo CA 94960

Roof Findings :

Inspector found 34 roof tiles with minor cracks suitable for 50 year tile adhesive to repair.

3 tiles are broken beyond repair and need replacing.

Excessive leaf litter on roof and gutter system.

Evidence of gutters leaking.

Junction at flat roof and skylight has major cracks in black mastic that will leak and cause water damage to substructure.

Cracks and voids in tile mortar at ridges and hips need resealed to insure no leaks.

Upon inspection, the radio tower appears to have extensive wood structure damage and metal flashing is rusted.

Skylight domes show signs of ageing and are potential for leaks.

Roof to wall flashing has many locations where black mastic is cracked and potentially leaking.

2, 3'x4' window awnings are severally rusted.

Recommendations:

1. Repair 34 cracked tiles with 50 year tile adhesive.
2. Replace 3 broken tiles.
3. Blow-off entire roof to remove leaf litter.
4. Clean all debris from gutters and down spouts.
5. Seal all leaking gutters and down spout.
6. Replace 2, 3'x4' window awnings.
7. Repair / replace cracked and missing tile mortar at hips and ridges.
8. Replace wood sub-structure and flashing at tower platform.
9. Seal all mastic locations with three course sealant system.

Total Material and labor.....14,050.00

This inspection and report are not an appraisal of the property or a recommendation to purchase or not to purchase the property. Our company

assumes no liability for actions taken or not taken resulting from the opinions expressed in this report.

The sole purpose of this inspection was to determine the remaining life expectancy of the roofing material. Due to the multitude of manufacturers, this report does not guarantee that the roofing materials were installed according to the manufacturer's instructions unless the instructions were provided at the inspection site.

Please call me if you have any questions, or if I can be of further service.

Thank you,

Randy Nascimento
Project Manager
T.A. Krause Inc.
(209) 300-4795

APPENDIX C

**Buena Vista Wood Destroying Pests and Organisms Inspection dated
10/10/2016**

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

| | | | |
|--------------------|---|----------------------------------|--------------------|
| BUILDING NO. 33 | STREET, CITY, STATE, ZIP Sir Francis Drake Blvd, Ross CA 94957 | Date of Inspection 10/10/2016 | No. of Pages 12 |
|--------------------|---|----------------------------------|--------------------|

THE BUENA VISTA COMPANY

P.O. Box 1001, Windsor, CA 95492
Ph: (707) 838-6291 (707) 838-4637 Fax

| | | |
|--|--|--|
| Firm Registration No. PR 3042 | Report No. 983012 | Escrow No. |
| Ordered By: Del Nordby 50 Santa Rosa Ave Santa Rosa, CA 95404 | Property Owner/Party of Interest Del Nordby | Report Sent To: Del Nordby 50 Santa Rosa Ave Santa Rosa, CA 95404 |

COMPLETE REPORT
 LIMITED REPORT
 SUPPLEMENTAL REPORT
 REINSPECTION REPORT

| | |
|--|-----------------------------------|
| General Description: Multi-Level Wood-Frame Structure-Stucco Exterior | Inspection Tag Posted: Subarea |
| | Other Tags Posted: None Noted |

An inspection has been made to the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.

Subterranean Termites
 Drywood Termites
 Fungus/Dryrot
 Other Findings
 Further Inspection

If any of above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.

NOTE: DIAGRAM IS DISPLAYED ON PAGE 2

Inspected by Michael Kesecker State License No. OPR 9432 Signature

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 2005 Evergreen Street, Suite 1500, Sacramento, California 95815

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control board at (916) 561-8708, or (800) 737-6168 or www.pestboard.ca.gov.

33

Sir Francis Drake Blvd, Ross CA 94957

10/10/2016

983012

BUILDING NO.

STREET, CITY, STATE, ZIP

INSPECTION DATE

REPORT NO.

SCOPE OF WOOD DESTROYING PEST AND ORGANISMS REPORT

A "Wood Destroying Pest and Organisms Report" contains findings as to the presence or absence of evidence of wood destroying pests and organisms in visible and accessible areas and contains recommendations for correcting any infestations or infections found. The contents of "Wood Destroying Pest and Organisms Report" are governed by the Structural Pest Control Act and related regulations.

Some structures do not comply with Building Code requirements or may have structural, plumbing, electrical, heating, air conditioning or other defects that do not pertain to "Wood Destroying Organisms. A "Wood Destroying Pest and Organisms Report" does not contain information on such defects. These defects, if any are NOT within the scope of our License and appropriate Licensed Contractors qualified should be contacted if further information is desired regarding same.

The Structural Pest Control Act requires inspection of only those areas which are visible and accessible at the time of the inspection. Some areas of a structure are not accessible for inspection, such as the interior of hollow walls, spaces between floors, areas concealed by carpeting, built-in appliances, or cabinet work. Infestations or infections may be present and active in such areas without visible or accessible evidence of same. Areas that were not inspected are not in the report. If you desire information about areas that were not inspected, a Further Inspection may be performed at additional cost.

WORK DONE BY OTHERS: If anyone other than The Buena Vista Company performs work from this report, they should do so from their own specifications and inspection. If any other person or company performs work, we recommend inspecting these areas when they are fully opened up, damage removed, and prior to closing before we could certify that these area(s) are free from infestation. We would document these findings in Supplemental Inspection Reports. The fee for the Supplemental Inspection Report would be established on arrangement with inspector and is payable at the time of the Inspection. We cannot certify work performed by others with respect to inaccessible areas as detailed above.

RE-INSPECTION: State Law AB1127 - Re-inspection of this property will be performed, (if requested by the person ordering Original inspection AND within 4 months of Original inspection), providing that the previous Inspection fee has been paid in full. Re-inspection will be charged at a rate not to exceed Original inspection. At time of Re-inspection, required Building Permit must be posted. Also, Contractor's name, Lic. classification, and Lic. numbers must be supplied (if requested) at time of Re-inspection.

HIDDEN DAMAGE: In the recommendations below, if damage is found to extend into inaccessible areas or beyond the scope of intended repair; a Supplemental Inspection Report will be issued outlining the conditions found and costs for each additional corrective work will be submitted. All "Further Inspection" items referenced below should be completed as outlined and a written report obtained.

The exterior surface of the roof will not be inspected. All information pertaining to the roof should be obtained by a Licensed Roofing Contractor.

| | | | |
|--------------|---------------------------------------|-----------------|------------|
| 33 | Sir Francis Drake Blvd, Ross CA 94957 | 10/10/2016 | 983012 |
| BUILDING NO. | STREET, CITY, STATE, ZIP | INSPECTION DATE | REPORT NO. |

This is a separated inspection report. It is defined as Section 1 and Section 2 items evident on the date of this inspection.

Section 1: The items listed below contain evidence of active infestation or infestation: Or, conditions that have resulted in or from infestation or infection.

Section 2: The items listed below contain conditions deemed likely to leak to infestation or infection but where no outward evidence or same was noted on the date of this inspection.

Note: Our company does not assume responsibility for conditions existing in these areas unless an authorization to repair, replace, or further inspect these areas is made in writing and will be performed at additional cost.

Section 3 (further inspection): These items are recommendations to inspect areas which, during the original inspection, did not allow the inspector access to complete the inspection and/or cannot be defined as either Section 1 or Section 2.

Informational Items: These items are intended to be information and/or property maintenance related.

(The Structural Pest Control Board requires that you be given the following notice)

"NOTICE: The Structural Pest Control Board encourages competitive business practices among registered companies. Reports on this structure prepared by various registered companies should list the same findings (i.e., termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. Therefore, you may wish to seek a second opinion since there may be alternative methods of correcting the findings listed on this report that may be less costly."

1. Substructure Area:

ITEM 1A Crawlspace as indicated was visible through wire mesh only. This appears to be a modified pier and post foundation system. Joists appear to be over spanned. No physical access or proper clearance provided.

RECOMMENDATION: Make further inspection after access and proper clearance has been provided by others. Issue a supplemental report.

***** This is a Section 1 Item *****

ITEM 1B The unimproved subarea was inaccessible for inspection as no adequate access could be located

RECOMMENDATION: Make further inspection after access has been provided by others, and then issue a supplemental inspection report with findings.

***** Unknown Further Inspection Recommended *****

ITEM 1C We noted that a portion of the structure (area indicated on diagram) was constructed on a concrete slab on grade. We made inspection as feasible to interior perimeter and partition walls at this area, and no apparent adverse conditions were noted. No representation is made with regard to any areas concealed by finished floor or wall coverings.

RECOMMENDATION: Periodic inspection is advised.

***** Information Item *****

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STREET, CITY, STATE, ZIP

INSPECTION DATE

REPORT NO.

1. Substructure Area:

ITEM 1D There are two main portions of the unimproved sub area. Both were partially accessible. There is a vapor barrier beneath both sections, to improve ventilation. Ventilation was adequate at accessible areas. The vapor barrier was contaminated with rodent debris, and also silt from prior flooding. We did not make complete physical inspection, due to these conditions.

RECOMMENDATION: Remove and dispose of existing contaminated vapor barriers. Apply a sanitizer to soil as needed. Install new vapor barrier over soil. Make complete inspection. Issue a supplemental inspection report.

***** Unknown Further Inspection Recommended *****

ITEM 1E Evidence of current or prior rodent infestation has contributed to adverse conditions.

RECOMMENDATION: Refer to licensed rodent abatement contractor for review and re-medial work.

***** Information Item *****

ITEM 1F Buildings have stucco exterior. On the wood sheathing behind stucco, we noted areas of surface fungus and woodboring beetles at accessible areas at perimeter. Possible damage or additional infestation may exist. Refer to 1G.

RECOMMENDATION: Treat perimeter substructure wood members with Timbor; for local control of wood boring beetles, and surface fungus. Make further inspection as outlined in 1G.

***** This is a Section 1 Item *****

ITEM 1G As stated, areas of surface fungus and woodboring beetles noted at perimeter substructure. Areas were inaccessible for complete inspection.

RECOMMENDATION: Make further/complete inspection during 1D of this report, to determine extent of damage and infestation. Issue a supplemental inspection report with findings.

***** Unknown Further Inspection Recommended *****

ITEM 1H Evidence of subterranean termites noted at wood sheer panel behind stucco. Termites are gaining access from behind unbonded stucco.

RECOMMENDATION: Treat at exterior perimeter of the structure with Altriset. At completion of treatment, there will be a five year warranty.

***** This is a Section 1 Item *****

ITEM 1I Substructure area was inaccessible for complete physical inspection due to placement of heating ducts and/or other utilities.

RECOMMENDATION: Make further inspection to these areas as feasible during the course of substructure work as outlined in this report. Our finding and recommendations will be given on a supplemental inspection report.

***** Unknown Further Inspection Recommended *****

ITEM 1J Evidence of prior flooding noted at substructure. This inspection was made during dry weather conditions.

RECOMMENDATION: Refer to licensed drainage contractor for review and recommendations.

***** Unknown Further Inspection Recommended *****

| | | | |
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1. Substructure Area:

ITEM 1K Adequacy of site drainage provisions are outside the scope of this inspection report.

RECOMMENDATION: If the owner or parties in interest desire information with respect to adequacy of drainage provisions, we advise that a Licensed Drainage Contractor or Geotechnical Engineer be consulted.
***** Information Item *****

2. Stall Shower:

ITEM 2A We noted some deterioration to portions of caulking/grouting at bathroom(s).

RECOMMENDATION: We advise that all portions of bathroom(s) be kept in a well caulked/sealed condition as a matter of good maintenance. Periodic inspection is advised.
***** This is a Section 2 Item *****

ITEM 2B Evidence of decay fungus/moisture damaged noted to underpayment /sub flooring in the center right upstairs bathroom(s).

RECOMMENDATION: Remove the toilet, floor covering, and underpayment for further inspection. If no further damage is exposed, please the damaged wood with new material. Install new underpayment and floor covering. Reset the toilet on a new wax ring.
***** This is a Section 1 Item *****

ITEM 2C Cracks and physical damage noted to tiled countertop at sink at upstairs center bathroom.

RECOMMENDATION: Refer to tile contractor for review and repair.
***** This is a Section 2 Item *****

ITEM 2D This item is in regard to both downstairs bathrooms at right side annex. We noted dry rot damage, and also evidence of subterranean termite infestation to substructure wood members under both bathrooms.

RECOMMENDATION: Tear out both bathrooms entirely. Remove all structurally impaired wood. Replace with new. Re-construct bathrooms in a code compliant manner. Reffer to licensed specialty contractor.
***** This is a Section 1 Item *****

3. Foundations:

ITEM 3A **NOTE:** This is a general notation to indicate that foundations are outside the scope of this inspection report. This includes information about possible sloping of floors.

RECOMMENDATION: If owner or parties in interest desire information with regard to foundation system and related condition; we advise that a Licensed Foundation Contractor or appropriate Licensed Engineer be consulted.
***** Information Item *****

ITEM 3B Retaining walls on the property are outside the scope of this report and were not inspected.

RECOMMENDATION: If owner or parties in interest desire information with regard to retaining walls and related drainage provisions, we advise that appropriate Licensed Contractor or Engineer be consulted.
***** Information Item *****

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3. Foundations:

ITEM 3C We noted earth to wood contact at building exterior at area indicated on diagram.

RECOMMENDATION: Lower soil grade and/or alter construction detail as needed to eliminate earth to wood contact.

***** This is a Section 2 Item *****

5. Ventilation:

ITEM 5A We noted damaged and/or missing vent screens.

RECOMMENDATION: We advise that vent screens be repaired or replaced as needed.

***** This is a Section 2 Item *****

6. Abutments:

ITEM 6A We noted some cracks and/or weathering at portions of stucco exterior.

RECOMMENDATION: We advise that all portions of stucco exterior be kept in a well caulked and sealed condition as a matter of maintenance.

***** This is a Section 2 Item *****

ITEM 6B Cracks and physical damage noted to portions of stucco exterior.

RECOMMENDATION: Review and repair as needed by qualified stucco contractor.

***** This is a Section 2 Item *****

ITEM 6C Stucco abutment, railing, fence does not have benefit of ventilation provision. Possible adverse conditions suspect at inaccessible area.

RECOMMENDATION: Install ventilation provision. Make further inspection. Issue a supplemental report.

***** Unknown Further Inspection Recommended *****

ITEM 6D We noted that portions of stucco exterior extend down over foundation into grade. this condition can allow for undetected Subterranean Termite entry.

RECOMMENDATION: We advise that stucco be terminated up above exterior grade levels where feasible as a mater of good maintenance to provide for proper periodic visual inspection. We advise that appropriate Licensed Contractor be consulted to perform this item.

***** This is a Section 2 Item *****

ITEM 6E We noted evidence of possible moisture intrusion at areas behind stucco.

RECOMMENDATION: Make test holes in stucco at inspectors discretion. Probe/make further inspection to enclosed wood members. Issue a supplemental report with findings and recommendations. Patch test holes with stucco patch. Prime/finish paint to be done by others.

NOTE: No representation is made regarding areas not tested. Test holes are random and ultimately inconclusive unless areas that are concealed by stucco are fully opened up by others for inspection. Please contact this office if clarification is desired.

***** Unknown Further Inspection Recommended *****

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6. Abutments:

ITEM 6F Possible damage noted to sheer panel at areas behind stucco.

RECOMMENDATION: Make further/complete inspection during 1D. Issue a supplemental inspection report.
***** Unknown Further Inspection Recommended *****

ITEM 6G Evidence of subterranean termites noted entering structure from behind unbonded stucco.

RECOMMENDATION: Make treatment for subterranean termite control during 1H.
***** This is a Section 1 Item *****

7. Attic Spaces:

ITEM 7A Attic space above rear firehouse garage was inaccessible, due to storage.

RECOMMENDATION: Make further inspection after storage has been removed by others. Issue a supplemental inspection report.
***** Unknown Further Inspection Recommended *****

ITEM 7B Inspection was made from attic access. Physical inspection not made, due to possibility of damage to ceilings. Stains noted. Evidence of current or prior leaks noted. Refer to 10 C.

RECOMMENDATION: Refer to licensed roofing contractor for review, recommendations, and remedial work.
***** Unknown Further Inspection Recommended *****

9. Decks - Patios:

ITEM 9A We noted that deck(s)/step(s), as indicated on the diagram, to be in basically sound condition. We did, however, note some weathering to walking surface(s).

RECOMMENDATION: We advise that deck(s) /step(s) be kept in a well sealed condition to extend usable life. We advise that owner or parties in interest contact appropriate licensed person to periodically perform this item.
***** This is a Section 2 Item *****

ITEM 9B We noted surface decay fungus at area beneath the deck (indicated on diagram).

RECOMMENDATION: Scrape away and treat wood members as needed with approved fungicide in accordance with manufacturers label.
***** This is a Section 1 Item *****

ITEM 9C Area beneath the deck as indicated on diagram was inaccessible for complete inspection due to limited clearances. Inspection as feasible did not reveal any outward evidence of adverse conditions. It is our considered opinion that further inspection is not warranted at this time.

RECOMMENDATION: Periodic inspection is advised.
***** Information Item *****

ITEM 9D This item is in regard to the right side deck. Dry rot damage noted to deck and railing.

RECOMMENDATION: Remove existing deck, and replace with new, in a code compliant manner.
***** This is a Section 1 Item *****

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10. Other - Interiors:

ITEM 10A This structure was furnished/occupied at the time of this inspection. Although no apparent adverse conditions were noted at accessible areas (unless otherwise noted in this report), no representation is made regarding any areas concealed by furnishing or storage or areas concealed by finished floor or wall coverings. This includes (if applicable) the garage and/or other storage areas.

RECOMMENDATION: Periodic inspection as feasible is advised.

NOTE: Upon request from interested parties, this company would make inspection to currently inaccessible areas after all furnishings/storage was removed by others and issue a supplemental report. Please contact this office if further information/clarification is desired.

***** Unknown Further Inspection Recommended *****

ITEM 10B At interior, evidence of leaks around windows were noted. Resulting dry rot damage noted to window sash and sills.

RECOMMENDATION: Make needed repairs. Refer to 11B.

***** This is a Section 1 Item *****

ITEM 10C Stains and moisture damage to ceilings noted at areas noted 10C on diagram. These are presumably from roof leaks.

RECOMMENDATION: Refer to licensed roofing contractor. Also, make further inspection to currently inaccessible areas, after damaged ceiling areas have been removed by others. Issue a supplemental report.

***** Unknown Further Inspection Recommended *****

ITEM 10D This is in regard to the right side annex/apartment. We noted a lot of physical damage at interior floor, wall, and ceiling areas.

RECOMMENDATION: Refer to licensed specialty contractor for review and repairs.

***** Unknown Further Inspection Recommended *****

11. Other - Exteriors:

ITEM 11A We noted tree debris at the roof.

RECOMMENDATION: We advise that all tree debris be kept cleared from the roof, as well as from perimeter rain gutters and downspouts as a matter of maintenance.

***** This is a Section 2 Item *****

ITEM 11B Dryrot damage noted at alder wood sash windows, sills, related wood members. Damage may extend to adjacent areas behind stucco.

RECOMMENDATION: Refer to licensed window contractor for review, repair, and/or replacement as found needed. During the course of replacement or repair, if damage is found to extend into adjacent areas, this company should be called immediately so that we may make further inspection and issue a supplemental inspection report. Also, refer to 6E.

***** This is a Section 1 Item *****

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11. Other - Exteriors:

ITEM 11C We noted that water from downspouts dumped directly at base of exterior perimeter walls.

RECOMMENDATION: We advise that water from downspouts be properly diverted away from building exterior. We advise that a Licensed Drainage Contractor be consulted.

***** This is a Section 2 Item *****

ITEM 11D Deterioration noted at perimeter rain gutters/downspouts.

RECOMMENDATION: Owner is advised to contact appropriate Licensed Contractor to review condition of rain gutters/downspouts and follow recommendations for necessary repair.

***** This is a Section 2 Item *****

ITEM 11E We noted plant and/or vine growth at building exterior.

RECOMMENDATION: We advise that all plant and vine growth be kept trimmed away from the building as a matter of good maintenance.

***** This is a Section 2 Item *****

ITEM 11F We noted tree debris at the roof. We also noted that there were overhanging tree branches.

RECOMMENDATION: We advise that all tree debris be kept cleared from roof, as well as from perimeter rain gutters and downspouts, as a matter of good maintenance. In addition, we advise that overhanging tree limbs be trimmed away from the building as a matter of good maintenance. We advise that a licensed Arborist be consulted in this regard.

***** This is a Section 2 Item *****

ITEM 11G This is a general notation to indicate that the indirectly attached modular unit was not inspected, and is not a part of this report.

RECOMMENDATION: Please contact this office if clarification is desired.

***** Unknown Further Inspection Recommended *****

ITEM 11H The roof covering(s) are outside the scope of this inspection report.

RECOMMENDATION: If owner, or parties in interest desire information regarding the roof we advise that a Licensed Roofing Contractor be consulted.

***** Unknown Further Inspection Recommended *****

ITEM 11I Upper level portions of the building were inaccessible for inspection due to height up off of the ground. Possible adverse conditions are suspected at upper level areas.

RECOMMENDATION: Make further inspection using an extension ladder, and issue a supplemental inspection report with findings and recommendations.

***** Unknown Further Inspection Recommended *****

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BUILDING NO.

STREET, CITY, STATE, ZIP

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THIS IS A STRUCTURAL PEST CONTROL INSPECTION REPORT NOT A BUILDING INSPECTION REPORT, THEREFORE NO OPINION IS BEING RENDERED REGARDING THE STRUCTURAL INTEGRITY OF THE BUILDING. THE FOLLOWING AREAS WERE NOT INSPECTED, AS INDICATED IN SECTION #1990, PARAGRAPH (j) OF THE STRUCTURAL PEST CONTROL ACT AND RULES AND REGULATIONS FURNISHED INTERIORS, INACCESSIBLE ATTICS, INSULATED ATTICS, AND PORTIONS THEREOF THE INTERIOR OF HOLLOW WALLS SPACES BETWEEN A FLOOR OR PORCH DECK AND THE CEILING OR SOFFIT BELOW STALL SHOWERS OVER FINISHED BUTTRESSES AND SIMILAR AREAS TO WHICH THERE IS NO ACCESS WITHOUT DEFACING OR TEARING OUT LUMBER, MASONRY AND FINISHED WORK, BUILT-IN CABINET WORK FLOOR BENEATH COVERINGS, AREAS WHERE STORAGE CONDITIONS OR LOCKS MAKES INSPECTION IMPRACTICAL.

NOTATION: AT THE TIME OF THIS INSPECTION, WE NOTED EVIDENCE THAT PAST REPAIRS / RENOVATION WORK HAS BEEN PERFORMED BY OTHERS. PARTIES IN INTEREST ARE ADVISED TO CONTACT OWNER (OR RESPONSIBLE PARTIES) FOR ALL INFORMATION ABOUT PAST WORK PERFORMED INCLUDING ANY RELEVANT GUARANTEES OR WARRANTIES.

NOTATION: WITH REGARD TO CORRECTIVE WORK AS OUTLINED IN THIS REPORT, IF DAMAGE OR INFESTATION IS FOUND BEYOND WHAT IS OUTLINED IN THIS REPORT, OR OTHERWISE EXTENDS INTO INACCESSIBLE AREAS THAT ARE UNCOVERED WE WILL ISSUE A SUPPLEMENTAL INSPECTION REPORT WITH FINDINGS /

RECOMMENDATIONS AND ADDITIONAL COST ESTIMATES FOR REPAIR. AREAS OF REPAIR (IF APPLICABLE) WILL BE PRIME PAINTED ONLY. WE WILL FINISH PAINT AREAS OF REPAIR UPON PRIOR ARRANGEMENT WITH OWNER / INTERESTED PARTIES IF FINISH PAINT IS PROVIDED BY OTHERS.

NOTATION: With respect to price shown on the contract, please keep in mind that price does not include costs for Time and Materials work (unless otherwise specified), work that is to be performed by others, or costs for repairing additional damage and/or infestation that may exist at currently inaccessible areas. In any event, we advise that all work as described be performed by appropriate licensed Contractor or Engineer, and all work be done in a code compliant manner with benefit of proper building permits.

THANK YOU FOR USING THE BUENA VISTA COMPANY. PLEASE DO NOT HESITATE TO CONTACT THIS OFFICE IF YOU HAVE ANY QUESTIONS, OR DESIRE CLARIFICATION OF ANY KIND. IF THE READER OF THIS REPORT HAS ANY KNOWLEDGE OF OTHER PEST CONTROL REPORT(S) THAT MAY BE IN CONFLICT WITH THIS REPORT WE ADVISE THAT THIS COMPANY BE CONTACTED IMMEDIATELY FOR CLARIFICATION. THANK YOU AGAIN FOR USING THE BUENA VISTA COMPANY. WE APPRECIATE YOUR BUSINESS!!

#####MOLD DISCLAIMER #####
THIS IS NOT AN INSPECTION FOR MOLD OR MILDEW. IF PARTIES IN INTEREST DESIRE AN INSPECTION FOR MOLD, MILDEW, OR RELATED CONDITIONS WE ADVISE THAT A PROPERLY LICENSED INDUSTRIAL HYGIENIST BE CONTACTED. THANK YOU!!!
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INSPECTION DATE

REPORT NO.

OCCUPANTS CHEMICAL NOTICE

Buena Vista Termite Company will use pesticide chemical(s) specified below for the control of wood destroying pests or organisms in locations identified in the Structural Pest Control report as indicated above.

(1) The pest(s) to be controlled:

- ___ SUBTERRANEAN TERMITES ___ FUNGUS or DRY ROT
___ DRY-WOOD TERMITES ___ DAMPWOOD TERMITES
___ WOODBORING BEETLES ___ OTHER

(2) The pesticide(s) proposed to be used and the active ingredient(s).

- ___ A. TERMIDOR SC: Active ingredients: Fipronil
___ B. PREMISE 75: Active ingredients: Imidacloprid
___ C. VIKANE: Active ingredients: Sulfuryl Fluoride
___ D. TIMBOR: Active ingredients: Disodium octaborate tetahydrate
___ E. IMPEL ROADS: Active ingredients: Anhydrous Disodium Octaborate
___ F. BORA-CARE: Active ingredients: Disodium octaborate tetrahydrate
___ G. OTHER:

(3) "State Law requires that you be given the following information: CAUTION-PESTICIDES ARE TOXIC CHEMICALS. Structural Pest Control Companies are registered and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Department of Pesticide Regulation and the United States Environmental Protection Agency. Registration is granted when the State finds that based on existing scientific evidence there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized."

"If within 24 hours following application you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or poison control center and your pest operator immediately."

For further information, contact any of the following:

- The Buena Vista Company (707)838-6291
Sonoma County Health Department (800)746-8181
Sonoma County Agriculture Commissioner (707)565-2371
Marin County Health Department (415)499-6907
Marin County Agricultural Commissioner (415)899-8601
National Pesticide Information Center (800)858-7378
California Poison Control Center (800) 876-4766
Structural Pest Control
1418 Howe Avenue, Ste 18, Sacramento, CA 95825 (800) 737-8188

Persons with respiratory or allergic conditions, or others who may be concerned about their health relative to this chemical treatment, should contact their physician concerning occupancy during and after chemical treatment prior to signing this NOTICE.

NO CHEMICAL APPLICATION WILL BE PERFORMED UNTIL SUCH TIME THAT THIS NOTICE IS RETURNED. HAVING READ THE INSTRUCTIONS, I, THE UNDERSIGNED, WILL ACCEPT RESPONSIBILITY FOR ALL THE AFOREMENTIONED.

OWNER/OCCUPANT DATE

OWNER/OCCUPANT DATE

THE BUENA VISTA COMPANY

P.O. Box 1001, Windsor, CA 95492

Ph: (707) 838-6291 (707) 838-4637 Fax

WORK AUTHORIZATION CONTRACT

Address of Property: 33 Sir Francis Drake Blvd, Ross CA 94957

Inspection Date: 10/10/2016

Report #: 983012

Title Co. & Escrow #:

| SECTION 1 | SECTION 2 | FURTHER INSPECTION |
|---------------|---------------|--------------------------|
| 1A \$ 200.00 | 2A By others | 1B Incl. 1A 11I \$ 350.0 |
| 1F \$ 1650.00 | 2C By others | 1D \$3875.00 |
| 1H \$ 4290.00 | 3C By others | 1G Incl. 1D |
| 2B By others | 5A By others | 1I Incl. 1D |
| 2D No bid | 6A By others | 1J By others |
| 6G Incl. 1H | 6B By others | 6C \$ 500.00 |
| 9B \$ 425.00 | 6D By others | 6E \$ 375.00 |
| 9D By others | 9A By others | 6F Incl. 1D |
| 10B By others | 11A By others | 7A \$ 0.00 |
| 11B By others | 11C By others | 7B By others |
| | 11D By others | 10A \$ 200.00 |
| | 11E By others | 10C \$ 200.00 |
| | 11F By others | 10D By others |
| | | 11G By others |
| | | 11H By others |

We Authorized the Following Section 1 Items to be Performed.

1A, 1F, 1H, 2B, 2D, 6G, 9B, 9D, 10B

11B

We Authorized the Following Section 2 Items to be Performed.

2A, 2C, 3C, 5A, 6A, 6B, 6D, 9A, 11A

11C, 11D, 11E, 11F

We Authorized the Following Items for Further Inspection.

1B, 1D, 1G, 1I, 1J, 6C, 6E, 6F, 7A

7B, 10A, 10C, 10D, 11G, 11H, 11I

Proposed Cost Section 1: \$6,565.00

Proposed Cost Section 2: \$0.00

Proposed Cost Fur.Insp.: \$5,500.00

Total: \$12,065.00

NOTICE TO OWNERS: Under California Mechanics Lien Law any structural pest control company which contracts to do work for you any contractor, subcontractor, laborer, supplier or other person who helps to improve your property but is not paid for his or her work or supplies has a right to enforce a claim against your property. This means that, after a court hearing, your property could be sold by the court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your structural pest control company in full, if the subcontractor, laborer, or supplier remains unpaid. To preserve their right to file a claim or lien against your property, certain claimants such as contractors or materials suppliers are required to provide you with a document entitled "Preliminary Notice." A Preliminary Notice is not a lien against your property. Its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid.

I have read this work authorization contract and WDO inspection report it refers to. SIGNED WORK AUTHORIZATION CONTRACT MUST BE RECEIVED BEFORE WORK WILL BE SCHEDULED. I have read and understand the terms of this work authorization contract and hereby agree to all terms thereof.-

APPROVED AND READ BY: _____

DATE _____

ACCEPTED FOR:  _____

DATE _____

THE BUENA VISTA COMPANY

THE BUENA VISTA COMPANY

P.O. Box 1001, Windsor, CA 95492
Ph: (707) 838-6291 (707) 838-4637 Fax

WORK AUTHORIZATION CONTRACT

Address of Property: 33 Sir Francis Drake Blvd, Ross CA 94957
Inspection Date: 10/10/2016
Report #: 983012
Title Co. & Escrow #:

CUSTOMER INFORMATION

The total amount of this contract is due and payable upon completion of the work listed above unless otherwise specified. Only the work specified in the contract is being done at this time due to owners wishes. ANY WORK PERFORMED AGAINST AN EXISTING TITLE ESCROW WILL BE THE FINANCIAL RESPONSIBILITY OF THE PARTY ORDERING THE INSPECTION REPORT, IN THE EVENT OF A CANCELLED TITLE ESCROW.

Work completed (LABOR) by operator shall be guaranteed for a period of one year from completion. Toilet plumbing (parts supplied by this firm), showers, floors or any measures for the control of moisture are guaranteed for (30) days only. Chemical treats are guaranteed for one year. Only the areas treated are guaranteed.

Customer agrees to hold company harmless for any damage which may occur to plant life, wiring, trees, vines, pets, tile roofs, plumbing leaks, or changes beyond control of the company which may occur during the performance of this work. In case of non-payment by owner, reasonable attorney's fees and costs of collection shall be paid by the owner, whether suit be filed or not. A SERVICE CHARGE OF 1-1/2 PERCENT, PER MONTH WILL BE CHARGED ON ALL BALANCES OVER (30) DAYS. THE 1-1/2 PERCENT, PER MONTH, EQUALS 18 PERCENT PER ANNUM ON THE UNPAID BALANCES.

All repairs performed by others must be re-inspected by OUR COMPANY before a CERTIFICATION will be issued. We do not guarantee work completed by others. Any repairs completed by others must be guaranteed in writing and submitted to OUR COMPANY before a CERTIFICATION will be issued. This firm does not make statements concerning workmanship. Workmanship is only determinable by those paying for or receiving those services.

If at the time of repairs to decks, the damage is found to be more extensive, a Supplemental report will be given along with a bid for any other corrections that maybe necessary. Our inspectors are not equipped with 40 ft. ladders therefore all two story building will not be inspected at the eaves unless requested.

**** NOTE **:** Inspection fee is billed separately above any work costs.

MOLD DISCLAIMER: There may be health related issues associated with the structural repairs reflected in the inspection report referenced by this Work Authorization Contract. These health issues include but are not limited to the possible release of mold spores during the course of repairs. We are not qualified to and do not render any opinion concerning such health issues or any special precautions. Any questions concerning health issues or any special precautions to be taken prior to or during the course of such repairs should be directed to a Certified Industrial Hygienist before any such repairs are undertaken.

BY EXECUTING THIS WORK AUTHORIZATION CONTRACT, CUSTOMER ACKNOWLEDGES THAT HE OR SHE HAS BEEN ADVISED OF THE FOREGOING AND HAS HAD THE OPPORTUNITY TO CONSULT WITH A QUALIFIED PROFESSIONAL.

Customer's Initials

Date

APPENDIX D

NorBay Environmental Assessment Report dated 10/15/2016

NorBay Consulting

LOGICAL

ENVIRONMENTAL

SOLUTIONS

*(415) 507-9786 Phone
(415) 507-9760 Fax*

*2400 Las Gallinas Avenue, Suite 110
San Rafael, California 94903*

October 15, 2016

Mr. Del Nordby
Construction & Development Solutions, Inc.
511 Humboldt Street
Santa Rosa, CA 95404

**SUBJECT: ENVIRONMENTAL ASSESSMENT REPORT
ROSS TOWN HALL COMPLEX
ROSS, CALIFORNIA**

Dear Mr. Nordby:

NorBay Consulting was contracted by Construction and Development Solutions, Inc., to conduct an environmental assessment at the above referenced complex. NorBay Consulting's scope of services included the visual inspection of the Police and Fire Wings for suspect asbestos containing materials, components/fixtures coated with lead based paint or glazing and microbial issues. The assessment was conducted on October 11, 2016.

FINDINGS

Suspect Asbestos Containing Materials

The following suspect asbestos containing materials were identified during our walkthrough and should be sampled for asbestos prior to any activities taking place that would disturb them.

- Roofing felt under the cement-like roofing tiles on all the wings;
- Tar and gravel roofing on the flat portion of the fire wing;
- Exterior stucco on all the wings;
- Exterior window putty on all the wings;
- Drywall/taping mud, plaster and 12" vinyl floor tile/mastic in the old and new Apparatus Bays;
- Non-textured and textured drywall/taping mud, plaster, sheet vinyl flooring and vinyl floor tile/mastic in the fire wing,
- Non-textured and textured drywall/taping mud, plaster and sheet vinyl flooring in the police wing.

Since the assessment was only visual other suspect asbestos containing materials may exist which were not observed. These materials could include flooring materials under carpet and under new flooring applications and insulation behind walls and above ceilings.

Environmental Assessment Report
Ross Town Hall Complex
Ross, California

Suspect Lead Based Paint and Glazing

Based on the age of the various wings (pre-1978) it can be assumed that lead based paint and/or glazing is present on building components and fixtures, both interior and exterior.

NorBay Consulting recommends that a lead inspection be conducted in the various wings prior to any activities taking place that would disturb the painted or coated components/fixtures.

Microbial Growth

Microbial growth was observed in various locations in the fire wing. The areas in which microbial growth was observed did not appear to be occupied so it does not appear to be a major concern at this time.

NorBay Consulting recommends that the microbial growth be remediated either as a separate item or possible in conjunction with other remediation activities.

We appreciate the opportunity to assist you with this environmental assessment. If you have any questions regarding this report or if you require additional information please do not hesitate to contact me at (415) 507-9786

Sincerely,
NORBAY CONSULTING

Bob Gerhold

Bob Gerhold
Director, Environmental Services
Certified Asbestos Consultant #92-0157
CDPH Lead Inspector/Assessor #2108

APPENDIX E

**Brokaw Design Electrical, Telephone, Lighting, Data & Fire safety dated
10/24/2016**

BrokawDesign

CCR Registered; DUNS Registered; LEED Accredited Professionals

October 24, 2016

Mr. Del Nordby
Construction and Development Solutions, Inc.
511 Humboldt Street
Santa Rosa, CA 95404

**RE: Ross Valley Fire Department Station 18
33 Sir Francis Drake Boulevard**

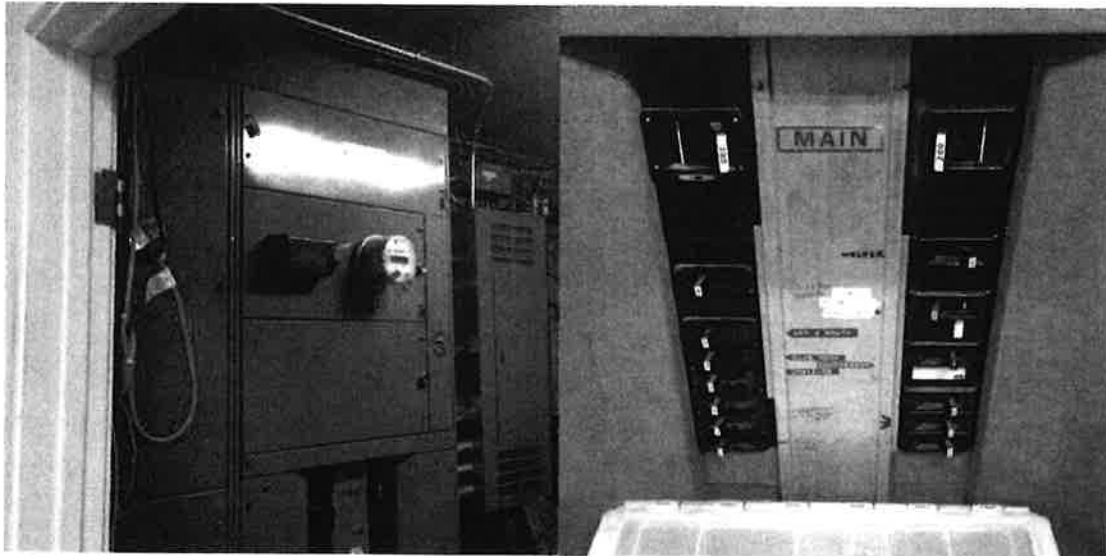
INTRODUCTION

This study was commissioned to address the existing condition of the electrical service, distribution, lighting and fire life safety systems of the existing facilities. This report notes the existing condition of the building services and the ability to meet the needs of continued use of the facility for the foreseeable future.

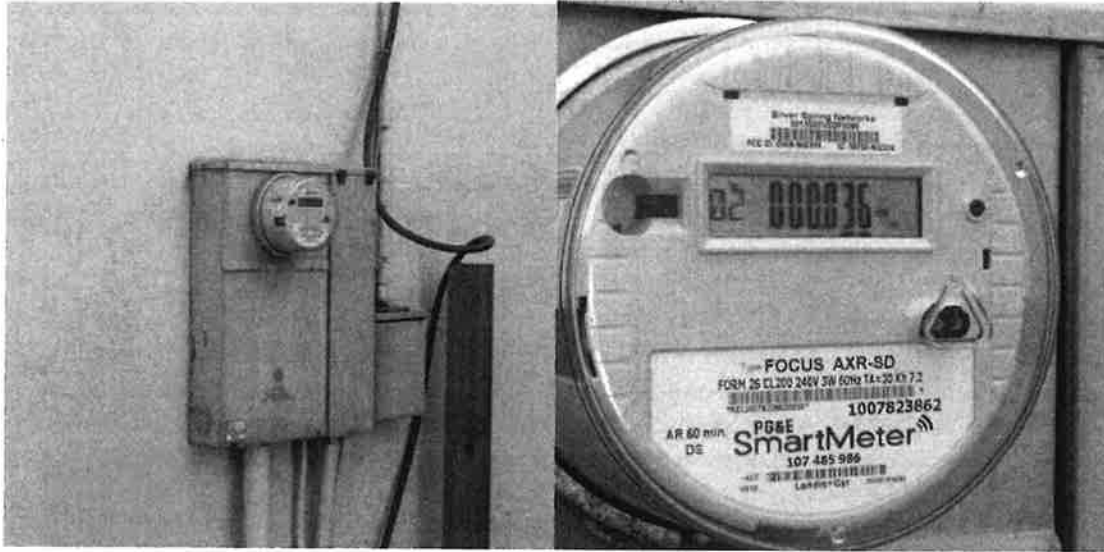
EXISTING CONDITIONS

1. Electrical Power Service

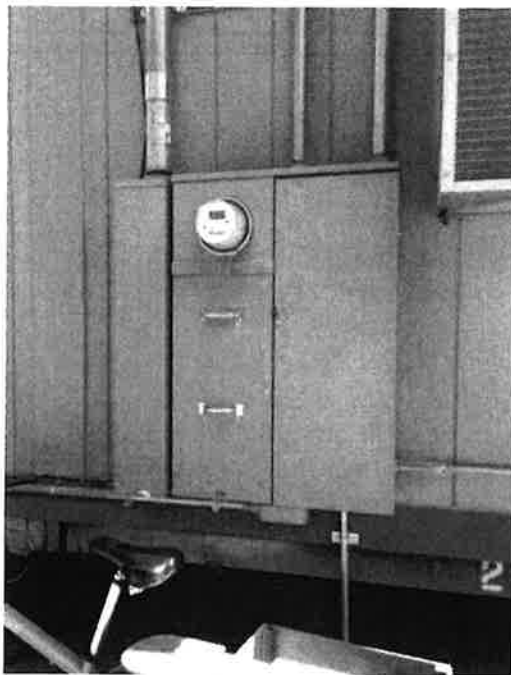
- a. The building electrical main service is provided by PG&E and feeds a 400-ampere main switchboard with a service voltage of 120/240V, single-phase. The switchboard is located in the main electrical room of the Fire Station portion of the building. The main circuit breaker is rated at 300 amperes and there is a secondary main circuit breaker rated at 300 amperes for the emergency generator feed. The switchboard is manufactured by Federal Pacific. Although vintage, the board showed no noticeable deficiencies. The utility service meter is #1003173037.



- b. A small 120/240V, single-phase exterior service is fed underground and is located on the backside of Apartment A. The service was originally fed overhead and the former service conductors are cut at the weather-head. The service has a Smart Meter #1007823862. It is unclear as to what this service feeds, but might feed the panels in the apartments.



- c. Another small 120/240V, single-phase exterior service is fed overhead and is located on the backside of the portable unit near Apartment B. The service meter is #10036550302.



2. Electrical Distribution

- a. Electrical distribution is accomplished at 120/240V, single-phase to surface or flush mounted panelboards throughout the facility. The panels are varying in age depending on location.
- b. Distribution feeders are either run surface mounted in conduit or concealed in walls. No apparent deficiencies to the power distribution feeders were observed at the time of inspection. It is unknown if there have been any deficiencies or reasons for repair in the past.

3. Telephone Service and Distribution

- a. The telephone service is fed to the main electric room of the Fire Station portion of the building in the same room as the electric main switchboard. It is unknown if the existing telephone service is adequate for the facility.

4. Lighting Systems

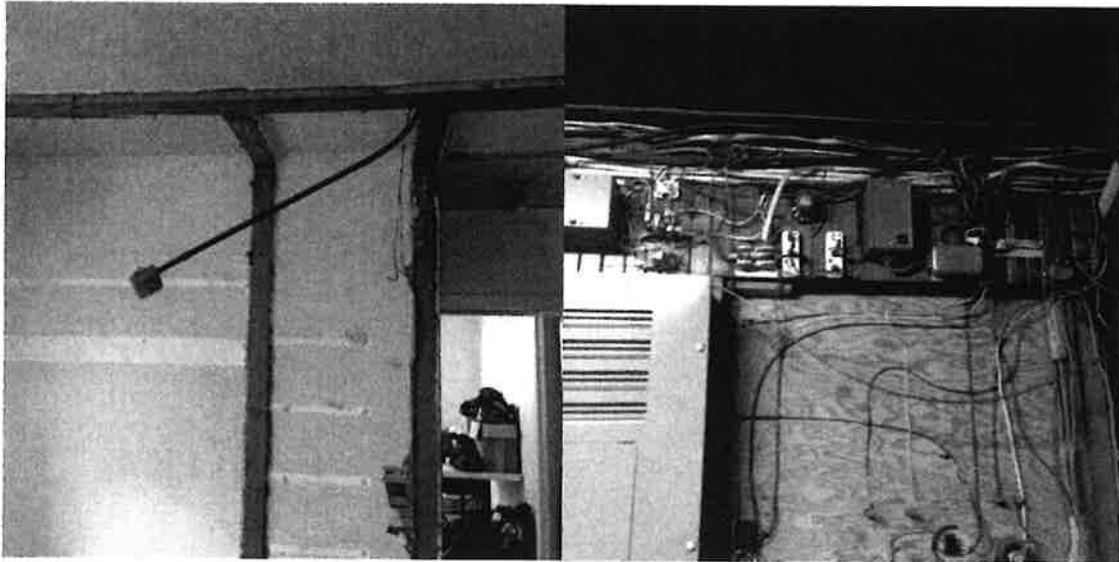
- a. Interior Lighting Fixtures – Interior lighting fixtures are a mix of fluorescent and incandescent. There are surface and recessed mounted fixtures as well as some track lighting. A few rooms have ceiling fans with light kits that contain screw-in fluorescent lamps. Most light fixtures have reached the end of their useful life and should be replaced.
- b. Interior Lighting Controls – Interior lighting controls are line voltage toggle switches and generally multi-level switching is not provided.
- c. Exterior Lighting Fixtures – Exterior lighting is accomplished with building mounted fixtures. There is a variety of different fixtures and lamp sources including incandescent, fluorescent and HID. There are not pole standards for the parking lot or site fixtures at the entry sidewalks. Incandescent and HID flood lights have been added in some locations in attempt to improve exterior lighting.
- d. Emergency Lighting – Emergency lighting is achieved by emergency generator.
- e. Exit Signage – Exit signs are scarce within the building.

5. Fire Alarm System

- a. There is no central fire alarm system in the facility. There are only single-station smoke detectors in some locations.

6. Electrical Branch Circuit Wiring

- a. The branch circuits are a mix of concealed and surface mounted boxes/conduit. Surface raceway (Wiremold) is also being utilized. The branch circuits are of varying ages and have been added to over time. In the Apartments, some branch circuitry is in a state of disrepair and some exposed Romex was noted. In the main electric room, exposed Romex is noted near and above the switchboard. Some branch circuits in the facility have been disabled/cut and it is not known if the serving overcurrent protection devices have been shut-off. The exposed Romex wiring and cut-off branch circuits are a safety concern.



7. Emergency Generator

- a. There is an emergency generator at the rear of the building as Manufactured by Generac. The unit is rated 100kW and has a 300-ampere circuit breaker. The unit appears to be in good shape.

8. Data Systems

- a. The server is located in the main electric room. It is unknown if the existing system and cabling is adequate for the facility. It is unknown if there are wireless access points located in the facility.

RECOMMENDATIONS

The following recommendations are offered presuming that the facility will be renovated in order to serve future needs:

1. Electrical Power Service

- a. Even though the main electrical service equipment appears to be functional and without noted deficiencies, it should be replaced with new equipment as parts for this equipment will be increasingly harder to find over time. Accordingly, replacement parts will be increasingly more expensive as their availability diminishes. It is also recommended to replace the main switchboard in order to remove the two other smaller services on site.
- b. In the event of electric service equipment replacement, coordination with PG&E will be required and the service entrance would need to be upgraded to the current utility company standards.

2. Electrical Distribution

- a. It is recommended to replace old panelboards with new panelboards and new feeders. Branch circuitry of these replaced panels will need to comply with the latest Title 24 standards for circuit disaggregation.
- b. Newer panelboards in the facility might be left as-is or reused. If the main switchboard is replaced, re-work of the existing feeders to panels that remain will be required.

3. Telephone Service and Distribution

- a. If additional telephone lines are required by the facility, it is recommended to coordinate with the serving utility.
- b. It is recommended that a dedicated room for telephone and data services is provided.

4. Lighting Systems

- a. It is recommended to replace the existing interior lighting fixtures. New light fixtures should have energy efficient lamping, multi-level controls and shut-off that meet current energy codes.
- b. It is recommended to provide new interior lighting controls and daylight controls that will meet current energy codes.
- c. It is not recommended to improve exterior building lighting and parking lot lighting in order to provide a safe environment at night.
- d. It is recommended to provide exit signs to clearly indicate exit paths.

5. Fire Alarm System/Sprinkler Monitoring

- a. It is recommended to provide a fire alarm and notification system throughout the facility.

6. Electrical Branch Circuit Wiring

- a. It is highly recommended to disconnect and remove existing branch circuitry and provide new branch circuitry in most the facility.
- b. Any open boxes with exposed wiring should have cover plates installed.
- c. Replace all outlets within 6'-0" of sinks or water supplies with GFCI type outlets.
- d. Disconnect and remove any temporary wiring or extension cords found on site.
- e. Provide new electrical devices, switches and cover plates.

7. Emergency Generator

- a. It is recommended to have the emergency generator serviced and tested to ensure continued use.

8. Data Systems

- a. It is recommended to provide a new dedicated and secured server room with adequate clearances, ventilation and power circuits.
- b. It is recommended that the server room be fed from a different panel than that which serves other spaces.
- c. A new ground bar with dedicated ground wire tied to the electrical service equipment should be provided in the new server room. All racks and ladder trays should be grounded to the ground bar.

- d. With the increasing bandwidth required by the latest IT equipment, building station cabling should be upgraded to minimum Category 6 UTP. Cable. Distances from patch panels to data outlet should not exceed 295 feet and should not be allowed in the proximity of power cables. Each station cable should be "home run" (no splices or cross connection points) between jacks and patch panels. The Building voice and data system should be installed to meet EIA/TIA Standards. All openings or raceway transitions through firewalls and floors should utilize UL listed fire-rated penetrations. After installation, all new cabling should be tested to ensure that it achieves the manufacturer's rated transmission rates.

9. Distribution Studies

- a. It is recommended that the existing Ampere Interrupting Current (AIC) rating of the system be verified with the Utility Company. New equipment should be designed to accommodate the AIC values given by the Utility Company.
- b. An AIC coordination study of all protective devices should be performed for all existing and new circuit breakers on the facility.

Please do not hesitate to contact us with any questions.

Regards,



Michael Mindeman,
BrokawDesign

APPENDIX F

15000 Inc., Heating, Ventilating and Air Conditioning Systems dated 11/15/2016

November 15, 2016

Del Nordby, LEED AP
CDS, Inc.

Re: Ross Police and Fire Station.

Del,

The following is an assessment of the current conditions at Ross Fire Station regarding the mechanical and plumbing systems.

Heating, Ventilating and Air Conditioning (HVAC) Systems

- The existing HVAC system within the fire/police offices and residential spaces are gas fired forced air furnaces. Currently there are three zones throughout the firehouse. One zone for the ground floor office spaces and two zones for the second floor residential spaces. The equipment is approximately 25 to 30 years old.
- There are small ceiling mounted exhaust fans throughout the restrooms and are interlocked with the light switches. The equipment is approximately 25 to 30 years old.
- The kitchen is provided with a stainless steel hood over the existing gas-fired range. Currently the hood does not extend 6" past the front edge or sides of the range as recommended by engineering best practices (figure 1). The age of the hood could not be determined.
- Existing HVAC controls are a combination of thermostats ranging from programmable thermostats to mercury thermostats (figure 2). The HVAC controls are antiquated and do not meet current Title 24 requirements.
- The existing HVAC system within the apparatus bay includes a gas-fired unit heater for general heat and vehicle exhaust. Both systems are approximately ten years old and are in good working order.
- As it currently exists, there is a dehumidification unit located in the hallway of the residential portion of the building on the second floor. The unit is currently ducted out through a permanently open unit that is not sealed properly (figure 3).
- The data/server room is not provided with any cooling. Temperature was noticeably warmer within the room as compared to adjacent spaces.
- The observable sections of the HVAC air distribution was noticed to be pre-insulated flexible ductwork.

Plumbing Systems

- The existing sanitary sewer and vent piping was observed as cast iron with heavy duty couplings.
- The existing domestic water systems was observed as soldered copper system. Locations that were observable demonstrated corrosion (figure 4).
- The air compressor and associated storage tanks were noted as being approximately 30 to 40 years in age.
- Natural gas system is delivered to the building through a single gas meter/regulator assembly on the east side of the building and has been retrofitted for a PG&E smart meter.
- The doors at the apparatus bay is provided with a trench drain and catch basin. No oil/grease/sand interceptor was noticed during our evaluation.
- All bathrooms throughout the building were noted as not being ADA compliant. This applies to the water closets, lavatories and showers.
- Site domestic water assembly was noted as corroded and included several unnecessary valves. In addition, the assembly is located exposed in the drive area without vehicle damage protection.

Recommendations

- The existing HVAC systems are at the end of their life expectancy and should be replaced with new high efficient gas fired equipment.
- The exhaust fans within the bathrooms are at the end of their life expectancy and should be replaced. New fans should be provided with humidistats per current CalGreen requirements where showers are present.
- Although current code does not require a fire station kitchen hood to be permitted through local environmental health departments, the hood should be replaced with a Type I stainless steel hood that extends 6" over all sides of the range.
- Existing HVAC controls should be replaced with current Title 24 code compliant programmable thermostats.
- New HVAC units shall be provided with a dehumidification accessory to maintain 40-60% relative humidity.
- Data/Server room should be provided with stand-alone split-system cooling coil to maintain proper temperatures within the room (65-75 degree Fahrenheit).
- Ductwork throughout the space should be evaluated and leak tested. Where possible, flexible ductwork shall be replaced with spiral ductwork.
- Portions of the domestic water system where there is corrosion (including water heater) shall be replaced in its entirety.
- Air compressor and storage tank should be replaced with modern and higher efficient equipment.
- Bathrooms shall be remodeled in their entirety to comply with the Americans with Disabilities Act.
- Domestic water entrance should be protected from possible vehicle damage and replaced with modern valves and pressure regulator.



Figure 1.

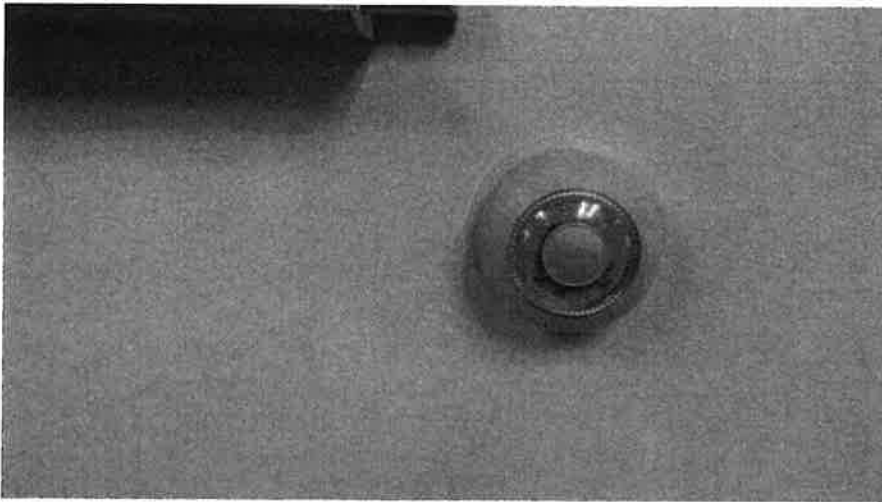


Figure 2.



Figure 3.

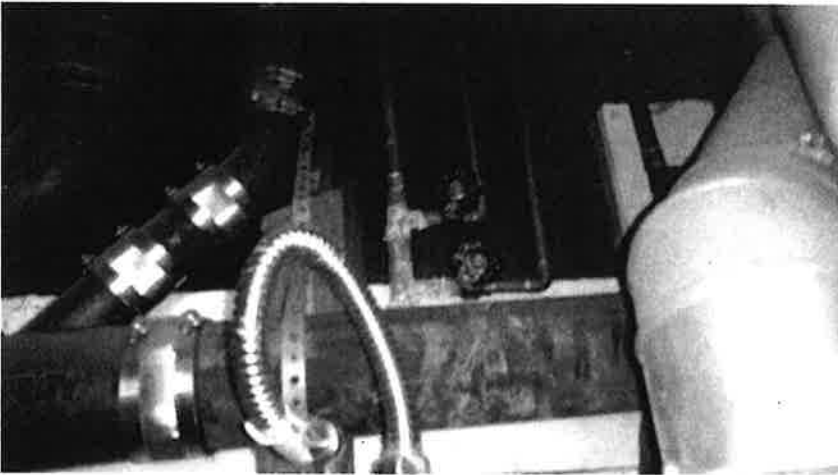


Figure 4.

If you should have any questions, please do not hesitate to call.

Sincerely,

Jay Takacs LEED AP, Principal

APPENDIX G

Archlogix, Property Condition Assessment Report dated 11/12/2016



November 12, 2016

**Town of Ross Public Safety Building
PROPERTY CONDITION ASSESSMENT REPORT**

Property Identification

Town of Ross Public Safety Building
33 Sir Francis Drake Blvd.
Ross, CA 94957-0320

Prepared for:

Del Nordby
Construction and Development Solutions, Inc.
Santa Rosa, CA 95404

Prepared By:

ArchiLOGIX
Contact: Mitchell S. Conner, AIA, NCARB
50 Santa Rosa Avenue, Suite 400
Santa Rosa, California 95404

INTRODUCTION

ArchiLOGIX had recommended to the Town of Ross that a facilities assessment be completed on the police and fire station building. The range of topics included the following:

- Essential services facility structural analysis (seismic) and flexibility of existing exterior and interior demising walls framing for possible reconfiguration opportunities
- ADA and CBC Chapter 11 compliance for existing building and adjacent site improvements
- Fire Protection system
- Exiting analysis
- Condition and capacity of building systems (electrical, mechanical, ventilation and plumbing) for creature comfort and/or reconfiguration as well as compliance with Title 24 and Cal-Green (if applicable)
- Environmental assessment (mold and asbestos, etc.)
- Waterproof integrity and water damage due to previous flooding
- Condition of all windows and doors
- General condition of building

The context of the Property Condition Assessment was to determine whether we can create another 30 to 50 years of functional life from this historical public safety building and to have the building operate under extreme conditions for at least 72 hours as expected for an essential service facility.

ArchiLOGIX Scope or Work for the PCA report includes

1. Existing site conditions and relationship to circulation patterns and natural features;
2. General condition of exterior and interior of the existing public safety building;
3. Status of life safety exiting
4. Status of ADA / CBC Chapter 11 accessibility compliance.
5. Review as-built documents and the "Historical Resource Evaluation" for the public safety building as needed to complete our report
6. Provide one site/building visit.

#1 / Existing Site Conditions

As noted in the historical resource evaluation the location of the public safety building reflects the evolution of the Town of Ross and its obligation to the community to provide public services including police and fire protection. Through the consolidation of the fire service component with nearby fire departments the daily operation of this facility resulted in a decrease in fire and emergency medical calls as we understand it.

The location of this building and its day in and day out operation reflects several challenges that may be difficult to address but worth noting.

Proximity to the existing creek highlights the fact that the 1995 apparatus bay addition sits in the 25-foot creek setback. It's our understanding that from time to time when substantial rain events occur the

apparatus bays have been flooded and not able to be used for their intended use. If we were locating / designing a public safety facility like this today, we would establish the finish floor elevation above flood level especially given the fact that this is an essential service facility and must operate under emergency conditions for 72 hours.

Vehicular and pedestrian on-site circulation present a potential safety challenge. Fire stations require a clear and unimpeded path of travel for apparatus and support vehicles to and from the site. Categorically the type of vehicles used by Town staff or the public to and from the civic center campus present possible circulation and parking conflicts as well as safety concerns for pedestrian's visiting the various buildings. If the existing police and fire use remain in this building a wayfinding system of exterior signs, pavement markings and possible warning signals (flashing lights) along with strategically place decorative/security lighting should be considered to assist with on-site circulation.

#2 / Assessment of exterior building conditions

Based on our visual survey of the existing exterior conditions of this historical facility, a refurbishing / replacement plan should be prepared to address the deterioration of exterior finishes (cement plaster), various flashing and caulking details, repair and/or replacement of windows and doors and repair of the tile roof. The façade facing Sir Francis Drake Boulevard should be handled with care to maintain the exact architectural features from the original building.

#3 / Status of life safety exiting

An interior exiting plan should be prepared and posted based on the existing room layouts for both police and fire. The exiting plan for the fire station side of the existing building is more difficult to prepare because several rooms are not being occupied by staff and basically serve as storage or fitness rooms. Circulation through all circulation hallways are not fully compliant including connection to the modular building.

If the interior of the existing building is remodeled or reconfigured to meet the demands of an up-to-date police and fire station, exiting for all staff including all other city departments that visit the building will need to be identified; the fire station side of the building will need to be worked out such that unimpeded access for fire department personnel to apparatus is always maintained. Public access is a question / issue that the Town must establish a policy that defines the extent of the public's interface with the entire public safety building.

#4 / Status of ADA / CBC Chapter 11 accessibility compliance

Public safety buildings have a challenge when it comes to disabled accessibility to comply with CBC Chapter 11 as well as ADA. The Town must determine the extent of public access as noted in Item #3 and then to what extent the police and fire stations are available to individuals with disabilities. The fire station side of the building has added challenges because fire apparatus and other emergency equipment need to be accessed without interference from the public including a disabled person. Accessibility and safety are important considerations that must coexist.

We would recommend completing a CASP review of the existing police and fire station building. A transition plan should be prepared that memorializes the Town's adopted approach to making interior and exterior building improvements that comply with the applicable accessibility codes and laws. If the public safety use remains the CASP review can guide future building and site design decisions whether it's a remodel, or reconfiguration scope of work for the existing building. Our general impression of the existing interior of the police and fire station layout for accessibility is that they are significantly out of compliance. The Town must determine an acceptable level of access for public and staff with disabilities and prepare

an implementation plan for related remodeled or reconfigured improvements. If the Town requires the entire police and fire station building must be entirely accessible meeting CBC Chapter 11 and ADA, then it is likely a significant demolition and reconstruction approach should be prepared.

Accessibility for the exterior of the building must be clearly defined and a compliant path-of-travel identified and implemented. This could require replacing existing ramps and parking locations. As part of the CASP review existing exterior accessibility should be defined and a scope of work that the Town can adopt as part of their transition plan memorialized. The challenge with the existing civic center site layout is the conflicting uses as noted above and the added challenge of accessible circulation to and from the existing admin and public safety buildings that must be resolved through new site improvements and/or a combination of wayfinding signage to clearly direct someone as to a safe and compliant path-of travel.

#5 / Review as-built documents and the “Historical Resource Evaluation” for the public safety building

As-built drawings and photos were reviewed along with several visits to the building (ArchiLOGIX scope Item #6). The “Historic Resource Evaluation” completed by “Ver Planck Historic Preservation Consulting” (September 2016) was reviewed as well. Besides the evolution of the initial building design and subsequent modifications, the report describes an approach to exterior improvements whereby the Sir Francis Drake Boulevard building elevation must be maintained with no deviations from the original design other than maintenance considerations. Beyond the street elevation the building exterior could be slightly modified because of refurbishing the exterior finishes, replacing windows and doors and/or possibly adding new windows and doors as well as exterior changes that reflect a remodeled or reconfigured interior layout.

In the conclusion of the Historic Resource Evaluation, the following statement helps determine the extent of future interior improvements:

“Except for the original vehicle bays at the front of the firehouse and the stair leading to the second floor, the interior of the Ross Public Safety Building retains nothing of architectural or historical value”.

All exterior and interior improvements will need to be reviewed in detail as it relates to the historical listing of this building on the California Register.

APPENDIX H

VerPlanck Historic Resource Evaluation Draft dated 09/10/2016

HISTORIC RESOURCE EVALUATION

Town of Ross Public Safety Building

33 Sir Francis Drake Boulevard

Ross, California

DRAFT



September 10, 2016

Prepared by

Verplanck
HISTORIC PRESERVATION CONSULTING

Woodbridge, Sally and John. *Buildings of the Bay Area*. New York: Grove Press, 1960.

B. Periodicals

Marin Independent Journal

Marinscope

San Francisco Morning-Call

San Francisco Chronicle

San Francisco Examiner

Sausalito News

C. Public Records

California Death Index: 1940-1997.

California Marriage Index, 1960-1985.

California Passenger and Crew Lists, 1882-1957.

California State Library, Biographical Files.

CEQA Guidelines subsection 15064.5(b).

Marin County Recorder's Office: Property records for Assessor Parcel 073-191-16.

Town of Ross Planning and Building Department, Building and alteration permits on file for Assessor Parcel 073-191-16.

Town of Ross, Minutes, 1927-1928.

UC Berkeley, Environmental Design Archives. Howard & White Collection.

U.S. Bureau of the Census. Records for Ross, 1900-1940.

Appendix I

Bay Area Mold Pros January 3, 2020 and January 22, 2020 Reports



January 3, 2020

Mr. Gavin Illingworth
Deputy Chief, Ross Valley Fire Department
777 San Anselmo Avenue
San Anselmo, Ca. 94960

Dear Gavin,

This letter will serve to document the recent inspection of your fire station, along with a synopsis of your lab results, which were just released by the lab.

1. PROBLEM DESCRIPTION AND MY OBSERVATIONS

You described the problem as follows: You have seen mold in various locations in your fire house and wanted to find out the extent of mold growth. I saw issues which can affect mold growth, they are addressed in this report.

2. AIR SAMPLES RESULTS

Mold Score for Sample One (Exercise Room): 278

Mold Score for Sample Two (Old gym): 300

Score of over 250 is high and indicates a high probability of indoor fungal growth.

3. MOISTURE AND HUMIDITY

My meters detected moisture in the flooring of both the toilet room and the shower room of the portable dormitory. The interior humidity in the exercise room measured **58 percent**, which is elevated.

4. CONCLUSION

The results of your air sample tests suggest that **you have a mold problem that is originating within the exercise room and the "old gym" of the firehouse complex.** See following pages for additional conclusions.

5. RECOMMENDATIONS

I recommend that you contract with a professional mold remediation company to perform a thorough cleaning of the exercise room. The mold remediation company needs to follow standard remediation protocols (see end of report). The problems in the "old gym" are much more advanced, see subsequent pages for specific recommendations. Aside from cleaning the original single-pane windows and frames in the other rooms inspected, no further recommendations aside from using dehumidifiers where ever the humidity is elevated.

Sincerely,

Rick Bruce 1234567
Bay Area Mold Pros

1. Certified Mold Inspector (CMI #83203 Micro Training)
2. Certified Mold Remediation Contractor (CMRC #83503 Micro Training)
3. Certified Mold Inspector (Compliance Training)
4. IAQA Indoor Environmentalist Course completion (FL Course 0000070)
5. National Association of Mold Remediators and Inspectors (Member)
6. California State Contractor's license 872600
7. Owner, Bruce Construction

*Cleanup Gym
HEPA Filters
Re-humidified's.
Del Morby - update C
link to files in Public Works*

Mr. Illingworth

2.a. Mold Score Explanations

What these numbers mean. In essence, the lab personnel at EMLab are looking for two things. First, they are counting the mold spores found on the slides for both the outside (control) sample, and the inside (location) sample, and comparing the numbers. In the simplest terms, ***you should have fewer mold spores in your home than outside your home***, although this is affected by the weather. During the rainy season, some of the more common mold species are washed away, and result in low numbers for the outside sample. The lab accounts for this, and will substitute historical data by neighborhood during rainy spells.

The second thing the lab is looking for is if the species found inside (location sample) match the species found in the control sample (outside). ***If a species is detected in one of the interior samples, and it is not found in the outside control sample, this suggests that this particular mold species is being produced inside the home***, rather than being a part of the natural environment. All of the numbers listed below reflect the number of mold spores found *per cubic meter*.

When interpreting these numbers, it's important to remember that there are no national standards that establish unhealthy levels for mold. The general guideline that most people follow is this:

If mold is actively growing within your home, you should both address the underlying cause of the mold, and have the mold removed. Even though there are no standards for specific levels of mold that are unhealthy, any mold can be unhealthy, and the safest approach that you can take to protect yourself and your family is to remove any mold found growing within your home, and address the issue(s) underlying why the mold is growing.

If you have a health concern that you believe may be related to mold growth in your home, you should consult with a medical professional. It may be helpful to bring the Lab Report completed for this Mold Inspection (along with this cover letter), to any consultations so that your medical professional is aware of the specific mold spore species and spore counts that were present within your home at the time of this Mold Inspection.

Exercise Room Sample (Sample One, see page 4) Score of **278** was based primarily on the following mold spore counts: Penicillium / Aspergillus spore count was 6900, versus control spore count of 0. Cladosporium spore count was 1,300, versus control spore count of 640. Basidiospore spore count was 15,000, versus control spore count of 12,000.

Old Gym Sample (Sample Two, see page 5) Score of **300** was based primarily on the following mold spore counts: Penicillium / Aspergillus spore count was **69,000**, versus control spore count of 0.

Air Sample Protocol:

Per industry standards, the interior samples are taken for exactly five minutes with a Zefon Z-Lite IAQ Air Sampling Pump (2017 model) set at 15 cubic liters per minute. The exterior samples are taken for either five or ten minutes, depending on environmental factors, also at 15 cubic liters per minute. All air samples are marked at the time the samples are taken and delivered by Rick Bruce personally to EMLab P&K at 6000 Shoreline Court, suite 205, South San Francisco, Calif. 94080.

3.a. Moisture Meter Assessment

The following moisture meters were used during this inspection:

Flir MR160 Moisture Meter (Thermal Imager).
Tramex Moisture Encounter Plus (Electric Meter).

4.a. Additional Conclusions

According to the lab, there are two problem areas in the firehouse complex: the exercise room and the "old gym."

Exercise Room. The lab found three elevated mold spore counts in this room. See above for breakdown. I am not concerned about the numbers found here. Categories A and B are both elevated in comparison to the control (on the day of the inspection), but the totals are relatively common. The Category C numbers vary widely during the rainy months, and because this room has garage doors that can be opened, it would be very common to have lots of Basidiospores introduced on a rainy

day. It is possible that the numbers here are elevated due to the missing window and the prior water leaks here, but I attribute the numbers to the fact that the room is essentially a garage-like structure with an old concrete slab. See additional recommendations below regarding slabs and ground water. My only recommendation for this room is that you may wish to have it professionally cleaned. Again, I don't think there is a serious mold issue in the exercise room.

Old gym. This entire series of rooms is a big problem. There is visible water-staining in numerous areas. There is visible mold in numerous rooms on walls and ceilings and around window openings. The Category A (*Penicillium / Aspergillus*) mold spore count is exceedingly high here (69,000 mold spores per cubic meter as opposed to a control of 0 at the time of the inspection). There is no way to bring the mold spore count under control in these rooms without doing major remediation work. It is likely that mold growth is being exacerbated by ground water issues also. I recommend that these rooms be cordoned off and not used until they receive either a major mold remediation, or are essentially gutted and re-built. Should you decide to have a major mold remediation completed here, you should probably have additional testing done in every room so that you can begin to pinpoint the origin of the problem here. I believe that there are several points of origin in these rooms, and my advice as a general contractor is to either totally gut and rebuild this structure, or demolish it and replace it with a new structure (which would probably be more cost effective and would result in a better product). Humidity 68.

In all of the below listed spaces there is some visible mold on the original wood windows. This mold can be seen on the wood sashes, the wood frames, and some areas of the wood trim. This is common on these old single-pane windows, and can be controlled through periodic cleaning. These windows should eventually all be replaced with modern, dual-pane window inserts.

Paramedics sleeping area. See window notes above, no other problems seen here. Humidity 57.

Paramedics second sleeping room. Same as above, no problems seen.

Paramedics full bathroom. Same as above, no moisture in walls, no problems seen.

Paramedics hallway. Same as above, no problems seen.

Office. Some obvious water-staining is visible under some of the windows. No moisture found in water-stained plaster. Sample was taken here and the mold spore numbers were not elevated. Humidity 43.

TV Room. Same as above, no problems seen. Humidity 36.

Kitchen. Same as above, no problems seen. Humidity 43.

Portable dormitory. Aluminum windows, no problems seen. Humidity 56.

Portable dormitory toilet room. High moisture detected in flooring here, but no elevated mold spore count detected in air sample.

Portable dormitory shower room. Same as above, high moisture detected in flooring here. I recommend that the flooring substrate in both areas be removed, and that new sheet vinyl be installed over the new substrate.

5.a. Additional Recommendations

In addition to the recommendations described above:

- **Humidity.** In the exercise room and the old gym, the humidity is elevated. Regardless of any actual moisture issues present in the firehouse, an elevated humidity will exacerbate this condition and may encourage mold growth. In terms of what "ideal humidity" is for interior spaces, there is some disagreement here, with the upper limit varying from 50 to 60 percent. In my experience, having inspected hundreds of homes, homeowners who keep their humidity at under 50 percent do not have mold problems related to their humidity. *I recommend that you run dehumidifiers if your humidity measures greater than 50 percent. A very effective dehumidifier can be purchased on-line from Amazon for about \$200 (HomeLabs manufacturer).*
- **Insulation.** Many (if not all) of the firehouse exterior walls are likely lacking in wall insulation. This exacerbates the tendency of exterior walls to "sweat" on the inside. This condensation can lead to mold growth on the lower portions of the walls. *Ideally, you will want to eventually insulate your exterior walls. In the interim, I recommend that all furniture and personal property be kept at least 2" from any walls to allow for maximum air flow.*
- **Bathroom Ventilation.** The older bathrooms do not have adequate ceiling fans that are vented to the outside. It is not only recommended that all bathrooms have an effective ceiling fan which is vented to the outside of the home, it has

actually been required as part of the building code for many years. These fans should be controlled via a humidistat, so that the fan remains running as long as is necessary following baths and showers. *I recommend that you have a high capacity (110 cfm) ceiling fan installed in the bathroom, and ensure that it is properly vented to the outside.*

- **Drainage.** The excessive humidity in the exercise room and the old gym rooms may be related to drainage issues. When there is ground water present in the crawl space of a structure (or under the concrete of a slab foundation home), it is often necessary to divert this ground water away from the home. The most effective means of doing this is to have a French drain system installed by a drainage contractor. These drains need to be installed at the proper depth, and these systems really require that both the design and the installation are completed by contractors who specialize in this type of work. *I recommend that you consult with a drainage expert to determine the best course of action to take in regards to drainage.*
- **Vapor barriers.** The moisture in your crawl space under the old gym rooms appears to be making its way into the living space above. Once all standing water issues have been addressed, the installation of a vapor barrier in a crawl space can be very effective at preventing the moisture from the soil from making its way into the home above. These vapor barriers should be installed by contractors who are familiar with how best to install them. *I recommend that you consult with a vapor barrier installation company to determine if this product may assist with your moisture issues.*

Standard Remediation Protocols

The general rule of thumb for remediation is the following: if the area to be remediated is less than 10 square feet (and the mold growth is not severe), this can generally be cleaned by the homeowner, but if the area to be remediated is greater than 10 square feet, the remediation should be performed by a certified mold remediation company. The specific remediation and cleaning procedures to be employed should be determined by the certified mold remediation company chosen for this project. Standard remediation-protocols that are routinely utilized by professional remediation companies may include, but are not limited to, the following:

- Complete containment of the area where remediation will occur (and demolition if needed). At least one Decon chamber should be utilized as part of the containment.
- Use of plastic covers, plastic zip walls, wall zippers, etc.
- Use of appropriate PPE by all personnel performing remediation.
- Use of negative air pressure during remediation.
- Use of dehumidifier machines when needed following any needed demolition.
- Use of HEPA-filtered vacuums to clean all surfaces in remediation areas.
- Use of air scrubber machines during and following remediation (and demolition if needed). Note that air scrubbers should be in operation a minimum of 48 hours after the completion of any remediation and cleaning.
- Use of biocides and other cleaners as required.

It is also recommended that a mold inspection company take new air samples once the demolition and remediation has taken place, to ensure that all mold issues have been addressed. Note that any air scrubbers used during the demolition and cleaning phases should be shut down approximately 8 hours prior to the re-inspection.

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Eurofins EMLab P&K

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Approved by:

Murali R Putty

Technical Manager
Murali Putty

Dates of Analysis:
MoldReport Spore trap: 01-02-2020

Service SOPs: MoldReport Spore trap (EM-MY-S-1038)
AIHA-LAP, LLC accredited service, Lab ID #102856

All samples were received in acceptable condition unless noted in the Report Comments portion in the body of the report. Due to the nature of the analyses performed, field blank correction of results is not applied. The results relate only to the samples as received. Sample air volume is supplied by the client.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

Eurofins EMLab P&K ("the Company") shall have no liability to the client or the client's customer with respect to decisions or recommendations made, actions taken or courses of conduct implemented by either the client or the client's customer as a result of or based upon the Test Results. In no event shall the Company be liable to the client with respect to the Test Results except for the Company's own willful misconduct or gross negligence nor shall the Company be liable for incidental or consequential damages or lost profits or revenues to the fullest extent such liability may be disclaimed by law, even if the Company has been advised of the possibility of such damages, lost profits or lost revenues. In no event shall the Company's liability with respect to the Test Results exceed the amount paid to the Company by the client therefor.

Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
 Date of Sampling: 12-30-2019
 Date of Receipt: 12-30-2019
 Date of Report: 01-02-2020

MoldREPORT
 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Laboratory Results

MoldREPORT: Spore Trap Analysis

| Location: | 1: Exercise room | | 2: Paramedics | | 3: Office | |
|-------------------------------|---------------------|--------|------------------|--------|---------------|--------|
| Comments (see below) | None | | None | | None | |
| Lab ID-Version†: | 11067232-1 | | 11067233-1 | | 11067234-1 | |
| Analysis Date: | 01/02/2020 | | 01/02/2020 | | 01/02/2020 | |
| Spore types detected: | raw ct. | per m3 | raw ct. | per m3 | raw ct. | per m3 |
| Aureobasidium | - | - | - | - | - | - |
| Basidiospores | 278 | 15,000 | 4 | 210 | 5 | 270 |
| Chaetomium | - | - | - | - | - | - |
| Cladosporium | 25 | 1,300 | - | - | 6 | 320 |
| Fusarium | - | - | - | - | - | - |
| Penicillium/Aspergillus types | 13 | 690 | - | - | - | - |
| Stachybotrys | - | - | - | - | - | - |
| Trichoderma | - | - | - | - | - | - |
| Ulocladium | - | - | - | - | - | - |
| Others | 41 | 2,200 | 2 | 110 | - | - |
| § Total: | | 19,000 | | 320 | | 590 |
| Additional Information: | | | | | | |
| Hyphal fragments | - | | - | | - | |
| Skin cells | 13 - 67 | | 4,000 - 8,000 | | 4,000 - 8,000 | |
| Pollen | < 13 | | < 13 | | < 13 | |
| Background debris (1-4)† | 3 | | 3 | | 3 | |
| Limit of detection | 13 | | 13 | | 13 | |
| Sample volume (liters) | 75 | | 75 | | 75 | |

Comments:

Basidiospores (basidiomycetes): Basidiospores are extremely common outdoors and originate from fungi in gardens, forests, and woodlands. It is rare for the source of basidiospores to be indoors. However, basidiospores may be an indicator of wood decay.

Cladosporium: One of the most commonly found molds outdoors and frequently found growing indoors. Spores from Cladosporium are generally present in outdoor and indoor air, even in relatively clean, mold-growth-free, indoor environments. Levels vary based upon activity levels, weather conditions, dustiness, outside air exchange rates, and other factors.

Penicillium/Aspergillus types: Penicillium and Aspergillus are among the most common molds found growing both indoors and outdoors (even in relatively clean, mold-growth-free, indoor environments). Levels vary based upon activity levels, dustiness, weather conditions, outside air exchange rates, and other factors.

Stachybotrys and other marker types: Certain types of mold, such as Aureobasidium, Chaetomium, Fusarium, Trichoderma, and Ulocladium, are generally found in very low numbers outdoors. Consequently their presence indoors, even in relatively low numbers, is often an indication that these molds are originating from growth indoors. When present, these mold types are often the clearest indicator of a mold problem.

Others: Molds in the "Others" category are generally found outdoors in moderate numbers, and are therefore not considered markers of indoor growth.

† A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

† Background debris is an indication of the amounts of non-biological particulate matter present on the slide (dust in the air) and is graded from 1 to 4 with 4 indicating the largest amounts.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

§ Total has been rounded to two significant figures to reflect analytical precision.

Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
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Laboratory Results

MoldREPORT: Spore Trap Analysis

| Location: | 4: TV room | | 5: Kitchen | | 6: Dorm toilet | |
|-------------------------------|---------------|--------|---------------|--------|-------------------|--------|
| Comments (see below) | None | | None | | None | |
| Lab ID-Version†: | 11067235-1 | | 11067236-1 | | 11067237-1 | |
| Analysis Date: | 01/02/2020 | | 01/02/2020 | | 01/02/2020 | |
| Spore types detected: | raw ct. | per m3 | raw ct. | per m3 | raw ct. | per m3 |
| Aureobasidium | - | - | - | - | - | - |
| Basidiospores | 15 | 800 | 57 | 3,000 | 2 | 110 |
| Chaetomium | - | - | - | - | - | - |
| Cladosporium | - | - | 1 | 53 | - | - |
| Fusarium | - | - | - | - | - | - |
| Penicillium/Aspergillus types | - | - | 1 | 53 | - | - |
| Stachybotrys | - | - | - | - | - | - |
| Trichoderma | - | - | - | - | - | - |
| Ulocladium | - | - | - | - | - | - |
| Others | 2 | 67 | 8 | 430 | - | - |
| § Total: | | 870 | | 3,600 | | 110 |
| Additional Information: | | | | | | |
| Hyphal fragments | - | | - | | - | |
| Skin cells | 80 - 4,000 | | 80 - 4,000 | | 80 - 4,000 | |
| Pollen | < 13 | | < 13 | | < 13 | |
| Background debris (1-4)† | 3 | | 3 | | 3 | |
| Limit of detection | 13 | | 13 | | 13 | |
| Sample volume (liters) | 75 | | 75 | | 75 | |

Comments:

Basidiospores (basidiomycetes): Basidiospores are extremely common outdoors and originate from fungi in gardens, forests, and woodlands. It is rare for the source of basidiospores to be indoors. However, basidiospores may be an indicator of wood decay.

Cladosporium: One of the most commonly found molds outdoors and frequently found growing indoors. Spores from Cladosporium are generally present in outdoor and indoor air, even in relatively clean, mold-growth-free, indoor environments. Levels vary based upon activity levels, weather conditions, dustiness, outside air exchange rates, and other factors.

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Laboratory Results

MoldREPORT: Spore Trap Analysis

| Location: | 7: Dorm room | | 8: Old gym | | 9: Outside control | |
|-------------------------------|-----------------|--------|---------------|--------|-----------------------|--------|
| Comments (see below) | None | | None | | None | |
| Lab ID-Version‡: | 11067238-1 | | 11067239-1 | | 11067240-1 | |
| Analysis Date: | 01/02/2020 | | 01/02/2020 | | 01/02/2020 | |
| Spore types detected: | raw ct. | per m3 | raw ct. | per m3 | raw ct. | per m3 |
| Aureobasidium | - | - | - | - | - | - |
| Basidiospores | 1 | 53 | 1 | 110 | 228 | 12,000 |
| Chaetomium | - | - | - | - | - | - |
| Cladosporium | 1 | 53 | 4 | 440 | 12 | 640 |
| Fusarium | - | - | - | - | - | - |
| Penicillium/Aspergillus types | - | - | 624 | 69,000 | - | - |
| Stachybotrys | - | - | - | - | - | - |
| Trichoderma | - | - | - | - | - | - |
| Ulocladium | - | - | - | - | - | - |
| Others | 1 | 13 | 1 | 110 | 34 | 1,500 |
| § Total: | | 120 | | 70,000 | | 14,000 |
| Additional Information: | | | | | | |
| Hyphal fragments | 13 | | - | | - | |
| Skin cells | 4,000 - 8,000 | | 4,000 - 8,000 | | 13 - 67 | |
| Pollen | 13 | | 27 | | 67 | |
| Background debris (1-4)† | 3 | | 3 | | 3 | |
| Limit of detection | 13 | | 13 | | 13 | |
| Sample volume (liters) | 75 | | 75 | | 75 | |

Comments:

Basidiospores (basidiomycetes): Basidiospores are extremely common outdoors and originate from fungi in gardens, forests, and woodlands. It is rare for the source of basidiospores to be indoors. However, basidiospores may be an indicator of wood decay.

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Approved by:

Technical Manager
Murali Putty

Dates of Analysis:
MoldReport Spore trap: 01-02-2020

Service SOPs:
MoldReport Spore trap (EM-MY-S-1038)†

†AIHA-LAP, LLC accredited service, Lab ID #102856

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Project: Russ
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Date of Report: 01-02-2020

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Table of Contents

Thank you for choosing MoldREPORT™ from Eurofins EMLab P&K. Our mission is to provide industry leadership for the assessment of mold in the home indoor environment.

Your MoldREPORT™ is designed and intended for use by professional inspectors in office and residential home inspections to help in the assessment of mold growth in the living areas sampled by professional inspectors. Our laboratory analysis is based on the samples submitted to Eurofins EMLab P&K. Please read the entire report to fully understand the complete MoldREPORT™ process. The following is a summary of the report sections:

- 1. Detailed Results of Sample Analysis** - Laboratory results from the samples collected at the site.
- 2. Understanding Your Sample Analysis Results** - Detailed summary of how to understand the analytical results from the air samples and/or surface samples including interpretive guidelines.
- 3. Important Information, Terms and Conditions** - General information to help you understand and interpret your MoldREPORT™, including important terms, conditions and applicable legal provision relating to this report.
- 4. Scope and Limitations** - Important information regarding the scope of the MoldREPORT™ system, and limitations of mold inspection, air sampling, and surface sampling.
- 5. Glossary** - Definitions and descriptions of frequently used terms and commonly found mold.
- 6. References and Resources** - Literature, websites, and other materials that can provide more in-depth information about mold and indoor air quality.

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Summary of Sample Analysis Results

Do not take any action based on the results of this report until you have read the entire report.

Air Sample Summary:

The MoldSCORE™ was in the HIGH range for the following area(s): 1, 8. A high MoldSCORE™ indicates a high likelihood of mold growth in the area tested at the time of the inspection. If mold growth is in fact present, it should be cleaned or physically removed using appropriate controls and precautions by a trained professional and any associated water source that led to the problem should also be corrected.

The MoldSCORE™ was in the LOW range for the following area(s): 2, 3, 4, 5, 6, 7. A low MoldSCORE™ indicates the air sample did not detect, relative to the outside air, the presence of indoor mold growth in this room at the time of sampling.

Please see the sections titled "Detailed Results of the Air Sample Analysis" and "Understanding Your Air Sample Analysis Results" for important additional information.

| Location | MoldSCORE™ | | | | Exposure Level | | | | | |
|--|---------------|-----|---------------|---------------|----------------|----|-----|----------------|-----------------------|----------------------|
| | Lower <110 | 200 | Higher 300 | Mold Score | Lower <200 | 1K | 10K | Higher >70K | Location spores/m3 | Outside spores/m3 |
| 1: Exercise room * see p. 4 for details | | | | 278 | | | | | 19,000 | 14,000 |
| 2: Paramedics * see p. 5 for details | | | | 100 | | | | | 320 | 14,000 |
| 3: Office * see p. 6 for details | | | | 119 | | | | | 590 | 14,000 |
| 4: TV room * see p. 7 for details | | | | 106 | | | | | 870 | 14,000 |
| 5: Kitchen * see p. 8 for details | | | | 108 | | | | | 3,500 | 14,000 |
| 6: Dorm toilet * see p. 9 for details | | | | 102 | | | | | 110 | 14,000 |
| 7: Dorm room * see p. 10 for details | | | | 103 | | | | | 120 | 14,000 |
| 8: Old gym * see p. 11 for details | | | | 300 | | | | | 70,000 | 14,000 |

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Detailed Results of the Air Sample Analysis

| Location Lab ID-version: † 11067232-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | |
|--|--|---------------|---------------|---------------|--|---------------|----------------|---|---|--|
| | Lower <110 | Higher 200 | Higher 300 | Mold Score | Lower <200 | Higher 10K | Higher >70K | Location spores/m ³ raw ct | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| 1: Exercise room | | | | | | | | | 14,000 | 274 |

Indicators of Mold Growth Indoors

- A) *Penicillium/Aspergillus* types**
- B) *Cladosporium* species spores
- C) Basidiospores
- D) "Marker" spore types***
- E) "Other" spore types****, *****

| Indicator Mold Source Assessment* (Likelihood spores originated inside) | Indicator Exposure Level (Shown on a log scale) | | | | Outside | |
|--|--|---------------|---------------|---------------|---|---|
| | Lower <110 | Higher 200 | Higher 300 | Mold Score | Location spores/m ³ raw ct | Location spores/m ³ raw ct |
| A) <i>Penicillium/Aspergillus</i> types** | | | | | 690 | 13 |
| B) <i>Cladosporium</i> species spores | | | | | 1,300 | 25 |
| C) Basidiospores | | | | | 15,000 | 278 |
| D) "Marker" spore types*** | | | | | < 13 | 0 |
| E) "Other" spore types****, ***** | | | | | < 13 | 0 |

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

*"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 *"Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| Exposure Level (Highly unlikely to be from indoors) | | | | | | Outside | |
|--|--------------|---------------|----------------|---|---|--|--|
| Lower <200 | Higher 1K | Higher 10K | Higher >70K | Location spores/m ³ raw ct | Location spores/m ³ raw ct | Outside spores/m ³ raw ct | |
| | | | | 2,200 | 41 | 1,400 | |

| Sample volume (liters) | Location | Outside |
|------------------------|----------|---------|
| | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

†A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Total spores/m³ has been rounded to two significant figures to reflect analytical precision.
 The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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EMLab P&K, LLC

Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
 Date of Sampling: 12-30-2019
 Date of Receipt: 12-30-2019
 Date of Report: 01-02-2020

MoldREPORT
 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| | | | | | | | | | | | |
|---|---|--------|------|----------|---|--------|----------|---------|------------------------|--------|-----------------------|
| Location Lab ID-version: ‡ 11067233-1 2: Paramedics | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | | |
| | Lower | Higher | Mold | Location | Lower | Higher | Location | Outside | | | |
| | <110 | 200 | 300 | Score | <200 | 1K | 10K | >70K | spores/m ³ | raw ct | spores/m ³ |
| | | | | | | | | | | | |
| | 100 | | | | 320 6 | | | | 14,000 274 | | |

Indicators of Mold Growth
Indoors

- A) *Penicillium/Aspergillus* types**
- B) *Cladosporium* species spores
- C) Basidiospores
- D) "Marker" spore types***
- E) "Other" spore types****, *****

| | | | | | | | | | | | |
|--|---|--------|------|----------|---|--------|----------|---------|-----------------------|--------|-----------------------|
| | Indicator Mold Source Assessment* (Likelihood spores originated inside) | | | | Indicator Exposure Level (Shown on a log scale) | | | | | | |
| | Lower | Higher | Mold | Location | Lower | Higher | Location | Outside | | | |
| | <110 | 200 | 300 | Score | <200 | 1K | 10K | >70K | spores/m ³ | raw ct | spores/m ³ |
| | | | | | | | | | | | |
| | 100 | | | | <13 0 | | | | | | |
| | | | | | | | | | | | |
| | 100 | | | | <13 0 | | | | 640 12 | | |
| | | | | | | | | | | | |
| | 100 | | | | 210 4 | | | | 12,000 228 | | |
| | | | | | | | | | | | |
| | 100 | | | | <13 0 | | | | <13 0 | | |
| | | | | | | | | | | | |
| | 100 | | | | <13 0 | | | | 106 8 | | |

Other Sample Information

Sample clarity & visibility

| | | | |
|----------|------|----------|------|
| | Good | Moderate | Poor |
| Location | | X | |
| Outside | | X | |

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| | | | | | | | |
|---|--------|----------|---------|-----------------------|----------|-----------------------|--------|
| Exposure Level (Highly unlikely to be from indoors) | | | | | | | |
| Lower | Higher | Location | Outside | | | | |
| <200 | 1K | 10K | >70K | spores/m ³ | raw ct | spores/m ³ | raw ct |
| | | | | | | | |
| | 110 2 | | | | 1,400 26 | | |

| | | |
|------------------------|----------|---------|
| | Location | Outside |
| Sample volume (liters) | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

‡A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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EMLab P&K, LLC

Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
 Date of Sampling: 12-30-2019
 Date of Receipt: 12-30-2019
 Date of Report: 01-02-2020

MoldREPORT
 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| Location Lab ID-version: † 11067234-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | | |
|--|--|---------------|----------------------|--|--------------|---------------|------|---|---|--|
| | Lower <110 | Higher 200 | Mold 300 Score | Lower <200 | Higher 1K | Higher 10K | >70K | Location spores/m ³ raw ct | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| 3: Office | [Bar chart showing score of 119] | | | [Bar chart showing exposure level of 590] | | | | 11 | 14,000 | 274 |

Indicators of Mold Growth

Indoors

A) *Penicillium/Aspergillus* types**

| Indicator Mold Source Assessment* (Likelihood spores originated inside) | Indicator Exposure Level (Shown on a log scale) | | | | Outside | | |
|--|--|---------------|---------------|---------------|---|---|--|
| | Lower <110 | Higher 200 | Higher 300 | Mold Score | Location spores/m ³ raw ct | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| A) <i>Penicillium/Aspergillus</i> types** | [Bar chart showing score of 100] | | | | < 13 | 0 | < 13 |

B) *Cladosporium* species spores

| | | | | |
|----------------------------------|---|---|-----|----|
| [Bar chart showing score of 119] | [Bar chart showing exposure level of 320] | 6 | 640 | 12 |
|----------------------------------|---|---|-----|----|

C) Basidiospores

| | | | | |
|----------------------------------|---|---|--------|-----|
| [Bar chart showing score of 100] | [Bar chart showing exposure level of 270] | 5 | 12,000 | 228 |
|----------------------------------|---|---|--------|-----|

D) "Marker" spore types***

| | | | | |
|----------------------------------|--|---|------|---|
| [Bar chart showing score of 100] | [Bar chart showing exposure level of < 13] | 0 | < 13 | 0 |
|----------------------------------|--|---|------|---|

E) "Other" spore types***,****

| | | | | |
|----------------------------------|--|---|-----|---|
| [Bar chart showing score of 100] | [Bar chart showing exposure level of < 13] | 0 | 106 | 8 |
|----------------------------------|--|---|-----|---|

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

*"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| Exposure Level (Highly unlikely to be found indoors) | | | | Outside | |
|---|---|---|--|---|---|
| Lower <200 | Higher 1K | Higher 10K | >70K | Location spores/m ³ raw ct | Location spores/m ³ raw ct |
| [Bar chart showing exposure level of < 13] | [Bar chart showing exposure level of 0] | [Bar chart showing exposure level of 1,400] | [Bar chart showing exposure level of 26] | | |

| | Location | Outside |
|------------------------|----------|---------|
| Sample volume (liters) | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paeclomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

†A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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EMLab ID: 2324935, Page 6 of 22

Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
 Date of Sampling: 12-30-2019
 Date of Receipt: 12-30-2019
 Date of Report: 01-02-2020

MoldREPORT
 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| Location Lab ID-version: ‡ 11067235-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | |
|--|--|---------------|----------------------|---|--------------|--|--------|------------------------|--------|
| | Lower <110 | Higher 200 | Mold 300 Score | Lower <200 | Higher 1K | Location 10K >70K spores/m ³ | raw ct | spores/m ³ | raw ct |
| 4: TV room | [Bar chart showing Mold Score of 106] | | | [Bar chart showing Exposure Level with Location raw ct of 870 and 17] | | | | 9 | 274 |

Indicators of Mold Growth Indoors

- A) *Penicillium/Aspergillus* types**
- B) *Cladosporium* species spores
- C) Basidiospores
- D) "Marker" spore types***
- E) "Other" spore types****, *****
 - 1) Smuts, *Periconia*, *Myxomycetes*

| Indicator | Indicator Mold Source Assessment* (Likelihood spores originated inside) | | | Indicator Exposure Level (Shown on a log scale) | | | | Outside | |
|---|--|---------------|----------------------|---|--------------|--|--------|-----------------------|--------|
| | Lower <110 | Higher 200 | Mold 300 Score | Lower <200 | Higher 1K | Location 10K >70K spores/m ³ | raw ct | spores/m ³ | raw ct |
| A) <i>Penicillium/Aspergillus</i> types** | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of <13 and 0] | | | | <13 | 0 |
| B) <i>Cladosporium</i> species spores | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of <13 and 0] | | | | 640 | 12 |
| C) Basidiospores | [Bar chart showing Mold Score of 106] | | | [Bar chart showing Exposure Level with Location raw ct of 800 and 15] | | | | 12,000 | 228 |
| D) "Marker" spore types*** | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of <13 and 0] | | | | <13 | 0 |
| E) "Other" spore types****, ***** | [Bar chart showing Mold Score of 101] | | | [Bar chart showing Exposure Level with Location raw ct of 13 and 1] | | | | 106 | 8 |

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

*Good = background debris is light enough to pose no difficulty in analyzing air samples.
 **Poor = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

‡A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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 Date of Sampling: 12-30-2019
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MoldREPORT
 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| Location Lab ID-version: † 11067236-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | |
|--|--|---------------|----------------------|---|--------------|-----------------------------------|--------------------|------------------------|--------|
| | Lower <110 | Higher 200 | Mold Score 300 | Lower <200 | Higher 1K | Location spores/m ³ | Location raw ct | spores/m ³ | raw ct |
| 5: Kitchen | [Bar chart showing Mold Score of 108] | | | [Bar chart showing Exposure Level with Location raw ct of 67] | | | | 14,000 | 274 |

Indicators of Mold Growth Indoors

- A) *Penicillium/Aspergillus* types**
- B) *Cladosporium* species spores
- C) Basidiospores
- D) "Marker" spore types***
- E) "Other" spore types***, ****

| Indicator Mold Source Assessment* (Likelihood spores originated inside) | Indicator Exposure Level (Shown on a log scale) | | | | Outside | | | | |
|--|--|---------------|----------------------|---|--------------|-----------------------------------|--------------------|-----------------------|--------|
| | Lower <110 | Higher 200 | Mold Score 300 | Lower <200 | Higher 1K | Location spores/m ³ | Location raw ct | spores/m ³ | raw ct |
| A) <i>Penicillium/Aspergillus</i> types** | [Bar chart showing Mold Score of 108] | | | [Bar chart showing Exposure Level with Location raw ct of 1] | | | | < 13 | 0 |
| B) <i>Cladosporium</i> species spores | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of 1] | | | | 640 | 12 |
| C) Basidiospores | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of 57] | | | | 12,000 | 228 |
| D) "Marker" spore types*** | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of 0] | | | | < 13 | 0 |
| E) "Other" spore types***, **** | [Bar chart showing Mold Score of 100] | | | [Bar chart showing Exposure Level with Location raw ct of 0] | | | | 106 | 8 |

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| Exposure Level (Highly unlikely to be from indoors) | | | | Outside | |
|--|--------------|-----------------------------------|--------------------|-----------------------|--------|
| Lower <200 | Higher 1K | Location spores/m ³ | Location raw ct | spores/m ³ | raw ct |
| [Bar chart showing Exposure Level with Location raw ct of 8] | | | | 1,400 | 26 |

| | Location | Outside |
|------------------------|----------|---------|
| Sample volume (liters) | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

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*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

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Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| Location Lab ID-version: † 11067237-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | Overall Exposure Level (Shown on a log scale) | | | | Outside †11067240-1 | |
|--|--|---------------|----------------------|--|--------------|--|----------------|---|--|
| | Lower <110 | Higher 200 | Mold Score 300 | Lower <200 | Higher 1K | Location spores/m ³ 10K | Higher >70K | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| 6: Dorm toilet | [Bar chart showing score of 102] | | | [Bar chart showing exposure level of 110] | | | | 2 | 14,000 274 |

Indicators of Mold Growth Indoors

A) *Penicillium/Aspergillus* types**

| Indicator Mold Source Assessment* (Likelihood spores originated inside) | Indicator Exposure Level (Shown on a log scale) | | | | Outside | | | | |
|--|--|---------------|----------------------|---|--------------|--|----------------|---|--|
| | Lower <110 | Higher 200 | Mold Score 300 | Lower <200 | Higher 1K | Location spores/m ³ 10K | Higher >70K | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| A) <i>Penicillium/Aspergillus</i> types** | [Bar chart showing score of 100] | | | [Bar chart showing exposure level of <13] | | | | 0 | <13 0 |

B) *Cladosporium* species spores

| | | | | | | | |
|----------------------------------|---|--|--|--|---|-----|----|
| [Bar chart showing score of 100] | [Bar chart showing exposure level of <13] | | | | 0 | 640 | 12 |
|----------------------------------|---|--|--|--|---|-----|----|

C) Basidiospores

| | | | | | | | |
|----------------------------------|---|--|--|--|---|--------|-----|
| [Bar chart showing score of 102] | [Bar chart showing exposure level of 110] | | | | 2 | 12,000 | 228 |
|----------------------------------|---|--|--|--|---|--------|-----|

D) "Marker" spore types***

| | | | | | | | |
|----------------------------------|---|--|--|--|---|-----|---|
| [Bar chart showing score of 100] | [Bar chart showing exposure level of <13] | | | | 0 | <13 | 0 |
|----------------------------------|---|--|--|--|---|-----|---|

E) "Other" spore types***, ****

| | | | | | | | |
|----------------------------------|---|--|--|--|---|-----|---|
| [Bar chart showing score of 100] | [Bar chart showing exposure level of <13] | | | | 0 | 106 | 8 |
|----------------------------------|---|--|--|--|---|-----|---|

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| Exposure Level (Highly unlikely to be from indoors) | | | | | | | |
|--|--------------|--|----------------|---|----------------|---|--|
| Lower <200 | Higher 1K | Location spores/m ³ 10K | Higher >70K | Location spores/m ³ raw ct | Higher >70K | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| [Bar chart showing exposure level of <13] | | | | 0 | 1,400 | 26 | |

| Sample volume (liters) | Location | Outside |
|------------------------|----------|---------|
| | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

†A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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EMLab P&K, LLC

Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
 Date of Sampling: 12-30-2019
 Date of Receipt: 12-30-2019
 Date of Report: 01-02-2020

MoldREPORT
 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| Location Lab ID-version: ‡ 11067238-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | |
|--|--|---------------|----------------------|--|----|---------------|------|---|--|
| | Lower <110 | Higher 200 | Mold 300 Score | Lower <200 | 1K | Higher 10K | >70K | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| 7: Dorm room | 103 | | | 120 3 | | | | 14,000 | 274 |

Indicators of Mold Growth
Indoors

A) *Penicillium/Aspergillus* types**

| Indicator Mold Source Assessment* (Likelihood spores originated inside) | Indicator Exposure Level (Shown on a log scale) | | | | Outside | | | | |
|--|--|---------------|----------------------|---------------|---------|---------------|------|---|--|
| | Lower <110 | Higher 200 | Mold 300 Score | Lower <200 | 1K | Higher 10K | >70K | Location spores/m ³ raw ct | Outside spores/m ³ raw ct |
| | 100 | | | < 13 0 | | | | < 13 | 0 |

B) *Cladosporium* species spores

| | | | | | | | | | |
|--|-----|--|--|------|--|--|--|-----|----|
| | 103 | | | 53 1 | | | | 640 | 12 |
|--|-----|--|--|------|--|--|--|-----|----|

C) Basidiospores

| | | | | | | | | | |
|--|-----|--|--|------|--|--|--|--------|-----|
| | 100 | | | 53 1 | | | | 12,000 | 228 |
|--|-----|--|--|------|--|--|--|--------|-----|

D) "Marker" spore types***

| | | | | | | | | | |
|--|-----|--|--|--------|--|--|--|------|---|
| | 100 | | | < 13 0 | | | | < 13 | 0 |
|--|-----|--|--|--------|--|--|--|------|---|

E) "Other" spore types***, ****

| | | | | | | | | | |
|--|-----|--|--|------|--|--|--|-----|---|
| | 102 | | | 13 1 | | | | 106 | 8 |
|--|-----|--|--|------|--|--|--|-----|---|

1) Smuts, *Periconia*, *Myxomycetes*

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| Exposure Level (Highly unlikely to be from indoors) | | | | | | | | |
|--|----|---------------|------|---|---|--|--|--|
| Lower <200 | 1K | Higher 10K | >70K | Location spores/m ³ raw ct | Location spores/m ³ raw ct | Outside spores/m ³ raw ct | Outside spores/m ³ raw ct | |
| | | | | < 13 | 0 | 1,400 | 26 | |

| Sample volume (liters) | Location | Outside |
|------------------------|----------|---------|
| | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

‡A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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Client: Bay Area Mold Pros
 Contact: Rick Bruce
 Project: Russ
 Date of Sampling: 12-30-2019
 Date of Receipt: 12-30-2019
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 Eurofins EMLab P & K
 6000 Shoreline Ct, Ste 205, So. San Francisco, CA 94080
 (866) 888-6653 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

| Location Lab ID-version: ‡ 11067239-1 | Overall Mold Source Assessment* (Likelihood spores originated inside) | | | | Overall Exposure Level (Shown on a log scale) | | | | Outside ‡11067240-1 | | | |
|--|--|-----|---------------|---------------|--|----|---------------|------|-----------------------------------|--------|-----------------------|--------|
| | Lower <110 | 200 | Higher 300 | Mold Score | Lower <200 | 1K | Higher 10K | >70K | Location spores/m ³ | raw ct | spores/m ³ | raw ct |
| 8: Old gym | [Progress bar: 300] | | | | [Progress bar: 70,000] | | | | 70,000 | 630 | 14,000 | 274 |

Indicators of Mold Growth Indoors

A) *Penicillium/Aspergillus* types**

| Indicator Mold Source Assessment* (Likelihood spores originated inside) | Indicator Exposure Level (Shown on a log scale) | | | | Outside | |
|--|--|-----|---------------|---------------|-----------------------|--------|
| | Lower <110 | 200 | Higher 300 | Mold Score | spores/m ³ | raw ct |
| A) <i>Penicillium/Aspergillus</i> types** | [Progress bar: 300] | | | | 69,000 | 624 |

B) *Cladosporium* species spores

| | | | | |
|---------------------|-----|---|-----|----|
| [Progress bar: 100] | 440 | 4 | 640 | 12 |
|---------------------|-----|---|-----|----|

C) Basidiospores

| | | | | |
|---------------------|-----|---|--------|-----|
| [Progress bar: 100] | 110 | 1 | 12,000 | 228 |
|---------------------|-----|---|--------|-----|

D) "Marker" spore types***

| | | | | |
|---------------------|------|---|------|---|
| [Progress bar: 100] | < 13 | 0 | < 13 | 0 |
|---------------------|------|---|------|---|

E) "Other" spore types***, ****

| | | | | |
|---------------------|------|---|-----|---|
| [Progress bar: 100] | < 13 | 0 | 106 | 8 |
|---------------------|------|---|-----|---|

Other Sample Information

Sample clarity & visibility

| | Good | Moderate | Poor |
|----------|------|----------|------|
| Location | | X | |
| Outside | | X | |

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores***

| Exposure Level (Highly unlikely to be from indoors) | | | | | | | |
|--|----|---------------|------|-----------------------------------|--------|----------------------------------|--------|
| Lower <200 | 1K | Higher 10K | >70K | Location spores/m ³ | raw ct | Outside spores/m ³ | raw ct |
| [Progress bar] | | | | 110 | 1 | 1,400 | 26 |

| Sample volume (liters) | Location | Outside |
|------------------------|----------|---------|
| | 75 | 75 |

Comments

| | |
|----------|------|
| Location | None |
| Outside | None |

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. Eurofins EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample. The totals shown are the summation of the rounded values for the spores types in the category and may contain more than two significant figures.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

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Total spores/m³ has been rounded to two significant figures to reflect analytical precision.

The analytical sensitivity is the spores/m³ divided by the raw count, expressed in spores/m³. The limit of detection is the analytical sensitivity (in spores/m³) multiplied by the sample volume (in liters) divided by 1000 liters.

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Client: Bay Area Mold Pros
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Understanding Your Air Sample Analysis Results

Description of the Air MoldREPORT™ Analysis

Mold spores are present in virtually all environments, both indoors and outdoors, with a few notable exceptions such as industrial clean rooms and hospital organ transplant rooms. Generally, in "normal" or "clean" indoor environments, indoor spore levels are lower, on average, than outdoor levels. However, even the most simple rules (such as "inside/outside" ratios) are not always appropriate for determining whether there is a source of mold growth indoors, and may provide false or misleading results. One reason these simple methods do not always work is because both outdoor and indoor spores levels vary widely due to factors such as weather conditions and activity levels within the room. For example, even in a "normal" home, spore levels can be higher than outdoors at certain times, such as after vacuuming (when airborne indoor levels could be unusually high) or after a heavy snow (when outdoor levels could be unusually low).

MoldREPORT™ is designed and intended to provide an easily understood report for residential home inspections to help in the assessment of mold growth in the living areas sampled. MoldREPORT™ relies on non-invasive and non-destructive tests, so it cannot guarantee that hidden mold problems will be detected and reported. MoldREPORT™ results apply only to the rooms or areas tested, at the time of sampling. Factors taken into consideration include, but are not limited to, the distribution of spore types, absolute levels inside and outside, relative levels inside and outside, the range and variation of spore levels that normally occur outside, and the types of spores present.

Providing you with a helpful, understandable and top quality interpretation requires special expertise. Eurofins EMLab P&K recognizes this and has taken the following steps to provide the best possible interpretation of your air sampling results.

1. Your samples were analyzed by Eurofins EMLab P&K,
2. We utilize the proprietary MoldREPORT™ analysis system, which was developed by a team including leading professionals in the indoor air quality (IAQ) industry.

MoldSCORE™

The MoldSCORE™ indicates the likelihood, based upon the air sample laboratory data, that there is unusual or excessive mold growth in the properly sampled indoor area(s). It is calculated using Eurofins EMLab P&K's proprietary MoldREPORT™ system, based upon the indicator scores described in the following paragraphs. When the on-site inspection and sampling are done properly, MoldREPORT™ is less likely to give false results than other, simpler methods of interpretation often employed for routine home inspections, such as ratio analysis. It is important to bear in mind that any analytical method, findings, and interpretation should be used with a degree of caution and common sense. Any decisions related to health should be made in consultation with a medical doctor, and nothing in this report is intended to provide medical advice or indicate whether a medical or safety problem exists.

Descriptions of the indicators:

Quantity and concentration of *Penicillium*/*Aspergillus* spore types

This score indicates the likelihood that spores of *Penicillium* or *Aspergillus* present in the indoor sample originated from indoor sources. A high score suggests that there is a high probability that *Penicillium* or *Aspergillus* is originating indoors, such as from active mold growth. A low score indicates that the spores present are more likely to have originated from outdoor sources and come inside through doors and windows, carried in on people's clothing, or similar methods. *Penicillium* and *Aspergillus* are among the most common molds found growing indoors and are one of the more commonly found molds outside as well. Their spores are frequently present in both outdoor and indoor air, even in relatively clean, mold-growth-free, indoor environments. Additionally, their levels vary significantly based upon activity levels, dustiness, weather conditions, outside air exchange rates, and other factors.

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Understanding Your Air Sample Analysis Results (continued)

Quantity and concentration of *Cladosporium* spores

This score indicates the likelihood that spores of *Cladosporium* present in the indoor sample originated from indoor sources. A high rating indicates that there is probably a source of *Cladosporium* spores in this location. *Cladosporium* is one of the most commonly found molds outdoors and is also frequently found growing indoors. Even more so than *Penicillium* and *Aspergillus*, spores from *Cladosporium* are generally present in outdoor and indoor air, even in relatively clean, mold-growth-free, indoor environments. Its levels also vary based upon activity levels, weather conditions, dustiness, outside air exchange rates, and other factors.

Quantity and concentration of basidiospores

This score indicates the likelihood that basidiospores present in the indoor sample originated from indoor sources. Basidiospores are extremely common outdoors and originate from fungi in gardens, forests, and woodlands. It is rare for the source of basidiospores to be indoors because basidiospores are produced by a group of fungi that includes mushrooms and other "macrofungi" (and are not technically molds). Their concentrations can be extremely high outdoors during wet conditions such as rain. Nevertheless, in certain conditions basidiospores can be produced indoors, and a high rating indicates that there is probably a source of basidiospores indoors. One reason basidiospores are important is that they can be an indicator of wood decay (e.g. "dry rot"), a condition that can dramatically reduce the structural integrity of a building.

Quantity and concentration of "marker" spore types

This score indicates the likelihood that certain distinctive types of mold present in the indoor sample originated from indoor sources. Certain types of mold are generally found in very low numbers outdoors. Consequently, their presence indoors, even in relatively low numbers compared to *Penicillium*, for example, is often an indication that these molds are originating from growth indoors. When present, these mold types are often the clearest indicator of a mold problem. Note, however, that the absence of marker spore types does not mean that a mold problem does not exist in a house; it just means that if a problem is present, it either involves types of mold that are more commonly found both indoors and outdoors, or that the spores from these molds were not airborne at the time of sampling.

Quantity and concentration of "other" spore types

This score indicates the likelihood that other types of mold present in the indoor sample originated from indoor sources. This score includes a heterogeneous group of genera that are not covered by any of the scores discussed above, and so it is difficult to make generalizations about this group. Molds in the "other" category are generally found outdoors in moderate numbers, and are therefore not considered markers of indoor growth. They are frequently found indoors but in lower numbers compared to *Cladosporium* and *Penicillium/Aspergillus* spores.

Other Sample Information:

Sample clarity and visibility

Air samples collect dirt and debris in addition to mold spores. Higher levels of debris make analysis more difficult, because they obscure the analyst's view of spores and can therefore lead to undercounting of the mold spores present. When sample clarity and visibility is rated "poor", the analytical results should be regarded as minimal and actual counts may be higher than reported.

Other "normal trapping" spores

Some molds do not grow on wet building materials and, consequently, are not usually indicative of building problems, or growth on building surfaces. Strict plant pathogens, for example, even if present in high numbers indoors, are not an indication of a building leak or mold growth on a wall or carpet. This section of the report focuses on the exposure level that may be due to these spore types.

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Understanding Your Air Sample Analysis Results (continued)

Sample volume

The "sample volume" indicates the volume of air sampled and is reported in liters. A high volume indicates a greater sensitivity, but is more likely to result in poor sample clarity and visibility. A low volume is more likely to have good sample clarity and visibility, but has less sensitivity.

Comments

This is where analysts can comment on unusual details or add additional information that is not captured by the other areas of the air sampling report.

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Interpretive Guidelines to MoldSCORE™ Levels

MoldSCORE™ Level: LOW

A low MoldSCORE™ indicates the air sample did not detect, relative to the outside air, the presence of indoor mold growth in this room at the time of sampling. This result, by itself, is evidence for, but does not prove, the absence of indoor mold growth in the location sampled.

Mold is a living organism that can grow very rapidly under certain conditions. If any portion of the room tested is, or has been, damp for an extended period since the time of testing, the likelihood of mold growth may have increased substantially since the time of the inspection.

MoldSCORE™ Level: MODERATE

The air sampling MoldSCORE™ indicated the possibility of mold growth indoors. Generally, a MODERATE level means that the results are inconclusive, and suggests that a more detailed inspection may make sense if there are any other reasons to believe that mold growth could be a problem in this location. Indoor mold growth is a possibility, but was not confirmed in the areas sampled at the time of the inspection. Factors such as recent cleaning, HVAC cycles, high winds, rain, or other indoor or outdoor conditions could have contributed to a MODERATE result in the absence of indoor mold growth. If mold growth is found, regardless of the magnitude of the growth, it is recommended that the growth be physically removed using appropriate controls and precautions. If mold has been located and removed, it is also important to identify and correct the source of moisture or dampness that allowed the mold to grow. If the affected area becomes moist again, mold growth will occur again. We recommend that you consult a professional if you are not familiar with how to locate and safely remove mold growth or how to identify and correct moisture problems that may exist.

Mold is a living organism that can grow very rapidly under certain conditions. If any portion of the room tested is, or has been, damp for an extended period since the time of testing, the likelihood of mold growth may have increased substantially since the time of the inspection.

MoldSCORE™ Level: HIGH

The air sampling MoldSCORE™ indicated a high likelihood of mold growth in the area tested at the time of the inspection. This result is NOT necessarily an indication that any such mold growth was extensive. If mold growth is found, regardless of the magnitude of the growth, it is recommended that the growth be physically removed using appropriate controls and precautions. If mold has been located and removed, it is also important to identify and correct the source of moisture or dampness that allowed the mold to grow. If the affected area becomes moist again, mold growth will occur again. We recommend that you consult a professional if you are not familiar with how to locate and safely remove mold growth or how to identify and correct moisture problems that may exist.

Health concerns

Neither this report nor any MoldSCORE™ rating is intended to provide medical advice, nor shall it be interpreted as an indicator of potential medical or safety problems. If you have concerns or questions relating to your health, please contact your physician for advice.

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Important Information, Terms and Conditions Relating to your MoldREPORT™

The study and understanding of molds is a progressing science. Because different methods of sampling, collection and analysis exist within the indoor air quality industry, different inspectors or analysts may not always agree on the mold concentrations present in a given environment. Additionally, the airborne levels of mold change frequently and by large amounts due to many factors including activity levels, weather, air exchange rates (indoors), and disturbance of growth sites. It is possible for report interpretations and ranges of accuracy to vary since comprehensive, generally accepted industry standards do not currently exist for indoor air quality inspections of mold in residential indoor environments. MoldREPORT™ is intended to provide an analysis based upon samples taken at the site at the time of the inspection. Mold levels can and do change rapidly, especially if home building materials or contents remain wet for more than 24 hours, or if they are wet frequently. MoldREPORT™ is not intended to provide medical or healthcare advice. All allergy or medical-related questions and concerns, including health concerns relating to possible mold exposure, should be directed to a qualified physician. If this report indicates scores that are higher than in typical indoor living spaces relative to the outdoor environment, or indicates any findings that are of concern to you, further evaluation by a trained mold professional or a Certified Industrial Hygienist (CIH) may be advisable.

Warranties, legal disclaimers and limitations

MoldREPORT™ is designed and intended for use only in residential home inspections to help in the assessment of mold growth in the living areas sampled. Our laboratory analysis and report are based on the samples submitted to Eurofins EMLab P&K. The inspection(s) and sampling should be performed only by a licensed and professional home inspector, environmental mold specialist, industrial hygienist or residential appraiser trained and qualified to conduct mold inspections in residential buildings. Client agrees to these conditions for the on-site project inspection.

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EMLab P&K, LLC

Client: Bay Area Mold Pros
Contact: Rick Bruce
Project: Russ
Date of Sampling: 12-30-2019
Date of Receipt: 12-30-2019
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Scope and Limitations of Report and Analysis

The scope of the MoldREPORT™ system is limited to Eurofins EMLab P&K's proprietary MoldSCORE™ analysis of the air and surface samples taken at the time of the inspection. Eurofins EMLab P&K cannot be liable, in any form of action, for any items that are not included within the scope of the MoldREPORT™ system.

MoldREPORT™ Inspection Limitations

MoldREPORT™ results are based upon mold air and surface samples. Mold surface samples are useful for confirming and identifying mold growth while air samples measure airborne mold levels.

This report provided by Eurofins EMLab P&K is based upon the assumption that the information provided by the inspector is true and correct, that a sufficient number of mold and air samples were collected at all the appropriate locations following proper inspection and sampling protocols, and that the mold samples collected represent normal conditions at the site sampled. Eurofins EMLab P&K is not able to, and cannot, guarantee the skill level or experience of the inspector performing the MoldREPORT™ inspection, nor can it guarantee that the samples have been properly collected at the site or are representative of normal conditions since many factors outside of Eurofins EMLab P&K's (and the inspector's) control can and do substantially affect mold levels. Consequently, Eurofins EMLab P&K cannot guarantee the accuracy of the interpretation provided herein. It is the responsibility of the inspector to insure that the mold samples were collected properly. MoldREPORT™ relies on non-invasive and non-destructive tests, so it cannot guarantee that hidden mold problems will be detected and reported. MoldREPORT™ results apply only to the rooms sampled, not to the entire building or any other rooms. It is the responsibility of the property owner, potential purchaser or other end-user of this report to select a properly trained and qualified inspector.

About Air Sample Sampling and Analysis

Eurofins EMLab P&K requires at least one outdoor air sample and one indoor air sample in order to make indoor/outdoor comparisons and assessments of airborne mold levels, which are an integral part of the Eurofins EMLab P&K MoldREPORT™ system. The indoor air samples taken can be representative of the airborne mold present in the area sampled. The analysis and interpretation of these air samples is proprietary and is based upon: relative levels of spores present, quantities and concentration of *Penicillium/Aspergillus* type spores, quantity and concentration of *Cladosporium* spores, quantity and concentration of basidiospores, quantity and concentration of "marker" spore types, quantity and concentration of "other" spore types, and the distribution of mold spore types. Spore identification is performed visually by trained analysts according to industry norms. Using visual identification, most mold spores lack sufficient distinguishing characteristics to allow for species identification, so the MoldREPORT™ analysis is generally performed at the genus level. Currently there are no generally-accepted protocols or regulations regarding air sampling for molds, in large part due to the inability of any single technique to provide a complete analysis of all mold spores and mold growth in an area. Air sampling for MoldREPORT™ can be performed using any standard "spore trap" method, which are also called "non-viable air sampling methods" because spore traps do not require the germination and growth of the spores before identification. Commonly used spore trap equipment for performing air sampling for mold includes Zefon Air-O-Cell™ Cassettes, Burkard™ samplers, and Allergenco™ samplers.

About Surface Sampling and Analysis

Surface sampling can be useful for differentiating between mold growth and stains, for identifying the type of mold growth present (if present), and, in some cases, identifying signs of mold growth in the vicinity. Although not required, surface sampling can improve the accuracy of the results and interpretation of the inspected environment if sampled correctly. Eurofins EMLab P&K accepts surface samples in the form of swabs, tapes, or bulks in order to perform a direct examination of a specific location. The MoldREPORT™ analysis system uses the direct examination data in addition to the MoldREPORT™ air sample analysis.

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Glossary

Background Debris - Material(s) found on the air sample other than mold spore(s) or mycelia. Examples include skin cells, insect parts, and fibers.

False Positive - A test result that incorrectly indicates mold growth, when in reality there is none. For example, an air sample test result indicating indoor mold growth, when no mold growth is actually present is a "False Positive."

False Negative - A test result that shows no mold growth, when in reality mold growth is present. For example, an air sample test result indicating no indoor mold growth, when mold growth is actually present.

Fungi - A kingdom that includes yeasts, molds, smuts, and mushrooms. Fungi are not animals, plants or bacteria, but their own kingdom.

HVAC - Heating, Ventilation, and Air Conditioning (HVAC) systems are possible reservoirs for mold growth.

IAQ - Indoor Air Quality (IAQ) is the main focus of Eurofins EMLab P&K and the majority of its customers.

Industrial Hygienist - A professional who monitors exposure to environmental factors that can affect human health. Examples of environmental factors include chemicals, heat, asbestos, noise, radiation, and biological hazards.

Marker Spores - Spore types, such as *Chaetomium* and *Stachybotrys*, that when found indoors, even in moderate numbers are an indication of indoor mold growth.

Note: This glossary is intended to provide general information about commonly occurring molds, and is not intended to be a complete source.

Alternaria:

Distribution: *Alternaria* is one of the most common molds and is abundant worldwide. This genus contains around 40 to 50 different species, only a few of which are commonly found indoors.

How it is spread: *Alternaria* spores are easily dispersed through the air by wind.

Where it is found outdoors: *Alternaria* is common outdoors in soil, dead organic debris, foodstuffs, and textiles. It is also a plant pathogen and is frequently found on dead or weakened plants.

Where it is found indoors: *Alternaria* can grow on a variety of substrates indoors when moisture is present.

Acremonium:

Distribution: *Acremonium* is a common mold, including about 80 to 90 different species.

How it is spread: *Acremonium* produces wet slimy spores and is normally dispersed through water flow or droplets, or by insects. Old dry *Acremonium* spores can sometimes be dispersed through the air by wind.

Where it is found outdoors: *Acremonium* is found in soil, on dead organic material and debris, hay, and foodstuffs.

Where it is found indoors: *Acremonium* can be found anywhere indoors, but requires very wet conditions in order to proliferate. The spores probably require active disturbance for release.

Aspergillus: (see *Penicillium/Aspergillus*)

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Glossary (continued)

Basidiospores:

Distribution: Basidiospores are produced by a very large and diverse group of fungi called basidiomycetes, which contains over 1000 different genera. This group includes many well-known macrofungi, such as mushrooms. Basidiospores are often abundant in outdoor air and sometimes in indoor air.

How they are spread: Many types of basidiospores are actively released into the air during periods of high humidity or rain. Once the spores are expelled into the air, they are dispersed easily by wind.

Where they are found outdoors: Basidiomycetes are very common outdoors and can be found in gardens, forests, grasslands, and anywhere there is a substantial amount of dead organic material. They are also found on or near plants and some are known to be plant pathogens.

Where they are found indoors: Basidiospores found indoors typically come from outdoor sources and are carried inside by airflow or on clothing. Certain kinds of basidiomycetes can grow indoors, such as those that cause "dry rot", which can cause structural damage to wood. Occasionally, other basidiomycetes such as mushrooms can be found indoors, but this is not common. Generally, basidiomycetes require wet conditions for prolonged periods in order to grow indoors.

Bipolaris / Dreschlera:

Distribution: *Bipolaris* and *Dreschlera* are two separate genera of molds that are so visually similar that they are commonly discussed together as a group. Both genera include around 30 - 40 different species.

How they are spread: *Bipolaris / Dreschlera* spores are easily dispersed through the air by wind.

Where they are found outdoors: *Bipolaris / Dreschlera* type spores are most abundant in tropical or subtropical climates. They can grow in soils, on plant debris and grasses, and are known to be plant pathogens.

Where they are found indoors: *Bipolaris / Dreschlera* can grow on a variety of indoor substrates when moisture is present.

Ceratocystis / Ophiostoma:

Distribution: *Ceratocystis / Ophiostoma* are two separate genera of molds that are so visually similar that they are commonly discussed together as a group. These genera contain around 50 to 60 different species.

How they are spread: *Ceratocystis / Ophiostoma* produce wet slimy spores and are normally dispersed through water flow, droplets, or by insects. These spores are rarely identified in air samples.

Where they are found outdoors: *Ceratocystis / Ophiostoma* are very common in commercial lumberyards and forests.

Where they are found indoors: *Ceratocystis / Ophiostoma* are abundant on wood framing material in the home, although the spores are rarely found in air samples. This mold is sometimes called "lumber mold".

Chaetomium:

Distribution: *Chaetomium* is a common mold worldwide. This genus contains around 80 - 90 different species.

How it is spread: *Chaetomium* spores are formed inside fruiting bodies. The spores are released by being forced out through a small opening in the fruiting body. The spores are then dispersed by wind, water drops, or insects.

Where it is found outdoors: *Chaetomium* can be found in soil, on various seeds, cellulose substrates, dung, woody materials and straw.

Where it is found indoors: *Chaetomium* can grow in a variety of areas indoors, but is usually found on cellulose-based or woody materials in the home. It is very common on sheetrock paper that is or has been wet.

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Glossary (continued)

Cladosporium:

Distribution: *Cladosporium* is an abundant mold worldwide and is normally one of the most abundant spore types present in both indoor or outdoor air samples. This genus contains around 20 - 30 different species.

How it is spread: *Cladosporium* produces dry spores that are formed in branching chains. Spores are released by twisting of the spore-bearing hyphae as they dry. Thus, the spores are most abundant in dry weather.

Where it is found outdoors: *Cladosporium* is found in a wide variety of soils, in plant litter, and on old and decaying plants and leaves. Some species are plant pathogens

Where it is found indoors: *Cladosporium* can be found anywhere indoors, including textiles, bathroom tiles, wood, moist windowsills, and any wet areas in a home. Some species of *Cladosporium* grow at temperatures near or below 0(C) / 32(F) and can often be found on refrigerated foodstuffs and even frozen meat.

Curvularia:

Distribution: *Curvularia* is a cosmopolitan fungus and includes approximately 30 different species.

How it is spread: *Curvularia* produces dry spores that are formed in fragile chains and is very easily dispersed through the air by wind.

Where it is found outdoors: *Curvularia* is most common in tropical or subtropical regions. It is found in soil and on debris of tropical plants.

Where it is found indoors: *Curvularia* can be found growing on a variety of substrates indoors.

Epicoccum:

Distribution: *Epicoccum* is a cosmopolitan mold that includes only two species.

How it is spread: *Epicoccum* produces large dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Epicoccum* can be found in soils or on plant debris.

Where it is found indoors: *Epicoccum* is commonly found on many different substrates indoors including paper, textiles, and insects.

Memmoniella:

Distribution: *Memmoniella* is a cosmopolitan mold genus that includes approximately five species. It is frequently found in conjunction with *Stachybotrys* species due to its similar ecological preferences.

How it is spread: *Memmoniella* produces dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Memmoniella* can be found outdoors in soil, in plant debris or litter, and as pathogens on some types of living plants.

Where it is found indoors: *Memmoniella* can grow on a variety of substrates indoors, but mainly can be found on wet cellulose-based materials, such as wallboard, jute, wicker, straw baskets, paper and other wood by-products.

Paecilomyces:

Distribution: *Paecilomyces* is ubiquitous in nature and includes between 9 and 30 different species, depending on the taxonomic system used. Its spores are visually similar to *Penicillium* / *Aspergillus* types of spores.

How it is spread: *Paecilomyces* produce dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Paecilomyces* is found outdoors in soils and decaying plant matter, composting processes, legumes and cottonseeds. Some species parasitize insects.

Where it is found indoors: *Paecilomyces* can be found on a number of materials indoors. It has been isolated from jute fibers, papers, PVC, timber, optical lenses, leather, photographic paper, cigar tobacco, harvested grapes, bottled fruit, and fruit juice undergoing pasteurization.

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Glossary (continued)

Penicillium / Aspergillus:

Distribution: *Penicillium / Aspergillus* are two separate genera of molds that are so visually similar that they are commonly discussed together as a group. Together, there are approximately 400 different species of *Penicillium / Aspergillus*.

How it is spread: *Penicillium / Aspergillus* produce dry spore types that are easily dispersed through the air by wind. These fungi serve as a food source for mites, and therefore can be dispersed by mites and various insects as well.

Where it is found outdoors: *Penicillium / Aspergillus* are found in soils, decaying plant debris, compost piles, fruit rot and some petroleum-based fuels.

Where it is found indoors: *Penicillium / Aspergillus* are found throughout the home. They are common in house dust, growing on wallpaper, wallpaper glue, decaying fabrics, wallboard, moist chipboards, and behind paint. They have also been isolated from blue rot in apples, dried foodstuffs, cheeses, fresh herbs, spices, dry cereals, nuts, onions, and oranges.

Stachybotrys:

Distribution: *Stachybotrys* is ubiquitous in nature. This genus contains about 15 species.

How it is spread: *Stachybotrys* produces wet slimy spores and is commonly dispersed through water flow, droplets, or insect transport, less commonly through the air.

Where it is found outdoors: *Stachybotrys* is found in soils, decaying plant debris, decomposing cellulose, leaf litter and seeds.

Where it is found indoors: *Stachybotrys* is common indoors on wet materials containing cellulose such as wallboard, jute, wicker, straw baskets, and other paper materials.

Torula:

Distribution: *Torula* is a cosmopolitan microfungus and includes approximately eight different species

How it is spread: *Torula* produces dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Torula* is most common in temperate regions and has been isolated from soils, dead herbaceous stems, sugar beet roots, groundnuts, and oats.

Where it is found indoors: *Torula* is common indoors on wet materials containing cellulose, such as wallboard, jute, wicker, straw baskets, and other paper materials.

Ulocladium:

Distribution: *Ulocladium* is ubiquitous in nature and includes approximately nine different species.

How it is spread: *Ulocladium* produces dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Ulocladium* is common outdoors in soils, dung, paint, grasses, wood, paper, and textiles.

Where it is found indoors: *Ulocladium* is common indoors on very wet materials containing cellulose such as wallboard, jute, wicker, straw baskets, and other paper materials. *Ulocladium* requires a significant amount of water to flourish.

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Health Implications of Fungi in Indoor Environments, Edited by R.A. Samson. 1994. Elsevier Science, P.O. Box 945, Madison Square Station, New York, NY 10159-0945.

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Useful Websites:

www.acgih.org
American Conference of Governmental Industrial Hygienists - information on IAQ and useful links.

www.aiha.org
American Industrial Hygiene Association - general IAQ information

www.calepa.ca.gov
California Environmental Protection Agency - California IAQ resources

www.emlab.com
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www.epa.gov
Environmental Protection Agency - information regarding prevention and remediation of mold

www.health.state.ny.us
New York State Department of Health - New York state recommendations for IAQ, indoor mold inspections, remediation, and prevention

www.moldreport.com
MoldREPORT™ - online store, and other information about MoldREPORT™

www.nih.gov
National Institutes of Health - information regarding environmental health issues, including IAQ

www.niehs.nih.gov
National Institute of Environmental Health Sciences - information on mold

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January 22, 2020

Chief Eric Masterson
Ross Police Department
33 Sir Francis Drake
Ross, Ca. 94960

Dear Eric,

This letter will serve to document the recent inspection of your property, along with a synopsis of your lab results, which were just released by the lab.

1. PROBLEM DESCRIPTION AND MY OBSERVATIONS

You described the problem as follows: You know that mold was just found in the Fire Department buildings, which adjoin your building, and you wanted to ensure that there was no mold problem in your offices. I saw mold-related issues which are addressed in this report.

2. AIR SAMPLES RESULTS

Mold Score for Sample One (Room 2): 300

Score of over 250 is high and indicates a high probability of indoor fungal growth.

Mold Score for Sample Two (Room 3): 146

Score under 150 is low and indicates a low probability of indoor fungal growth.

3. MOISTURE AND HUMIDITY

My meters detected moisture in the following locations: on the rotted sash material on the windows in room 2. The interior humidity in room 2 measured **51** percent, which is at the high end of the acceptable range (30 to 50).

4. CONCLUSION

The results of your air sample tests suggest that **you have a mold problem that is originating within room 2 of the police station.** See following pages for additional conclusions.

5. RECOMMENDATIONS

I recommend that you contract with a professional mold remediation company to remove all rotted and water-damaged windows from their frames. I also recommend a thorough cleaning of all the window frames (including a proper sanding), followed by the application of a high-quality primer and top coat. The mold remediation company will provide you with a specific set of remediation protocols after they have examined the area. For your information, standard remediation protocols are included at the end of this report. I then recommend having new dual-pane windows installed in the refurbished frames.

Sincerely,

Rick Bruce ¹²³⁴⁵⁶⁷
Bay Area Mold Pros

1. Certified Mold Inspector (CMI #83203 Micro Training)
2. Certified Mold Remediation Contractor (CMRC #83503 Micro Training)
3. Certified Mold Inspector (Compliance Training)
4. IAQA Indoor Environmentalist Course completion (FL Course 0000070)
5. National Association of Mold Remediators and Inspectors (Member)
6. California State Contractor's license 872600
7. Owner, Bruce Construction

Room 2 (adjacent room with refrigerator). Two original wood casement windows, one of which is rotted at the bottom. This rotted portion was wet, so I pulled an air sample in this area. The results for the air sample came back exceedingly high (see above). The plaster walls were dry. A direct sample of rotted wood was collected here and came back with a high level of *Aspergillus* spores and a medium level of *Ascomycetes* spores (see page 10 of the lab report).

Room 3 (desks, computer terminals and radios). Two original wood casement windows, one of which is rotted at the bottom. No moisture found in window frames or sashes, or in plaster walls. An air sample was also pulled in this area, and the results came back fairly low.

Room 4 (sergeant's office). Two original wood casement windows, both frames and sashes dry. Both windows water damaged. No samples taken here.

Room 5 (Chief's office). Five fixed wood windows and one (newer) casement window. No moisture in window frames or sashes. Walls had 1/4" wall paneling. No problems seen here, no samples taken.

Room 6 (reception desk near front door). No windows, no issues seen, no samples taken.

Room 7 (mechanical room at bottom of stairs). Concrete slab and door leading to outside. No moisture detected, no issues seen, and no samples taken.

Room 8 (locker room). Two original wood casement windows, no moisture in either the frames or the sashes. No moisture in plaster walls.

Room 9 (toilet room with lavvy). No moisture in sheet flooring. No moisture in wood casement window frame or sash.

Overall conclusions: there does not appear to be a serious mold growth problem in this building except for within room 2. The very high level of mold spores collected in room 2 are almost certainly a result of the rotted wood window, which must be producing high levels of mold spores within the rot.

Overall recommendation: I recommend having all of the original wood windows removed and replaced with modern windows. Any windows which show signs of rot or mold should be removed by a professional mold remediation company, and a thorough cleaning of the rooms from which they are removed should take place once they are removed.

I recommend that a licensed general contractor then be hired to install modern dual-pane windows in the existing frames. I recommend that the frames all be sanded, primed, and painted prior to the installation of the new windows. Standard mold remediation protocols should be followed during the sanding of these frames.

5.a. Additional Recommendations

In addition to the recommendations described above:

- **Humidity.** The humidity in the building is at the high end of the acceptable range. Regardless of any actual moisture issues present in your home, an elevated humidity will exacerbate this condition and may encourage mold growth. In terms of what "ideal humidity" is for interior spaces, there is some disagreement here, with the upper limit varying from 50 to 60 percent. In my experience, having inspected hundreds of homes, homeowners who keep their humidity at under 50 percent do not have mold problems related to their humidity. *I recommend that you run dehumidifiers within your home if your humidity measures greater than 50 percent. A very effective dehumidifier can be purchased on-line from Amazon for about \$200 (Homelabs 1500 square foot dehumidifier, removes up to 22 pints daily).*
- **Air Flow and Heat.** You can reduce the condensation on your walls and windows by increasing the air flow in your home. *You can assist the air flow in your home with portable fans.*
- **Insulation.** The original exterior walls in your home may be lacking in wall insulation. This exacerbates the tendency of exterior walls to "sweat" on the inside. This condensation can lead to mold growth on the lower portions of the walls. *Ideally, you will want to eventually insulate your exterior walls. In the interim, I recommend that all furniture and personal property be kept at least 2" from any walls to allow for maximum air flow.*
- **Bathroom Ventilation.** Your bathroom does not have an adequate ceiling fan that is vented to the outside. It is not only recommended that all bathrooms have an effective ceiling fan which is vented to the outside of the home, it has actually been required as part of the building code for many years. These fans should be controlled via a humidistat, so that the fan remains running as long as is necessary following baths and showers. *I recommend that you have a high capacity (110 cfm) ceiling fan installed in the bathroom, and ensure that it is properly vented to the outside.*

Because of the age of your building, it is likely that there are ground water and drainage issues present that may be affecting the overall humidity and moisture. There were definitely ground water problems under the Fire Department building (the oldest building).

- **Drainage.** When there is ground water present under a home, it is often necessary to divert this ground water away from the home. The most effective means of doing this is to have a French drain system installed by a drainage contractor. These drains need to be installed at the proper depth, and these systems really require that both the design and the installation are completed by contractors who specialize in this type of work. *I recommend that you consult with a drainage expert to determine the best course of action to take in regards to drainage.*
- **Sump pumps.** It is sometimes very difficult, or cost prohibitive to have French drain systems installed, and in these cases, sump pumps can also be an effective method for removing ground water from beneath a home. These also need to be designed and installed by contractors familiar with sump pump systems, and the water pumped out from under the home needs to be diverted to areas where it can no longer make its way back under the home. *I recommend that you consult with a drainage expert to determine if a sump pump would be useful in your crawl space.*
- **Vapor barriers.** Once all standing water issues have been addressed, the installation of a vapor barrier in the crawl space of a home can be very effective at preventing the moisture from the soil from making its way into the home above. These vapor barriers should be installed by contractors who are familiar with how best to install them. *I recommend that you consult with a vapor barrier installation company to determine if this product may assist with your moisture issues.*

Standard Remediation Protocols

The general rule of thumb for remediation is the following: if the area to be remediated is less than 10 square feet, this can generally be cleaned by the homeowner, but if the area to be remediated is greater than 10 square feet, the remediation should be performed by a certified mold remediation company.

If you opt for a professional remediation of the mold growth in your home, the specific remediation and cleaning procedures to be employed should be determined by the certified mold remediation company chosen for this project. Standard remediation - protocol procedures, which are routinely utilized by professional remediation companies include, but are not limited to, the following:

- Complete containment of the area where remediation will occur (and demolition if needed). At least one Decon chamber should be utilized as part of the containment.
- Use of plastic covers, plastic zip walls, wall zippers, etc.
- Use of appropriate PPE by all personnel performing remediation.
- Use of negative air pressure during remediation.
- Use of dehumidifier machines when needed following any needed demolition.
- Use of HEPA-filtered vacuums to clean all surfaces in remediation areas.
- Use of air scrubber machines during and following remediation (and demolition if needed). Note that air scrubbers should be in operation a minimum of 48 hours after the completion of any remediation and cleaning.
- Use of biocides and other cleaners as required.

It is also recommended that a mold inspection company take new air samples once the demolition and remediation has taken place, to ensure that all mold issues have been addressed. Note that any air scrubbers used during the demolition should be shut down approximately 8 hours prior to the re-inspection.

APPENDIX J
NFPA Fire Station Design Considerations

NFPA FIRE STATION DESIGN CONSIDERATIONS

Emergency response organizations are familiar with standards of the National Fire Protection Association (NFPA). *NFPA 1500, Standard on Fire Service Occupational Safety and Health Program*, defines a fire department facility as any building or area owned, operated, occupied, or used by a fire department on a routine basis which may include fire and rescue stations, training academies, and communication centers.

This manual applies to station design for the fire and emergency medical services. Fire and emergency medical services are sometimes referred to as emergency response organizations or departments. Likewise, firefighters and EMS personnel may be referred to as emergency response personnel.

“Facility Safety” requires that department facilities:

- Comply with all legally applicable health, safety, building, and fire code requirements.
- Provide facilities for disinfection, cleaning, and storage in accordance with NFPA 1581, Standard on Fire Department Infection Control Program. (NFPA 1581 provides guidelines that recommend against the cleaning and disinfecting of protective clothing and equipment, portable equipment, and other clothing in areas used for food preparation, the cleaning of food and cooking utensils, personal hygiene, or sleeping and living.
- Also, required for disinfection are two sinks with a sprayer attachment, a rack with a drain to the sewer, medical-type non-grasp controls on faucets, and hot and cold water.)
- Provide smoke detectors in work, sleeping, and general storage areas. Comply with NFPA 101, Life Safety Code or locally adopted requirements of the building code. Be designed with provisions for the ventilation of vehicle exhaust emissions from fire apparatus (and other vehicles) to prevent exposure to firefighters and contamination of living and sleeping areas.
- Have designated smoke-free areas including work, sleeping, kitchen, and eating areas.
- Building, and fire code requirements, and that these inspections be documented and recorded.
- Be inspected monthly to identify and correct/document any safety or health hazards.
- Have an established system to maintain facilities and to promptly correct any safety or health hazards or code violations.
- In addition, the U. S. Fire Administration strongly recommends that stations be protected with automatic sprinkler systems.

APPENDIX K

Photos



Apparatus Bay Entry



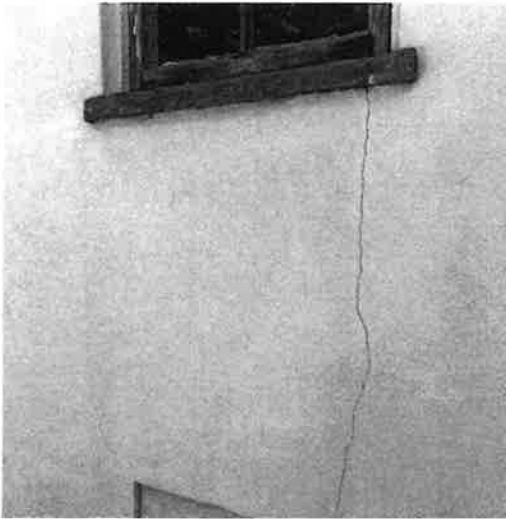
Recently Renovated Treads and Risers



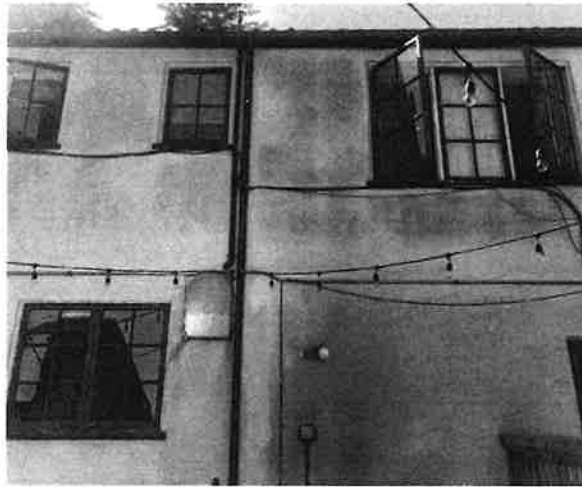
Entry to Zfire House Kitchen



Asphalt cracking



Typical Plaster Cracking



Exposed wiring, faded paint



Exposed wiring



Roofing needs replacement



Soil contact with plaster



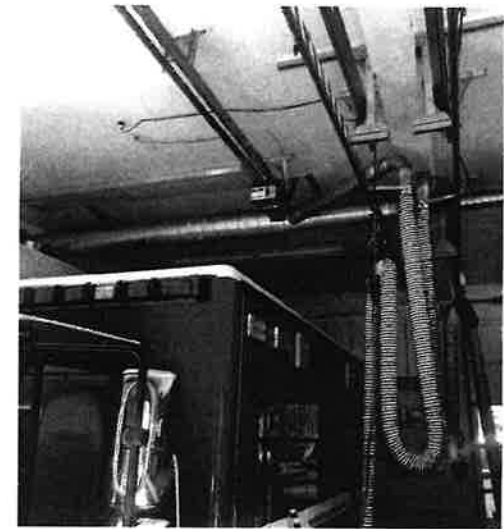
Roofing in need of repair, misc. exposed wiring.



New vehicle cover



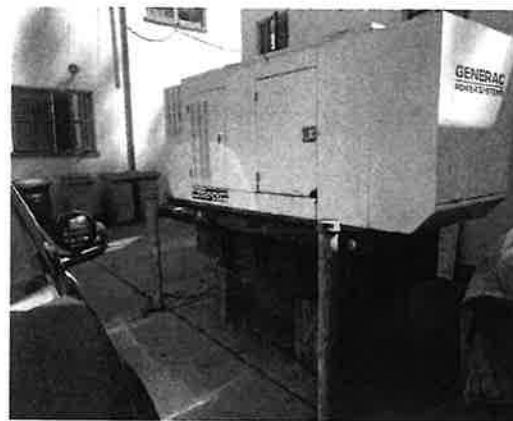
Cell tower equipment



Apparatus Bay



Apparatus Bay



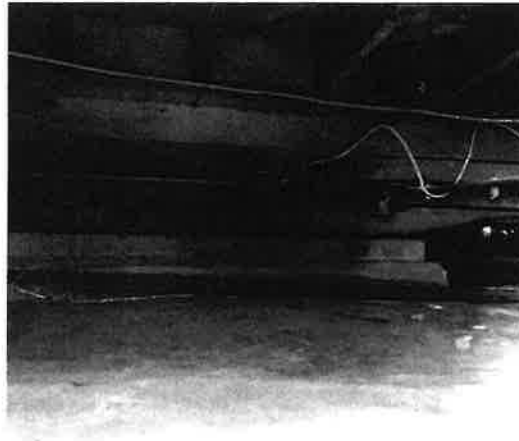
Generator



Police Station exit stairs



Under floor of Police Station



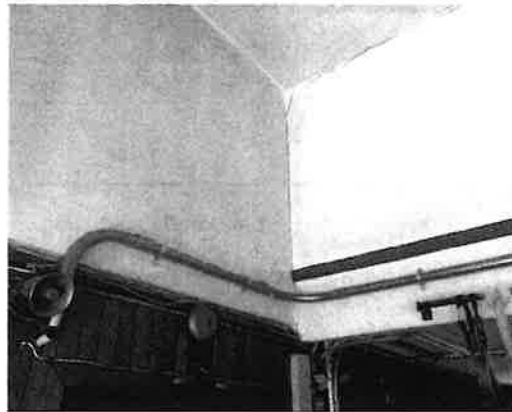
Under floor of Police Station



Non-compliant ADA stairs



Ceiling repair



Interior plaster cracking



Ceiling damage



Fire House Water Heater



Moisture damage



Ceiling Damage



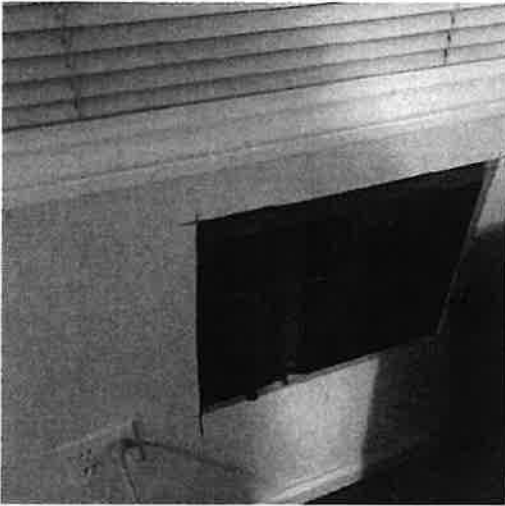
Broken counter top tile



Water staining at threshold



Water damage at exterior wall



Portion of wallboard has been removed.



Moisture stains



Police Dept Office



Police Station Water Heater



Water Damage



Water Damage



Water Damage



Partial demolition



Partial demolition



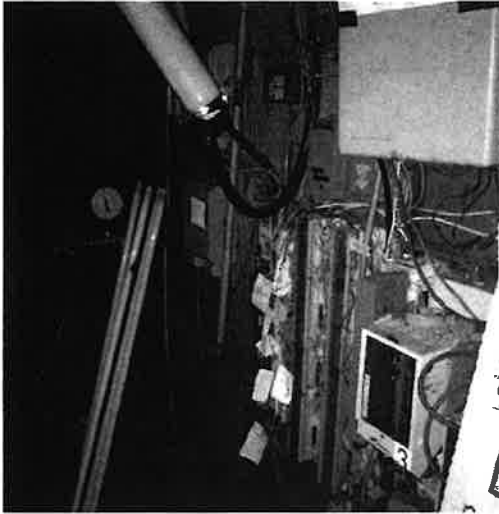
Water Damage



Water Damage



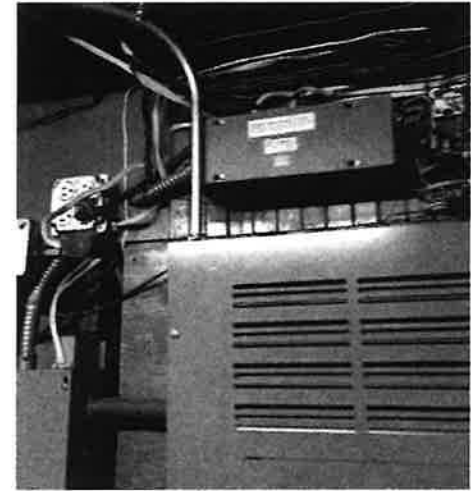
Unconnected rain water leader.



Exposed wires and unclear pathways



Clearance conflict



Exposed wires



Exposed wiring and less than 3' clearance in front of electrical panel.



Faded plaster paint



Picture caption

APPENDIX L
Preliminary Cost Estimate

Repair and Replacement Cost Schedule

Friday, June 19, 2020

Town of Ross, Public Services Building
Ross, CA

| Property Component | Quantity | Units | Unit Cost | Cost | Immediate Repairs |
|---|----------|-------|-----------|---------|-------------------|
| Site Elements | | | | | |
| Patch Paving, Seal Coat and Stripe Parking | 17,000 | sf | 2.50 | 42,500 | 42,500 |
| Site Concrete, Curb and Gutters | 1 | ls | 25,000.00 | 25,000 | 25,000 |
| ADA Parking with Signage | 1 | ls | 35,000.00 | 35,000 | 35,000 |
| Separation of circulation conflicts | | | | | TBD |
| Flood Zone Issues | | | | | TBD |
| Structural Frame and Building Envelope | | | | | |
| Structural Consultant Destructive Investigation | 1 | ls | 5,000.00 | 5,000 | 5,000 |
| Detailed Seismic Evaluation | 1 | ls | 75,000.00 | 75,000 | 75,000 |
| Foundation Anchorage | 1 | ls | 65,000.00 | 65,000 | 65,000 |
| Floor Girder Connections | 1 | ls | 75,000.00 | 75,000 | 75,000 |
| Slab Repairs - Need Structural Report | 1 | ls | - | - | TBD |
| Patch and repair cracked plaster - Need Structural Report | 1 | ls | - | - | TBD |
| Seismic Upgrades - Need Structural Report | 1 | ls | - | - | TBD |
| Roofing Repairs | 1 | ls | 25,000.00 | 25,000 | 25,000 |
| Window Replacement | 1 | ls | 75,000.00 | 75,000 | 75,000 |
| Termite Investigation | 1 | ls | 5,500.00 | 5,500 | 5,500 |
| Termite and Pest Repairs - Need Pest Report | 1 | ls | - | - | TBD |
| Rodent Report and Maintenance - Need Report | 1 | ls | - | - | TBD |
| Exterior and Interior Elements | | | | | |
| Re-Route Exposed Wires and Patch Plaster | 1 | ls | 55,000.00 | 55,000 | 55,000 |
| Original Apparatus Bay Interior Repairs | 900 | sf | 100.00 | 90,000 | 90,000 |
| North Wing Interior Renovation | 1,500 | sf | 175.00 | 262,500 | 262,500 |
| Second Floor Re-Fresh Wear and Tear | 1,000 | sf | 100.00 | 100,000 | 100,000 |
| | 1 | ls | - | - | - |
| Electrical | | | | | |
| Panel board replacement and new branch circuits Excludes new apparatus bay | 6,600 | sf | 35.00 | 231,000 | 231,000 |
| Install Fire Alarm System | 8,800 | sf | 6.00 | 52,800 | 52,800 |
| Mechanical and Electrical Systems | | | | | |
| HVAC unit and controls replacement | 8,800 | sf | 35.00 | 308,000 | 308,000 |

No fees in surveying, or kitchen zone

Repair and Replacement Cost Schedule

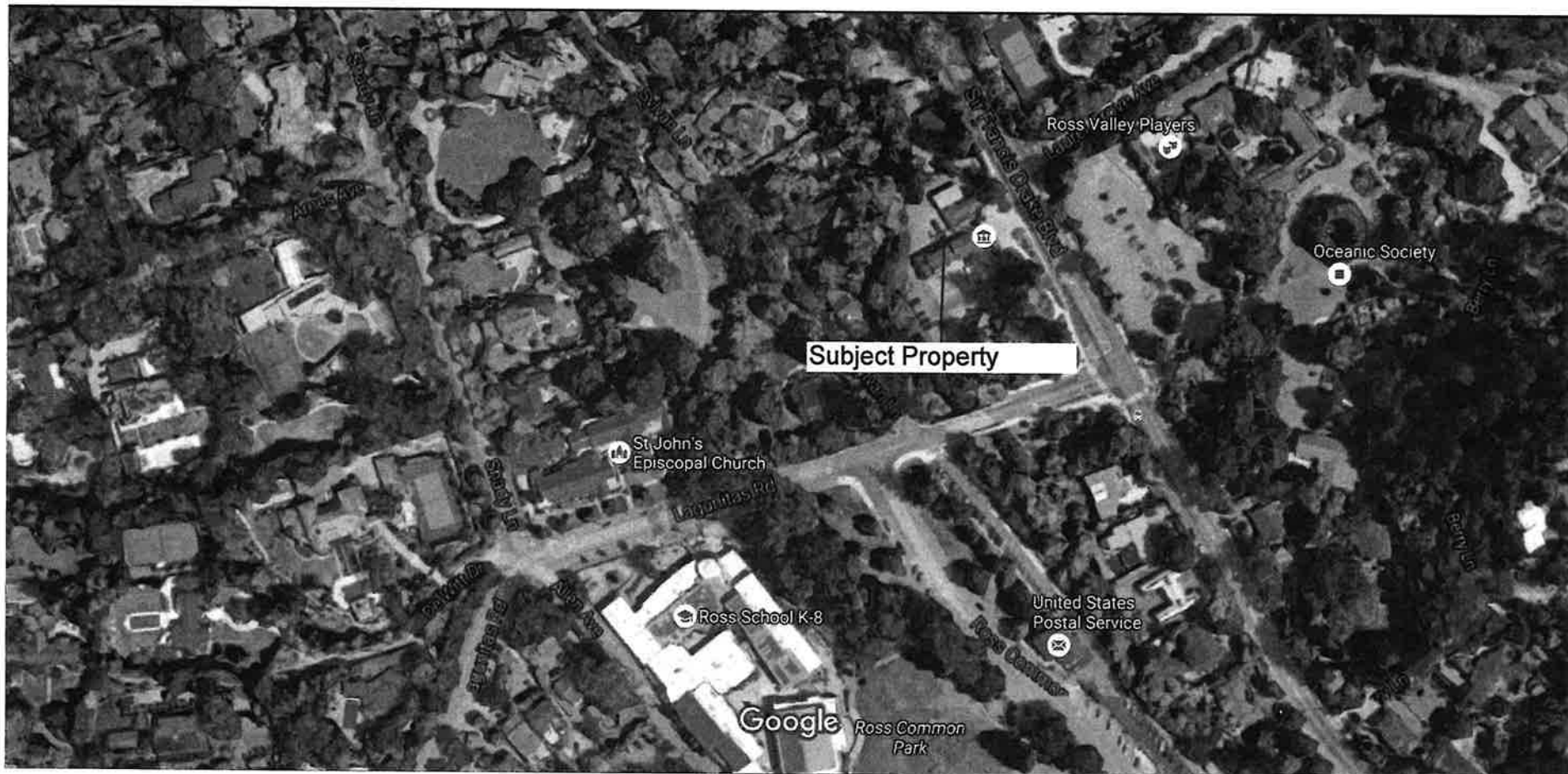
Friday, June 19, 2020

Town of Ross, Public Services Building
Ross, CA

| Property Component | Quantity | Units | Unit Cost | Cost | Immediate Repairs |
|---|----------|-------|-----------|-----------|-------------------|
| New Bathroom Exhaust | 1 | ls | 5,500.00 | 5,500 | 5,500 |
| Data Server Room Cooling | 1 | ls | 20,000.00 | 20,000 | 20,000 |
| Ductwork Testing | 1 | ls | 5,000.00 | 5,000 | 5,000 |
| Ductwork Repairs - Need Report | 1 | ls | - | - | TBD |
| Plumbing | | | | | |
| Water Heater and Water Piping Replacment | 1 | ls | 35,000.00 | 35,000 | 35,000 |
| Air Compressor Replacement | 1 | ls | 15,000.00 | 15,000 | 15,000 |
| Water Entrance Replacement | 1 | ls | 10,000.00 | 10,000 | 10,000 |
| Additional Considerations | | | | | |
| ADA survey | 1 | ls | 5,500.00 | 5,500 | 5,500 |
| ADA Improvements - Need Survey | 1 | ls | - | - | TBD |
| Mold Remediation and Repair | 1 | ls | 75,000.00 | 75,000 | 75,000 |
| Asbestos Testing | 1 | ls | 2,500.00 | 2,500 | 2,500 |
| Asbestos and Lead Remediation - Need Report | 1 | ls | - | - | TBD |
| | | | | \$ | 1,700,800 |

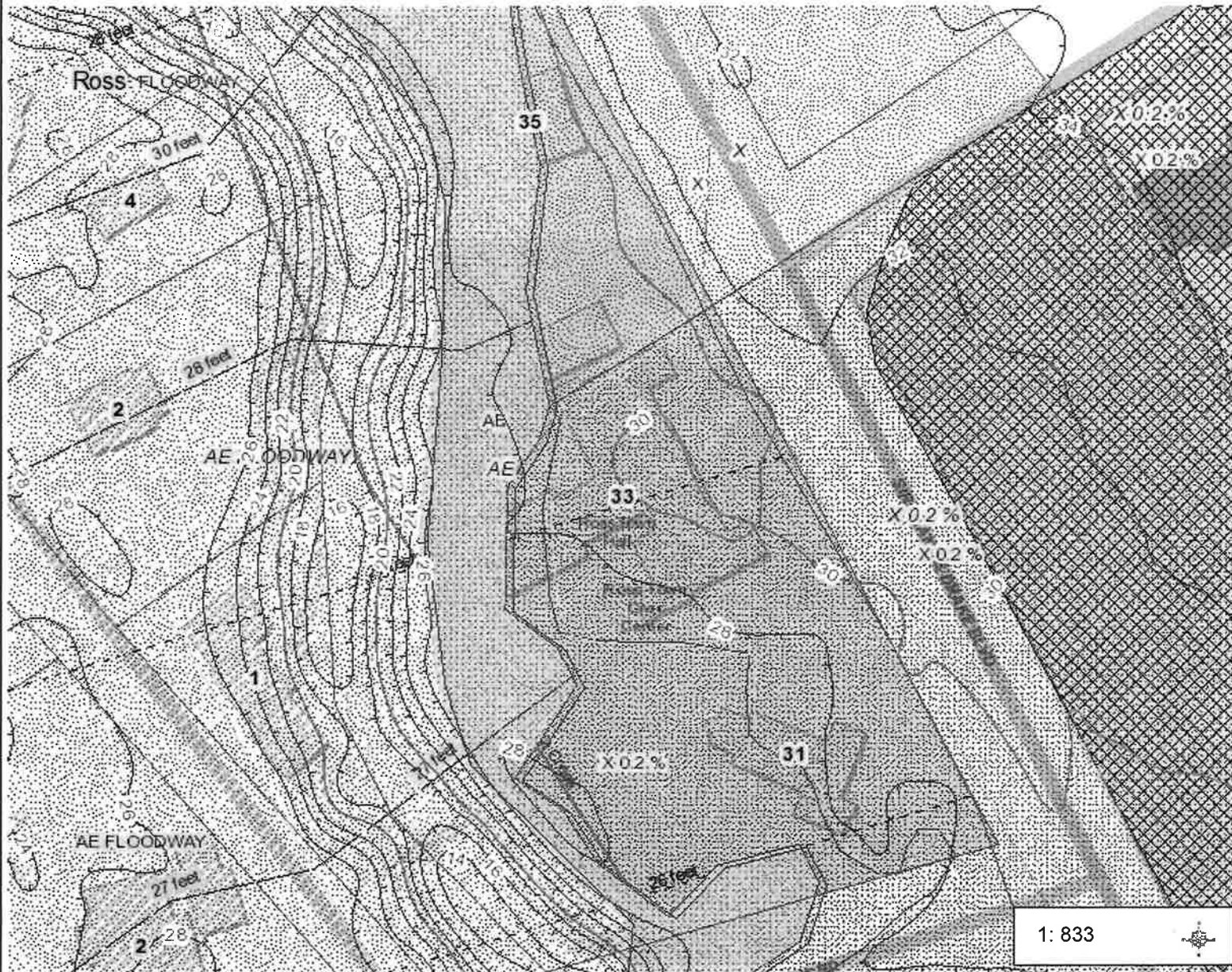
APPENDIX M
Maps and Site Plan

Google Maps



33 Sir Francis Drake Blvd
San Anselmo, CA

Imagery ©2016 Google, Map data ©2016 Google 200 ft



Legend

Parcel Note

- easement
- centerline

Address

- Parcel
- Condominium Common Area
- Mobile Home Pad
- City
- Community
- Marin County Legal Boundary
- Other Bay Area County

2-foot Elevation NAVD88

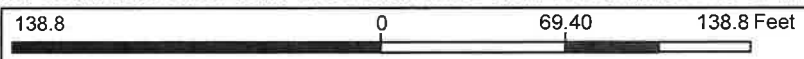
- Interior
- Index

Flood Hazard Zone, March 2015

- A
- AE
- AE, FLOODWAY
- AH
- AO
- D
- V
- VE
- X
- X, 0.2% CHANCE
- X, REDUCED RISK DUE TO LEVE

Base Flood Elev., 2015 Coastal Flood Hazard Zone, 2015 Coastal Flood Hazard Zone

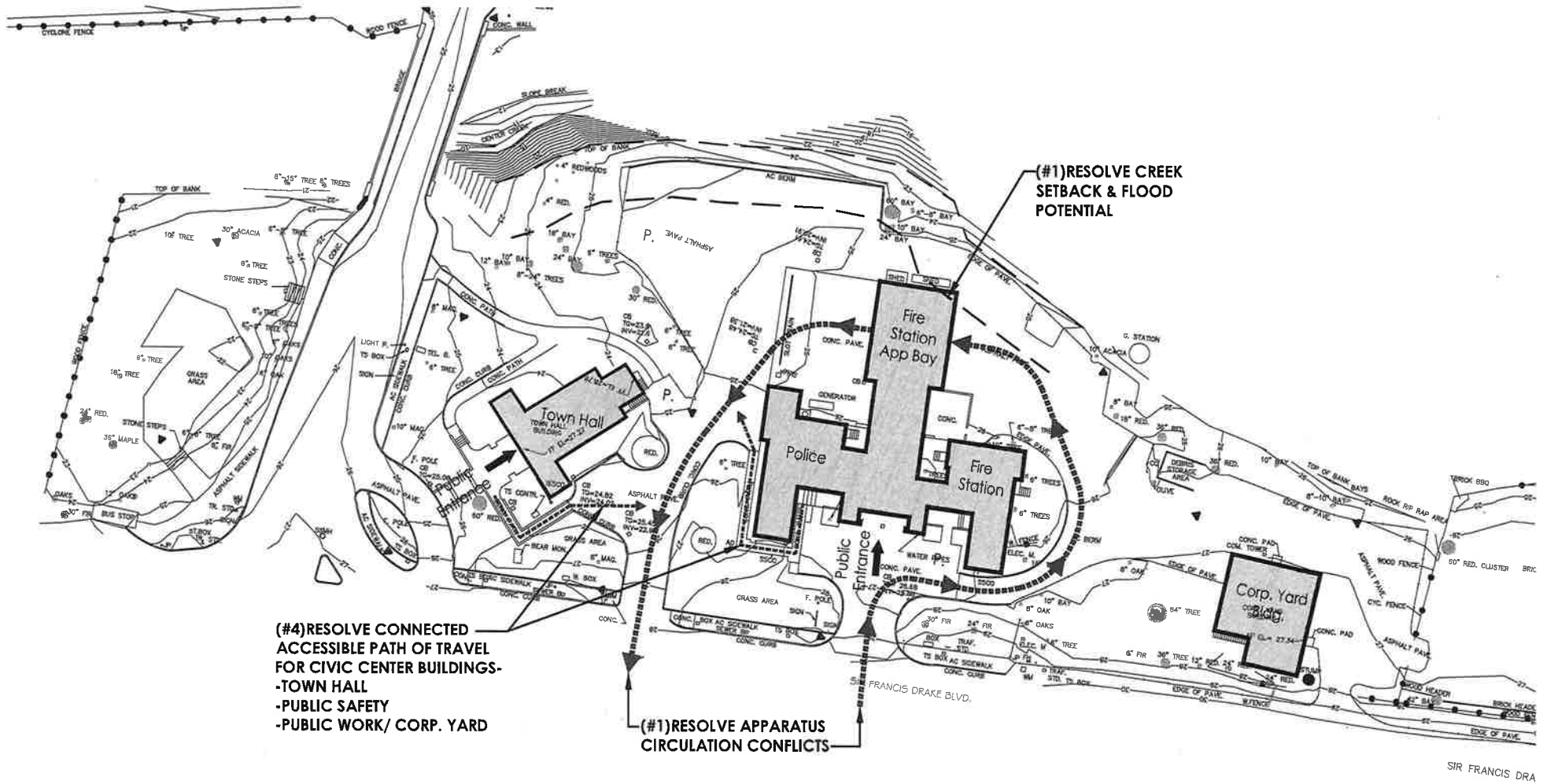
1: 833



NAD_1983_HARN_StatePlane_California_III_FIPS_0403_Feet
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



(#4) RESOLVE CONNECTED ACCESSIBLE PATH OF TRAVEL FOR CIVIC CENTER BUILDINGS -
 -TOWN HALL
 -PUBLIC SAFETY
 -PUBLIC WORK/ CORP. YARD

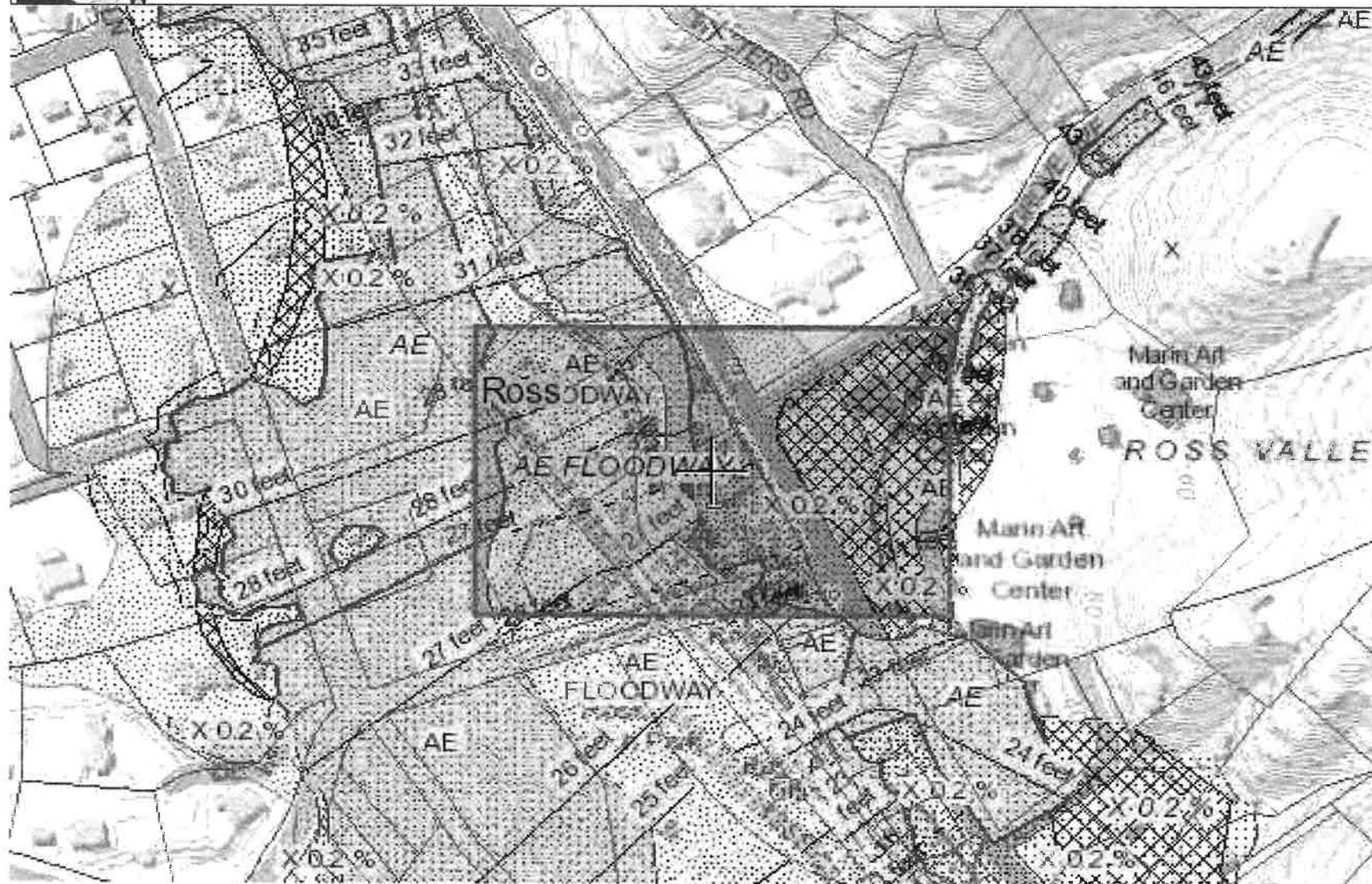
(#1) RESOLVE APPARATUS CIRCULATION CONFLICTS

(#1) RESOLVE CREEK SETBACK & FLOOD POTENTIAL

TOWN OF ROSS
 CIVIC CENTER



APPENDIX N
FEMA Report



Address: 33 SIR FRANCIS DRAKE BLVD ROSS

FEMA LETTER OF MAP CHANGE INFORMATION

| Parcel Info | |
|---|--|
| Assessor Parcel Number | 073-191-16 |
| Site Address | 33 SIR FRANCIS DRAKE BLVD ROSS |
| Community/Jurisdiction | Ross |
| Deed Reference | NOREF11883 |
| Latitude, Longitude | 37.96318745 -122.55674328 |
| DFIRM Panel | |
| Community Number | 041C |
| Map Panel | 06041C0458F |
| Effective Date | 3/16/2016 12:00:00 AM |
| Flood Zone | AE |
| Flood Zone Description | Zones AE and A1-A30 are the flood insurance rate zones that correspond to the 1-percent annual chance floodplains that are determined in the Flood Insurance Study by detailed methods of analysis. In most instances, Base Flood Elevations derived from the detailed hydraulic analyses are shown at selected intervals within this zone. Mandatory flood insurance purchase requirements apply. |
| Special Flood Hazard Area | T |
| Base Flood Elevation (ft) | BFE Not Determined |
| PRIOR Map | |
| Community Number | 041C |
| Map Panel | 06041C0458E |
| Effective Date | 3/17/2014 12:00:00 AM |
| Flood Zone | AE |
| Flood Zone Description | Zones AE and A1-A30 are the flood insurance rate zones that correspond to the 1-percent annual chance floodplains that are determined in the Flood Insurance Study by detailed methods of analysis. In most instances, Base Flood Elevations derived from the detailed hydraulic analyses are shown at selected intervals within this zone. Mandatory flood insurance purchase requirements apply. |
| Special Flood Hazard Area | T |
| Base Flood Elevation (ft) | BFE Not Determined |
| Assessor Parcel Map | Click Here for the Assessor Parcel Map and Recorded Maps. |
| What is Vertical Datum? NGVD vs NAVD | FEMA Vertical Datum |

FEMA LOMC Letter of Map Change

As a public service, MarinMap publishes FEMA (Federal Emergency Management Agency) Flood Insurance Rate Maps (FIRM) and Letters of Map Change (LOMC). These maps and documents help property owners determine if property is within a flood hazard area and is required to carry flood insurance. Letters of Map Change are documents that may remove properties, buildings, or other areas from FEMA's Special Flood Hazard Areas (SFHA). This GIS application will provide most of the data required for the LOMC application. If you believe that your property or structures on your property are above the elevation that FEMA determines to be within a flood hazard zone, you may apply for a Letter of Map Change. If you can show that your property/structures are above the flood elevation, you might be exempt from flood insurance requirements or be subject to cheaper insurance premiums.

Floodplain Administrators for Marin Communities:

| | | | |
|----------------|-------------------|---------------------|--|
| Belvedere | Eric Banvard | (415) 435-3838 | buildingofficial@cityofbelvedere.org |
| Corte Madera | Barry Hogue | (415) 927-5057 | publicworks_dept@ci.corte-madera.ca.us |
| Fairfax | Mark Lockaby | (415) 453-2370 | building@townoffairfax.org |
| Larkspur | Daryl Phillips | (707) 544-9500 | Daryl@PhillipsSeabrook.com |
| Mill Valley | Julie McClure | (415) 388-4033 | jmclure@cityofmillvalley.org |
| Novato | Manijeh Larizadeh | (415) 899-8907 | mlarizadeh@novato.org |
| Ross | Robert Maccario | (415) 453-1453 x163 | rmaccario@townofross.org |
| San Anselmo | Sean Condry | (415) 258-4616 | scondry@townofsananselmo.org |
| San Rafael | Kevin McGowan | (415) 485-3355 | kevin.mcgowan@cityofsanrafael.org |
| Sausalito | Jonathon Goldman | (415) 289-4176 | jgoldman@ci.sausalito.ca.us |
| Tiburon | Scott Anderson | (415) 435-7392 | sanderson@ci.tiburon.ca.us |
| Unincorporated | Berenice Davidson | (415) 473-3770 | bdavidson@marincounty.org |

